



CITY OF GRAPEVINE, TEXAS
REGULAR JOINT MEETING OF
CITY COUNCIL AND PLANNING AND ZONING COMMISSION
TUESDAY, JANUARY 21, 2020

GRAPEVINE CITY HALL, COUNCIL CHAMBERS
200 SOUTH MAIN STREET
GRAPEVINE, TEXAS

6:30 p.m.	Dinner – City Council Conference Room
7:00 p.m.	Call to Order of City Council Meeting – City Council Chambers
7:00 p.m.	Executive Session – City Council Conference Room
7:30 p.m.	Joint Regular Meeting – City Council Chambers

CALL TO ORDER: 7:00 p.m. – City Council Chambers

EXECUTIVE SESSION:

1. City Council to recess to the City Council Conference Room to conduct a closed session relative to:
 - A. Real property relative to deliberation of the purchase, exchange, lease, sale or value of real property (City facilities, historic preservation (428 East Wall Street), 212 East Texas Street, Public Works, and the 185 acres) pursuant to Section 551.072, Texas Government Code.
 - B. Conference with City Manager and Staff to discuss and deliberate commercial and financial information received from business prospects the City seeks to have locate, stay, or expand in the City; deliberate the offer of a financial or other incentive; with which businesses the City is conducting economic development negotiations pursuant to Section 551.087, Texas Government Code.

City Council to reconvene in open session in the City Council Chambers and take any necessary action relative to items discussed in Executive Session.

REGULAR MEETING: 7:30 p.m. – City Council Chambers

2. Invocation and Pledge of Allegiance: Commissioner Monica Hotelling

JOINT PUBLIC HEARINGS

3. Conditional Use Permit **CU19-36** (Tate Retail Center) and **Final Plat** and Lots 1, 2 and 3, Block 1, Tate Street Plaza No. 2 – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Burger Engineering requesting a conditional use permit to amend the previously

approved site plan CU12-10 (Ordinance No. 2012-17) allowing for a planned commercial center, specifically to adjust the property lines and to replat Lot 3R, Block 1, Tate Street Plaza And Lot 4-R-1, Block 1, Tate Street Plaza Revised. The subject property is located at 1231 William D. Tate Avenue and is currently zoned "CC" Community Commercial District.

4. Conditional Use Permit **CU19-37** (New Chick-Fil-A) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Burger Engineering requesting a conditional use permit to amend the previously approved site plans CU01-18, CU00-52, CU93-03 (Ordinance No. 1993-22) for a planned commercial center, specifically to adjust the property lines to allow for the development of a drive through and outside dining in conjunction with a restaurant. The subject property is located at 1235 William D. Tate Avenue and is currently zoned "CC" Community Commercial District.
5. Conditional Use Permit **CU19-38** (Existing Chick-Fil-A) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Burger Engineering requesting a conditional use permit to amend the previously approved site plan CU99-74 (Ordinance No. 1999-185) for a planned commercial center, specifically to adjust the property lines of an existing drive through restaurant. The subject property is located at 1245 William D. Tate Avenue and is currently zoned "CC" Community Commercial District.
6. Conditional Use Permit **CU19-41** (Grapevine Honda) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Cool Breeze Consultants requesting a conditional use permit to establish an automotive dealership with the sales and service of new and used vehicles and a 40-foot pole sign. The subject property is located at 2301 William D. Tate Avenue and is currently zoned "CC" Community Commercial District.
7. Conditional Use Permit **CU19-42** and Planned Development Overlay **PD19-03** (Brew and Batter) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Ashton and Tracy Dierolf requesting a conditional use permit to allow for a restaurant and a planned development overlay to deviate from, but not be limited to, masonry requirements in the Central Business District. The subject property is located at 106 East Texas Street and is currently zoned "CBD" Central Business District.

Planning and Zoning Commission to recess to the Planning and Zoning Commission Conference Room, Second Floor, to consider published agenda items.

City Council to remain in session in the Council Chambers to consider published business.

CITIZEN COMMENTS

8. Any person who is not scheduled on the agenda may address the City Council under Citizen Comments or on any other agenda item by completing a Citizen Appearance Request form with the City Secretary. A member of the public may address the City Council regarding an item on the agenda either before or during the Council's consideration of the item, upon being recognized by the Mayor or upon the consent of the City Council. In accordance with the Texas Open Meetings Act, the City Council is restricted in discussing or taking action during Citizen Comments.

PRESENTATIONS

9. Chief Financial Officer to present financial report.

NEW BUSINESS

10. Consider the purchase of a pumper fire apparatus from Siddons-Martin Emergency Group and take any necessary action.

CONSENT AGENDA

Consent items are deemed to need little Council deliberation and will be acted upon as one business item. Any member of the City Council or member of the audience may request that an item be withdrawn from the consent agenda and placed before the City Council for full discussion. Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations.

11. Consider the renewal of an annual contract for medical control services with Best EMS. Fire Chief recommends approval.
12. Consider the purchase of exercise equipment for The REC from Comm-Fit. Parks and Recreation Director recommends approval.
13. Consider the purchase of exercise equipment for The REC from Team Marathon Fitness. Parks and Recreation Director recommends approval.
14. Consider **Ordinance No. 2020-002** transferring funds from the Crime Control District Fund for leases and rentals to the Capital Equipment Fund and appropriating said funds for the purchase of a police vehicle. Police Chief recommends approval.
15. Consider the purchase of a Ford F550 with service body and crane from Chastang Ford. Public Works Director recommends approval.

16. Consider **Resolution No. 2020-002** approving the First Amendment to the Tower/Ground Lease Agreement with Clear Wireless LLC for the purpose of installing, operating, and maintaining communications facilities on the Barton Water Tower. Public Works Director recommends approval.
17. Consider the First Amendment to the contract for general engineering consulting services with Pacheco Koch Consulting Engineers, Inc. Public Works Director recommends approval.
18. Consider a Second Amendment to the contract for land acquisition services with Teague, Nall, and Perkins, Inc. Public Works Director recommends approval.
19. Consider the purchase of project management software from ProjectMates. Public Works Director recommends approval.
20. Consider the minutes of the January 7, 2020 Regular City Council meeting. City Secretary recommends approval.

Pursuant to the Texas Open Meetings Act, Texas Government Code, Chapter 551.001 et seq, one or more of the above items may be considered in Executive Session closed to the public. Any decision held on such matter will be taken or conducted in open session following conclusion of the executive session.

PLANNING AND ZONING COMMISSION RECOMMENDATIONS

21. Conditional Use Permit **CU19-36** (Tate Retail Center) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2020-004**, if applicable, and take any necessary action.
22. **Final Plat** and Lots 1, 2, 3, Block 1, Tate Street Plaza No. 2 – Consider the recommendation of the Planning and Zoning and take any necessary action.
23. Conditional Use Permit **CU19-37** (New Chick-Fil-A) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2020-005**, if applicable, and take any necessary action.
24. Conditional Use Permit **CU19-38** (Existing Chick-Fil-A) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2020-006**, if applicable, and take any necessary action.
25. Conditional Use Permit **CU19-41** (Grapevine Honda) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2020-007**, if applicable, and take any necessary action.

26. Conditional Use Permit **CU19-42** (Brew and Batter) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2020-008**, if applicable, and take any necessary action.
27. Planned Development Overlay **PD19-03** (Brew and Batter) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2020-009**, if applicable, and take any necessary action.
28. **Final Plat** of Lot 1, Block 1, Southland Addition – Consider the recommendation of the Planning and Zoning Commission relative to the application submitted by Alston Construction requesting to plat unplatted property into one lot. The subject property is located on the northeast corner of Kubota Drive and State Highway 121 and is currently zoned “CC” Community Commercial District.
29. **Final Plat** of Lots 1 and 2, Block 1, GHH Addition – Consider the recommendation of the Planning and Zoning Commission relative to the application submitted by Windrose Land Services requesting to plat unplatted property into two lots. The subject property is located at 717 and 721 East Wall Street and is currently zoned “R-7.5” Residential District.

ADJOURNMENT

In accordance with the Open Meetings Law, Texas Government Code, Chapter 551, I hereby certify that the above agenda was posted on the official bulletin boards at Grapevine City Hall, 200 South Main Street and on the City’s website on January 17, 2020 by 5:00 p.m.

Tara Brooks

Tara Brooks, TRMC, CRM
City Secretary



If you plan to attend this public meeting and you have a disability that requires special arrangements at the meeting, please contact the City Secretary’s Office at 817.410.3182 at least 24 hours in advance of the meeting. Reasonable accommodations will be made to assist your needs.

This meeting can be adjourned and reconvened, if necessary, the following regular business day.



CITY OF GRAPEVINE, TEXAS
REGULAR PLANNING AND ZONING COMMISSION MEETING
TUESDAY, JANUARY 21, 2020

GRAPEVINE CITY HALL, SECOND FLOOR
200 SOUTH MAIN STREET
GRAPEVINE, TEXAS 76051

-
- 7:00 p.m. Briefing Session - Planning and Zoning Commission Conference Room
7:30 p.m. Joint Meeting with City Council - City Council Chambers
7:30 p.m. Regular Session - Planning and Zoning Commission Conference Room
-

CALL TO ORDER: 7:00 p.m. - Planning and Zoning Commission Conference Room

BRIEFING SESSION

1. Planning and Zoning Commission to conduct a briefing session to discuss all items scheduled on tonight's agenda. No action will be taken. Each item will be considered during the Regular Session which immediately follows the Joint Public Hearings.

JOINT MEETING WITH CITY COUNCIL: 7:30 p.m. - City Council Chambers

2. Invocation and Pledge of Allegiance: Commissioner Monica Hotelling

JOINT PUBLIC HEARINGS

3. Conditional Use Permit **CU19-36** (Tate Retail Center) and **Final Plat** and Lots 1, 2 and 3, Block 1, Tate Street Plaza No. 2 – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Burger Engineering requesting a conditional use permit to amend the previously approved site plan CU12-10 (Ordinance No. 2012-17) allowing for a planned commercial center, specifically to adjust the property lines and to replat Lot 3R, Block 1, Tate Street Plaza And Lot 4-R-1, Block 1, Tate Street Plaza Revised. The subject property is located at 1231 William D. Tate Avenue and is currently zoned "CC" Community Commercial District.
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5. Conditional Use Permit **CU19-38** (Existing Chick-Fil-A) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application

submitted by Burger Engineering requesting a conditional use permit to amend the previously approved site plan CU99-74 (Ordinance No. 1999-185) for a planned commercial center, specifically to adjust the property lines of an existing drive through restaurant. The subject property is located at 1245 William D. Tate Avenue and is currently zoned "CC" Community Commercial District.

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Planning and Zoning Commission to recess to Planning and Zoning Commission Conference Room, Second Floor, to consider published agenda items.

REGULAR SESSION: 7:30 p.m. (Immediately following Joint Public Hearings) – Planning and Zoning Commission Conference Room

CITIZEN COMMENTS

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NEW BUSINESS

9. Conditional Use Permit **CU19-36** (Tate Retail Center) – Consider the application and make a recommendation to City Council.
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17. **Final Plat** of Lots 1 and 2, Block 1, GHH Addition – Consider the application and make a recommendation to City Council relative to the application submitted by Windrose Land Services requesting to plat unplatted property into two lots. The subject property is located at 717 and 721 East Wall Street and is currently zoned “R-7.5” Residential District.
18. Consider the minutes of the December 17, 2019 Regular Planning and Zoning Commission meeting.

NOTE: Following the adjournment of the Planning and Zoning Commission meeting, a representative will present the recommendations of the Planning and Zoning Commission to the City Council for consideration in the City Council Chambers.

ADJOURNMENT

In accordance with the Open Meetings Law, Texas Government Code, Chapter 551, I hereby certify that the above agenda was posted on the official bulletin boards at Grapevine City Hall, 200 South Main Street and on the City’s website on January 17, 2020 by 5:00 p.m.

Tara Brooks

Tara Brooks, TRMC, CRM
City Secretary



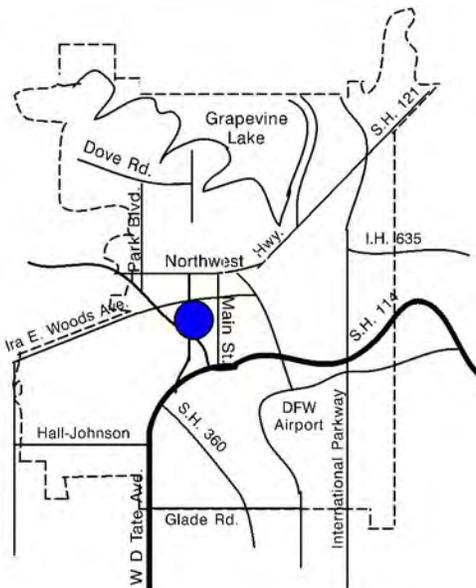
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TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER ^{BR}
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: JANUARY 21, 2020

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF
CONDITIONAL USE APPLICATION CU19-36 TATE RETAIL
CENTER



APPLICANT: Burger Engineering, LLC

PROPERTY LOCATION AND SIZE:

The subject property is located at 1231 William D. Tate Avenue. The addition contains 1.56 acres (67,936 square feet) and is proposed to be platted as Lot 3, Block 1, Tate Street Plaza No. 2. The property has approximately 178.39 feet of frontage along William D. Tate Avenue and approximately 271.79 feet along Ball Street.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to amend the previously approved site plan of CU12-10 (Ord. 2012-17) for a planned commercial center, specifically to adjust the property lines.

With this request, a new Chick-fil-A restaurant is proposed on the site previously occupied by the former Silver Fox restaurant. Currently, the former Silver Fox restaurant and an existing multi-tenant building (Tint World, Smoothie King, sandwich shop, and dental office) reside on the same lot; driveway realignment and required parking are triggering the subdivision of this lot into two separate lots whereby the multi-tenant building and the new Chick-fil-A will be placed upon their own separate lot. When completed there will be a total of three reconfigured lots which will contain the existing Chick-fil-A that will eventually be reimaged as new concept, the newly erected Chick-fil-A, and the multi-tenant retail

building. Relative to the existing multi-tenant building the total required parking for the existing uses is 71 spaces—95 parking spaces are provided.

PRESENT ZONING AND USE:

The subject site is zoned “CC” Community Commercial District and developed with a multi-tenant retail building.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject property was rezoned in the 1984 City Rezoning from “C-2” Community Business to “CN” Neighborhood Commercial. The subject property was later rezoned from “CN” Neighborhood Commercial District to “CC” Community Commercial District (Z87-01, Ord. 87-13), as a part of a 6.4 acre tract of land. On the subject site Conditional Use Permit CU93-15 (Ord. 94-14) amended the Planned Commercial Center to allow for the development of a Burger Street with a drive through which never developed. Firestone/Master Care Store developed as a result of Zone Case Z87-01. Conditional Use Permit CU92-22 (Ord. 92-84) was approved to allow a Planned Commercial Center designation and the development of a restaurant (Chick-Fil-A) with a drive-through window. Conditional Use Permit CU93-03 (Ord. 93-22) amended the Planned Commercial Center to allow the development of a restaurant (Good Eats) with on premise consumption of alcoholic beverages and two 20-foot pole signs. Conditional Use Permit CU93-15 (Ord. 94-14) amended the Planned Commercial Center to allow the development of a restaurant (Burger Street) with a drive through. Conditional Use Permit CU94-39 (Ord. 95-06) amended the Planned Commercial Center to allow additional parking for an automotive repair store on Lot 1R. Conditional Use request CU97-28 was approved by council allowing the addition of an 8,838 square foot retail space on lot 4R. Conditional Use Request CU97-48 was approved by Council allowing the removal of 0.849 acres from the subject property. The U.S. Post Office was developed in the tract south of this parcel and is zoned “GU” Governmental Use. The Bellaire Addition was rezoned from “R-1” Single Family to “R-7.5” Single Family in the 1984 City Rezoning. The tract to the west was rezoned from “CC” Community Commercial and “C-2” Community Business to “PCD” Planned Commerce Development. The property was rezoned from “PCD” Planned Commerce Development to “CC” Community Commercial Z92-09 (Ord. 92-85) and received a conditional use permit for a Planned Commercial Center CU92-23 (Ord. 92-86). The property is currently developed as Grapevine Town Center. Conditional Use Permit CU99-05 (Ord. 99-46) was approved at the March 23, 1999 joint public hearing for a 8,838 square foot retail building on the subject site. Also on the subject site, on February 15, 2000 Council considered and approved a request for a one year extension to the 8,838 square foot retail building. Conditional Use Permit CU12-01 was denied on the subject site for Tint World. At the March 21, 2012 meeting the City Council reconsidered CU12-01 and amended the denial to denial without prejudice. At the April 17, 2012 meeting the City Council approved Conditional Use Permit CU12-10 (Ord. 2012-17) for Tint World. West of the subject site Conditional Use Permit CU15-02 was approved by the Site Plan Review

Committee to revise exterior elevation for Taco Bell. The City Council at the September 15, 2015 meeting approved Conditional Use Permit CU15-37 (Ord. 2015-57) for a 20-foot pole sign for Ferrari's Italian Villa. North of the subject site and within the Planned Commercial Center, City Council at their December 15, 2015 meeting approved CU15-42 (Ord. 2015-077) to allow for a drive through with outside seating in conjunction with a restaurant.

West of the subject site Conditional Use Permit CU01-45 (Ord. 2001-75) was approved at the September 21, 2001 meeting to establish Caramba's Grill on the site of the former Esparza's Too restaurant. The City Council on October 21, 2003 approved Conditional Use Permit CU03-35 (Ord. 2004-63) to allow for an expansion of the restaurant and provide a take-out counter for Baja Mexican Grill. Conditional Use Permit CU07-34 (Ord. 2008-03) was approved at the January 15, 2008 meeting to allow for an expansion and outdoor dining for the restaurant. The Site Plan Review Committee at their march 7, 2018 meeting approved Conditional Use Permit CU18-06 to revise the floor plan and add square footage Baja Mexican Grill by combining El Taco with Baja Mexican Grill.

SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH: "CN" – Neighborhood Commercial District – Shell Convenience Store and Northeast Animal Hospital
- SOUTH: "GU" - Governmental Use District - U.S. Post Office
- EAST: "R-7.5" - Single Family District - Bellaire Addition - "CN" - Neighborhood Commercial - Shell Convenience Store and "PO" Professional Office District – Professional Offices
- WEST: "CC" - Community Commercial District - Grapevine Town Center, Ferrari's Italian Villa and multi-tenant retail including Baja Mexican Grill

AIRPORT IMPACT:

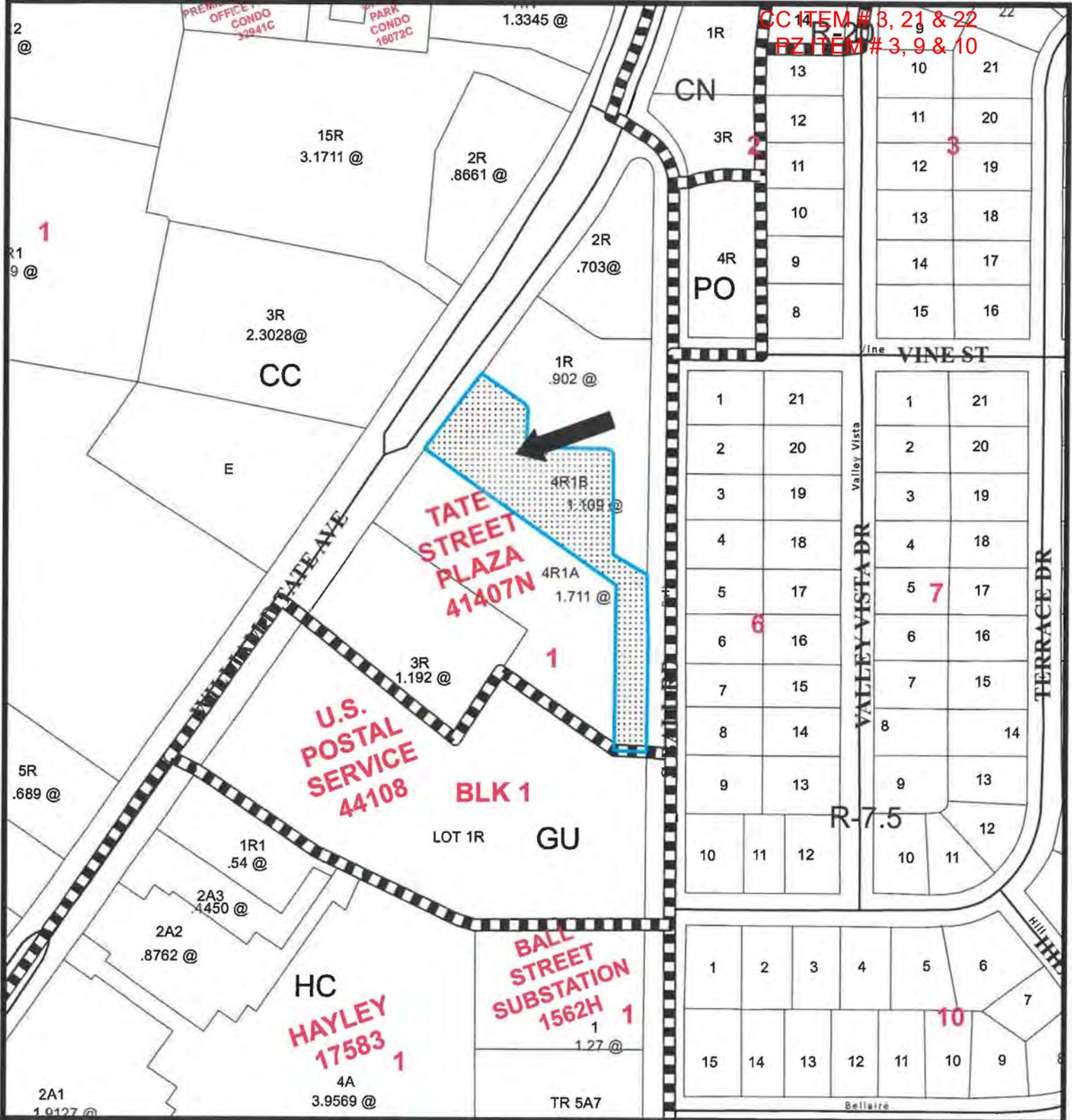
The subject tract is located within "Zone A" zone of minimal effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map. Few activities will be affected by aircraft sounds in Zone A, except for sound sensitive activities such as auditoriums, churches, schools, hospitals, and theaters. The existing retail building is an appropriate use in this noise zone.

MASTER PLAN APPLICATION:

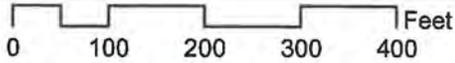
The Master Plan designates the subject property as Commercial. The applicant's request is in compliance with the Master Plan.

THOROUGHFARE PLAN APPLICATION:

The Thoroughfare Plan designates William D. Tate Avenue as a Type C Minor Arterial with a minimum 80-foot of right-of-way developed as four lanes with a center left turn lane.



CC ITEM # 3, 21 & 22
 PZ ITEM # 3, 9 & 10



CU19-36 Tate Retail Center

Date Prepared: 1/7/2020

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

CU19-36



CITY OF GRAPEVINE

CONDITIONAL USE APPLICATION

Form "A"

PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact

Burger Engineering, LLC c/o Bryan M. Burger, P.E.

Street address of applicant / agent:

17103 Preston Road, Suite 180N

City / State / Zip Code of applicant / agent:

Dallas, Texas 75248

Telephone number of applicant / agent:

972-630-3360

Fax number of applicant/agent

972-630-3380

Email address of applicant/agent

Mobile phone number of applicant/agent

214-693-8572

PART 2. PROPERTY INFORMATION

Street address of subject property

William D. Tate Avenue 1231

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot 1 Block 1 Addition Tate Street Plaza No. 2

Size of subject property

Acres

Square footage

Present zoning classification:

CC

Proposed use of the property:

Retail / Office / Restaurant

Circle yes or no, if applies to this application

Outdoor speakers Yes No

Minimum / maximum district size for conditional use request:

Zoning ordinance provision requiring a conditional use:

CC zoning requires a conditional use permit.

PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:

Tate/Ball #1, LP

Street address of property owner:

8350 N. Central Expressway, Suite 1300

City / State / Zip Code of property owner:

Dallas, Texas 75206

Telephone number of property owner:

214-891-3200

Fax number of property owner:

N/A

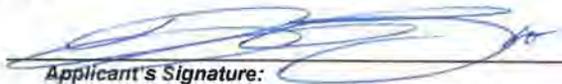
CU19-36

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY

Bryan M. Burger, P.E.

Print Applicant's Name:

Applicant's Signature: 

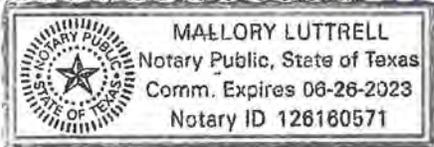
The State of Texas

County Of Dallas

Before Me Mallory Luttrell (notary) on this day personally appeared Bryan M. Burger, P.E. (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 19th day of November, A.D. 2019.



Mallory Luttrell
Notary In And For State Of Texas

PRESTON EVANS

Print Property Owners Name:

Property Owner's Signature: 

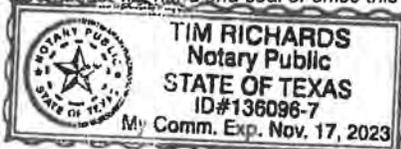
The State Of Texas

County Of Dallas

Before Me Tim Richards (notary) on this day personally appeared Preston EVANS (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 18th day of November, A.D. 2019.



Tim Richards
Notary In And For State Of Texas

DEC 2 2019

CU19-36

ACKNOWLEDGEMENT

All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant



Date: 11-19-19

Signature of Owner



Date: 11-18-19

CU19-37
CU19-38

B | BURGER
ENGINEERING
Civil Consultants

November 29, 2019

City of Grapevine
Development Services Planning Division
200 S. Main Street
Grapevine, Texas 76051

Re: Chick-fil-A
1235 William D. Tate Avenue
Lot 2, Block 1 – Tate Street Plaza No. 2
Grapevine, Texas
B.E. No. 013-303

Dear Planning Division,

Chick-fil-A, Inc. is submitting the attached conditional use/site plan application to amend the existing site plan, for the above referenced location. The existing dine in restaurant will be demolished and a new dine in and drive through Chick-fil-A restaurant will be built in its place. The new Chick-fil-A restaurant will include an approximately 5,200 square foot restaurant, associated parking, drive lanes, landscaping, drive through lanes, as well as drive through canopies at the order point and meal delivery locations. The new building construction will allow Chick-fil-A to improve the customer's experience at this location by adding additional kitchen capacity, drive through stacking and dine in seating. The order and meal delivery canopies allow Chick-fil-A team members to work outdoors while being protected from the weather elements (sun, rain, cold, etc.). The canopy areas improve the customer's experience in the drive-through lane by increasing order and meal delivery speed currently being provided by Chick-fil-A team members during the face to face ordering process.

The approval of the conditional use/site plan application will be an improvement for Chick-fil-A, the City of Grapevine, and customers who frequent this Chick-fil-A location. The proposed conditional use/site plan also substantially conforms to the master development plan.

Please contact our office if you have any questions or comments.

Sincerely,



Bryan M. Burger, P.E.

BRYAN M. BURGER, P.E.



ORDINANCE NO. 2020-004

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS ISSUING CONDITIONAL USE PERMIT CU19-36 TO AMEND THE PREVIOUSLY APPROVED SITE PLAN CU12-10 (ORDINANCE NO. 2012-17) FOR A PLANNED COMMERCIAL CENTER TO ADJUST THE PROPERTY LINES IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT LOCATED ON LOT 1, BLOCK 1, TATE STREET PLAZA NO. 2 (1231 WILLIAM D. TATE AVENUE) ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73, ATTACHED HERETO AND MADE A PART HEREOF AS EXHIBIT "A", AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking

facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU19-36 to amend the site plan approved by Ordinance No. 2012-17 for a planned commercial center to allow automotive repair, specifically to adjust the property lines in conjunction with a multi-tenant retail building (Tate Retail Center) in a district zoned "CC" Community Commercial District within the following described property: Lot 1, Block 1, Tate Street Plaza No. 2 (1231 William D. Tate Avenue) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. That the City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safely from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. That this ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of

land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. That any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 21st day of January, 2020.

APPROVED:

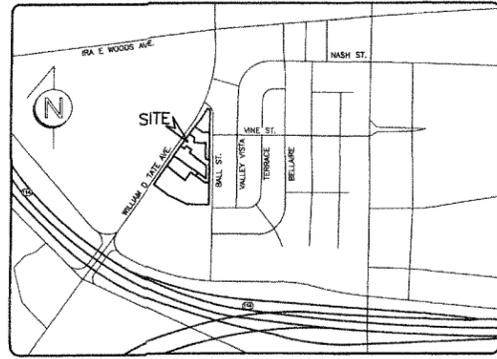
William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

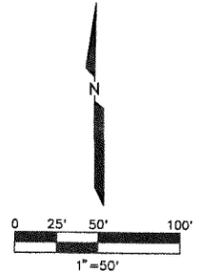
City Attorney



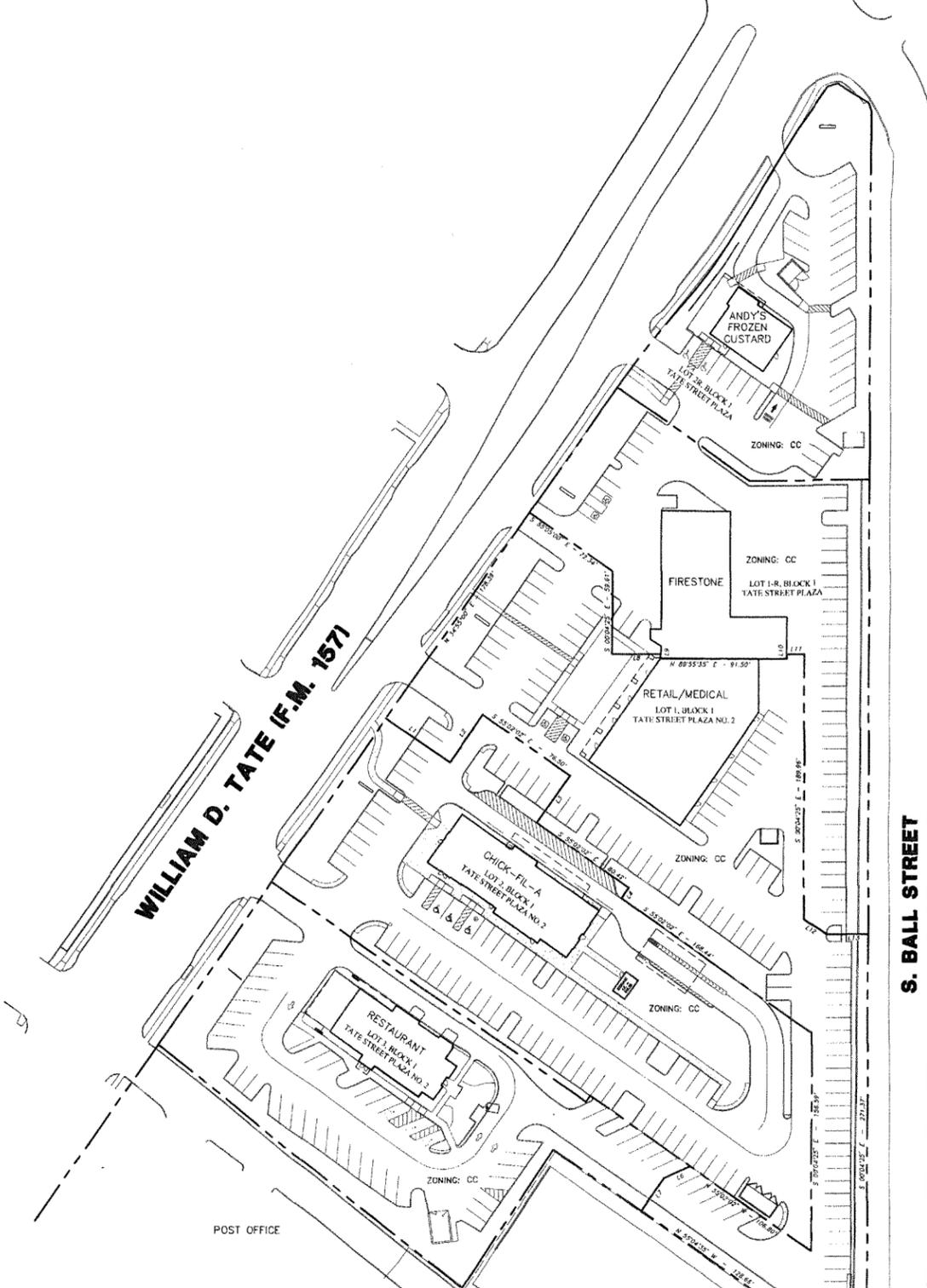
VICINITY MAP
NTS

~ BOUNDARY LINE DATA TABLE ~

NO.	BEARING	DISTANCE
L1	S 55°02'02" E	55.62'
L2	N 34°57'58" E	41.00'
L3	S 34°57'58" W	41.00'
L4	S 34°57'58" W	9.36'
L6	N 64°57'58" E	20.78'
L7	N 34°55'25" E	28.61'
L8	N 89°55'35" E	34.81'
L9	S 00°04'25" E	3.45'
L10	N 00°04'25" W	3.45'
L11	N 89°55'35" E	12.50'
L12	S 55°06'12" E	19.88'
L13	N 89°55'35" E	28.90'



Conditional Use Permit CU19-36 is a request to amend the previously approved site plan of CU12-10 (Ord. 2012-17) for a planned commercial center to allow for automotive repair, specifically to adjust the property lines.



PROJECT DATA TABLE

LOT NUMBER	LAND AREA	BUILDING AREA	USE	PARKING REQUIRED	PARKING PROVIDED	BUILDING COVERAGE	LANDSCAPED AREA	PERVIOUS SURFACE	IMPERVIOUS SURFACE	LANDSCAPE PERCENTAGE
ANDY'S FROZEN CUSTARD - LOT 2R, BLOCK 1 - TATE STREET PLAZA	30,870 S.F.	1,605 S.F.	RESTAURANT	17 SPACES	29 SPACES	5.23%	10,949 S.F.	10,949 S.F.	19,721 S.F.	35.7%
FIRESTONE - LOT 1-R, BLOCK 1 - TATE STREET PLAZA REVISED	39,294 S.F.	6,550 S.F.	AUTO REPAIR	52 SPACES	52 SPACES	16.67%	9,157 S.F.	9,157 S.F.	30,137 S.F.	23.3%
RETAIL/MEDICAL - LOT 1, BLOCK 1 - TATE STREET PLAZA NO. 2	67,936 S.F.	8,955 S.F.	RETAIL/MEDICAL	71 SPACES	95 SPACES	13.18%	13,773 S.F.	13,773 S.F.	54,163 S.F.	20.3%
CHICK-FIL-A - LOT 2, BLOCK 1 - TATE STREET PLAZA NO. 2	61,243 S.F.	5,348 S.F.	RESTAURANT	47 SPACES	73 SPACES	8.73%	12,279 S.F.	12,279 S.F.	48,964 S.F.	20.0%
RESTAURANT - LOT 3, BLOCK 1 - TATE STREET PLAZA NO. 2	4,660 S.F.	3,632 S.F.	RESTAURANT	42 SPACES	47 SPACES	7.95%	13,885 S.F.	13,885 S.F.	31,775 S.F.	30.4%

Case Name: Multi-Tenant Building
Case Number: CU19-36
Location: 1231 William D. Tate Avenue
Grapevine, Texas 76051

Mayor _____ Secretary _____

Date: _____

PLANNING AND ZONING COMMISSION

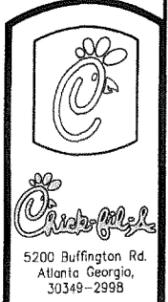
Chairman _____

Date: _____

Sheet 1 of 6

Approval does not authorize any work in conflict with any codes or ordinances.

DEPARTMENT OF DEVELOPMENT SERVICES



Revisions:

Mark	Date	By
△		
△		
△		



1231 WILLIAM D. TATE AVENUE
LOT 1, BLOCK 1
TATE STREET PLAZA NO. 2
THE CITY OF GRAPEVINE, TEXAS

STORE SERIES

SHEET TITLE
MASTER SITE PLAN

For Permit
 For Bid
 For Construction

Job No. : 013-303
Store : 04480
Date : 11/7/19
Drawn By : RMP
Checked By : BMB

Sheet
MSP

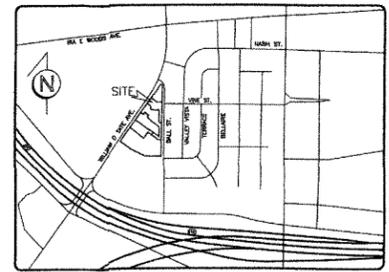
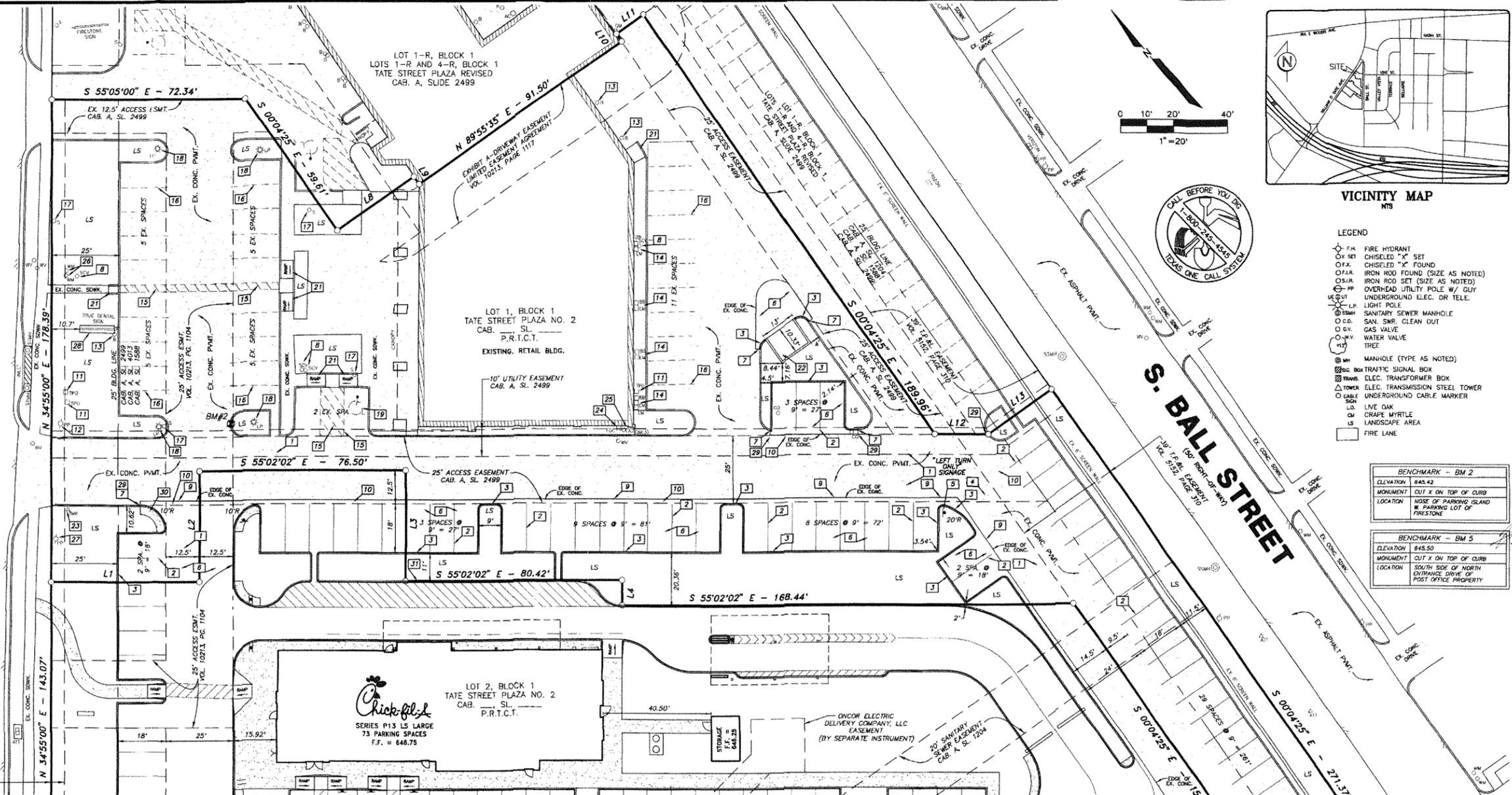
B|BURGER ENGINEERING

17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380
TWP: P-12997

BOUNDARY LINE DATA TABLE

NO.	BEARING	DISTANCE
L1	S 55°02'02" E	55.82'
L2	N 34°57'58" E	41.00'
L3	S 34°57'58" W	41.00'
L4	S 34°57'58" W	9.36'
L6	N 64°57'58" E	20.78'
L7	N 34°55'25" E	28.61'
L8	N 89°55'35" E	34.81'
L9	S 0°04'25" E	3.45'
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L11	N 89°55'35" E	12.50'
L12	S 55°06'12" E	19.88'
L13	N 89°55'35" E	28.90'

WILLIAM D. TATE
(VARIABLE WIDTH RIGHT-OF-WAY)



VICINITY MAP

LEGEND

- F.H. FIRE HYDRANT
- CHISELED "X" SET
- CHISELED "X" FOUND
- I.R. IRON ROD FOUND (SIZE AS NOTED)
- I.R. IRON ROD SET (SIZE AS NOTED)
- O.U. OVERHEAD UTILITY POLE W/ GUY
- U.E. UNDERGROUND ELEC. OR TELE.
- L.P. LIGHT POLE
- S.S. SANITARY SEWER MANHOLE
- C.D. SAN. SWR. CLEAN DUT
- G.V. GAS VALVE
- W.V. WATER VALVE
- T. TREE
- M.H. MANHOLE (TYPE AS NOTED)
- T.S.B. TRAFFIC SIGNAL BOX
- T.B. ELEC. TRANSFORMER BOX
- T.S.T. ELEC. TRANSMISSION STEEL TOWER
- C.M. UNDERGROUND CABLE MARKER
- L.O. LIVE OAK
- C.M. CRAPE MYRTLE
- L.S. LANDSCAPE AREA
- F.L. FIRE LANE

BENCHMARK - BM 2
ELEVATION 845.42
MONUMENT CUT X ON TOP OF CURB
LOCATION NOSE OF PARKING ISLAND W. PARKING LOT OF FIRESTONE

BENCHMARK - BM 5
ELEVATION 845.50
MONUMENT CUT X ON TOP OF CURB
LOCATION SOUTH SIDE OF NORTH ENTRANCE DRIVE OF POST OFFICE PROPERTY

LAYOUT NOTES

- 1 PAINTED TRAFFIC ARROW
- 2 PARKING STALLS / 4" PAINTED STRIPE
- 3 INTEGRAL CONCRETE CURB (SEE SHEET C-7)
- 4 STOP BAR
- 5 DIRECTIONAL SIGNAGE
- 6 CONCRETE PAVEMENT
- 7 MATCH EX. CURB
- 8 EX. SPRINKLER VALVE
- 9 MATCH EX. CONCRETE/ASPHALT PAVEMENT
- 10 FIRE LANE STRIPING
- 11 EX. TELEPHONE PEDESTAL
- 12 EX. POLE MOUNTED TRANSFORMER
- 13 EX. BOLLARD
- 14 EX. BREAKER BOX / ELEC. METER
- 15 EX. STRIPING
- 16 EX. PAINTED STRIPE
- 17 EX. DIRECTIONAL SIGNAGE
- 18 EX. LIGHT POLE
- 19 EX. HANDICAP SYMBOL
- 20 PROP. COMBINATION MALET
- 21 EX. CURBED RAMP
- 22 DUMPSTER AREA W/ SCREENING
- 23 EX. TELEPHONE MARKER
- 24 EX. F.D.C. LOCATION
- 25 EX. GAS METER LOCATION

- 26 EX. WATER METER
- 27 EX. POWER POLE
- 28 EX. SIGN
- 29 MATCH EX. FIRE LANE
- 30 CONCRETE RADIUS PROTECTION
- 31 CONST. BACK OF CURB ALONG LOT LINE
- 32 CONST. FACE OF CURB ALONG LOT LINE
- 33 CONTRACTION JOINT (SEE SHEET C-7)
- 34 CONTRACTION JOINT (SEE SHEET C-7)

SITE DATA

ZONING:	CC (COMMUNITY COMMERCIAL)
LOT AREA:	1.559 ACRES (67,936 S.F.)
PROPOSED USE:	RETAIL
BUILDING AREA:	8,955 S.F.
F.A.R.:	0.131
PARKING REQUIRED:	71 SPACES
PARKING PROVIDED:	85 SPACES
BUILDING HEIGHT:	1 STORY
PROP. LANDSCAPE AREA:	13,773 S.F. (20.27%)
PROP. PAVED AREA:	45,328 S.F. (66.72%)

MAXIMUM OCCUPANCY CALCULATIONS (RESTAURANT):
SEATING AREA = 1,334 S.F./15 = 89
KITCHEN AREA = 1,546 S.F./200 = 8
97 OCCUPANTS

PARKING CALCULATIONS:
RESTAURANT = 97 OCCUPANTS/3 = 33 SPACES
DENTAL = 2,452 S.F./150+5 = 22 SPACES
AUTO ACCESSORY = 3,288 S.F./200 = 16 SPACES
71 SPACES

NOTES

1. ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT ENGINEERING SPECIFICATIONS AND/OR CITY STANDARD SPECIFICATIONS, WHICHEVER IS MORE RESTRICTIVE.
2. ALL CONSTRUCTION IN CITY RIGHT-OF-WAYS AND/OR EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD SPECIFICATIONS.
3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
4. THE CONTRACTOR SHALL GIVE THE CITY A MINIMUM OF 48 HOURS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
6. IF CONTRACTOR FINDS A DISCREPANCY WITH THE TOPOGRAPHIC INFORMATION ON THESE PLANS, HE/SHE SHALL CONTACT THE CONSTRUCTION MANAGER/SUPERVISOR IMMEDIATELY.
7. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BRICK, OR AS OTHERWISE NOTED.
8. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
9. BUILDING IS PARALLEL AND PERPENDICULAR TO THE NORTHEAST PROPERTY LINE.
10. ALL RADII ARE 2' UNLESS OTHERWISE NOTED.
11. ALL REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE CONSTRUCTION PERIOD.

Case Name: Multi-Tenant Building
Case Number: CU19-36
Location: 1231 William D. Tate Avenue
Grapevine, Texas 76051

Mayor _____ Secretary _____

Date: _____

PLANNING AND ZONING COMMISSION

Chairman _____

Date: _____

Sheet 2 of 6

Approval does not authorize any work in conflict with any codes or ordinances.

DEPARTMENT OF DEVELOPMENT SERVICES

Conditional Use Permit CU19-36 is a request to amend the previously approved site plan of CU12-10 (Ord. 2012-17) for a planned commercial center to allow for automotive repair, specifically to adjust the property lines.

ENGINEER:
BURGER ENGINEERING, LLC
17103 PRESTON ROAD, SUITE 180N
ATLANTA, GEORGIA 30349
PHONE: (404) 785-8000
DALLAS, TEXAS 75248
PHONE: (972) 630-3360
CONTACT: BRYAN M. BURGER, P.E.
EMAIL: BBURGER@BURGERENGINEERING.COM

APPLICANT:
CHICK-FIL-A, INC.
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
PHONE: (404) 785-8000
CONTACT: GETRA THOMASDN-SANDERS
EMAIL: GETRA.SANDERS@CFACORP.COM

BURGER ENGINEERING

17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380
TBPE: 12997



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By

1231 WILLIAM D. TATE AVENUE
LOT 1, BLOCK 1
TATE STREET PLAZA NO. 2
THE CITY OF GRAPEVINE, TEXAS

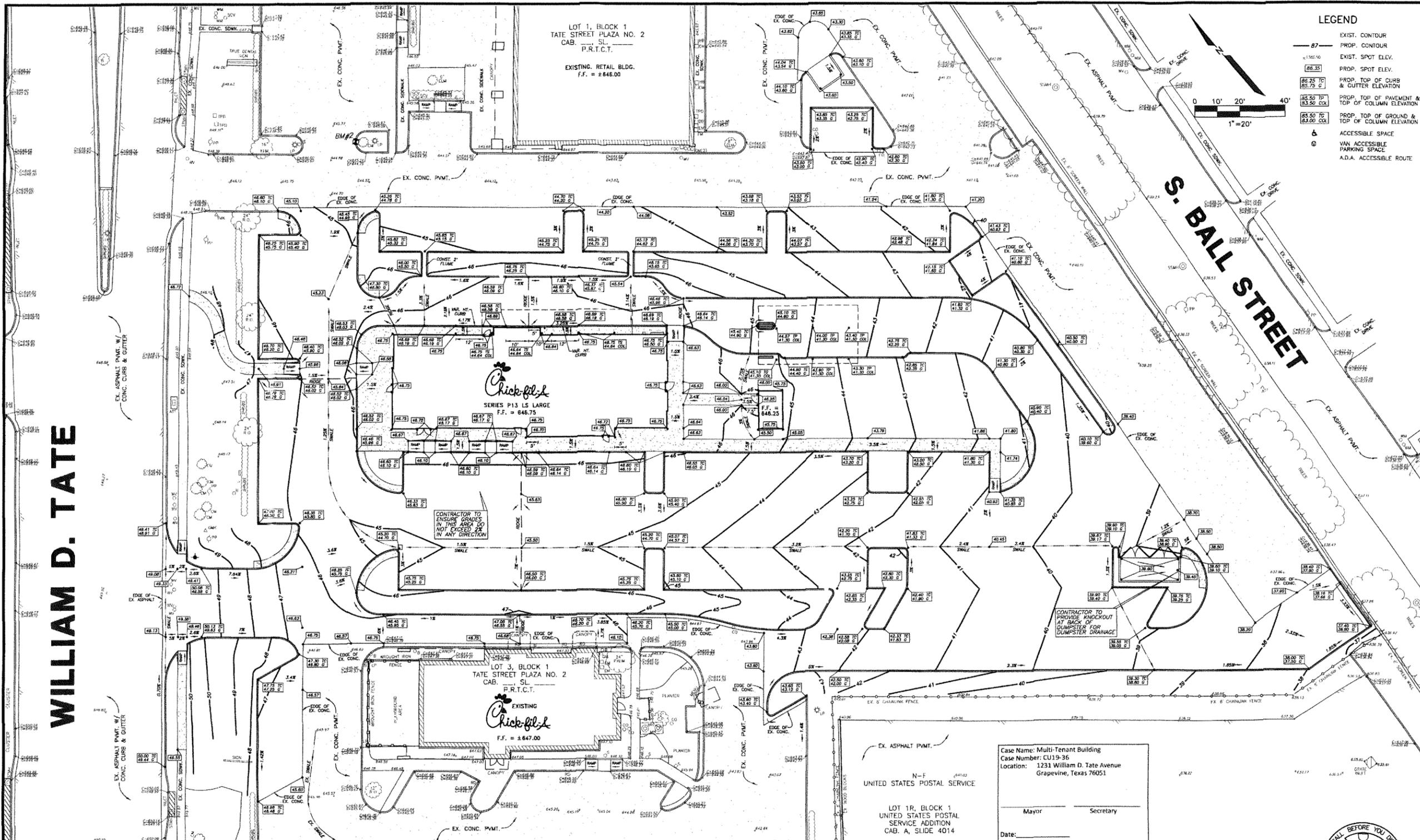
STORE SERIES

SHEET TITLE
DIMENSIONAL CONTROL SITE PLAN

For Permit
For Bid
For Construction

Job No. : 013-303
Store : 04480
Date : 11/7/19
Drawn By : RMP
Checked By : BMB

Sheet
C-3



LEGEND

- 87 — EXIST. CONTOUR
- — — PROP. CONTOUR
- 1156.90 EXIST. SPOT ELEV.
- 86.35 PROP. SPOT ELEV.
- 86.25 TO 85.75 C PROP. TOP OF CURB & GUTTER ELEVATION
- 84.50 TO 84.00 C PROP. TOP OF PAVEMENT & TOP OF COLUMN ELEVATION
- 83.50 TO 83.00 C PROP. TOP OF GROUND & TOP OF COLUMN ELEVATION
- ♻️ ACCESSIBLE SPACE
- ⓪ VAN ACCESSIBLE PARKING SPACE
- Ⓜ A.D.A. ACCESSIBLE ROUTE

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
△		
△		
△		

1231 WILLIAM D. TATE AVENUE
LOTS 1-3, BLOCK 1
TATE STREET PLAZA NO. 2
THE CITY OF GRAPEVINE, TEXAS

STORE
SERIES
P13 LS LARGE

SHEET TITLE
GRADING & DRAINAGE PLAN

For Permit
 For Bid
 For Construction
 Job No. : 013-303
 Store : 04480
 Date : 7/9/19
 Drawn By : RMP
 Checked By: BMB
 Sheet

C-4

- GRADING NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND CITY STANDARDS AND SPECIFICATIONS.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
 - BARRICADE, TRAFFIC CONTROL, AND PROJECT SIGN SHALL CONFORM TO "STATE DEPARTMENT OF HIGHWAYS AND PUBLIC TRANSPORTATION BARRICADE AND CONSTRUCTION STANDARDS" AND CITY SPECIFICATIONS.
 - THE CONTRACTOR SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENT TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE IS ACCEPTABLE IF NECESSARY, UPON PRIOR APPROVAL OF THE ENGINEER. PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
 - ALL PROPOSED CONTOURS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
 - REFER TO SITE PLAN FOR HORIZONTAL DIMENSIONS.
 - SITE PREPARATION AND GRADING, FOUNDATION EXCAVATION AND FILL COMPACTION SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION.
 - GRATE INLETS TO BE PRECAST, SINGLE GRATE INLET MANUFACTURED BY BROOKS PRODUCTS INC. (R-87-467-8783) WITH TRAFFIC BEARING GRATE, OR APPROVED EQUAL.
 - CONTRACTOR TO ENSURE GRADES IN ACCESSIBLE ROUTE DO NOT EXCEED 0% IN THE RUN DIRECTION W/A 2% CROSS SLOPE.

CONSTRUCTION SEQUENCE

- OBTAIN GRADING PERMIT.
- INSTALL ALL EROSION CONTROL MEASURES AND DEVICES THAT CAN BE INSTALLED PRIOR TO SITE CLEARING.
- CLEAR SITE.
- INSTALL ANY REMAINING CONTOUR MEASURES AND DEVICES THAT COULD NOT BE INSTALLED PRIOR TO SITE CLEARING.
- GRADE SITE.
- INSTALL ALL UNDERGROUND UTILITIES. INSTALL EROSION CONTROL AROUND CATCH BASINS AND INLETS.
- INSTALL PAVEMENT.
- INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBED GRASSY & CONCRETE AREAS HAVE BEEN REVEGETATED OR SOGGED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND A MOVABLE STRAND OF GRASS IS ACHIEVED.

BENCHMARK - BM 2		BENCHMARK - BM 5	
ELEVATION	845.42	ELEVATION	845.50
MONUMENT	CUT X ON TOP OF CURB	MONUMENT	CUT X ON TOP OF CURB
LOCATION	NORSE OF PARKING ISLAND IN PARKING LOT OF PRESTONE	LOCATION	SOUTH SIDE OF NORTH ENTRANCE DRIVE OF POST OFFICE PROPERTY

Case Name: Multi-Tenant Building
Case Number: CU19-36
Location: 1231 William D. Tate Avenue
Grapevine, Texas 76051

Mayor _____ Secretary _____

Date: _____

PLANNING AND ZONING COMMISSION

Chairman _____

Date: _____

Sheet 3 of 6

Approval does not authorize any work in conflict with any codes or ordinances.

DEPARTMENT OF DEVELOPMENT SERVICES

BURGER ENGINEERING

17103 Preston Road, Suite 187N
Dallas, Texas 75248
Office: 972.830.3360 Fax: 972.830.3380
T/Fax: 972.830.3380





Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

MAYSE & ASSOCIATES INC.
Architecture • Planning • Construction Management

14201 Occum Dr. Suite 800
Dallas, TX 75244-3336 Fax (972) 395-0336
www.MayseAssociates.com



12/30/2019 12:08:17 PM

CHICK-FIL-A
GRAPEVINE
1231 WILLIAM D TATE AVE
GRAPEVINE, TX 76051

FSR#04480
BUILDING TYPE / SIZE: LS / ALL
RELEASE: V2_19.08

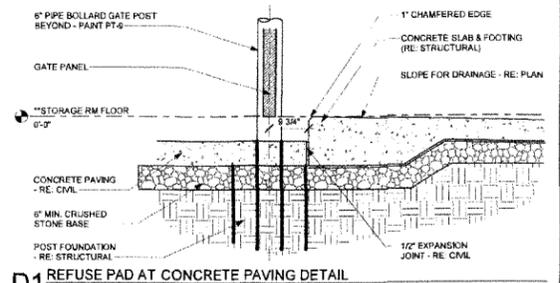
REVISION SCHEDULE

NO.	DATE	DESCRIPTION

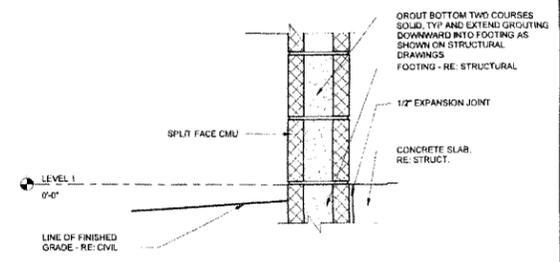
Case Name: Multi-Tenant Building
Case Number: CU19-36
Location: 1231 William D. Tate Avenue
Grapevine, Texas 76051

Mayor _____ Secretary _____
Date: _____
PLANNING AND ZONING COMMISSION
Chairman _____

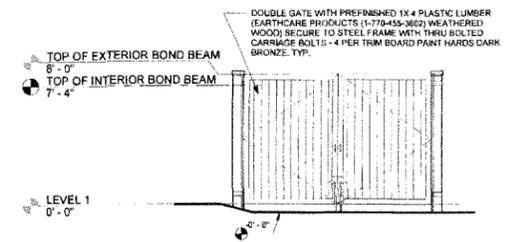
Date: _____
Sheet 4 of 6
Approval does not authorize any work in conflict with any codes or ordinances.
DEPARTMENT OF DEVELOPMENT SERVICES



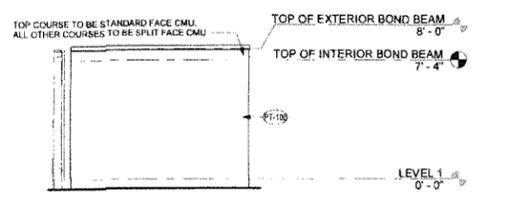
D1 REFUSE PAD AT CONCRETE PAVING DETAIL
1/4" = 1'-0"



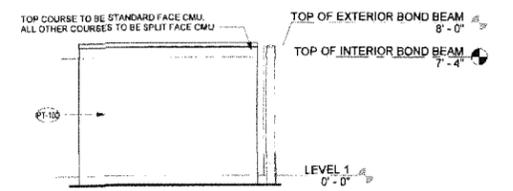
C1 REFUSE ENCLOSURE BASE DETAIL
1/4" = 1'-0"



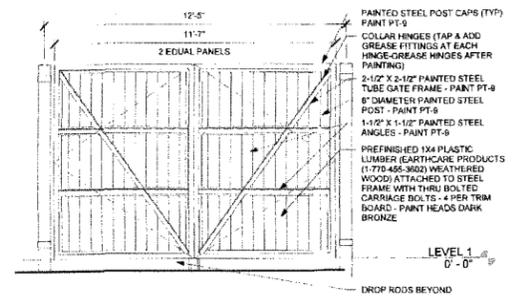
D2 REFUSE ENCLOSURE-EX FRONT ELEVATION
1/4" = 1'-0"



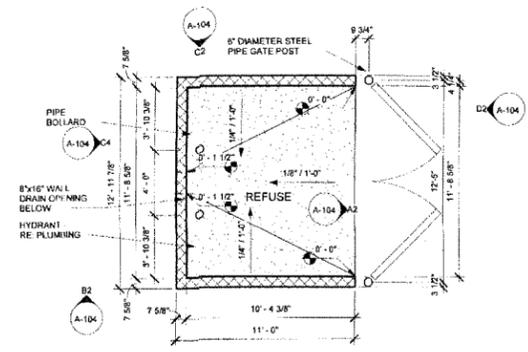
C2 REFUSE ENCLOSURE EX SIDE ELEVATION
1/4" = 1'-0"



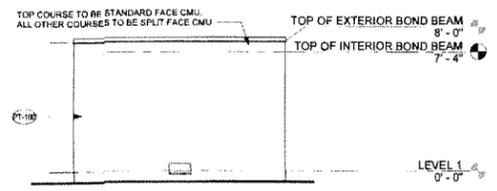
B2 REFUSE ENCLOSURE - EX SIDE ELEVATION
1/4" = 1'-0"



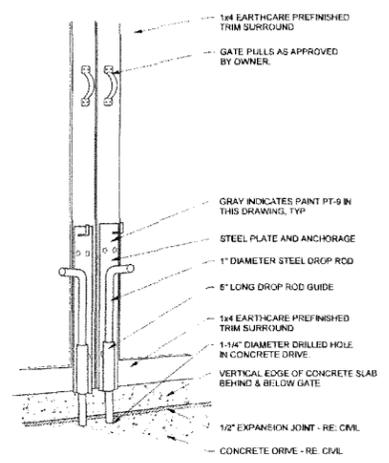
A2 REFUSE ENCLOSURE ELEVATION
3/8" = 1'-0"



D4 REFUSE ENCLOSURE-EX
1/4" = 1'-0"



C4 REFUSE ENCLOSURE EX- BACK ELEVATION
1/4" = 1'-0"



A3 REFUSE ENCLOSURE DROP ROD 3-D DETAIL
N.T.S.

REFUSE ENCLOSURE/ STORAGE ROOM NOTES
1. IN THE ARCHITECTURAL DRAWINGS, REFUSE ENCLOSURE AND MAIN BUILDING ARE BOTH NOTED WITH FINISH SLAB AT 0'-0". ACTUAL FINISH SLAB HEIGHTS WILL VARY BETWEEN MAIN BUILDING AND REFUSE ENCLOSURE. REFER TO CIVIL FOR ALL FINISH SLAB HEIGHTS.

CONSULTANT PROJECT # 19030
PRINTED FOR IFP
DATE 12/30/2019 12:08:17 PM
DRAWN BY Designer
SHEET REFUSE ENCLOSURE-EX
SHEET NUMBER **A-104**

Chick-fil-A
Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998



Kurzynske
& Associates
2900 Lebanon Pike, Ste 201
Nashville, Tennessee 37214
Telephone: (615) 255-5203
Fax: (615) 255-5207
Email: mail@kurzynske.com

TEXAS BOARD OF PROFESSIONAL ENGINEERS FIRM NUMBER 10225



01/06/20

CHICK-FIL-A
GRAPEVINE FSU
1231 WILLIAM D. TATE AVENUE
GRAPEVINE, TX 76051

FSR# 04480

REVISION	SCHEDULE	DESCRIPTION
NO.	DATE	

Case Name: Multi-Tenant Building
Case Number: CU19-35
Location: 1231 William D. Tate Avenue
Grapevine, Texas 76051

Mayor _____ Secretary _____
Date: _____
PLANNING AND ZONING COMMISSION
Chairman _____

Approval does not authorize any work in conflict with any codes or ordinances.

DEPARTMENT OF DEVELOPMENT SERVICES

CURRENT DESIGN	2019-XX
NOTE APPLIED	
DISCIPLINE'S PROJECT	18192.MAL.S
NUMBER	PERMIT
PRINTED	
DATE	02/20/2019
DRAWN BY	BTS

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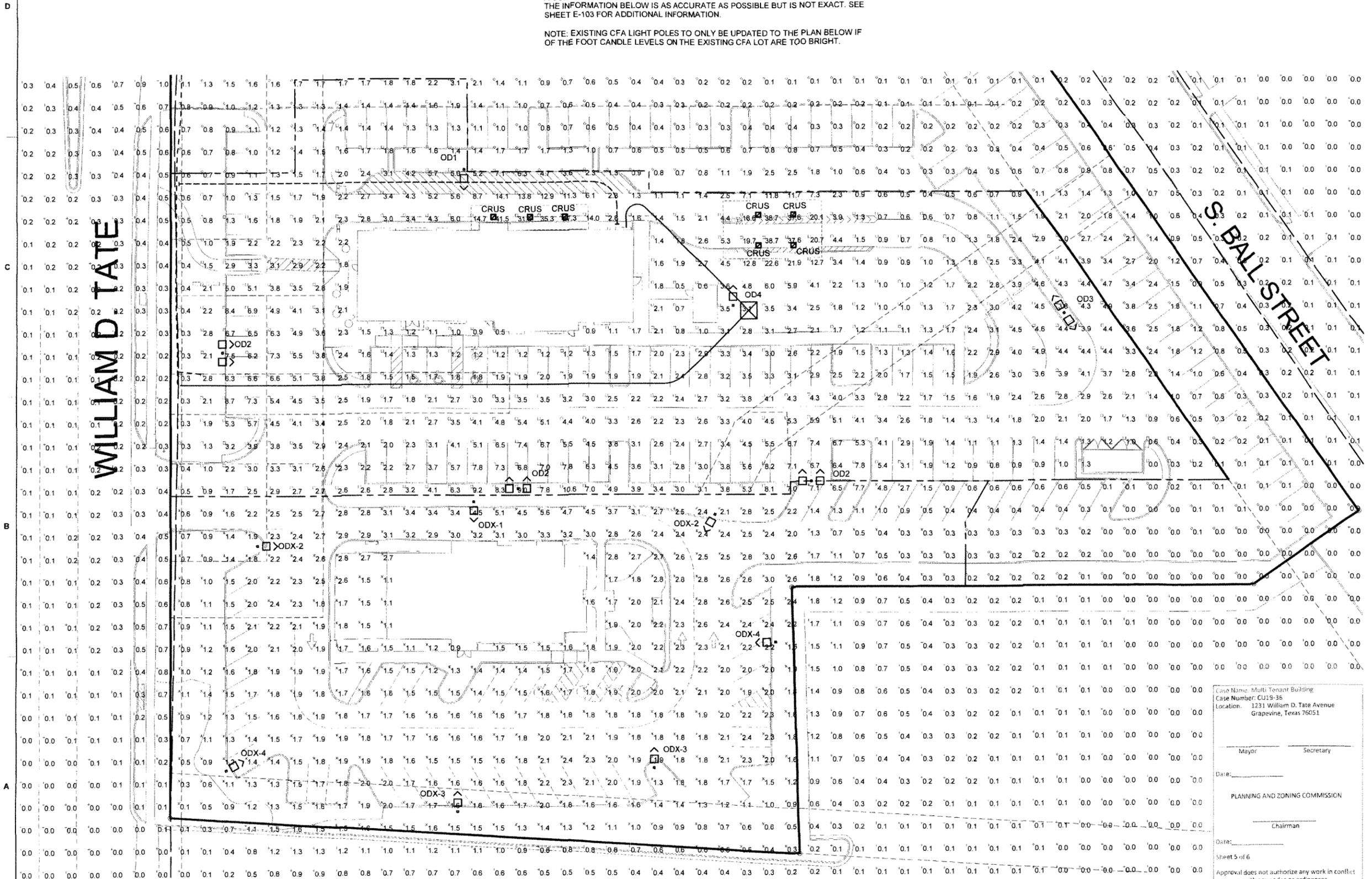
SHEET
PHOTOMETRIC PLAN

SHEET NUMBER

E-102.

NOTE: IES FILES FOR THE EXISTING CFA LOT WERE NOT AVAILABLE. A COMPARABLE FIXTURE HAS BEEN USED TO ESTIMATE THE LIGHT LEVELS ON SITE. THE INFORMATION BELOW IS AS ACCURATE AS POSSIBLE BUT IS NOT EXACT. SEE SHEET E-103 FOR ADDITIONAL INFORMATION.

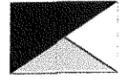
NOTE: EXISTING CFA LIGHT POLES TO ONLY BE UPDATED TO THE PLAN BELOW IF OF THE FOOT CANDLE LEVELS ON THE EXISTING CFA LOT ARE TOO BRIGHT.



A1 PHOTOMETRIC PLAN (CFA LOTS)
1" = 20'-0"

Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998



Kurzynske & Associates
2900 Lebanon Pike, Ste 201
Nashville, Tennessee 37214
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Fax: (615) 255-5207
Email: mail@kurzynske.com

TEXAS BOARD OF PROFESSIONAL ENGINEERS FIRM NUMBER 10225



01/06/20

Description	Symbol	Label	Quantity	Manufacturer	Catalog Number	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
		OD1	1	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C40-D-UNV-T3-BZ-HSS	2	7789	0.9	131
		OD2	3	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C40-D-UNV-T4-BZ-HSS-L90-R90	2	7789	0.9	282
		OD3	1	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C60-D-UNV-T5-BZ	2	10678	0.9	306
		OD4	1	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C60-D-UNV-T5-BZ	2	10678	0.9	153
		ODX-1	1	EATON - LUMARK (FORMER COOPER LIGHTING)	DEVELOPER-PRV-C60-D-UNV-T2-BZ	2	10042	0.9	153
		ODX-2	2	EATON - LUMARK (FORMER COOPER LIGHTING)	DEVELOPER-PRV-C60-D-UNV-T3-BZ	2	10029	0.9	153
		ODX-3	3	EATON - LUMARK (FORMER COOPER LIGHTING)	DEVELOPER-PRV-C60-D-UNV-T4-BZ	2	8993	0.9	153
		ODX-4	4	EATON - LUMARK (FORMER COOPER LIGHTING)	DEVELOPER-PRV-C40-D-UNV-T4-BZ-HSS	2	7759	0.9	131
		ODX-5	1	EATON - LUMARK (FORMER COOPER LIGHTING)	DEVELOPER-PRV-C60-D-UNV-T5-BZ	2	10678	0.9	306
		CRUS	7	LSI INDUSTRIES, INC	CRUS-SC-LED-LW30	1	8966	0.95	73.5
		EXD-1	3	Existing Developer Hubbell Outdoor	LNC-SLU-3K-3-X	1	833	0.95	12.9
		EXD-2	7	Existing Developer Lithonia Lighting	WSR LED P1 SR2 30K MVOLT	1	2111	0.95	19.56

OD POLE SHALL BE A SQUARE STRAIGHT STEEL POLE BY KW SSP18-4 0-7-BRZ-DM10-BC (Single Luminaire Pole)
OD POLE SHALL BE A SQUARE STRAIGHT STEEL POLE BY KW SSP18-4 0-7-BRZ-DM2180-BC (Double Luminaire Pole)

NOTE: PHOTOMETRIC INFORMATION FOR THE EXISTING NON-CFA LIGHTING WAS NOT AVAILABLE. A COMPARABLE METAL HALIDE FIXTURE WAS USED IN ORDER TO ESTIMATE THE LIGHT CHANGES FOR THE SITE.

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	F	0.7 fc	41.5 fc	0.0 fc	N/A	N/A
Existing CFA Lot Summary	X	1.8 fc	7.7 fc	0.1 fc	77.0:1	18.0:1
Existing NonCFA Lot	O	1.3 fc	11.8 fc	0.0 fc	N/A	N/A
New CFA Lot Summary	F	3.7 fc	41.5 fc	0.0 fc	N/A	N/A

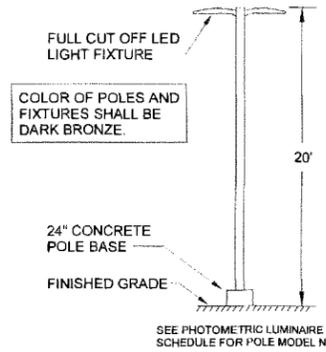
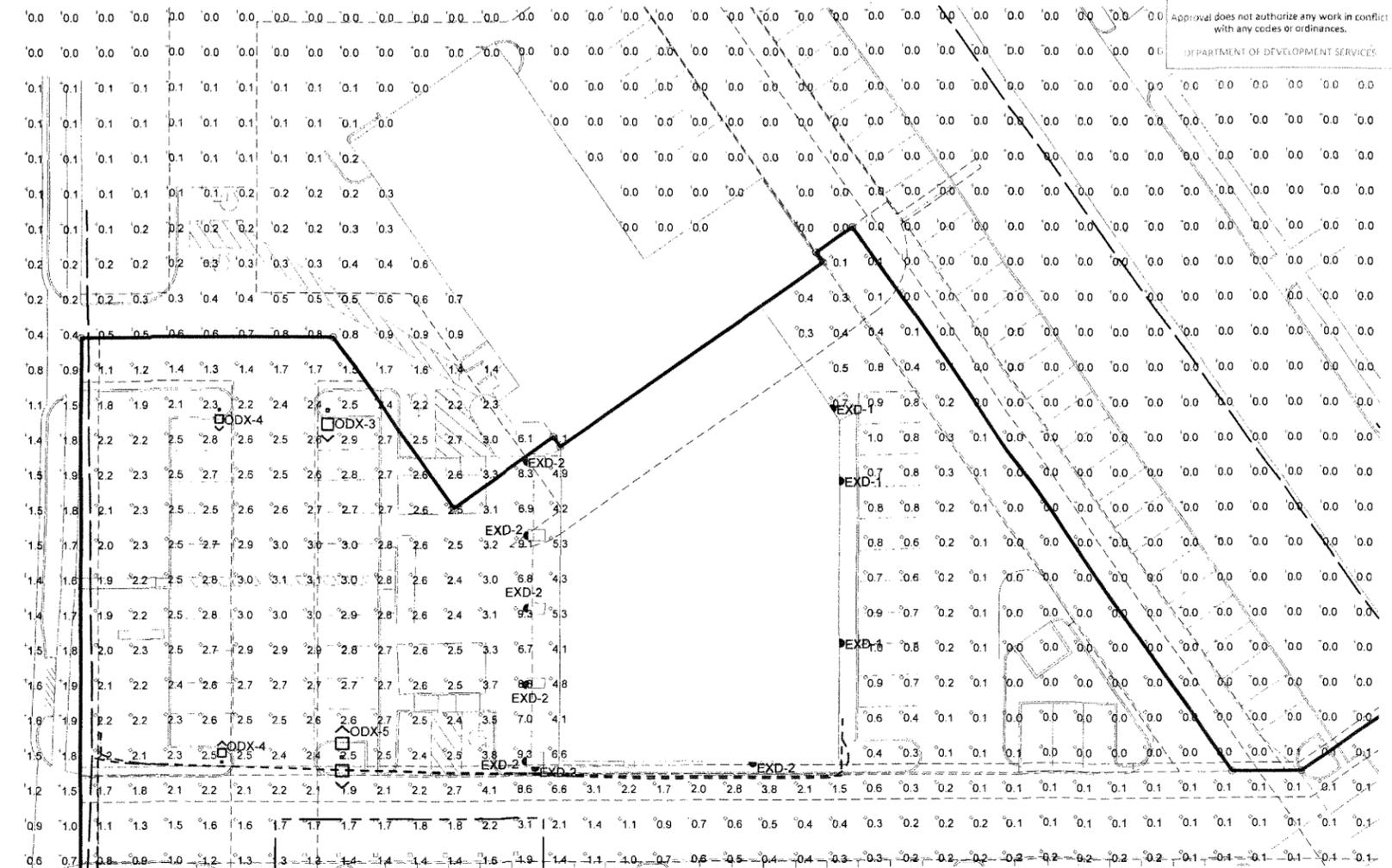
NOTE: PHOTOMETRIC PLAN TO BE USED IF LIGHT LEVELS ON SITE ARE TOO BRIGHT.

Case Name: Multi-Tenant Building
Case Number: CU19-36
Location: 1231 William D. Tate Avenue
Grapevine, Texas 76051

Mayor _____ Secretary _____
Date: _____
PLANNING AND ZONING COMMISSION
Chairman _____
Date: _____
Sheet 6 of 6

Approval does not authorize any work in conflict with any codes or ordinances.

DEPARTMENT OF DEVELOPMENT SERVICES



A4 SITE LIGHTING POLE DETAIL
N.T.S.

A1 PHOTOMETRIC PLAN (NON-CFA LOT)
1" = 20'-0"

CHICK-FIL-A
GRAPEVINE FSU
1231 WILLIAM D. TATE AVENUE
GRAPEVINE, TX 76051

FSR# 04480

REVISION SCHEDULE NO.	DATE	DESCRIPTION

CURRENT DESIGN NOTE APPLIED	2019-XX
DISCIPLINE'S PROJECT NUMBER	19192.MA.S
PRINTED FOR	PERMIT
DATE	02/20/2019
DRAWN BY	BTS

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SHEET PHOTOMETRIC PLAN

SHEET NUMBER
E-103.

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: JANUARY 21, 2020

SUBJECT: FINAL PLAT APPLICATION
LOTS 1, 2, 3, BLOCK 1, TATE STREET PLAZA NO.2
(BEING A REPLAT OF LOT 3R, BLOCK 1, TATE STREET PLAZA
AND LOT 4-R-1, BLOCK 1, TATE STREET PLAZA REVISED)

PLAT APPLICATION FILING DATE..... January 14, 2020

APPLICANT Bryan Burger, P.E., Burger Engineering, LLC

REASON FOR APPLICATION..... To replat two (2) lots into three (3) lots

PROPERTY LOCATION 1235 William D. Tate Avenue

ACREAGE..... 4.01

ZONING CC

NUMBER OF LOTS 3

PREVIOUS PLATTING No

CONCEPT PLAN CU19-36, CU19-37 & CU19-38

SITE PLAN No

OPEN SPACE REQUIREMENT..... No

AVIGATION RELEASE Yes

PUBLIC HEARING REQUIRED Yes

**PLAT INFORMATION SHEET
FINAL PLAT APPLICATION
LOTS 1, 2, & 3, BLOCK 1, TATE STREET PLAZA NO. 2
(BEING A REPLAT OF LOT 3R, BLOCK 1, TATE STREET PLAZA AND LOT
4-R-1, BLOCK 1, TATE STREET PLAZA REVISED)**

I. GENERAL:

- The applicant, Bryan Burger with Burger Engineering, LLC is platting 4.0137 acres from two (2) lots into three (3) lots. The property is located at 1235 William D. Tate Avenue.

II. STREET SYSTEM:

- The development has access to William D Tate Avenue.
- Abutting roads: on the City Thoroughfare Plan: William D. Tate
 not on the City Thoroughfare Plan:

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 15.00 / LF		

Periphery Street Fees are not due:

III. STORM DRAINAGE SYSTEM:

- The site drains south.

- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for: Lots 1, 2 & 3, Block 1, Tate Street Plaza No. 2
- Water and Wastewater Impact Fees are due prior to the issuance of building permits for:
 - Single Family Residential (\$ 2,414/ Lot)
 - Multifamily (\$ 1,134/ Unit)
 - Hotel (\$ 43,632/ Acre)
 - Corporate Office (\$ 20,523/ Acre)
 - Government (\$ 4,414/ Acre)
 - Commercial / Industrial (\$ 5,739 / Acre)
- Open Space Fees are not required for: Lots 1, 2 & 3, Block 1, Tate Street Plaza No. 2
- Open Space Fees are due prior to the preconstruction meeting for public infrastructure improvements for:
 - R-5.0, R-TH, Zero Lot District (\$ 1,416.00 / Lot)
 - R-7.5, Single Family District (\$ 1,146.00 / Lot)
 - R-12.5, Single Family District (\$ 1,071.00 / Lot)
 - R-20.0, Single Family District (\$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
 - Front building line
 - Allowing a setback of 3 feet for the rear property line for an accessory building
 - Lot width & depth
 - Max. Impervious Area
 - Landscaping Regulations, allowing no landscape buffer between the edge of the parking area and the adjacent property line.
- The following items associated with this plat are not in accordance with the current subdivision standards:
 - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
 - Length of cul-de-sac street exceeds the 600-foot limit:
 - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
- The right-of-way provides for future widening of public streets that will serve the development of this site.
 - The onsite utility easements provide for a utility network to serve the development of this site.
 - The onsite drainage easements provide for a drainage network to serve the development of this site.
 - The onsite access easements provide cross access capabilities to this site and surrounding property.

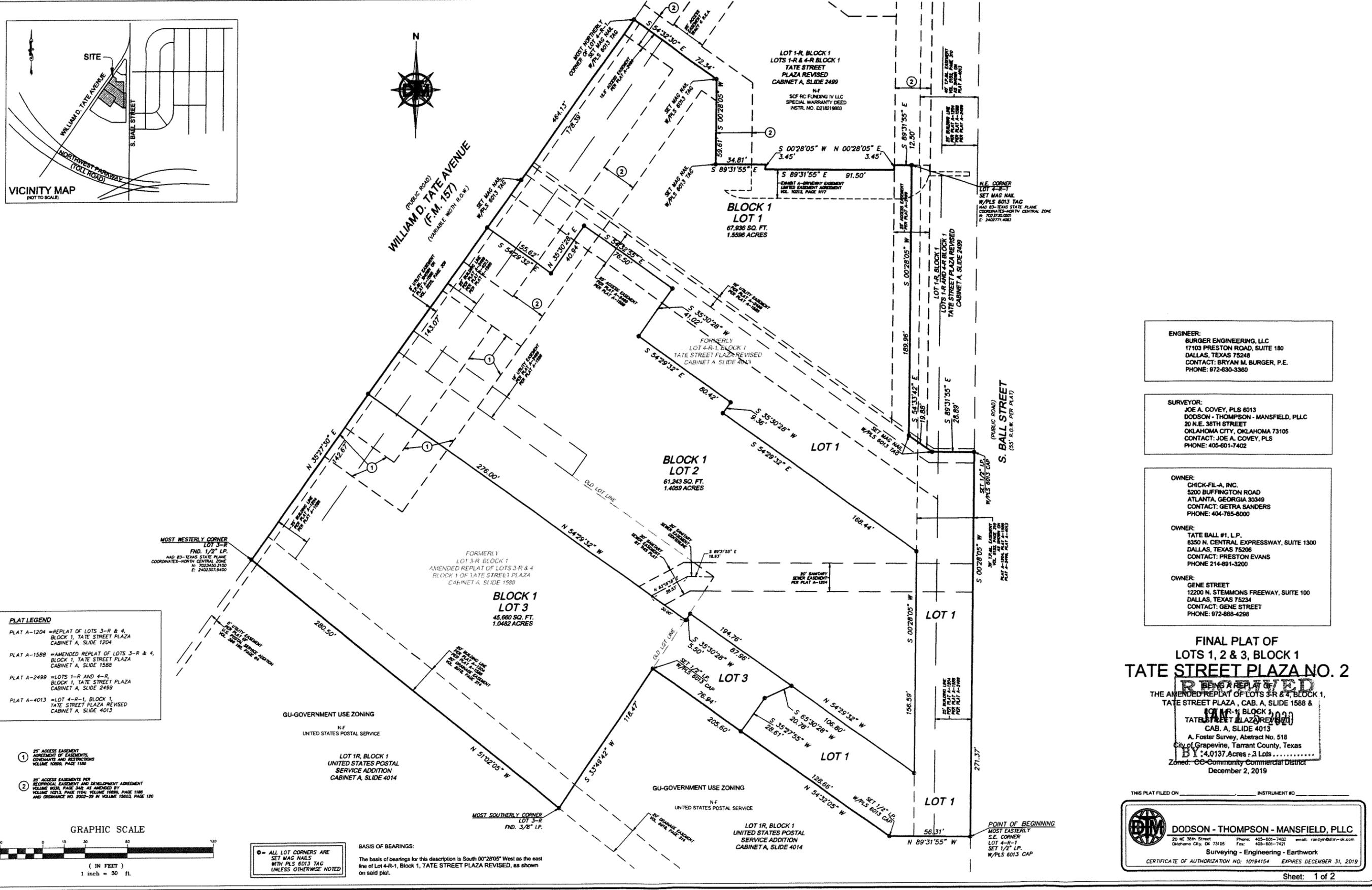
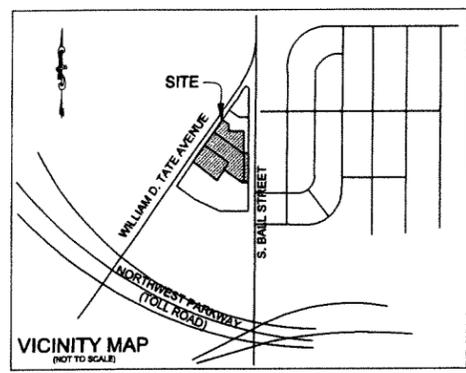
- The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:

- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
- The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
- The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
- The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
- The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
- All of the dedications benefit the development to at least the extent of the impact of such on the development.

VIII. RECOMMENDATION:

The members of the City Council and Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Final Plat of Lots 1, 2 & 3, Block 1, Tate Street Plaza No. 2."



PLAT LEGEND

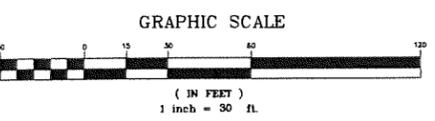
PLAT A-1204 = REPLAT OF LOTS 3-R & 4, BLOCK 1, TATE STREET PLAZA CABINET A, SLIDE 1204

PLAT A-1588 = AMENDED REPLAT OF LOTS 3-R & 4, BLOCK 1, TATE STREET PLAZA CABINET A, SLIDE 1588

PLAT A-2499 = LOTS 1-R AND 4-R, BLOCK 1, TATE STREET PLAZA CABINET A, SLIDE 2499

PLAT A-4013 = LOT 4-R-1, BLOCK 1, TATE STREET PLAZA REVISED CABINET A, SLIDE 4013

- ① 25' ACCESS EASEMENT AGREEMENT OF EASEMENTS, COVENANTS AND RESTRICTIONS VOLUME 1009, PAGE 116
- ② 25' ACCESS EASEMENTS FOR RECIPROCAL EASEMENT AND DEVELOPMENT AGREEMENT VOLUME 1071, PAGE 1104; VOLUME 1088, PAGE 118; AND ORDINANCE NO. 2002-29 IN VOLUME 1560, PAGE 130



• = ALL LOT CORNERS ARE SET MAG NAILS WITH PLS 6013 TAG UNLESS OTHERWISE NOTED

BASIS OF BEARINGS:
The basis of bearings for this description is South 00°28'05" West as the east line of Lot 4-R-1, Block 1, TATE STREET PLAZA REVISED, as shown on said plat.

ENGINEER:
BURGER ENGINEERING, LLC
17102 PRESTON ROAD, SUITE 180
DALLAS, TEXAS 75248
CONTACT: BRYAN M. BURGER, P.E.
PHONE: 972-630-3360

SURVEYOR:
JOE A. COVEY, PLS 6013
DODSON - THOMPSON - MANSFIELD, PLLC
20 N.E. 38TH STREET
OKLAHOMA CITY, OKLAHOMA 73105
CONTACT: JOE A. COVEY, PLS
PHONE: 405-601-7402

OWNER:
CHICK-FIL-A, INC.
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
CONTACT: GETRA SANDERS
PHONE: 404-765-6000

OWNER:
TATE BALL #1, L.P.
6350 N. CENTRAL EXPRESSWAY, SUITE 1300
DALLAS, TEXAS 75206
CONTACT: PRESTON EVANS
PHONE: 214-891-3200

OWNER:
GENE STREET
12200 N. STEMMONS FREEWAY, SUITE 100
DALLAS, TEXAS 75224
CONTACT: GENE STREET
PHONE: 972-888-4288

**FINAL PLAT OF
LOTS 1, 2 & 3, BLOCK 1
TATE STREET PLAZA NO. 2**

BEING A REPLAT OF
THE AMENDED REPLAT OF LOTS 3-R & 4, BLOCK 1,
TATE STREET PLAZA, CAB. A, SLIDE 1588 &
LOT 4-R-1, BLOCK 1,
TATE STREET PLAZA REVISED,
CAB. A, SLIDE 4013
A. Foster Survey, Abstract No. 518
City of Grapevine, Tarrant County, Texas
BY: 4,0137 Acres - 3 Lots
Zoned: CC-Community Commercial District
December 2, 2019

THIS PLAT FILED ON _____ INSTRUMENT # _____

DODSON - THOMPSON - MANSFIELD, PLLC
20 NE 38th Street Phone: 405-801-7402 email: rtdm@tdtm-ok.com
Oklahoma City, OK 73105 Fax: 405-801-7421
Surveying - Engineering - Earthwork
CERTIFICATE OF AUTHORIZATION NO: 1018454 EXPIRES DECEMBER 31, 2019

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS, CHICK-FIL-A, INC., TATE BALL #1, L.P. and GENE STREET are the owners of a 4.0137 acre tract of land in the A. Foster Survey, Abstract No. 518, situated in the City of Grapevine, Tarrant County, Texas, being Lot 4-R-1, Block 1, TATE STREET PLAZA REVISED recorded in Cabinet A, Slide 4013 AND Lot 3-R, Block 1, TATE STREET PLAZA recorded in Cabinet A, Slide 1204, Plat records of Tarrant County, Texas and being more particularly described as follows:

Lot 4-R-1, Block 1, TATE STREET PLAZA REVISED, an Addition to the City of Grapevine, Tarrant County, Texas according to the recorded plat thereof recorded in Cabinet A, Slide 4013, Plat Records of Tarrant County, Texas AND Lot 3-R, Block 1, TATE STREET PLAZA, an Addition to the City of Grapevine, Tarrant County, Texas according to the recorded plat thereof recorded in Cabinet A, Slide 1204, Plat Records of Tarrant County, Texas, all being more particularly described as follows:

BEGINNING at the most easterly southeast corner of said Lot 4-R-1, also being a point on the west right of way line of S. Ball Street at a 1/2 inch iron pin with PLS 6013 cap set for corner;

THENCE along the south lines of said Lot 4-R-1, the following Two (2) courses:

1. North 89°31'55" West a distance of 56.31 feet to a 1/2 inch iron pin with PLS 6013 cap set for corner;

2. North 54°32'05" West a distance of 205.80 feet to a 1/2 inch iron pin with PLS 6013 cap set for corner on the easterly line of said Lot 3-R;

THENCE South 33°49'42" West, along said easterly line, a distance of 118.47 feet to a 3/8 inch iron pin found for the most southerly corner of said Lot 3-R;

THENCE North 51°02'05" West, along the southerly line of said Lot 3-R, a distance of 280.50 feet to a 1/2 inch iron pin found for the southwest corner of said Lot 3-R, also being a point on the easterly right of way line of William D. Tate Avenue (F.M. 157);

THENCE North 35°27'30" East, along the westerly line of said Lot 3-R, said easterly right of way line and the westerly line of said Lot 4-R-1, a distance of 464.13 feet to a mag nail with PLS 6013 tag set for the most northerly corner of said Lot 4-R-1;

THENCE along the northerly lines of said Lot 4-R-1, the following Seven (7) courses:

1. South 54°32'30" East a distance of 72.34 feet to a mag nail with PLS 6013 tag set for corner;

2. South 00°28'05" West a distance of 59.61 feet to a mag nail with PLS 6013 tag set for corner;

3. South 89°31'55" East a distance of 34.81 feet;

4. South 00°28'05" West a distance of 3.45 feet;

5. South 89°31'55" East a distance of 81.50 feet;

6. North 00°28'05" East a distance of 3.45 feet;

7. South 89°31'55" East a distance of 12.50 feet to a mag nail with PLS 6013 tag set for the northeast corner of said Lot 4-R-1;

THENCE along the easterly lines of said Lot 4-R-1, the following Four (4) courses:

1. South 00°28'05" West a distance of 189.96 feet to a mag nail with PLS 6013 tag set for corner;

2. South 54°33'42" East a distance of 19.88 feet to a mag nail with PLS 6013 tag set for corner;

3. South 89°31'55" East a distance of 28.89 feet to a 1/2 inch iron pin with PLS 6013 cap set for corner on a point on the west right of way line of S. Ball Street;

4. South 00°28'05" West, along said west right of way line, a distance of 271.37 feet to the POINT OF BEGINNING.

Said described tract of land contains an area of 174,839 square feet or 4.0137 acres, more or less.

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS, THAT we the undersigned do hereby adopt this plat of TATE STREET PLAZA NO. 2, an addition to the City of Grapevine, Tarrant County, Texas, consisting of [3] lots and do hereby dedicate to the public use forever the right-of-way and easements shown hereon. The easements shown hereon are hereby reserved for the purposes as indicated. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of paving on the easements are the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed, or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using, or desiring to use same. Any City or franchised utility shall have the full right to remove and keep removed all or parts of any fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all City or franchised utilities shall at all times have the full right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone.

I have reviewed the City's Findings concerning dedications and I do agree that the statements are true and correct.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

Witness my hand this the _____ day of _____, 20__.

(Signature of Owner)

(Title)

STATE OF _____ § COUNTY OF _____ §

Before me, undersigned Notary Public in and for said county and state, on this day personally appeared _____, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this the _____ day of _____, 20__.

(Signature of Owner)

(Title)

STATE OF _____ § COUNTY OF _____ §

Before me, undersigned Notary Public in and for said county and state, on this day personally appeared _____, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this the _____ day of _____, 20__.

(Signature of Owner)

(Title)

STATE OF _____ § COUNTY OF _____ §

Before me, undersigned Notary Public in and for said county and state, on this day personally appeared _____, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this the _____ day of _____, 20__.

AVIGATION RELEASE

THE STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS, _____ AND _____ hereinafter called "Owner" (whether one or more), is the owner of that certain parcel of land situated in the City of Grapevine, Tarrant County, Texas, being more particularly described as shown on this plat.

NOW THEREFORE, in consideration of the sum of ONE AND 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confessed, Owner does hereby waive, release, remise and quitclaim to the City of Grapevine, Tarrant County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas, Texas and Fort Worth, Texas, their successors and assigns, hereinafter called "Cities", for the use and benefit of the public and its agencies, any and all claims for damages of any kind to persons or property that Owner may suffer by reason of the passage and flight of all aircraft in the air space above Owner's property above the height restriction as presently established by Ordinance No. 73-50 for the City of Grapevine, known as the Airport Zoning Ordinance of the Dallas-Fort Worth International Airport, to an infinite height above same, whether such damage shall originate from noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft, landing at, or taking off from, or operating at or on the Dallas-Fort Worth International Airport.

This instrument does not release the owners or operators of aircraft from liability for damage or injury to person or property caused by falling aircraft or falling physical objects from aircraft, except as stated herein with respect to noise, fumes, dust, fuel, and lubricant particles.

It is agreed that this Release shall be binding upon said owner and his heirs and assigns, and successors in interest to said property; and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of the county or counties in which the property is situated.

EXECUTED at _____, Texas, this _____ day of _____, 20__.

(Signature of Owner)

(Title)

STATE OF _____ § COUNTY OF _____ §

Before me, undersigned Notary Public in and for said county and state, on this day personally appeared _____, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this the _____ day of _____, 20__.

(Signature of Owner)

(Title)

STATE OF _____ § COUNTY OF _____ §

Before me, undersigned Notary Public in and for said county and state, on this day personally appeared _____, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this the _____ day of _____, 20__.

(Signature of Owner)

(Title)

STATE OF _____ § COUNTY OF _____ §

Before me, undersigned Notary Public in and for said county and state, on this day personally appeared _____, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this the _____ day of _____, 20__.

SURVEYOR'S CERTIFICATION:

I, Joe A. Covey, of Dodson-Thompson-Mansfield, PLLC, a Registered Professional Land Surveyor of the State of Texas, do hereby declare that I prepared this plat from an actual and accurate survey on the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the State of Texas and the City of Grapevine.

Joe A. Covey, Professional Land Surveyor No. 6013
Dodson-Thompson-Mansfield, PLLC

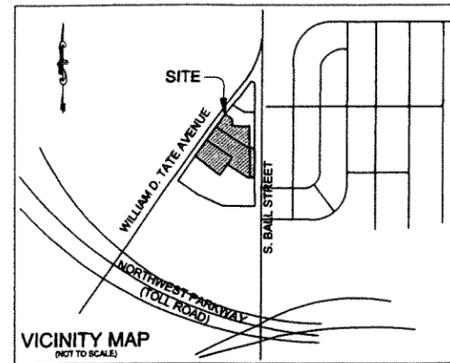
PLANNING & ZONING COMMISSION:
Date Approved: _____
Chairman: _____
Secretary: _____

GRAPEVINE CITY COUNCIL:
Date Approved: _____
Mayor: _____
City Secretary: _____

BASIS OF BEARINGS:

The basis of bearings for this description is South 00°28'05" West as the east line of Lot 4-R-1, Block 1, TATE STREET PLAZA REVISED, as shown on said plat.

SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X" (UNSHADED) (NON SPECIAL FLOOD HAZARD AREA) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 48439C0115K, WITH A DATE OF IDENTIFICATION OF SEPTEMBER 25, 2009, FOR COMMUNITY NO. 480508, IN TARRANT COUNTY, STATE OF TEXAS, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED.



ENGINEER:
BURGER ENGINEERING, LLC
17103 PRESTON ROAD, SUITE 180
DALLAS, TEXAS 75248
CONTACT: BRYAN M. BURGER, P.E.
PHONE: 972-630-3360

SURVEYOR:
JOE A. COVEY, PLS 6013
DODSON - THOMPSON - MANSFIELD, PLLC
20 N.E. 38TH STREET
OKLAHOMA CITY, OKLAHOMA 73105
CONTACT: JOE A. COVEY, PLS
PHONE: 405-601-7402

OWNER:
CHICK-FIL-A, INC.
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
CONTACT: GETRA SANDERS
PHONE: 404-765-8000

OWNER:
TATE BALL #1, L.P.
8550 N. CENTRAL EXPRESSWAY, SUITE 1300
DALLAS, TEXAS 75206
CONTACT: PRESTON EVANS
PHONE 214-891-3200

OWNER:
GENE STREET
12200 N. STEMMONS FREEWAY, SUITE 100
DALLAS, TEXAS 75224
CONTACT: GENE STREET
PHONE: 972-868-4268

**FINAL PLAT OF
LOTS 1, 2 & 3, BLOCK 1
TATE STREET PLAZA NO. 2**
BEING A REPLAT OF
THE AMENDED REPLAT OF LOTS 3-R & 4, BLOCK 1,
TATE STREET PLAZA, CAB. A, SLIDE 1588 &
LOT 4-R-1, BLOCK 1,
TATE STREET PLAZA REVISED
CAB. A, SLIDE 4013
A. Foster Survey, Abstract No. 518
City of Grapevine, Tarrant County, Texas
4.0137 Acres - 3 Lots
Zoned: CC-Community Commercial District
December 2, 2019

THIS PLAT FILED ON _____ INSTRUMENT # _____

DODSON - THOMPSON - MANSFIELD, PLLC
20 NE 38th Street | Phone: 405-601-7402 | Email: randym@dtm-ak.com
Oklahoma City, OK 73105 | Fax: 405-601-7421

Surveying - Engineering - Earthwork
CERTIFICATE OF AUTHORIZATION NO: 10194154 EXPIRES DECEMBER 31, 2019

TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER ^{BR}
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: JANUARY 21, 2020

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF CONDITIONAL USE APPLICATION CU19-37 NEW CHICK-FIL-A



APPLICANT: Burger Engineering, LLC

PROPERTY LOCATION AND SIZE:

The subject property is located at 1235 William D. Tate Avenue and is proposed to be platted as Lot 2, Block 1, Tate Street Plaza No. 2. The addition contains 1.41 acres (61,243 square feet). The property has approximately 143.07 feet of frontage along William D. Tate Avenue and approximately 271.37 feet along Ball Street.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to amend the previously approved site plan of CU93-03 (Ord. 1993-22) for a planned commercial center, specifically to adjust the property lines to allow for the development of a restaurant with outside dining and drive through service.

The applicant is proposing the development of a new Chick-fil-A restaurant on the site previously occupied by the former Silver Fox restaurant. The existing Chick-fil-A will continue operating until the new restaurant is open and will eventually be reimaged as a new concept. The new Chick-fil-A restaurant will be 5,170 square feet in size with outside dining and two drive through service lanes. Total seating proposed is 118 seats—110 inside and eight outside, located along the west elevation adjacent to William D. Tate Avenue. A small (178 s.f.) detached storage building is proposed at the rear of the restaurant adjacent to the east elevation. Four existing driveways serve the planned

commercial center. The southernmost driveway which primarily serves the existing adjacent lot to the south, is proposed to be shifted approximately 40 feet to the north to allow a shared access driveway between the adjacent lot to the south and the subject site. Total required parking for the new Chick-fil-A restaurant is 43 spaces; 73 parking spaces are provided. A previously approved pole sign will be removed and replaced with a monument sign.

PRESENT ZONING AND USE:

The subject site is zoned "CC" Community Commercial District and is developed with an unoccupied building formerly the Silver Fox restaurant.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject property was rezoned in the 1984 City Rezoning from "C-2" Community Business to "CN" Neighborhood Commercial. The subject property was later rezoned from "CN" Neighborhood Commercial District to "CC" Community Commercial District (Z87-01, Ord. 87-13), as a part of a 6.4 acre tract of land. On the subject site Conditional Use Permit CU93-15 (Ord. 94-14) amended the Planned Commercial Center to allow for the development of a Burger Street with a drive through which never developed. Firestone/Master Care Store developed as a result of Zone Case Z87-01. Conditional Use Permit CU92-22 (Ord. 92-84) was approved to allow a Planned Commercial Center designation and the development of a restaurant (Chick-Fil-A) with a drive-through window. Conditional Use Permit CU93-03 (Ord. 93-22) amended the Planned Commercial Center to allow the development of a restaurant (Good Eats) with on premise consumption of alcoholic beverages and two 20-foot pole signs. Conditional Use Permit CU93-15 (Ord. 94-14) amended the Planned Commercial Center to allow the development of a restaurant (Burger Street) with a drive through. Conditional Use Permit CU94-39 (Ord. 95-06) amended the Planned Commercial Center to allow additional parking for an automotive repair store on Lot 1R. Conditional Use request CU97-28 was approved by council allowing the addition of an 8,838 square foot retail space on lot 4R. Conditional Use Request CU97-48 was approved by Council allowing the removal of 0.849 acres from the subject property. The U.S. Post Office was developed in the tract south of this parcel and is zoned "GU" Governmental Use. The Bellaire Addition was rezoned from "R-1" Single Family to "R-7.5" Single Family in the 1984 City Rezoning. The tract to the west was rezoned from "CC" Community Commercial and "C-2" Community Business to "PCD" Planned Commerce Development. The property was rezoned from "PCD" Planned Commerce Development to "CC" Community Commercial Z92-09 (Ord. 92-85) and received a conditional use permit for a Planned Commercial Center CU92-23 (Ord. 92-86). The property is currently developed as Grapevine Town Center. Conditional Use Permit CU99-05 (Ord. 99-46) was approved at the March 23, 1999 joint public hearing for a 8,838 square foot retail building on the subject site. Also on the subject site, on February 15, 2000 Council considered and approved a request for a one year extension to the 8,838 square foot retail building. Conditional Use Permit CU12-01 was denied on the subject site

for Tint World. At the March 21, 2012 meeting the City Council reconsidered CU12-01 and amended the denial to denial without prejudice. At the April 17, 2012 meeting the City Council approved Conditional Use Permit CU12-10 (Ord. 2012-17) for Tint World. The City Council at the September 15, 2015 meeting approved Conditional Use Permit CU15-37 (Ord. 2015-57) for a 20-foot pole sign for Ferrari's Italian Villa. North of the subject site and within the Planned Commercial Center, City Council at their December 15, 2015 meeting approved CU15-42 (Ord. 2015-077) to allow for a drive through with outside seating in conjunction with a restaurant.

West of the subject site Conditional Use Permit CU01-45 (Ord. 2001-75) was approved at the September 21, 2001 meeting to establish Caramba's Grill on the site of the former Esparza's Too restaurant. The City Council on October 21, 2003 approved Conditional Use Permit CU03-35 (Ord. 2004-63) to allow for an expansion of the restaurant and provide a take-out counter for Baja Mexican Grill. Conditional Use Permit CU07-34 (Ord. 2008-03) was approved at the January 15, 2008 meeting to allow for an expansion and outdoor dining for the restaurant. The Site Plan Review Committee at their march 7, 2018 meeting approved Conditional Use Permit CU18-06 to revise the floor plan and add square footage Baja Mexican Grill by combining El Taco with Baja Mexican Grill.

SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH: "CN" – Neighborhood Commercial District – Shell Convenience Store and Northwest Animal Hospital
- SOUTH: "GU" - Governmental Use District - U.S. Post Office
- EAST: "R-7.5" - Single Family District - Bellaire Addition - "CN" - Neighborhood Commercial - Shell Convenience Store and "PO" Professional Office District – Professional Offices
- WEST: "CC" - Community Commercial District - Grapevine Town Center, Ferrari's Italian Villa and multi-tenant retail including Baja Mexican Grill

AIRPORT IMPACT:

The subject tract is located within "Zone A" zone of minimal effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map. Few activities will be affected by aircraft sounds in Zone A, except for sound sensitive activities such as auditoriums, churches, schools, hospitals, and theaters. The proposed restaurant building is an appropriate use in this noise zone.

MASTER PLAN APPLICATION:

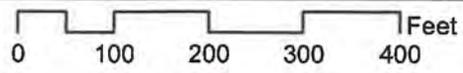
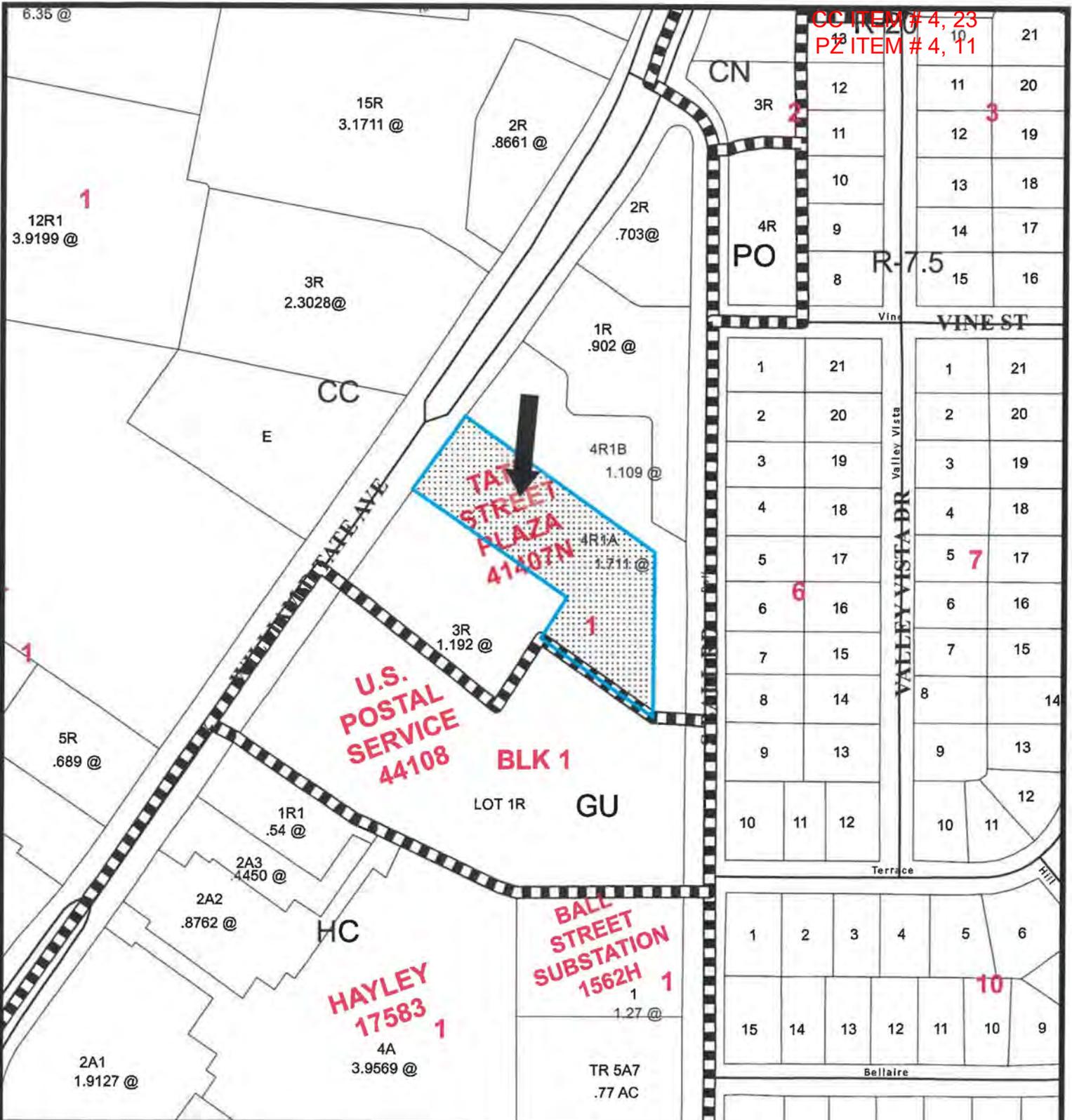
The Master Plan designates the subject property as Commercial. The applicant's request is in compliance with the Master Plan.

THOROUGHFARE PLAN APPLICATION:

The Thoroughfare Plan designates William D. Tate Avenue as a Type C Minor Arterial with a minimum 80-foot of right-of-way developed as four lanes with a center left turn lane.

at

CC ITEM # 4, 23
P2 ITEM # 4, 11



**CU19-37
Proposed New
Chick-fil-A**

Date Prepared: 1/7/2020

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

CU19-37



CITY OF GRAPEVINE

CONDITIONAL USE APPLICATION

Form "A"

PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact

Burger Engineering, LLC c/o Bryan M. Burger, P.E.

Street address of applicant / agent:

17103 Preston Road, Suite 180N

City / State / Zip Code of applicant / agent:

Dallas, Texas 75248

Telephone number of applicant / agent:

972-630-3360

Fax number of applicant/agent

972-630-3380

Email address of applicant/agent

Mobile phone number of applicant/agent

214-693-8572

PART 2. PROPERTY INFORMATION

Street address of subject property

1235 William D. Tate Avenue

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot 2 Block 1 Addition Tate Street Plaza No. 2

Size of subject property

1.406 Acres

61,244 Square footage

Present zoning classification:

CC

Proposed use of the property:

Dine-in/Drive-through Restaurant

Circle yes or no, if applies to this application

Outdoor speakers Yes No

Drive-through Menu Board

Minimum / maximum district size for conditional use request:

Zoning ordinance provision requiring a conditional use:

CC zoning requires a conditional use permit.

PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:

Gene Street

Street address of property owner:

12200 N. Stemmons Freeway, Suite 100

City / State / Zip Code of property owner:

Dallas, Texas 75234

Telephone number of property owner:

972-888-4298

Fax number of property owner:

N/A

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.

- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY

Bryan M. Burger, P.E.

Print Applicant's Name:

[Signature]
Applicant's Signature:

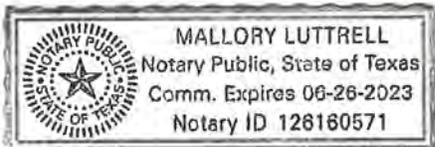
The State of Texas

County Of Dallas

Before Me Mallory Luttrell on this day personally appeared Bryan M. Burger, P.E.
(notary) (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 19th day of November, A.D. 2019



[Signature]
Notary In And For State Of Texas

Gene Street

Print Property Owners Name:

[Signature]
Property Owner's Signature:

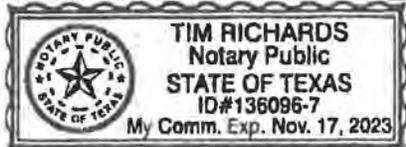
The State Of Texas

County Of Dallas

Before Me Tim Richards on this day personally appeared Gene Street
(notary) (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 18th day of November, A.D. 2019



[Signature]
Notary In And For State Of Texas

ACKNOWLEDGEMENT

All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant



Date:

11-19-19

Signature of Owner



Date:

11-19-2019

B | BURGER
ENGINEERING
Civil Consultants

November 29, 2019

City of Grapevine
Development Services Planning Division
200 S. Main Street
Grapevine, Texas 76051

Re: Chick-fil-A
1235 William D. Tate Avenue
Lot 2, Block 1 – Tate Street Plaza No. 2
Grapevine, Texas
B.E. No. 013-303

Dear Planning Division,

Chick-fil-A, Inc. is submitting the attached conditional use/site plan application to amend the existing site plan, for the above referenced location. The existing dine in restaurant will be demolished and a new dine in and drive through Chick-fil-A restaurant will be built in its place. The new Chick-fil-A restaurant will include an approximately 5,200 square foot restaurant, associated parking, drive lanes, landscaping, drive through lanes, as well as drive through canopies at the order point and meal delivery locations. The new building construction will allow Chick-fil-A to improve the customer's experience at this location by adding additional kitchen capacity, drive through stacking and dine in seating. The order and meal delivery canopies allow Chick-fil-A team members to work outdoors while being protected from the weather elements (sun, rain, cold, etc.). The canopy areas improve the customer's experience in the drive-through lane by increasing order and meal delivery speed currently being provided by Chick-fil-A team members during the face to face ordering process.

The approval of the conditional use/site plan application will be an improvement for Chick-fil-A, the City of Grapevine, and customers who frequent this Chick-fil-A location. The proposed conditional use/site plan also substantially conforms to the master development plan.

Please contact our office if you have any questions or comments.

Sincerely,


Bryan M. Burger, P.E.

BRYAN M. BURGER, P.E.

17103 Preston Road, Suite 180N | Dallas, Texas 75248 | Office: 972.630.3360 | Fax: 972.630.3380

B

ORDINANCE NO. 2020-005

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS ISSUING CONDITIONAL USE PERMIT CU19-37 TO AMEND THE PREVIOUSLY APPROVED SITE PLAN CU93-03 (ORDINANCE NO. 1993-22) FOR A PLANNED COMMERCIAL CENTER TO ADJUST THE PROPERTY LINES TO ALLOW FOR THE DEVELOPMENT OF A DRIVE THROUGH AND OUTSIDE DINING IN CONJUNCTION WITH A RESTAURANT (CHICK-FIL-A) IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT LOCATED ON LOT 2, BLOCK 1, TATE STREET PLAZA NO. 2 (1235 WILLIAM D. TATE AVENUE) ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73, ATTACHED HERETO AND MADE A PART HEREOF AS EXHIBIT "A", AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control

and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public

at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU19-37 to amend the site plan approved by Ordinance No. 1993-22 for a planned commercial center to allow the possession, storage, retail sale and on premise consumption of alcoholic beverages (beer, wine and mixed beverages) and two 20-foot pole signs in conjunction with a restaurant, specifically to adjust the property lines to allow for the development of a drive through and outside dining in conjunction with a restaurant (New Chick-fil-A) in a district zoned "CC" Community Commercial District Regulations within the following described property: Lot 2, Block 1, Tate Street Plaza No. 2 (1235 William D. Tate Avenue) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. That the City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. That this ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of

said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. That any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 21st day of January, 2020.

APPROVED:

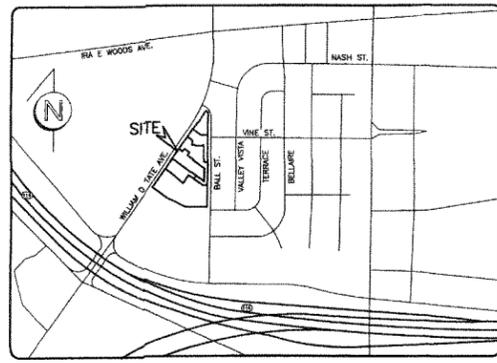
William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

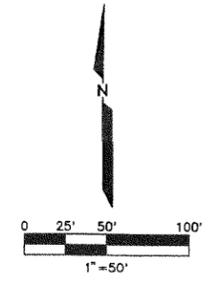
City Attorney



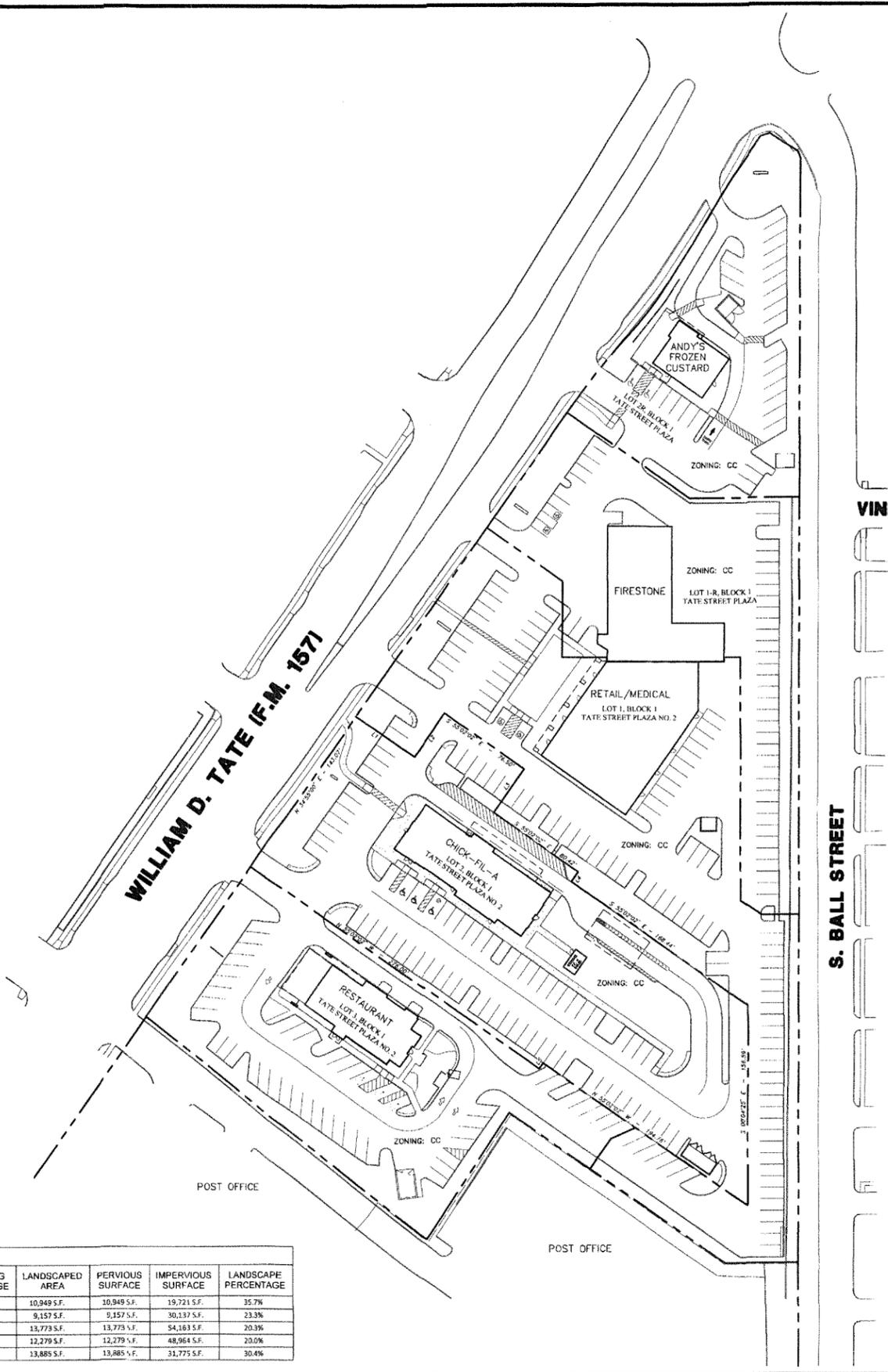
VICINITY MAP
N15

~ BOUNDARY LINE DATA TABLE ~

NO.	BEARING	DISTANCE
L1	S 55°02'02" E	58.62'
L2	N 34°57'58" E	41.00'
L3	S 34°57'58" W	41.00'
L4	S 34°57'58" W	9.36'
L5	S 34°57'58" W	5.50'



Conditional Use Permit CU19-37 is a request to amend the previously approved site plan of CU93-03 (Ord. 1993-22) for a planned commercial center to allow the possession, storage, retail sale and on premise consumption of alcoholic beverages (beer, wine and mixed beverages) and two 20-foot pole signs in conjunction with a restaurant, specifically to adjust property lines to allow for the development of a drive through and outside dining in conjunction with a restaurant.



PROJECT DATA TABLE										
LOT NUMBER	LAND AREA	BUILDING AREA	USE	PARKING REQUIRED	PARKING PROVIDED	BUILDING COVERAGE	LANDSCAPED AREA	PERVIOUS SURFACE	IMPERVIOUS SURFACE	LANDSCAPE PERCENTAGE
ANDY'S FROZEN CUSTARD - LOT 2R, BLOCK 1 - TATE STREET PLAZA	30,670 S.F.	1,605 S.F.	RESTAURANT	17 SPACES	28 SPACES	5.23%	10,949 S.F.	19,721 S.F.	35.7%	
FIRESTONE - LOT 1-R, BLOCK 1 - TATE STREET PLAZA REVISED	39,294 S.F.	6,550 S.F.	AUTO REPAIR	52 SPACES	52 SPACES	16.67%	9,157 S.F.	30,137 S.F.	23.3%	
RETAIL/MEDICAL - LOT 1, BLOCK 1 - TATE STREET PLAZA NO. 2	67,936 S.F.	8,955 S.F.	RETAIL/MEDICAL	71 SPACES	95 SPACES	13.18%	13,773 S.F.	54,163 S.F.	20.3%	
CHICK-FIL-A - LOT 2, BLOCK 1 - TATE STREET PLAZA NO. 2	61,243 S.F.	5,348 S.F.	RESTAURANT	47 SPACES	73 SPACES	8.73%	12,279 S.F.	48,964 S.F.	20.0%	
RESTAURANT - LOT 3, BLOCK 1 - TATE STREET PLAZA NO. 2	41,860 S.F.	3,632 S.F.	RESTAURANT	42 SPACES	47 SPACES	7.95%	13,885 S.F.	31,775 S.F.	30.4%	

Case Name: Chick-fil-A
 Case Number: CU19-37
 Location: 1235 William D. Tate Avenue
 Grapevine, Texas 76051

Mayor _____ Secretary _____

Date: _____

PLANNING AND ZONING COMMISSION

Chairman _____

Date: _____

Sheet 1 of 16

Approval does not authorize any work in conflict with any codes or ordinances.

DEPARTMENT OF DEVELOPMENT SERVICES

B BURGER
ENGINEERING

17103 Preston Road, Suite 180N
 Dallas, Texas 75248
 Office: 972.630.3360 Fax: 972.630.3360
 TBPE F-12997

5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

Revisions:

Mark	Date	By
△		
△		
△		

1235 WILLIAM D. TATE AVENUE
 LOT 2, BLOCK 1
 TATE STREET PLAZA NO. 2
 THE CITY OF GRAPEVINE, TEXAS

STORE
 SERIES
 P13 IS LARGE

SHEET TITLE
**MASTER
 SITE
 PLAN**

For Permit
 For Bid
 For Construction

Job No. : 013-303
 Store : 04480
 Date : 11/8/19
 Drawn By : RMP
 Checked By: BMB

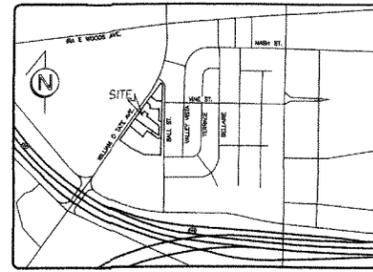
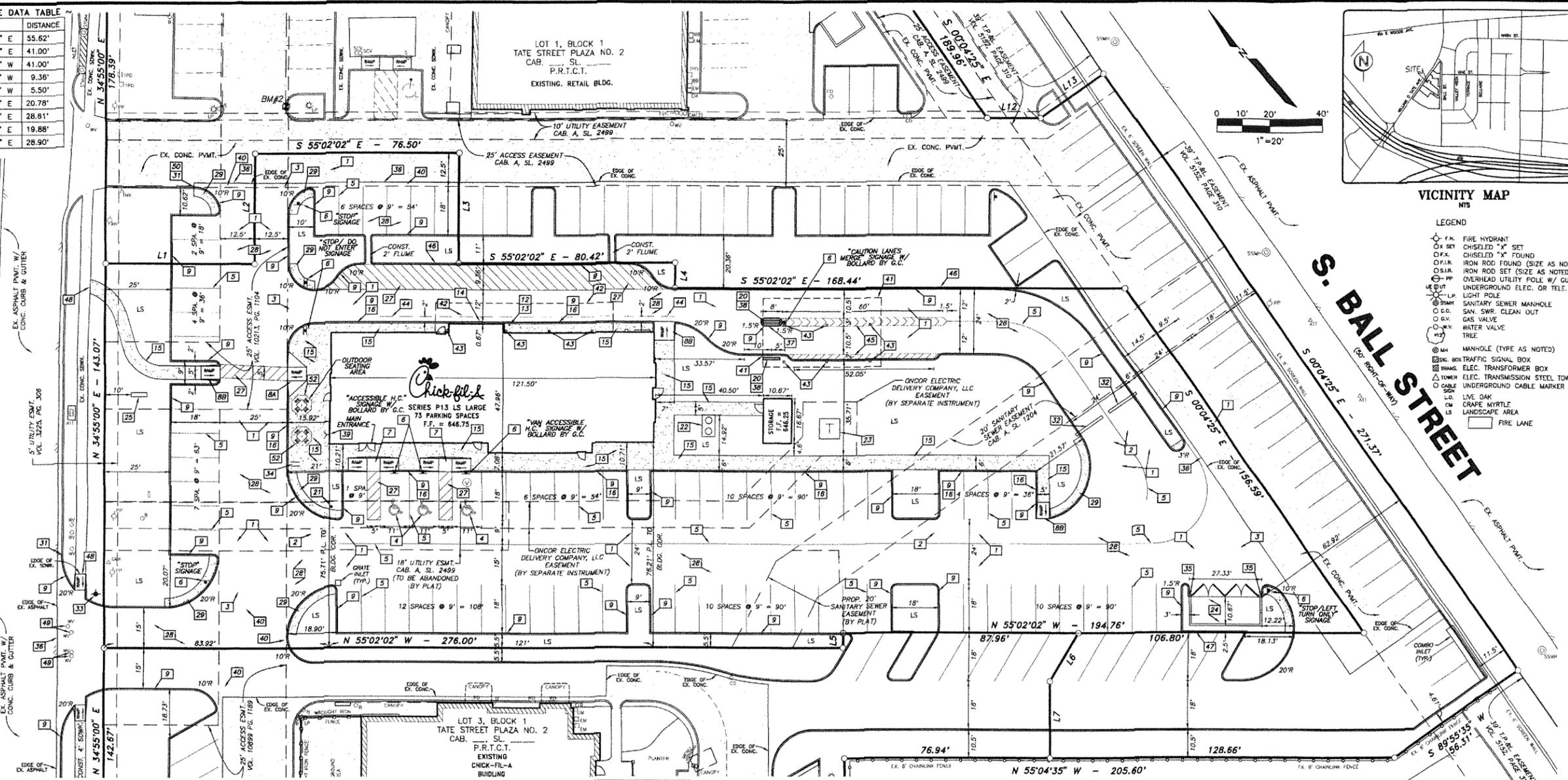
Sheet

MSP

NO.	BEARING	DISTANCE
L1	S 55°02'02" E	55.62'
L2	N 34°57'58" E	41.00'
L3	S 34°57'58" W	41.00'
L4	S 34°57'58" W	9.36'
L5	S 34°57'58" W	5.50'
L6	N 64°57'58" E	20.78'
L7	N 34°55'25" E	28.81'
L12	S 55°05'12" E	19.88'
L13	N 89°55'35" E	28.90'

WILLIAM D. TATE

(VARIABLE WIDTH RIGHT-OF-WAY)



LEGEND

- ⊙ F.H. FIRE HYDRANT
- ⊙ CHISELED "X" SET
- ⊙ CHISELED "X" FOUND
- ⊙ I.R. IRON ROD FOUND (SIZE AS NOTED)
- ⊙ I.R. IRON ROD SET (SIZE AS NOTED)
- ⊙ O.V. OVERHEAD UTILITY POLE W/ GUY
- ⊙ U.G. UNDERGROUND ELEC. OR TELE.
- ⊙ L.P. LIGHT POLE
- ⊙ S.S. SANITARY SEWER MANHOLE
- ⊙ S.S. SAN. SWR. CLEAN OUT
- ⊙ G.V. GAS VALVE
- ⊙ W.V. WATER VALVE
- ⊙ T. TREE
- ⊙ M.H. MANHOLE (TYPE AS NOTED)
- ⊙ T.S.B. TRAFFIC SIGNAL BOX
- ⊙ T.E. ELEC. TRANSFORMER BOX
- ⊙ T.T. TOWER ELEC. TRANSMISSION STEEL TOWER
- ⊙ C.M. UNDERGROUND CABLE MARKER
- ⊙ L.O. LIVE OAK
- ⊙ C.M. CRANE MYRTLE
- ⊙ L.A. LANDSCAPE AREA
- ⊙ F.L. FIRE LANE

LAYOUT NOTES

- 1 PAINTED TRAFFIC ARROW
- 2 DRIVE THRU STRIPING
- 3 STOP BAR
- 4 PAINTED HANDICAP PARKING SYMBOL
- 5 PARKING STALLS / 4" PAINTED STRIPE
- 6 DIRECTIONAL SIGNAGE (OTHER THAN CHICK-FIL-A SIGNS)
- 7 CHICK-FIL-A MAIN ENTRY RAMP
- 8 CURBED RAMP "X" FLARED SIDES
- 9 "IF" SHORT FLARED SIDES
- 10 INTEGRAL CONCRETE CURBS (SEE SHEET C-7)
- 11 SOLID PLASTIC WHEEL STOP (NOT USED)
- 12 DRIVE THRU PLAN VIEW
- 13 STEEL PIPE BOLLARD
- 14 DRIVE THRU ISOMETRIC VIEW
- 15 TYPICAL SIDEWALK DETAIL BROOM FINISHED
- 16 SIDEWALK ADJACENT TO CURB
- 17 CONSTRUCTION JOINT (SEE SHEET C-7)
- 18 CONSTRUCTION JOINT (SEE SHEET C-7)
- 19 SEWER CLEANOUT (SEE SHEET C-10)
- 20 MENU BOARD AND ORDERING STATION
- 21 FLAGPOLE - EDX SERIES 50' POLE PEG BY APPROVED VENDORS - THE FLAG CO. OR ATLAS FLAG (REFER SIGN PLAN)
- 22 GREASE TRAP
- 23 PAD MOUNTED TRANSFORMER
- 24 DUMPSTER AREA W/ SCREENING
- 25 CHECK-FIL-A PRIME SIGN (MONUMENT SIGN) (REF. SIGNAGE PLAN FOR DETAILS)
- 26 CHECK-FIL-A ENTER SIGN (NOT USED)
- 27 STRIPING (SEE C-8 DETAIL S)
- 28 CONCRETE PAVEMENT
- 29 CONCRETE RADIUS PROTECTION
- 30 TURN DOWN CURB (NOT USED)
- 31 MATCH EX. CURB
- 32 CLEARANCE BAR (REF. SIGN PLAN)
- 33 PROP. FIRE HYDRANT
- 34 BIKE RACK (REF. ARCH. PLANS FOR DETAILS) (4"x6" MIN. AREA PER RACK)
- 35 END CURB AT DUMPSTER
- 36 MATCH EX. CONCRETE/ASPHALT PAVEMENT
- 37 MULTI ORDER POINT ISLAND
- 38 CANOPY LAYOUT DETAIL
- 39 F.D.C. LOCATION
- 40 FIRE LANE STRIPING
- 41 DRIVE THRU ORDERING CANOPY (REF. PLANS BY LANE SUPPLY, INC. FOR DETAILS)
- 42 DRIVE THRU MEAL DELIVERY CANOPY (REF. PLANS BY LANE SUPPLY, INC. FOR DETAILS)
- 43 CANOPY COLUMN (REF. PLANS BY LANE SUPPLY, INC. FOR DETAILS)
- 44 4" DASH PAINTED STRIPE (REF. PLANS BY LANE SUPPLY, INC. FOR DETAILS)
- 45 ORDER TAKING STRIPING DETAIL
- 46 CONST. BACK OF CURB ALONG LOT LINE
- 47 CONST. FACE OF CURB ALONG LOT LINE
- 48 MATCH LOCATION & ELEVATION OF EX. SIDEWALK
- 49 EX. CLEANOUT/WATER VALVES TO BE ADJUSTED TO PROP. GRADE
- 50 MATCH EX. FIRE LANE
- 51 STORAGE BUILDING
- 52 PATIO TABLES W/ CHAIRS (REF. ARCH. PLANS)

SITE DATA

ZONING:	CC (COMMUNITY COMMERCIAL)
LOT AREA:	1.408 ACRES (91,243 S.F.)
PROPOSED USE:	DRIVE THRU RESTAURANT
BUILDING AREA:	5,348 S.F.
F.A.R.:	0.087:1
OCCUPANT LOAD:	128 PEOPLE
PARKING REQUIRED:	1 SPACE PER EVERY 3 OCCUPANTS 128/3 = 42.67 = 43 SPACES
PARKING PROVIDED:	73 SPACES
BUILDING HEIGHT:	25' (1 STORY)
PROP. LANDSCAPE AREA:	12,279 S.F. (20.05%)
PROP. PAVED AREA:	43,794 S.F. (71.51%)

NOTES

1. ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CHICK-FIL-A SPECIFICATIONS AND/OR CITY STANDARD SPECIFICATIONS, WHICHEVER IS MORE RESTRICTIVE.
2. ALL CONSTRUCTION IN CITY RIGHT-OF-WAYS AND/OR EASEMENT SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD SPECIFICATIONS.
3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
4. THE CONTRACTOR SHALL GIVE THE CITY A MINIMUM OF 48 HOURS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
6. IF CONTRACTOR FINDS A DISCREPANCY WITH THE TOPOGRAPHIC INFORMATION ON THESE PLANS, HE/SHE SHALL CONTACT THE CONSTRUCTION MANAGER/SUPERVISOR IMMEDIATELY.
7. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BRICK, OR AS OTHERWISE NOTED.
8. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
9. BUILDING IS PARALLEL AND PERPENDICULAR TO THE NORTHEAST PROPERTY LINE.
10. ALL RADI ARE "R" UNLESS OTHERWISE NOTED.
11. ALL REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE CONSTRUCTION PERIOD.

MAXIMUM OCCUPANCY CALCULATIONS:

SEATING AREA =	1,184 S.F./15 = 79
WAITING AREA =	271 S.F./7 = 39
KITCHEN AREA =	1,888 S.F./200 = 9
OFFICE AREA =	56 S.F./100 = 1
TOTAL	128 OCCUPANTS

Case Name: Chick-fil-A
Case Number: CU19-37
Location: 1235 William D. Tate Avenue
Grapevine, Texas 76051

Mayor _____ Secretary _____

PLANNING AND ZONING COMMISSION

Chairman _____

Date: _____

Sheet 2 of 16

Approval does not authorize any work in conflict with any codes or ordinances.

DEPARTMENT OF DEVELOPMENT SERVICES



Conditional Use Permit CU19-37 is a request to amend the previously approved site plan of CU19-03 (Ord. 1993-22) for a planned commercial center to allow the possession, storage, retail sale and on premise consumption of alcoholic beverages (beer, wine and mixed beverages) and two 20-foot pole signs in conjunction with a restaurant, specifically to adjust property lines to allow for the development of a drive through and outside dining in conjunction with a restaurant.

BENCHMARK - BM 2		BENCHMARK - BM 5	
ELEVATION	843.42	ELEVATION	645.50
MONUMENT	CUT X ON TOP OF CURB	MONUMENT	CUT X ON TOP OF CURB
LOCATION	NORSE OF PARKING ISLAND W. PARKING LOT OF FIRESTONE	LOCATION	SOUTH SIDE OF NORTH ENTRANCE DRIVE OF POST OFFICE PROPERTY

B BURGER ENGINEERING

17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380
TIPOE P-12997

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By

1235 WILLIAM D. TATE AVENUE
LOT 2, BLOCK 1
TATE STREET PLAZA NO. 2
THE CITY OF GRAPEVINE, TEXAS

STORE
SERIES
P13 LS LARGE

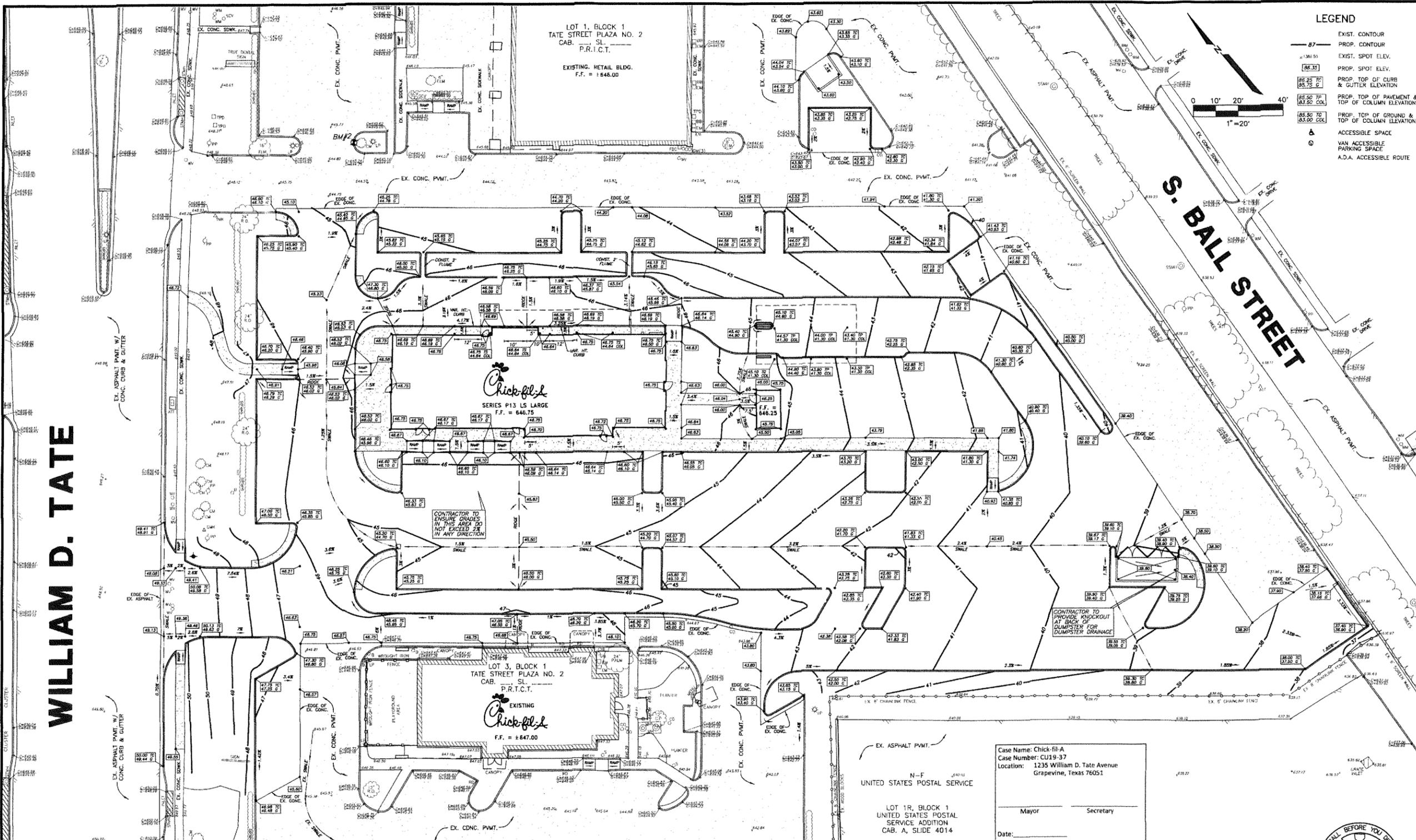
SHEET TITLE
DIMENSIONAL CONTROL SITE PLAN

For Permit
For Bid
For Construction

Job No. : 013-303
Store : 04480
Date : 11/8/19
Drawn By : RMP
Checked By: BMB

Sheet
C-3.1

WILLIAM D. TATE



LEGEND

- 87 — EXIST. CONTOUR
- 1361.50 — PROP. CONTOUR
- 86.35 □ EXIST. SPOT ELEV.
- 86.35 □ PROP. SPOT ELEV.
- 86.25 TO 85.75 □ PROP. TOP OF CURB & GUTTER ELEVATION
- 85.50 TO 85.00 □ PROP. TOP OF PAVEMENT & TOP OF COLUMN ELEVATION
- 85.50 TO 85.00 □ PROP. TOP OF GROUND & TOP OF COLUMN ELEVATION
- △ ACCESSIBLE SPACE
- VAN ACCESSIBLE PARKING SPACE
- A.A. — ACCESSIBLE ROUTE

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
△		
△		
△		



1235 WILLIAM D. TATE AVENUE
LOTS 1-3, BLOCK 1
TATE STREET PLAZA NO. 2
THE CITY OF GRAPEVINE, TEXAS

STORE
SERIES
P13 LS LARGE

SHEET TITLE
GRADING & DRAINAGE PLAN

For Permit
 For Bid
 For Construction

Job No. : 013-303
Store : 04480
Date : 7/9/19
Drawn By : RMP
Checked By: BMB

Sheet
C-4

- GRADING NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND CITY STANDARDS AND SPECIFICATIONS.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
 - BARRICADE TRAFFIC CONTROL AND PROJECT SIGN SHALL CONFORM TO STATE DEPARTMENT OF HIGHWAYS AND PUBLIC TRANSPORTATION BARRICADE AND CONSTRUCTION STANDARDS AND CITY SPECIFICATIONS.
 - THE CONTRACTOR SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENTS TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE IS ACCEPTABLE, IF NECESSARY, UPON PRIOR APPROVAL OF THE ENGINEER. PARKING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
 - ALL PROPOSED CONTOURS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
 - REFER TO SITE PLAN FOR HORIZONTAL DIMENSIONS.
 - SITE PREPARATION AND GRADING, FOUNDATION EXCAVATION AND FILL COMPACTION SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION.
 - GRATE INLETS TO BE PRECAST, SINGLE GRATE INLET MANUFACTURED BY BROOKS PRODUCTS INC. (B-87-487-2763) WITH TRAFFIC BEARING GRATE, OR APPROVED EQUAL.
 - CONTRACTOR TO ENSURE GRADIES IN ACCESSIBLE ROUTE DO NOT EXCEED 5% IN THE RUN DIRECTION W/A 2% CROSS SLOPE.

- CONSTRUCTION SEQUENCE**
- OBTAIN GRADING PERMIT.
 - INSTALL ALL EROSION CONTROL MEASURES AND DEVICES THAT CAN BE INSTALLED PRIOR TO SITE CLEARING.
 - CLEAR SITE.
 - INSTALL ANY REMAINING CONTROL MEASURES AND DEVICES THAT COULD NOT BE INSTALLED PRIOR TO SITE CLEARING.
 - GRADE SITE.
 - INSTALL ALL UNDERGROUND UTILITIES. INSTALL EROSION CONTROL AROUND CATCH BASINS AND INLETS.
 - INSTALL PAVEMENT.
 - INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBED OFFSITE OR ONSITE AREAS HAVE BEEN HYDROMULCHED OR SODDED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND A MOWABLE STAND OF GRASS IS ACHIEVED.

BENCHMARK - BM 2		BENCHMARK - BM 5	
ELEVATION	845.42	ELEVATION	845.50
MONUMENT	CUT X ON TOP OF CURB	MONUMENT	CUT X ON TOP OF CURB
LOCATION	NODE OF PARKING ISLAND W. PARKING LOT OF FIRESTONE	LOCATION	SOUTH SIDE OF NORTH ENTRANCE DRIVE OF POST OFFICE PROPERTY

Case Name: Chick-fil-A
Case Number: CU19-37
Location: 1235 William D. Tate Avenue
Grapevine, Texas 76051

Mayor Secretary

Date: _____

PLANNING AND ZONING COMMISSION

Chairman

Date: _____

Sheet 3 of 15

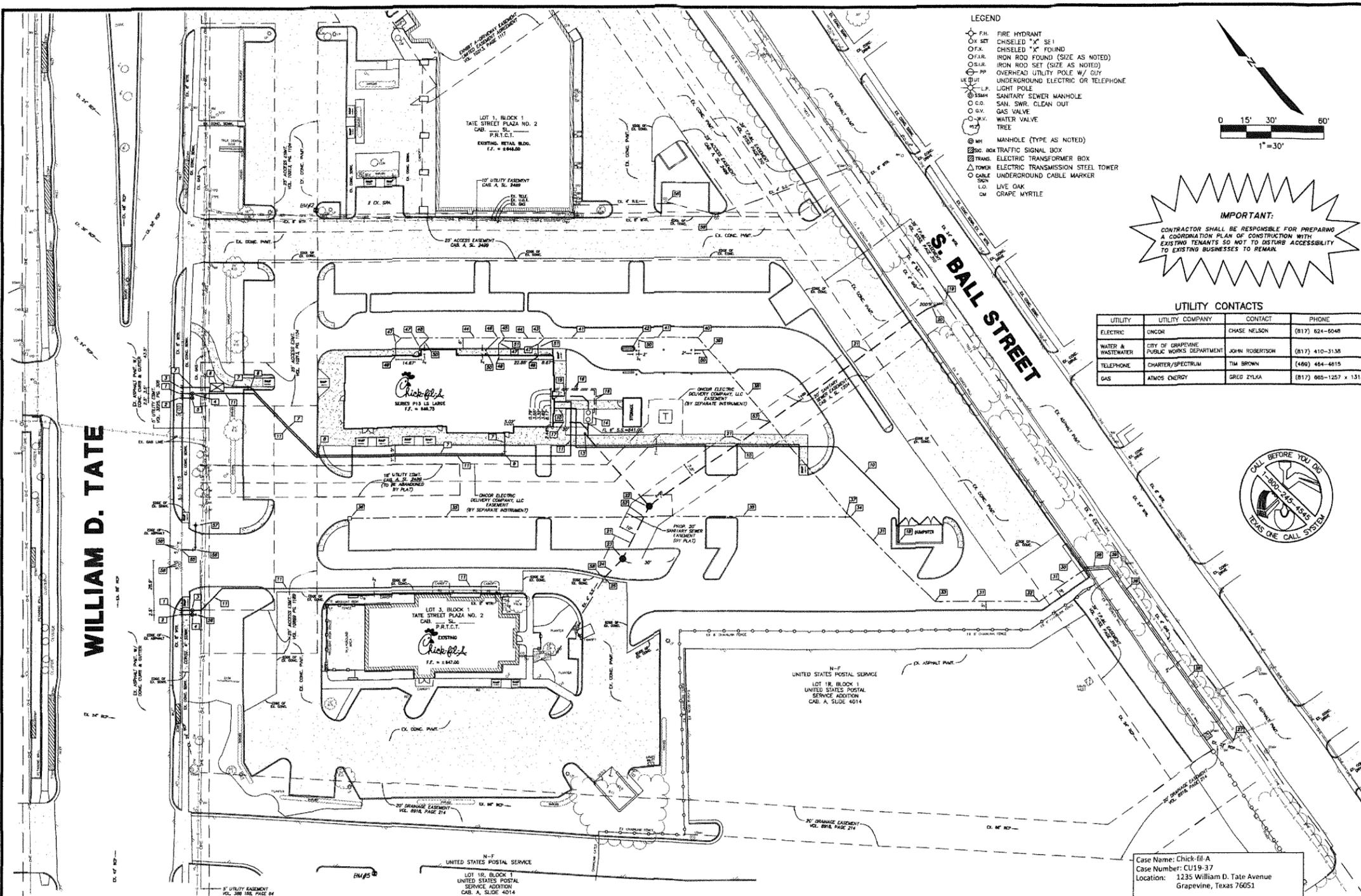
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DEPARTMENT OF DEVELOPMENT SERVICES

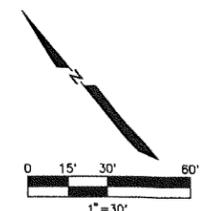
B BURGER ENGINEERING



17103 Preston Road, Suite 106N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380
TBP# 1-12997



- LEGEND**
- F.H. FIRE HYDRANT
 - CHISELED "X" SE1
 - CHISELED "X" FOUND
 - F.I.R. IRON ROD FOUND (SIZE AS NOTED)
 - F.I.R. IRON ROD SET (SIZE AS NOTED)
 - O.U.P. OVERHEAD UTILITY POLE W/ GUY
 - U.E.P. UNDERGROUND ELECTRIC OR TELEPHONE
 - L.P. LIGHT POLE
 - S.W.M. SANITARY SEWER MANHOLE
 - C.O. SAN. SWR. CLEAN OUT
 - G.V. GAS VALVE
 - W.V. WATER VALVE
 - T. TREE
 - M.H. MANHOLE (TYPE AS NOTED)
 - S.C. BOX TRAFFIC SIGNAL BOX
 - T.R. TRANS. ELECTRIC TRANSFORMER BOX
 - T.W. TOWER ELECTRIC TRANSMISSION STEEL TOWER
 - C.M. UNDERGROUND CABLE MARKER
 - L.O. LIVE OAK
 - G.M. GRAPE MYRTLE



IMPORTANT:
 CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING A COORDINATION PLAN OF CONSTRUCTION WITH EXISTING TENANTS SO NOT TO DISTURB ACCESSIBILITY TO EXISTING BUSINESSES TO REMAIN.

UTILITY CONTACTS

UTILITY	UTILITY COMPANY	CONTACT	PHONE
ELECTRIC	ONCOR	CHASE NELSON	(817) 624-8048
WATER & WASTEWATER	CITY OF GRAPEVINE PUBLIC WORKS DEPARTMENT	JOHN ROBERTSON	(817) 410-3138
TELEPHONE	CHARTER/SPECTRUM	TIM BROWN	(469) 464-4815
GAS	ATMOS ENERGY	GREG ZYLKA	(817) 885-1257 x 1313

- WATER LINE GENERAL NOTES**
1. ALL WORK AND MATERIALS, UNLESS OTHERWISE NOTED, SHALL CONFORM TO CITY STANDARD SPECIFICATIONS.
 2. ALL WATER MAIN PIPE MATERIALS SHALL MEET CITY OF ANNA REQUIREMENTS.
 3. DEPTHS OF WATER LINES TO MEET CITY DESIGN CRITERIA.
 4. FIRE HYDRANTS TO BE CITY APPROVED.
 5. VALVES TO BE CITY APPROVED.
 6. THE CONTRACTOR SHALL FURNISH A MAINTENANCE BOND TO THE CITY TO RUN TWO (2) YEARS FROM THE DATE OF ACCEPTANCE OF THE SYSTEM BY THE CITY. THE MAINTENANCE BOND WILL NEED TO BE ON THE CITY'S STANDARD FORM.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING "RECORD DRAWING" PLANS TO THE ENGINEER SHOWING THE LOCATION OF WATER SERVICES AND VALVES.
 8. FIRE HYDRANTS SHALL BE PAINTED AS PER CITY STANDARDS AND SPECIFICATIONS AND LOCATED IN A PROTECTED AREA WITH 6" CURB OR BOLLARDS.
 9. STREAMER NOZZLES ON FIRE HYDRANTS SHALL BE 18" ABOVE THE TOP OF THE CURB OR STREET. FIRE HYDRANTS SHALL USUALLY BE LOCATED FOUR (4) FEET, BUT NOT LESS THAN TWO (2) FEET NOR MORE THAN SIX (6) FEET, BEHIND THE CURB.
 10. ALL WATER LINES SHALL BE HYDROSTATICALLY TESTED PER CITY STANDARDS AND SPECIFICATIONS.
 11. ALL WATER LINES SHALL BE STERILIZED PER CITY STANDARDS AND SPECIFICATIONS.
 12. ALL METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS AND PROTECTED BY 6" CURBS OR BOLLARDS.
 13. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THAT NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING.
 14. UTILITY TRENCHES SHALL BE BACKFILLED WITH MATERIAL PER CITY SPECIFICATIONS.
 15. ALL WATER SERVICES OUTSIDE OF EASEMENTS SHALL BE INSTALLED BY A PLUMBER.
 16. CONTRACTOR TO INCLUDE ALL CITY WATER AND SEWER FEES IN BID. PAY CITY IMPACT FEES FOR WATER & S.S.
 17. NO WATER JETTING ALLOWED.

- WASTE WATER GENERAL NOTES**
1. ALL WORK, UNLESS OTHERWISE NOTED, SHALL CONFORM TO CITY STANDARD SPECIFICATIONS.
 2. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA RECORDED BY OTHERS. CONTRACTOR SHALL VERIFY THAT NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING.
 3. CONTRACTOR SHALL COORDINATE WITH THE OWNER, ENGINEER OR HIS REPRESENTATIVE AND CITY REPRESENTATIVE REGARDING ANY DEVIATIONS FROM THESE PLANS.
 4. CONTRACTOR SHALL MAINTAIN ONE SET OF RECORD DRAWINGS (AS BUILT) ON SITE WHICH WILL BE SUBMITTED TO THE ENGINEER UPON COMPLETION OF THIS PROJECT.
 5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT; ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, SEWER LATERALS, WATER SERVICE, ETC.
 6. SANITARY SEWER PIPE MUST BE KEPT CLEAR OF BROKEN CONCRETE, DIRT OR ANY OTHER DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS.
 7. ALL SANITARY SEWER MAINS ARE TO HAVE 1-21" JOINT CENTERED ON EITHER SIDE OF WATER MAINS WHERE CROSSINGS OCCUR.
 8. CONTRACTOR SHALL BE A 1" WIDE PIECE OF RED PLASTIC FLAGGING TO THE END OF SEWER SERVICE AND SHALL LEAVE A MINIMUM OF 30" OF FLAGGING EXPOSED AFTER BACKFILL AFTER PAVING IS COMPLETED. CONTRACTOR SHALL MARK THE LOCATION OF THIS SEWER SERVICE ON THE CURB IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS.
 9. THE CONTRACTOR SHALL FURNISH A MAINTENANCE BOND TO THE CITY TO RUN 2 YEARS FROM THE DATE OF FINAL ACCEPTANCE OF THE SYSTEM BY THE CITY.
 10. ALL SANITARY SEWER LATERALS SHALL BE SIZED AND LOCATED AS SHOWN.
 11. CONTRACTOR TO INCLUDE ALL RECORD BONDS, TAP FEES & CAMERA FEES IN PROPOSAL.
 12. NO WATER JETTING ALLOWED.
 13. ALL SANITARY SEWER MAINS SHALL BE SDR-35 PVC.

- DRAINAGE GENERAL NOTES**
1. ALL WORK, UNLESS OTHERWISE NOTED, SHALL CONFORM TO CITY STANDARD SPECIFICATIONS.
 2. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA RECORDED BY OTHERS. CONTRACTOR SHALL VERIFY THAT NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING.
 3. CONTRACTOR SHALL COORDINATE WITH THE OWNER, ENGINEER, OR HIS REPRESENTATIVE AND CITY REPRESENTATIVE REGARDING ANY DEVIATIONS FROM THESE PLANS.
 4. CONTRACTOR SHALL MAINTAIN ONE SET OF RECORD DRAWINGS (AS BUILT) ON SITE WHICH WILL BE SUBMITTED TO THE ENGINEER UPON COMPLETION OF THIS PROJECT.
 5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT; ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, SEWER LATERALS, WATER SERVICE, ETC.
 6. THE CONTRACTOR SHALL SET UTILITIES TO PROPER LINE AND GRADE PRIOR TO THE PLACING OF PERMANENT PAVEMENT.
 7. ALL STORM SEWER PIPE SHALL CONFORM TO CITY SPECIFICATIONS AND SHALL BE MANUFACTURED FROM ONE OF THE FOLLOWING MATERIALS:
 - a. CLASS II RCP Diameter 18"-60"
 - b. SDR 28 PVC Diameter 18"-18"
 8. ANY PIPE LOCATED WITHIN THE RIGHT-OF-WAY OR IN AN EASEMENT WILL BE RCP PIPE UNLESS OTHERWISE NOTED.
 9. ALL STORM PIPES ARE PRIVATE EXCEPT THOSE SHOWN IN CITY & STATE R.O.W.
 10. ALL RCP PIPE INSTALLATION SHALL CONFORM TO THE AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION MANUAL.
 11. ALL PIPE BENDS AND FITTINGS SHALL BE PREFABRICATED. COLLAR CONNECTIONS SHALL BE IN ACCORDANCE WITH THE CITY STANDARDS.

- CITY GENERAL NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A TWO (2) YEAR, 25% MAINTENANCE BOND ON ALL WATER, SANITARY SEWER, STORM DRAINAGE PAVEMENT AND EXCAVATION/FILL WITHIN RIGHT OF WAY OR EASEMENTS.
 2. THE CITY OF GRAPEVINE'S OVERTIME POLICY ALLOWS THE CONTRACTOR TO WORK FROM 7 A.M. TO 7 P.M. MONDAY THROUGH SATURDAY. NO WORK IS ALLOWED ON SUNDAYS. SATURDAY WORK REQUIRES A FOUR (4) HOUR MINIMUM CHANGE OVERTIME CHARGES OF \$45 PER HOUR SHALL BE PAID BY THE CONTRACTOR TO THE CITY FOR WORK OUTSIDE THE NORMAL WORK WEEK (I.E. 8 A.M. TO 5 P.M. MONDAY THRU FRIDAY).
 3. ALL WATER LINES WITHIN EASEMENTS ARE INSPECTED BY PUBLIC WORKS. PRIVATE LINES (OUTSIDE OF EASEMENTS, BEYOND METERS, NOT JUST WITHIN 8' OF THE BUILDING) ARE NOT INSPECTED BY PUBLIC WORKS. THESE LINES SHALL BE DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF GRAPEVINE BUILDING DEPARTMENT.

- LAYOUT NOTES**
1. INSTALL NEW 8"x2" SERVICE CONN. W/ 2" VALVE TO EX. 8" WATER
 2. INSTALL NEW 8"x1" SERVICE CONN. W/ 1" VALVE TO EX. 8" WATER
 3. INSTALL NEW 8"x2" TAPPING SLLEEVE & VALVE TO EX. 8" WATER
 4. INSTALL 1 1/2" WATER METER (DOM.) W/ METER BOX
 5. INSTALL 1" WATER METER (RRL.) W/ METER BOX
 6. INSTALL 8" DETECTOR CHECK W/ WAULT & F.D.C. PER CITY OF GRAPEVINE STANDARDS
 7. 8" FIRE LINE
 8. 6"x45" BEND W/ THRUST BLOCKING
 9. 6"x90" BEND W/ THRUST BLOCKING
 10. 3/4" CW TO DUMPSTER POST HYDRANT
 11. INSTALL 2" COPPER DOMESTIC WATER SERVICE. PLUMBING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR.
 12. 8" SDR 26 PVC WASTEWATER SERVICE LINE @ 7%
 13. CLEANOUT
 14. PRECAST 1000 GAL. CAPACITY GREASE TRAP. PLUMBING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR. TOP RIM OF MANHOLE TO BE 0.2' ABOVE FINISH GRADE.
 15. 4" KITCHEN WASTE LINE
 16. 5" VENT LINE
 17. 4" RESTROOM WASTE LINE
 18. DUMPSTER POST HYDRANT REFER TO P-31
 19. STA. 0+00 LN. A. CONNECT NEW 8" S.S. MAIN TO EX. S.S. MANHOLE RM = 636.50 FL. EX. 8" S.S. OUT = 632.95 (VERIFY) FL. 8" S.S. IN = 633.29
 20. 8" S.S. ON 200' RADIUS
 21. 8" S.S. (SDR-35 PVC)
 22. STA. 2+08.40 LN. A. CONST. 4" DIA. MANHOLE W/ 8" LAT. N.W. RM = 642.95 FL. 8" S.S. (OUT) = 634.25 FL. 8" S.S. (IN) = 636.33
 23. STA. 2+42.23 LN. A. CONST. 4" DIA. MANHOLE W/ 4" LAT. S.W. RM = 644.50 FL. 8" S.S. (OUT) = 636.90 FL. 4" S.S. = 637.00
 24. 4" S.S. @ 2% MIN.
 25. REMOVE EX. 4" PLUG & CONNECT TO EX. 4" S.S. CONTRACTOR TO VERIFY FLOWLINE.
 26. CONTRACTOR TO RECONNECT EX. IRRIGATION SYSTEM TO NEW METER.
 27. STA. 0+00 LN. 1.0. CONNECT TO EX. 33" RCP W/ 33" 24" PIPE TO PIPE CONNECTION FL. 33" RCP = 626.00 (VERIFY) FL. 24" RCP = 626.58
 28. 24" RCP LN. 1.0
 29. STA. 1+25.02 LN. 1.0 24"x30" BEND FL. 24" RCP = 637.75 @ C.L. FL. 8" PVC = 639.75
 30. STA. 1+38.45 LN. 1.0 INSTALL 2-4 GRATE COMBINATION INLETS ON GRADE & CONNECTED TOP = 637.75 @ C.L. FL. 24" RCP = 633.40 FL. 10" PVC = 633.50
 31. 10" PVC @ 1.42%
 32. 10"x30" BEND
 33. 10"x45" BEND
 34. 10"x10" WYE CONNECTION FL. 10" PVC = 635.75
 35. 10" PVC @ 1.90%
 36. INSTALL 2"x2" GRATE INLET TOP = 644.70 FL. 10" PVC = 641.20
 37. END 10" PVC & BEGN 8" PVC FL. 10" & 8" PVC = 635.80
 38. 8" PVC @ 3%
 39. 8"x8" WYE CONNECTION FL. 8" PVC = 636.45
 40. 8"x45" BEND FL. 8" PVC = 639.75
 41. 8" PVC @ 3%
 42. 8"x8" WYE CONNECTION FL. 8" PVC = 640.75
 43. 8"x8" WYE CONNECTION FL. 8" PVC = 642.50
 44. 8" PVC @ 1.32%
 45. 8"x8" WYE CONNECTION FL. 8" PVC = 642.80
 46. 8"x8" WYE CONNECTION FL. 8" PVC = 642.85
 47. 8"x45" BEND
 48. 8"x8" WYE CONNECTION FL. 8" PVC = 643.50
 49. 8" PVC TO CANDY DRAIN @ 1% MIN.
 50. 8" PVC TO ROOF DRAIN @ 1% MIN.
 51. UTILITY CROSSING FL. 10" PVC = 637.95 FL. 8" S.S. = 636.46
 52. UTILITY CROSSING FL. 8" PVC = 637.85 FL. 8" S.S. = 635.03
 53. 4" IRRIGATION SLLEEVE W/90° ELBOWS STUBBED ABOVE GRADE
 54. REMOVE EX. 8" PLUG & CONNECT TO EX. 8" WTR.
 55. 8"x90" BEND W/ THRUST BLOCKING
 56. FIRE HYDRANT PER CITY OF GRAPEVINE STANDARDS
 57. ADJUST EX. CLEANOUT/VALVE TO PROG. GRADE.

Case Name: Chick-fil-A
 Case Number: CU19-37
 Location: 1235 William D. Tate Avenue
 Grapevine, Texas 76051

 Mayor Secretary

Date: _____

PLANNING AND ZONING COMMISSION

 Chairman

Date: _____

Sheet 4 of 16

Approval does not authorize any work in conflict with any codes or ordinances.

DEPARTMENT OF DEVELOPMENT SERVICES

BURGER ENGINEERING

17103 Preston Road, Suite 191N
 Dallas, Texas 75248
 Office: 972.630.3360 Fax: 972.630.3380
 TBP# F-12997

PS-1

5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

Revisions:
 Mark Date By

Mark Date By

Mark Date By

1235 WILLIAM D. TATE AVENUE
 LOTS 1-3, BLOCK 1
 TATE STREET PLAZA NO. 2
 THE CITY OF GRAPEVINE, TEXAS

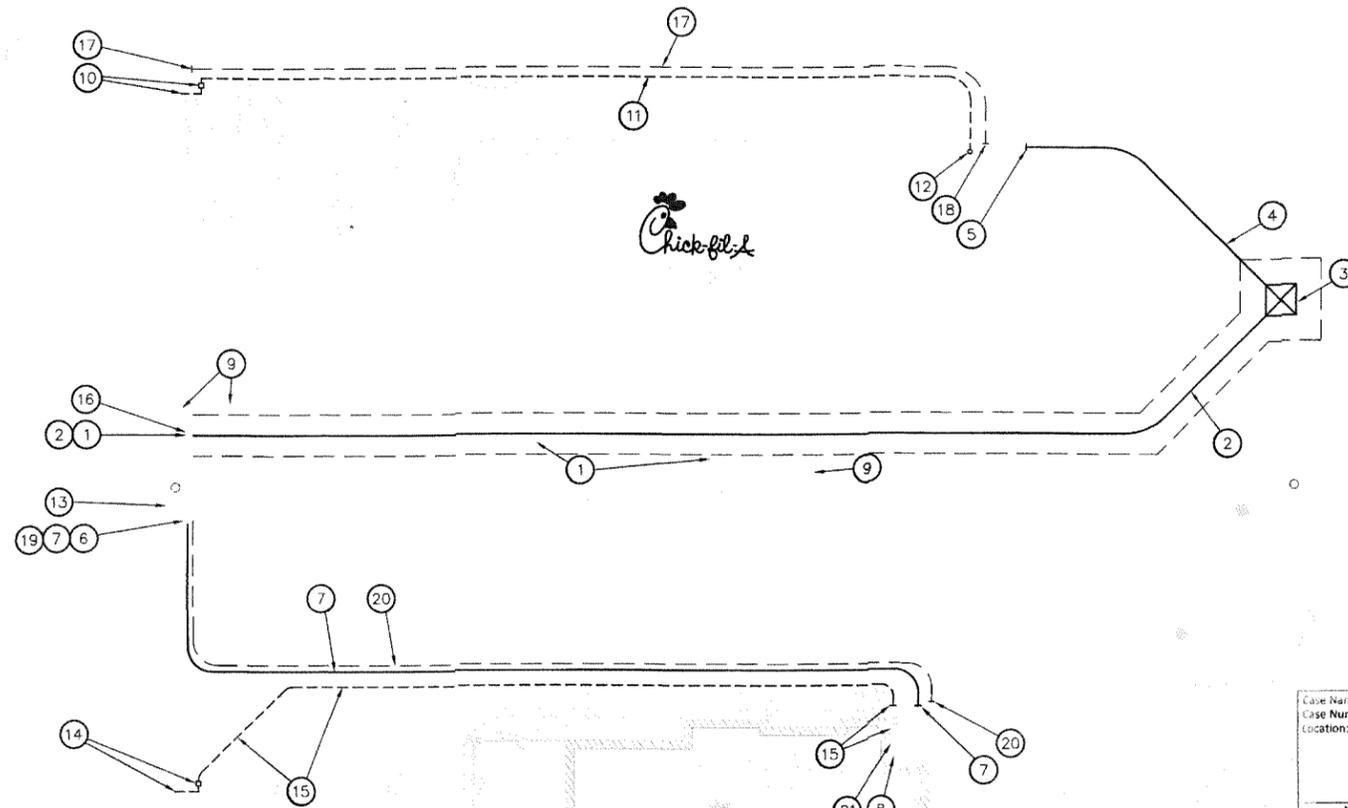
STORE
 SERIES
 P13 LS LARGE

SHEET TITLE
**PLUMBING
 SITE PLAN**

For Permit
 For Bid
 For Construction

Job No. : 013-303
 Store : 04480
 Date : 7/9/19
 Drawn By : RMP
 Checked By : BMB
 Sheet

WILLIAM D. TATE



Case Name: Chick Fil A
 Case Number: CU19-37
 Location: 1235 William D. Tate Avenue
 Grapevine, Texas 76051

 Mayor Secretary

Date: _____

PLANNING AND ZONING COMMISSION

 Chairman

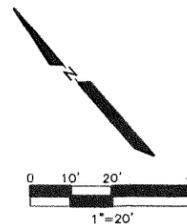
Date: _____

Sheet 5 of 16

Approval does not authorize any work in conflict
 with any codes or ordinances.

DEPARTMENT OF DEVELOPMENT SERVICES

UTILITY COMPANY CONTACTS				
ONCOR MR. CHASE NELSON 2001 N. INDUSTRIAL BLVD. BEDFORD, TX 76021 CHASE.NELSON@ONCOR.COM 817-624-6048 OFC 682-351-5926 CELL	ATMOS ENERGY MR. GREG ZYLKA 2000 RELIANCE PARKWAY BEDFORD, TX 76021 GREGORY.ZYLKA@ATMOSENERGY.COM 817-685-1257 X1313 OFC	FRONTIER COMMUNICATIONS MR. JOE GARZA 3498 N. BELT LINE ROAD IRVING, TX 75062 JOE.GARZA@FR.COM 972-252-0770 OFC 325-245-5102 CELL	CHARTER/SPECTRUM MR. TIM BROWN 750 CANYON DRIVE COPELL, TX 75019 TIM.BROWN@CHARTER.COM 469-484-4815 OFC 214-476-8878 CELL	AT&T MRS. TONJA VAN VLECK 2513 W.E. ROBERTS DR., SUITE 200 GRAND PRAIRIE, TX 75051 TV8572@ATT.COM 972-207-3027 OFC



EXISTING UTILITIES NOTES

CONTRACTOR IS TO CONTACT 1-800-DIG-TESS AND HAVE THEM LOCATE ALL BURIED UTILITIES WHICH MAY BE AFFECTED IN ANY WAY BY THE WORK OF THIS PROJECT.

1-800-DIG-TESS WILL LOCATE UTILITIES WITHIN 2'0" HORIZONTALLY OF THEIR EXISTING BURIED LOCATION.

NEITHER DIG-TESS NOR THE UTILITY COMPANIES WILL WARRANTY EXISTING DEPTH OF BURIED UTILITIES. CONTRACTOR IS TO CAREFULLY DIG 'POTHOLES' UNTIL DEPTH AND EXACT HORIZONTAL LOCATIONS OF ALL UTILITIES CAN BE VERIFIED.

IF DISCREPANCIES AND CONFLICTS ARE DISCOVERED, CONTACT THE OWNER'S REPRESENTATIVE FOR DIRECTIONS PRIOR TO PROCEEDING WITH AFFECTED WORK.

GENERAL NOTES

- COORDINATE ALL WORK WITH UTILITY COMPANIES AND OWNER'S REPRESENTATIVE.
- STAKE EASEMENTS, CENTERLINE OF TRENCHES, ENDS OF LINES AND CORNERS OF PADS FOR UTILITY COMPANIES. COORDINATE EXACT LOCATIONS WITH CIVIL ENGINEER AND WITH UTILITY COMPANIES.
- VERIFY ALL DIMENSIONS WITH OWNER'S REPRESENTATIVE PRIOR TO ROUGH-IN.
- PROVIDE TRENCHING, BACKFILL AND COMPACTION FOR UTILITY COMPANIES PER SOILS ENGINEER RECOMMENDATIONS AND UTILITY COMPANIES' STANDARDS U.N.O.
- ALL WORK IS TO BE PROVIDED BY THE CONTRACTOR UNLESS SPECIFICALLY NOTED TO BE PROVIDED BY THE UTILITY COMPANIES.
- COMMON UTILITY TRENCHES MAY BE USED IF ACCEPTABLE TO THE UTILITY COMPANIES. MAINTAIN ALL UTILITY COMPANIES' REQUIRED SEPARATIONS HORIZONTALLY AND VERTICALLY. CONTRACTOR IS RESPONSIBLE FOR ALL TRENCHING, BEDDING, BACKFILL AND COMPACTION PER UTILITY COMPANIES' REQUIREMENTS AND SOILS ENGINEER'S RECOMMENDATIONS.
- PROVIDE SWEEPING BENDS FOR FIBER OPTIC CABLES FOR ALL TELECOM CONDUITS. VERIFY REQUIREMENTS WITH TELECOM COMPANIES.

NOTES BY SYMBOL 'O' -- MEP SITE PLAN

- COORDINATE WITH ONCOR TO DISCONNECT EXISTING PRIMARY ELECTRICAL SERVICE TO VACANT BUILDING AND REMOVE METER, TRANSFORMER AND PRIMARY CONDUCTORS BACK TO EXISTING ONCOR POLE. SEE SHEET C-2 DEMOLITION PLAN FOR ADDITIONAL DETAIL.
- PROVIDE (2) 4" PRIMARY CONDUITS WITH PULL TAPE PER ONCOR STANDARDS FROM EXISTING POLE RISER TO NEW TRANSFORMER PRIMARY COMPARTMENT. VERIFY EXACT LOCATION AT BOTH POLE RISER AND NEW TRANSFORMER WITH ONCOR. PROVIDE TRENCH, BACKFILL AND COMPACTION PER ONCOR STANDARDS AND SOILS ENGINEER'S RECOMMENDATIONS. CAP, STAKE AND LABEL ENDS. ONCOR TO PROVIDE PRIMARY CONDUCTORS AND TERMINATIONS AT POLE AND NEW TRANSFORMER.
- PROVIDE CONCRETE TRANSFORMER PAD PER ONCOR STANDARDS. CONFIRM EXACT LOCATION AND ORIENTATION OF PAD WITH ONCOR PRIOR TO INSTALLATION. ONCOR TO PROVIDE PAD MOUNTED TRANSFORMER WITH 120/208V, 3P, 4W SECONDARY VOLTAGE AND METER ON TRANSFORMER. PROVIDE PAINTED, CONCRETE FILLED PIPE BOLLARDS PER ONCOR STANDARDS.
- PROVIDE (4) 4" SECONDARY CONDUITS WITH PULL TAPE PER ONCOR STANDARDS FROM TRANSFORMER SECONDARY COMPARTMENT TO WITHIN 5'0" OF BUILDING WALL. PROVIDE TRENCH, BACKFILL AND COMPACTION PER SOILS ENGINEER'S RECOMMENDATIONS. CAP, STAKE AND LABEL ENDS.
- BUILDING CONTRACTOR TO EXTEND CONDUITS TO BUILDING WALL AND PROVIDE BUILDING MOUNTED SWITCHGEAR DURING BUILDING CONSTRUCTION AND PROVIDE SECONDARY CONDUCTORS AND TERMINATIONS AT BUILDING SWITCHGEAR. BUILDING CONTRACTOR TO FURNISH TERMINALS PER ONCOR STANDARDS FOR ONCOR TO PROVIDE TERMINATIONS AT TRANSFORMER AND METER.
- AFTER THE EXISTING CHICK-FIL-A AT 1245 WILLIAM D. TATE AVENUE HAS VACATED THE PREMISES, COORDINATE WITH ONCOR TO DISCONNECT EXISTING SECONDARY ELECTRICAL SERVICE TO VACANT BUILDING AND REMOVE CONDUCTORS BACK TO EXISTING ONCOR POLE MOUNTED TRANSFORMERS. SEE SHEET C-2 DEMOLITION PLAN FOR ADDITIONAL DETAIL.
- BREAK INTO EXISTING SECONDARY CONDUITS AND EXTEND CONDUITS WITH PULL TAPE PER ONCOR STANDARDS TO EXISTING ONCOR POLE WITHIN UTILITY EASEMENT. VERIFY EXACT LOCATION AT POLE WITH ONCOR PRIOR TO INSTALLATION. PROVIDE TRENCH, BACKFILL AND COMPACTION PER ONCOR STANDARDS AND SOILS ENGINEER'S RECOMMENDATIONS. CAP, STAKE AND LABEL ENDS.
- COORDINATE WITH ONCOR TO PROVIDE TERMINATIONS OF SECONDARY CONDUCTORS AT POLE MOUNTED TRANSFORMERS AND METER AT EXISTING TRANSOCKET.
- COORDINATE WITH ATMOS TO DISCONNECT GAS SERVICE TO EXISTING VACANT BUILDING AND REMOVE EXISTING GAS METER. ATMOS TO CAP EXISTING GAS SERVICE LINE AT GAS MAIN. SEE SHEET C-2 DEMOLITION PLAN FOR ADDITIONAL DETAILS.
- COORDINATE WITH ATMOS TO LOCATE EXISTING GAS MAIN AT WILLIAM D. TATE AVENUE WITHIN UTILITY EASEMENT AND PROVIDE A NEW GAS SERVICE LINE TO A STUBUP WITH A MAIN SHUTOFF VALVE, A PRESSURE REGULATOR SET FOR 5 PSI DISCHARGE PRESSURE AND AN ATMOS GAS METER ADJACENT TO UTILITY EASEMENT AS SHOWN. VERIFY EXACT LOCATION WITH ATMOS AND BUILDING CONTRACTOR. PROVIDE PAINTED, CONCRETE FILLED PIPE BOLLARDS TO PROTECT METER PER ATMOS STANDARDS.
- PROVIDE PRIVATE 1-1/2" POLY GAS SERVICE LINE PIPING FROM GAS METER TO BUILDING PER ATMOS STANDARDS. PROVIDE TRENCH, BACKFILL AND COMPACTION PER SOILS ENGINEER'S RECOMMENDATIONS.
- PROVIDE STEEL GAS PIPING STUBUP TO A MAIN SHUTOFF VALVE. COORDINATE EXACT LOCATION AT BUILDING WITH BUILDING CONTRACTOR. BUILDING CONTRACTOR TO PROVIDE PRESSURE REGULATOR.
- AFTER THE EXISTING CHICK-FIL-A AT 1245 WILLIAM D. TATE AVENUE HAS VACATED THE PREMISES, COORDINATE WITH ATMOS TO DISCONNECT GAS SERVICE TO EXISTING VACANT BUILDING AND REMOVE EXISTING GAS METER. ATMOS TO CAP EXISTING GAS SERVICE LINE AT GAS MAIN. SEE SHEET C-2 DEMOLITION PLAN FOR ADDITIONAL DETAILS.
- COORDINATE WITH ATMOS TO LOCATE EXISTING GAS MAIN AT WILLIAM D. TATE AVENUE WITHIN UTILITY EASEMENT AND PROVIDE A NEW GAS SERVICE LINE TO A STUBUP WITH A MAIN SHUTOFF VALVE, A PRESSURE REGULATOR SET FOR 5 PSI DISCHARGE PRESSURE AND AN ATMOS GAS METER ADJACENT TO UTILITY EASEMENT AS SHOWN. VERIFY EXACT LOCATION WITH ATMOS AND BUILDING CONTRACTOR. PROVIDE PAINTED, CONCRETE FILLED PIPE BOLLARDS TO PROTECT METER PER ATMOS STANDARDS.
- LOCATE AND BREAK INTO EXISTING PRIVATE GAS SERVICE LINE AT BUILDING AS SHOWN. CONNECT AND EXTEND WITH NEW 1-1/2" POLY GAS SERVICE LINE PIPING TO GAS METER PER ATMOS STANDARDS. PROVIDE TRENCH, BACKFILL AND COMPACTION PER SOILS ENGINEER'S RECOMMENDATIONS. PROVIDE MAIN SHUTOFF VALVE AT BUILDING. BUILDING CONTRACTOR TO PROVIDE PRESSURE REGULATOR.
- COORDINATE WITH SPECTRUM TO DISCONNECT COMMUNICATION SERVICE TO EXISTING VACANT BUILDING. SEE SHEET C-2 DEMOLITION PLAN FOR ADDITIONAL DETAIL.
- PROVIDE (3) 4" SCHEDULE 40 PVC COMMUNICATION CONDUITS WITH PULL TAPE PER SPECTRUM STANDARDS FROM UTILITY EASEMENT ALONG WILLIAM D. TATE TO WITHIN 5'0" OF BUILDING WALL AS SHOWN. PROVIDE TRENCH, BACKFILL AND COMPACTION PER SPECTRUM STANDARDS AND SOILS ENGINEER'S RECOMMENDATIONS. INSTALL A MINIMUM OF 24" BELOW FINAL GRADE/TOP OF PAVING TO TOP OF CONDUIT. VERIFY EXACT LOCATION AT UTILITY EASEMENT WITH SPECTRUM. CAP, STAKE AND LABEL ENDS.
- BUILDING CONTRACTOR TO EXTEND (3) 4" CONDUITS AND PULL TAPE TO INTERIOR TERMINAL BOARD DURING BUILDING CONSTRUCTION AND COORDINATE WITH SPECTRUM TO PROVIDE CABLE AND TERMINATIONS AT BOTH ENDS DURING BUILDING CONSTRUCTION.
- AFTER THE EXISTING CHICK-FIL-A AT 1245 WILLIAM D. TATE AVENUE HAS VACATED THE PREMISES, COORDINATE WITH SPECTRUM TO DISCONNECT COMMUNICATION SERVICE TO EXISTING VACANT BUILDING. SEE SHEET C-2 DEMOLITION PLAN FOR ADDITIONAL DETAIL.
- LOCATE AND BREAK INTO EXISTING COMMUNICATION CONDUITS AT VACANT BUILDING AND EXTEND (2) 3" SCHEDULE 40 PVC COMMUNICATION CONDUITS WITH PULL TAPE PER SPECTRUM STANDARDS TO EXISTING ONCOR POLE WITHIN UTILITY EASEMENT AS SHOWN. PROVIDE TRENCH, BACKFILL AND COMPACTION PER SPECTRUM STANDARDS AND SOILS ENGINEER'S RECOMMENDATIONS. INSTALL A MINIMUM OF 24" BELOW FINAL GRADE/TOP OF PAVING TO TOP OF CONDUIT. VERIFY EXACT LOCATION AT UTILITY EASEMENT WITH SPECTRUM. CAP, STAKE AND LABEL ENDS.
- BUILDING CONTRACTOR TO COORDINATE WITH SPECTRUM TO PROVIDE CABLE FROM POLE TO INTERIOR TERMINAL BOARD AND TERMINATIONS AT BOTH ENDS DURING CONSTRUCTION.

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 robinett01@aol.com
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 Dallas, Texas 75248
 Office: 972.630.3360 Fax: 972.630.3380
 TBPE F-12997



Revisions:
 Mark Date By
 △ _____

Mark Date By
 △ _____

Mark Date By
 △ _____



1235 WILLIAM D. TATE AVENUE
 LOTS 1-3, BLOCK 1
 TATE STREET PLAZA NO. 2
 THE CITY OF GRAPEVINE, TEXAS

STORE
 SERIES
 P12 IS LARGE

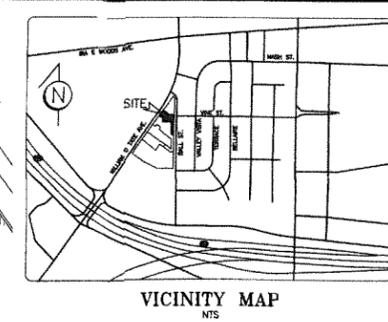
SHEET TITLE
 MEP
 SITE PLAN

For Permit
 For Bid
 For Construction

Job No. : 013-303
 Store : 04480
 Date : 12/04/19
 Drawn By : RS
 Checked By : GF

Sheet
MEP1

SITE DATA	
ZONING:	CC (COMMUNITY COMMERCIAL)
LOT AREA:	1,559 ACRES (67,936 S.F.)
PROPOSED USE:	RETAIL
BUILDING AREA:	8,955 S.F.
F.A.R.:	0.13:1
PARKING REQUIRED:	95 SPACES
PARKING PROVIDED:	95 SPACES
BUILDING HEIGHT:	1 STORY
PROP. LANDSCAPE AREA:	15,773 S.F. (20.27%)
PROP. PAVED AREA:	45,328 S.F. (66.72%)



Case Name: Chick-fil-A
 Case Number: CU19-37
 Location: 1235 William D. Tate Avenue
 Grapevine, Texas 76051

Mayor _____ Secretary _____
 Date: _____

PLANNING AND ZONING COMMISSION
 Chairman _____

Date: _____

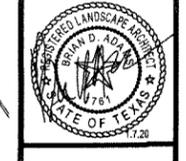
Sheet 6 of 16

Approval does not authorize any work in conflict with any codes or ordinances.

DEPARTMENT OF DEVELOPMENT SERVICES

5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

Revisions:	Mark	Date	By
1	▲	1/2/20	BCC
2	▲	1/7/20	
3	▲		



1235 WILLIAM D. TATE AVENUE
 LOTS 1-3, BLOCK 1
 TATE STREET PLAZA NO. 2
 THE CITY OF GRAPEVINE, TEXAS

STORE
 SERIES
 P12 LS LARGE

SHEET TITLE
TREE PRES. PLAN

For Permit
 For Bid
 For Construction

Job No. : 013-303
 Store : 04480
 Date : 12/2/19
 Drawn By : BCC
 Checked By : BDA
 Sheet

TP-1

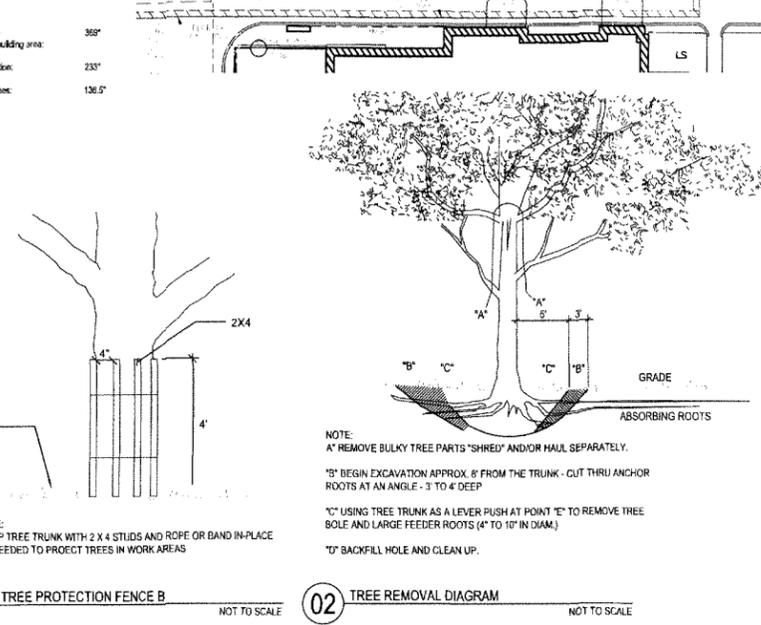
TAG #	TREE TYPE / INCHES	REMOVE / REMAIN	MITIGATION
001	Red Oak / 24	REMAIN	0
002	Red Oak / 24	REMAIN	0
003	Crape Myrtle / 2	REMOVE	3-UNDERSIZED
004	Red Oak / 24	REMAIN	0
005	Gingko / 8	REMOVE	8
006	Crape Myrtle / 2	REMOVE	3-UNDERSIZED
007	Tree Mopelia / 4	REMOVE	4
008	Tree Yucca / 4	REMOVE	4
009	Red Oak / 7.8	REMOVE	8
010	Crape Myrtle / 2	REMOVE	3-UNDERSIZED
011	Bradford Pear / 18	REMOVE	18
012	Elm / 10	REMOVE	10
013	Elm / 8	REMOVE	8
014	Red Oak / 6	REMOVE	6
015	Bradford Pear / 18	REMOVE	18
016	Crape Myrtle / 2	REMOVE	3-UNDERSIZED
017	Bradford Pear / 12	REMOVE	12
018	Bradford Pear / 12	REMOVE	12
019	Willow / 10	REMOVE	0-OFFSITE
020	Willow / 12	REMOVE	0-OFFSITE
021	Bradford Pear / 12	REMOVE	12
022	Bradford Pear / 12	REMOVE	12
023	Crape Myrtle / 2	REMOVE	3-UNDERSIZED
024	Hackberry / 10	REMOVE	10
025	Live Oak / 4	REMOVE	4
026	Hackberry / 6	REMOVE	3-UNDERSIZED
027	Hackberry / 10	REMOVE	10
028	Hackberry / 12	REMOVE	12
029	Crape Myrtle / 2	REMOVE	3-UNDERSIZED
030	Crape Myrtle / 2	REMOVE	3-UNDERSIZED
031	Crape Myrtle / 2	REMOVE	3-UNDERSIZED
032	Crape Myrtle / 2	REMOVE	3-UNDERSIZED
033	Crape Myrtle / 2	REMOVE	3-UNDERSIZED
034	Red Oak / 18	REMOVE	18
035	Red Oak / 24	REMOVE	24
036	Crape Myrtle / 2	REMOVE	3-UNDERSIZED
037	Crape Myrtle / 2	REMOVE	3-UNDERSIZED
038	Crape Myrtle / 2	REMOVE	3-UNDERSIZED
039	Crape Myrtle / 2	REMOVE	3-UNDERSIZED
040	Crape Myrtle / 2	REMOVE	3-UNDERSIZED
041	Red Oak / 15	REMOVE	15
042	Crape Myrtle / 2	REMOVE	3-UNDERSIZED

TREE TABULATIONS

Total caliper inches of Protected Trees to be Removed 3 and above outside building area: 385"

Total caliper inches required for mitigation: 233"

Total caliper inches provided of new trees: 136.5"



EXISTING TREE NOTES

- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around dripline (canopy) of tree.
- If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a Seamed Araldite be secured for the treatment of any possible tree wounds.
- No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A maximum of 75% of the drip line and root zone shall be preserved at natural grade.
- Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
- Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
- Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
- Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
- Vehicle/Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.

EXISTING TREE NOTES CONT'D

- Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48) inches.
- Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
- Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (2" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
- Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
- Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by encircling the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
- Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval of the Landscape Architect.

EXISTING TREE LEGEND

- (Circle with 'a') EXISTING TREE TO REMAIN
- (Circle with 'b') EXISTING PROTECTED TREE TO BE REMOVED
- (Circle with 'c') EXISTING TREE TO BE REMOVED

APPLICANT:
 CHICK-FIL-A, INC.
 5200 BUFFINGTON ROAD
 ATLANTA, GEORGIA 30349
 PHONE: (404) 785-8000
 CONTACT: GETRA.THOMAS@CFACORP.COM
 EMAIL: GETRA.THOMAS@CFACORP.COM

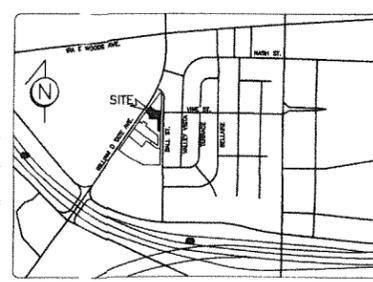
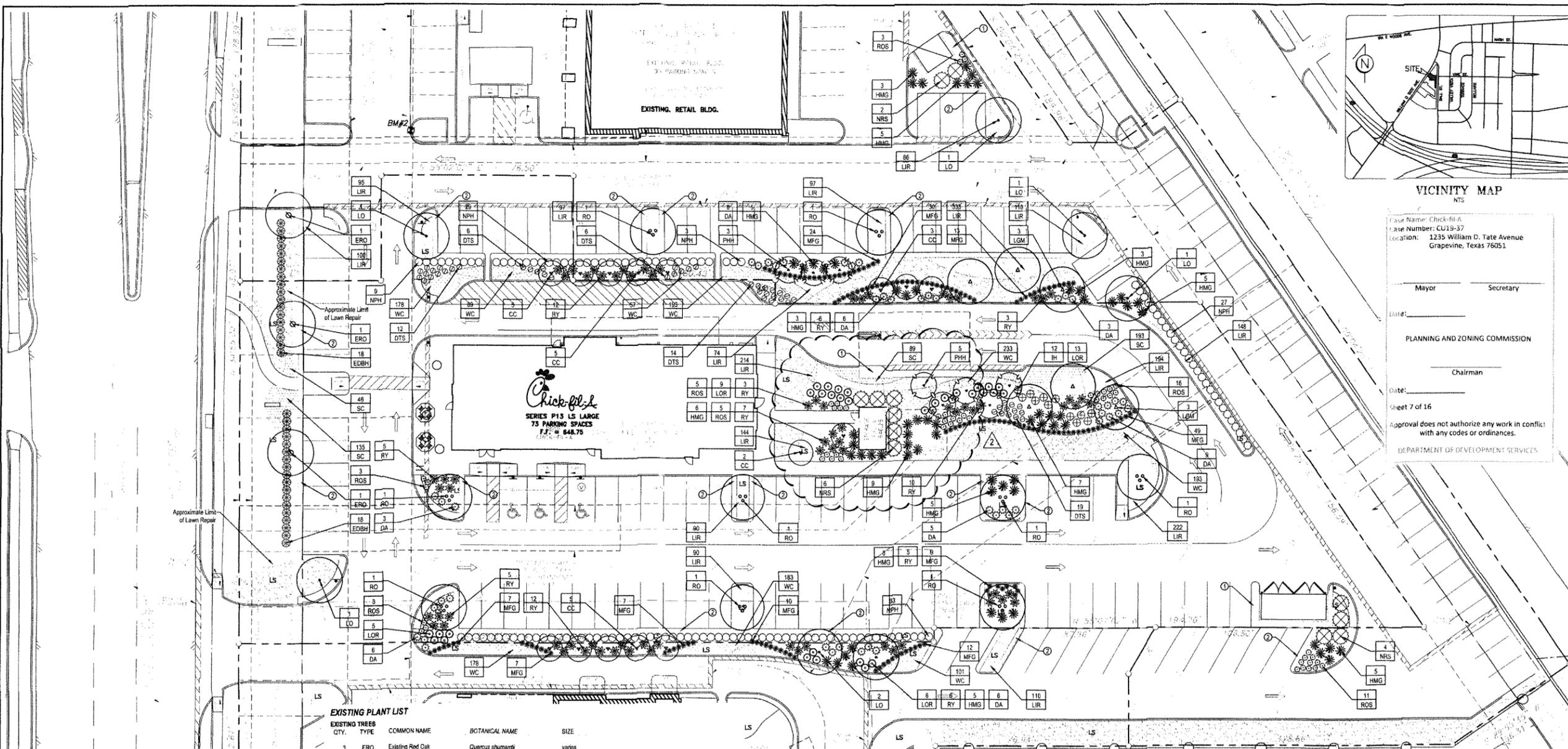
ENGINEER:
 BURGER ENGINEERING, LLC
 17103 PRESTON ROAD, SUITE 180N
 DALLAS, TEXAS 75248
 TEXAS REGISTERED ENGINEERING FIRM F-12997
 PHONE: (972) 630-3380
 CONTACT: BRYAN M. BURGER, P.E.
 EMAIL: BBURGER@BURGERENGINEERING.COM

smr
 landscape architects, inc.
 1703 N. Griffin Street
 Dallas, Texas 75202
 Tel: 214.871.0038
 Fax: 214.871.0645
 Email: smr@smr-4.com

01 TREE PRESERVATION PLAN
 SCALE: 1" = 20'-0"

BURGER ENGINEERING
 Civil Consultants

17103 Preston Road, Suite 180N
 Dallas, Texas 75248
 Office: 972.630.3360 Fax: 972.630.3380
 TBPE F-12997



Case Name: Chick-fil-A
 Case Number: CU19-37
 Location: 1235 William D. Tate Avenue
 Grapevine, Texas 76051

Mayor _____ Secretary _____
 Date: _____

PLANNING AND ZONING COMMISSION
 Chairman _____

Date: _____
 Sheet 7 of 16
 Approval does not authorize any work in conflict with any codes or ordinances.
 DEPARTMENT OF DEVELOPMENT SERVICES



Revisions:
 Mark Date By
 1 1/2/20 BCC
 City Comments
 Mark Date By
 2 1/7/20 BCC
 City Comments
 Mark Date By
 City Comments



1235 WILLIAM D. TATE AVENUE
 LOTS 1-3, BLOCK 1
 TATE STREET PLAZA NO. 2
 THE CITY OF GRAPEVINE, TEXAS

STORE
 SERIES
 P12 LS LARGE

SHEET TITLE
 LANDSCAPE PLAN

For Permit
 For Bid
 For Construction

Job No.: 013-303
 Store: 04480
 Date: 12/2/19
 Drawn By: BCC
 Checked By: BDA
 Sheet

L-1

EXISTING PLANT LIST

EXISTING TREES	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE
3	ERO	Existing Red Oak	Quercus shumardii	varies	

EXISTING SHRUBS	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE
36	EDBH	Existing Dwarf Barford Holly	Leucophyllum x Lynn Lowry's Dwarf	5 gal.	

PROPOSED PLANT LIST

TREES	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
6	LGM	Little Gem Magnolia	Magnolia grandiflora 'Little Gem'	3" cal.	container grown, 13" ht., 4" spread min.	
20	CC	Redbud	Cercis canadensis 'Okeloma'	7" ht. min.	B&B, 3-5 cane, no cross crotch, tree form, 2.5" Cal. min.	
8	PHH	Possambaw Holly	Ilex opacifolia	7" ht. min.	B&B, 3-5 cane, no cross crotch, tree form, 2.5" Cal. min.	
7	LO	Live Oak	Quercus virginiana	3" cal.	container grown, 13" ht., 4" spread min.	
12	NRS	Nellie R. Steven Holly	Ilex x 'Nellie R. Steven'	30 gal.	container grown, 8' to base, 2.5" Cal. min.	
8	RO	Red Oak	Quercus shumardii	3" cal.	container grown, 13" ht., 4" spread min.	

SHRUBS	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
51	DA	Dwarf Abelia	Abelia grandiflora 'Super Gold'	5 gal.	container grown, full plant specimen	
57	DTS	Dwarf Texas Sage	Leucophyllum x Lynn Lowry's Dwarf	5 gal.	container grown, full plant specimen	
131	NPH	Needlepoint Holly	Ilex cornuta 'Needlepoint'	5 gal.	container grown, full plant specimen	
54	HMG	Hawaiian Grass	Pennisetum alopecuroides	5 gal.	container grown, full plant specimen	
12	HH	Indian Hawthorne	Raphanostylis indica	5 gal.	container grown, full plant specimen	
33	LOR	Lorspetalum	Lorspetalum chinense 'Shang-hi'	5 gal.	container grown, full plant specimen	
168	MFG	Mexican Feathergrass	Nassella tenuissima	3 gal.	container grown, full plant specimen	
46	RFS	Rosemary	Rosmarinus officinalis	3 gal.	container grown, full plant specimen	
74	RY	Red Yucca	Hesperaloe parviflora	5 gal.	container grown, full plant specimen	

GROUNDCOVERS	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
2144	LIR	Liriope 'Big Blue'	Liriope muscari 'Big Blue'	4" pots	container grown, (3) 12" runners min.	
1405	WC	Wintercreeper	Euonymus fortunei	4" pots	container grown, (3) 12" runners min.	
463	SC	Seasonal Color	Common Bermudagrass	Cynodon dactylon	roll sod	solid sod, refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

LANDSCAPE TABULATIONS

INTERIOR VEHICULAR OPEN SPACE REQUIREMENTS:
 (18,910 s.f.; 95 spaces)
 Requirements: Minimum 10% of gross parking area to be landscaped area. (1) tree, 3" cal. per 400 s.f. of required landscape area. Maximum of (1) tree per parking island. (1) 6" x 18" screen per 12 parking spaces

PERIMETER REQUIREMENTS:
 Requirements: (1) tree 3" cal. per 50 l.f. along site perimeter
 William D. Tate (143.07 l.f.)
 Required: (3) trees, 3" cal. Provided: (3) Existing Trees, 3" cal. min. (1) New tree, 3" cal.

DEMOLITION NOTES

- Provide demolition, salvage and protection of existing structures, surfaces and trees as shown on the drawings.
- Before submitting proposal, visit and examine site to determine actual nature and scope of demolition and salvage work. Claims for extra compensation on account of additional labor/materials or equipment required for difficulties encountered in demolition and salvage will not be recognized.
- Prior to demo, disconnect and cap off utilities and service lines not required for new construction in accordance with requirements of governing authorities ordinances and regulations.
- Erect necessary barricades, stoning and protective measures as required.
- Materials and debris resulting from demolition operations become the property of the Contractor. Please remove from site.
- Remove pavements, and structures to the depths of their sub-structures.
- Leave construction area clean and ready to use by other trades.
- Do not remove or damage trees unless noted to be removed. All tree protection devices shall be in place prior to demolition activities. Any demolition activities required within the drip-line of trees to be saved shall be carefully removed by hand labor. Report any tree damage to the Landscape Architect.
- Prior to beginning demolition, Contractor shall provide coverings for existing site elements remaining to prevent damage. Any site elements scheduled to remain which are damaged by the Contractor's activities shall be repaired at the Contractor's expense.
- Provide demolition of existing site items as shown on the drawings. Completely remove items to 8" below grade and haul away all refuse.

GENERAL LAWN NOTES

- Final grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and any other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final grade. Contractor to coordinate operations with on-site Construction Manager.
- Imported topsoil shall be natural, friable soil from the region, known as bottom and soil, free from lumps, clay, toxic substances, rocks, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spots, etc. shall be removed prior to placing topsoil and any lawn installation.
- Contractor shall provide (17) one inch of imported topsoil on all areas to receive lawn.

LANDSCAPE NOTES

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey date of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Solid Soil Bermudagrass, unless otherwise noted on the drawings.

ADDITIONAL INDICATIONS

- Colorado River Rock, 24" width min., 3" depth with steel edging border and wood banner fabric.
- Decomposed Granite, 18" width min., 3" depth with steel edging border and wood banner fabric.

smr landscape architects, inc.
 1708 N. Griffin Street
 Dallas, Texas 75260
 Tel: 214.871.0383
 Fax: 214.871.0545
 Email: smr@smr-4.com

01 LANDSCAPE PLAN
 SCALE: 1" = 20'-0"

BURGER ENGINEERING
 Civil Consultants

17103 Preston Road, Suite 181N
 Dallas, Texas 75248
 Office: 972.630.3360 Fax: 972.630.3380
 TRFPE: F-12997

SITE DATA

ZONING: CC (COMMUNITY COMMERCIAL)
 LOT AREA: 1,559 ACRES (67,836 S.F.)
 PROPOSED USE: RETAIL
 BUILDING AREA: 8,955 S.F.
 P.A.R.: 0.13:1
 PARKING REQUIRED: 95 SPACES
 PARKING PROVIDED: 95 SPACES
 BUILDING HEIGHT: 1 STORY
 PROP. LANDSCAPE AREA: 13,773 S.F. (20.27%)
 PROP. PAVED AREA: 45,328 S.F. (66.72%)

BENCHMARK -- BM 2
 ELEVATION: 845.42
 MONUMENT: CUT X ON TOP OF CURB
 LOCATION: NORTHERN END OF PARKING ISLAND IN PARKING LOT OF PRESTONE

BENCHMARK -- BM 5
 ELEVATION: 845.50
 MONUMENT: CUT X ON TOP OF CURB
 LOCATION: SOUTH SIDE OF NORTH ENTRANCE DRIVE OF POST OFFICE PROPERTY

ENGINEER: BURGER ENGINEERING, LLC
 17103 PRESTON ROAD, SUITE 180N
 TEXAS REGISTERED ENGINEERING FIRM F-12997
 DALLAS, TEXAS 75248
 PHONE: (972) 830-3360
 CONTACT: BRYAN M. BURGER, P.E.
 EMAIL: BBURGER@BURGERENGINEERING.COM

APPLICANT: CHICK-FIL-A, INC.
 5200 BUFFINGTON ROAD
 ATLANTA, GEORGIA 30348
 PHONE: (404) 785-8000
 CONTACT: GETRA THOMASON-SANDERS
 EMAIL: GETRA.SANDERS@CFACORP.COM



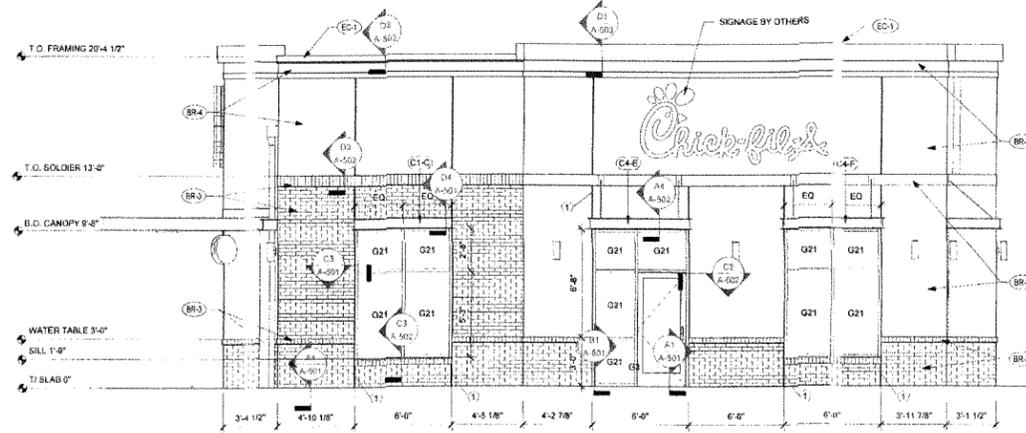
Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30349-2998

MAYSE & ASSOCIATES INC.
 ARCHITECTURE • PLANNING • CONSTRUCTION MANAGEMENT



14851 Quorum Dr. Suite 802
 Dallas, Texas 75244
 Phone: (972) 368-0338 Fax: (972) 368-0271
 www.MayseAssociates.com

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D4 FRONT ELEVATION - NORTH
 1/4" = 1'-0"

FRONT ELEVATION - NORTH		
MATERIALS	AREA (SQFT)	AREA PERCENTAGE
BRICK (BR-3)	223	23%
BRICK (BR-4)	182	61%
STOREFRONT GLAZING	132	14%
ELECTRICAL EQUIPMENT	0	0%
DOOR	24	2%
TOTAL	561	100%

HORIZONTAL FACADE LENGTH = 48'-0"

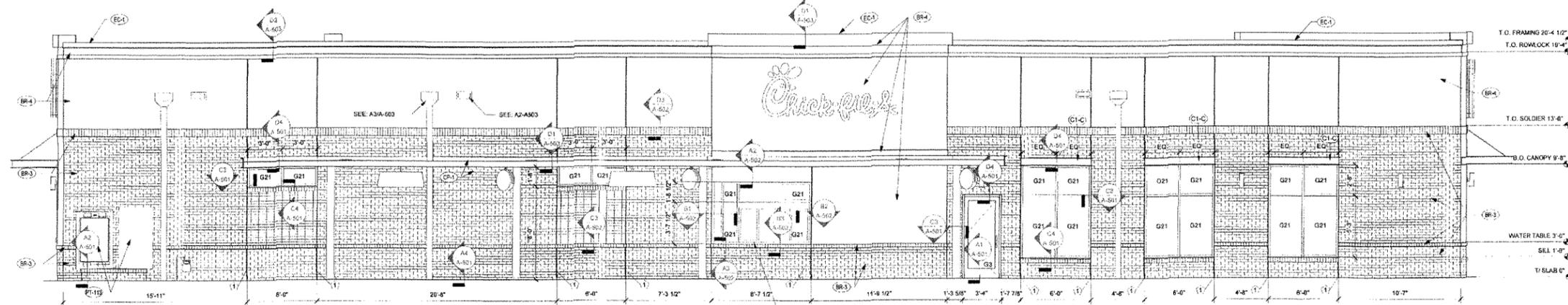
NOTES:
 GLAZING TO MEET ENERGY STANDARDS:
 SHGC: 0.28, VT: 0.54, U-VALUE: 0.46
 DOORS TO MEET ENERGY STANDARDS:
 SHGC: 0.69, VT: 0.88, U-VALUE: 0.86

GROSS AREA: 4830 SQFT

WHITE PVC ROOF TO BE UTILIZED.

THESE SHEETS ARE INTENDED FOR ILLUSTRATIVE PURPOSES ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION.

FINISH SCHEDULE - EXTERIOR						
MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	MODEL NUMBER	COLOR	NOTE
BR-3	BRICK VENEER (PRIMARY)	ACME BRICK	MODULAR		PALOMA GRAY	MORTAR: ARGOS SAN TAN
BR-4	BRICK VENEER (ACCENT)	ACME BRICK	MODULAR		RUSTIC WHITE	MORTAR: ARGOS SAN TAN
FP-1	CANOPY METAL FASCIA	ACME BRICK	DURA COAT		DARK BRONZE	02: RUBB'D BRONZE METALLIC TEXTURE 1/4"
FP-2	CANOPY METAL DECK				WHITE	SMOOTH WHITE, HIGH GLOSS
FP-3	PARAPET WALL COPING	DURALAST / EXCEPTIONAL METALS			MIDNIGHT BRONZE (MATT)	
FP-100	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #888-350	SW 2807	ROCKWOOD	REFURB: ENCLOSURE. FINISH: SEMI-GLOSS ON DOOR FRAMES, SATIN ON WALLS
FP-115	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #888-350		DARK BRONZE	FINISH: SEMI-GLOSS
FP-1	STOREFRONT	YOK	YES 45		DARK BRONZE (MATT)	



A4 DRIVE-THRU ELEVATION - EAST
 1/4" = 1'-0"

DRIVE-THRU ELEVATION - EAST		
MATERIALS	AREA (SQFT)	AREA PERCENTAGE
BRICK (BR-3)	1146	47%
BRICK (BR-4)	1020	42%
STOREFRONT GLAZING	207	9%
ELECTRICAL EQUIPMENT	32	1%
DOOR	24	1%
TOTAL	2430	100%

HORIZONTAL FACADE LENGTH = 121'-6"

Case Name: Chick-fil-A
 Case Number: CL19-37
 Location: 1235 William D. Tate Avenue
 Grapevine, Texas 76051

 Mayor Secretary

Date: _____

PLANNING AND ZONING COMMISSION

 Chairman

Date: _____

Sheet: 9 of 16

Approval does not authorize any work in conflict with any codes or ordinances.

DEPARTMENT OF DEVELOPMENT SERVICES

CHICK-FIL-A
 GRAPEVINE
 1235 WILLIAM D TATE AVE
 GRAPEVINE, TX 76051

FSR#04480
 BUILDING TYPE / SIZE: LS / ALL
 RELEASE: v2_19.06

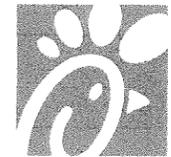
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 NO. DATE DESCRIPTION

PERMIT SET

CONSULTANT PROJECT # 19030
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EXTERIOR ELEVATIONS

SHEET NUMBER
A-302X



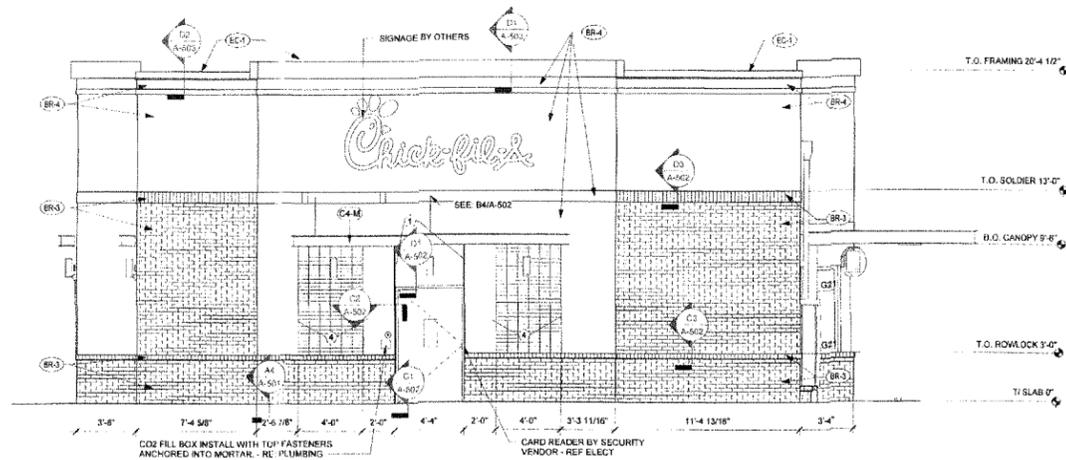
Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

MAYSE & ASSOCIATES INC.
Architecture - Planning - Construction Management



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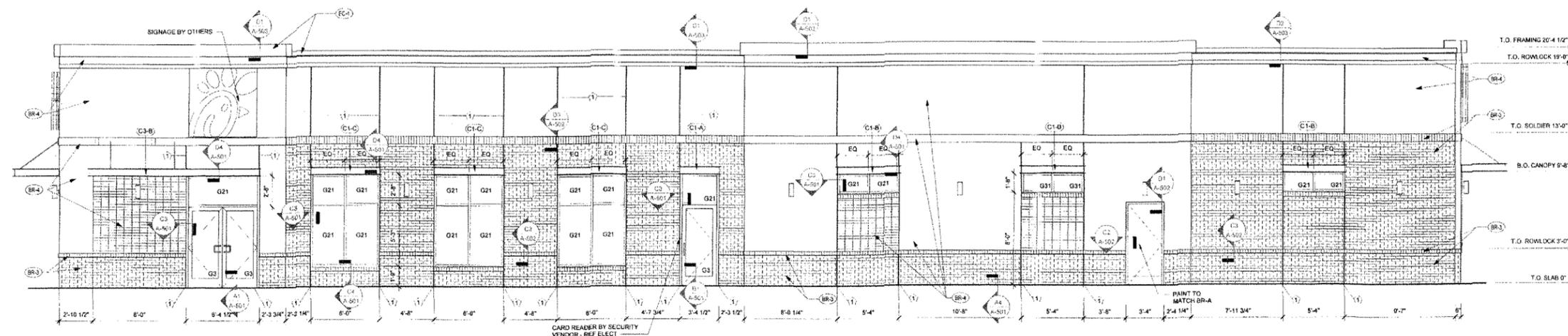
D4 REAR ELEVATION - SOUTH
1/4" = 1'-0"

REAR ELEVATION - SOUTH		
MATERIALS	AREA (SQFT)	AREA PERCENTAGE
BRICK (BR-3)	318	33%
BRICK (BR-4)	306	63%
STOREFRONT GLAZING	16	2%
DOOR	31	3%
TOTAL	661	100%

HORIZONTAL FACADE LENGTH = 48'-0"

NOTES:
GLAZING TO MEET ENERGY STANDARDS:
SHGC: 0.28, VT: 0.54, U-VALUE: 0.46
DOORS TO MEET ENERGY STANDARDS:
SHGC: 0.69, VT: 0.86, U-VALUE: 0.86
GROSS AREA: 4830 SQFT
WHITE PVC ROOF TO BE UTILIZED.
THESE SHEETS ARE INTENDED FOR ILLUSTRATIVE PURPOSES ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION.

FINISH SCHEDULE - EXTERIOR						
MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	MODEL NUMBER	COLOR	NOTE
BR-3	BRICK VENEER (PRIMARY)	ACME BRICK	MODULAR		PALOMA GRAY	MORTAR: ARGOS SAN TAN
BR-4	BRICK VENEER (ACCENT)	ACME BRICK	MODULAR		RUSTIC WHITE	MORTAR: ARGOS SAN TAN
CP-1	CANOPY METAL FASCIA		DURA COAT	DC185T-2703	DARK BRONZE	OIL RUBBED BRONZE METALLIC TEXTURE PVD
CP-2	CANOPY METAL DECK				WHITE	SMOOTH WHITE, HIGH GLOSS
EC-1	PARAPET WALL COPING	DUROLAST / EXCEPTIONAL METALS			WHITE / BRONZE	(MATT)
PT-100	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #866-350	SW 2807	ROOKWOOD	REFUSE ENCLOSURE, FINISH: SEMI-GLOSS ON DOOR FRAMES, SATIN ON WALLS
PT-113	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #866-350		DARK BRONZE	FINISH: SEMI-GLOSS
ST-1	STOREFRONT	YKK	YES 45		DARK BRONZE (MATT)	



A4 ENTRY ELEVATION - WEST
1/4" = 1'-0"

ENTRY ELEVATION - WEST		
MATERIALS	AREA (SQFT)	AREA PERCENTAGE
BRICK (BR-3)	784	32%
BRICK (BR-4)	1368	56%
STOREFRONT GLAZING	194	8%
DOOR	94	4%
TOTAL	2440	100%

HORIZONTAL FACADE LENGTH = 121'-6"

Case Name: Chick-fil-A
Case Number: CU19-37
Location: 1235 William D. Tate Avenue
Grapevine, Texas 76051

Mayor Secretary

Date: _____

PLANNING AND ZONING COMMISSION

Chairman

Date: _____

Sheet 10 of 16

Approval does not authorize any work in conflict with any codes or ordinances.

DEPARTMENT OF DEVELOPMENT SERVICES

CHICK-FIL-A
GRAPEVINE
1235 WILLIAM D TATE AVE
GRAPEVINE, TX 76051

FSR#04480
BUILDING TYPE / SIZE: LG / ALL
RELEASE: v2_19_08

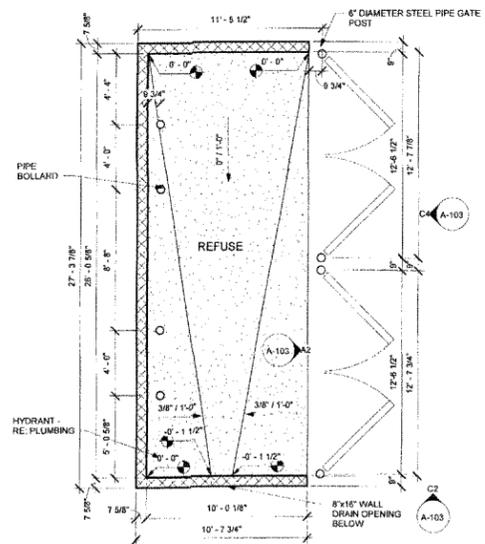
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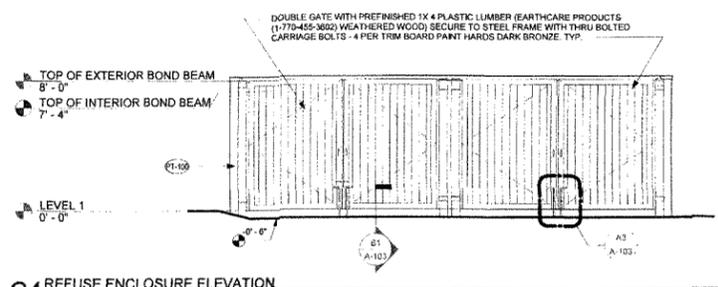
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Approval does not authorize any work in conflict with any codes or ordinances.

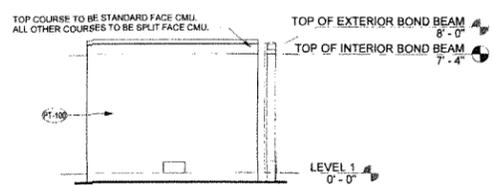
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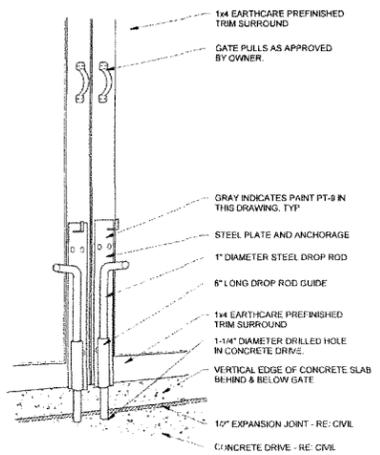
D4 REFUSE ENCLOSURE - PLAN
1/4" = 1'-0"



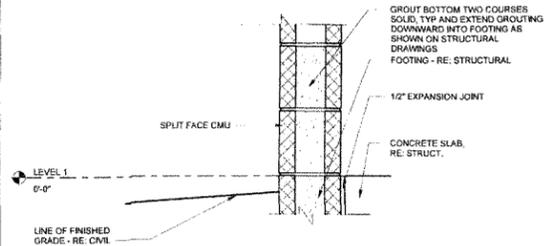
C4 REFUSE ENCLOSURE ELEVATION
1/4" = 1'-0"



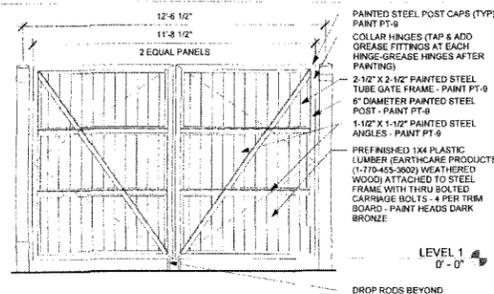
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1/4" = 1'-0"



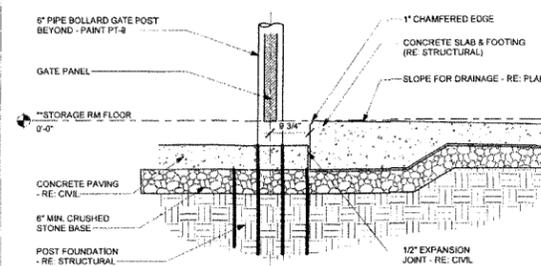
A3 REFUSE ENCLOSURE DROP ROD 3-D DETAIL
N.T.S.



B2 REFUSE ENCLOSURE BASE DETAIL
1/2" = 1'-0"



A2 REFUSE ENCLOSURE ELEVATION
3/8" = 1'-0"



B1 REFUSE PAD AT CONCRETE PAVING DETAIL
3/4" = 1'-0"

REFUSE ENCLOSURE/STORAGE ROOM NOTES

1. IN THE ARCHITECTURAL DRAWINGS, REFUSE ENCLOSURE AND MAIN BUILDING ARE BOTH NOTED WITH FINISH SLAB AT 0'-0". ACTUAL FINISH SLAB HEIGHTS WILL VARY BETWEEN MAIN BUILDING AND REFUSE ENCLOSURE. REFER TO CIVIL FOR ALL FINISH SLAB HEIGHTS.

Case Name: Chick-fil-A
Case Number: CL19-37
Location: 1235 William D. Tate Avenue
Grapevine, Texas 76051

Mayor _____ Secretary _____
Date: _____

PLANNING AND ZONING COMMISSION

Chairman _____
Date: _____

Sheet 11 of 16
Approval does not authorize any work in conflict with any codes or ordinances.
DEPARTMENT OF DEVELOPMENT SERVICES



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

MAYSE & ASSOCIATES, INC.
Architects • Planners • Construction Management



1401 Quorum Dr. Suite 800
Dallas, TX 75201
Phone: (972) 386-2238 Fax: (972) 386-2578
www.mayseassociates.com



12/01/2019 9:32:48 AM

CHICK-FIL-A
GRAPEVINE

1235 WILLIAM D TATE AVE
GRAPEVINE, TX 76051

FSR#04480

BUILDING TYPE / SIZE: I/S
RELEASE: v2_10.00

REVISION SCHEDULE
NO. DATE DESCRIPTION

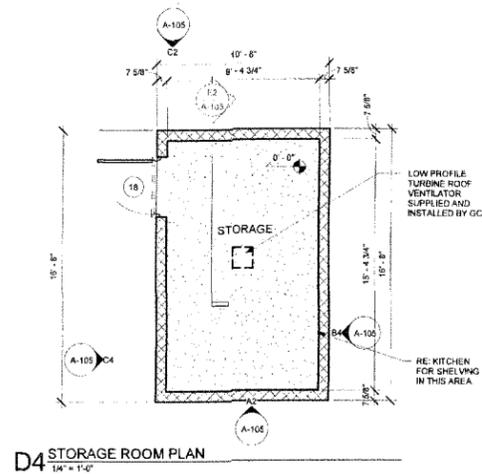
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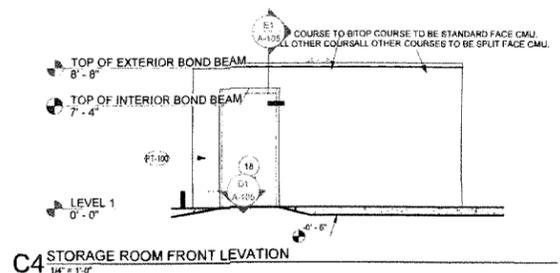
SHEET REFUSE ENCLOSURE

SHEET NUMBER

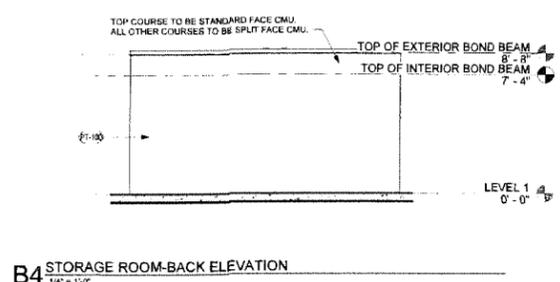
A-103



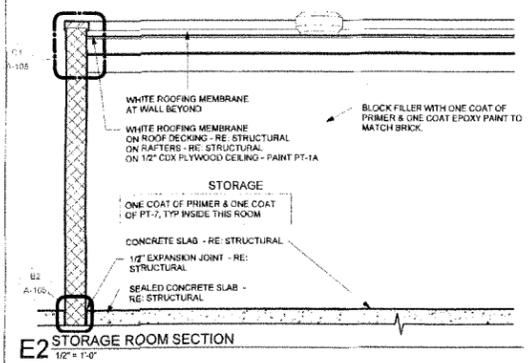
D4 STORAGE ROOM PLAN
1/4" = 1'-0"



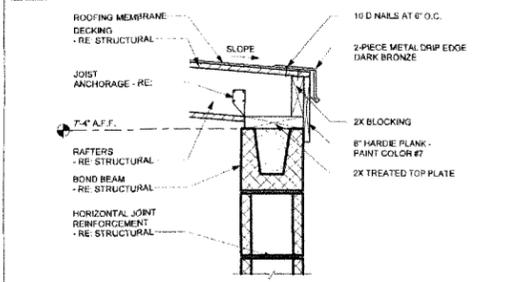
C4 STORAGE ROOM FRONT ELEVATION
1/4" = 1'-0"



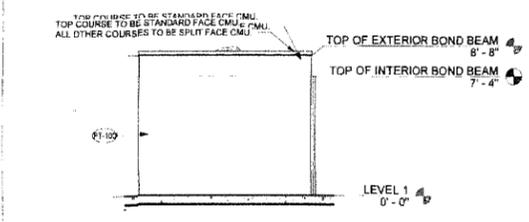
B4 STORAGE ROOM-BACK ELEVATION
1/4" = 1'-0"



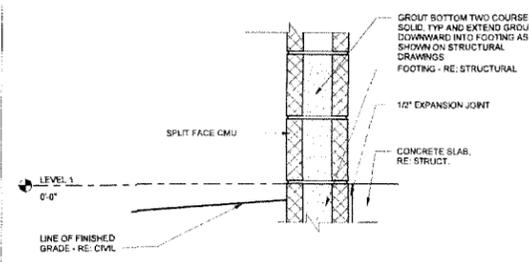
E2 STORAGE ROOM SECTION
1/2" = 1'-0"



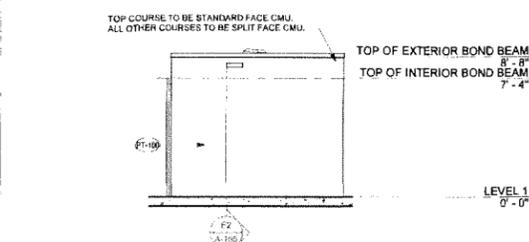
D2 REFUSE ENCLOSURE DRIP EDGE
1/2" = 1'-0"



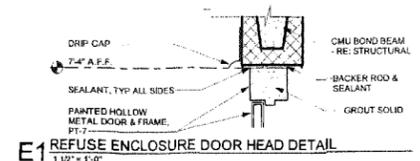
C2 STORAGE ROOM SIDE ELEVATION
1/4" = 1'-0"



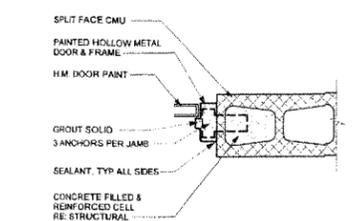
B2 REFUSE ENCLOSURE BASE DETAIL
1/2" = 1'-0"



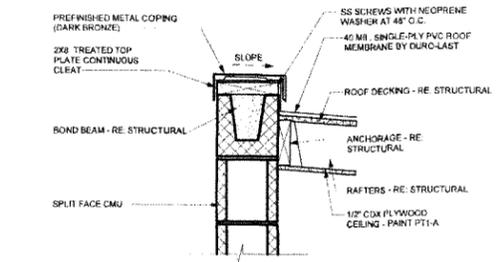
A2 STORAGE ROOM SIDE ELEVATION
1/4" = 1'-0"



E1 REFUSE ENCLOSURE DOOR HEAD DETAIL
1/2" = 1'-0"



D1 REFUSE ENCLOSURE DOOR JAMB DETAIL
1/2" = 1'-0"



C1 REFUSE ENCLOSURE ROOF EDGE DETAIL
1/2" = 1'-0"

Case Name: Chick-fil-A
 Case Number: CU19-37
 Location: 1235 William D. Tate Avenue
 Grapevine, Texas 76051

Mayor _____ Secretary _____
 Date: _____

PLANNING AND ZONING COMMISSION

Chairman _____
 Date: _____

Sheet 12 of 16
 Approval does not authorize any work in conflict
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 DEPARTMENT OF DEVELOPMENT SERVICES

REFUSE ENCLOSURE/STORAGE ROOM NOTES
 1. IN THE ARCHITECTURAL DRAWINGS, REFUSE ENCLOSURE AND MAIN BUILDING ARE BOTH NOTED WITH FINISH SLAB AT 0'-0". ACTUAL FINISH SLAB HEIGHTS WILL VARY BETWEEN MAIN BUILDING AND REFUSE ENCLOSURE. REFER TO CIVIL FOR ALL FINISH SLAB HEIGHTS.



Chick-fil-A

Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30349-2998

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 www.maysesassociates.com

11/27/2019 4:54:33 PM

CHICK-FIL-A
GRAPEVINE
 1235 WILLIAM D TATE AVE
 GRAPEVINE, TX 76051

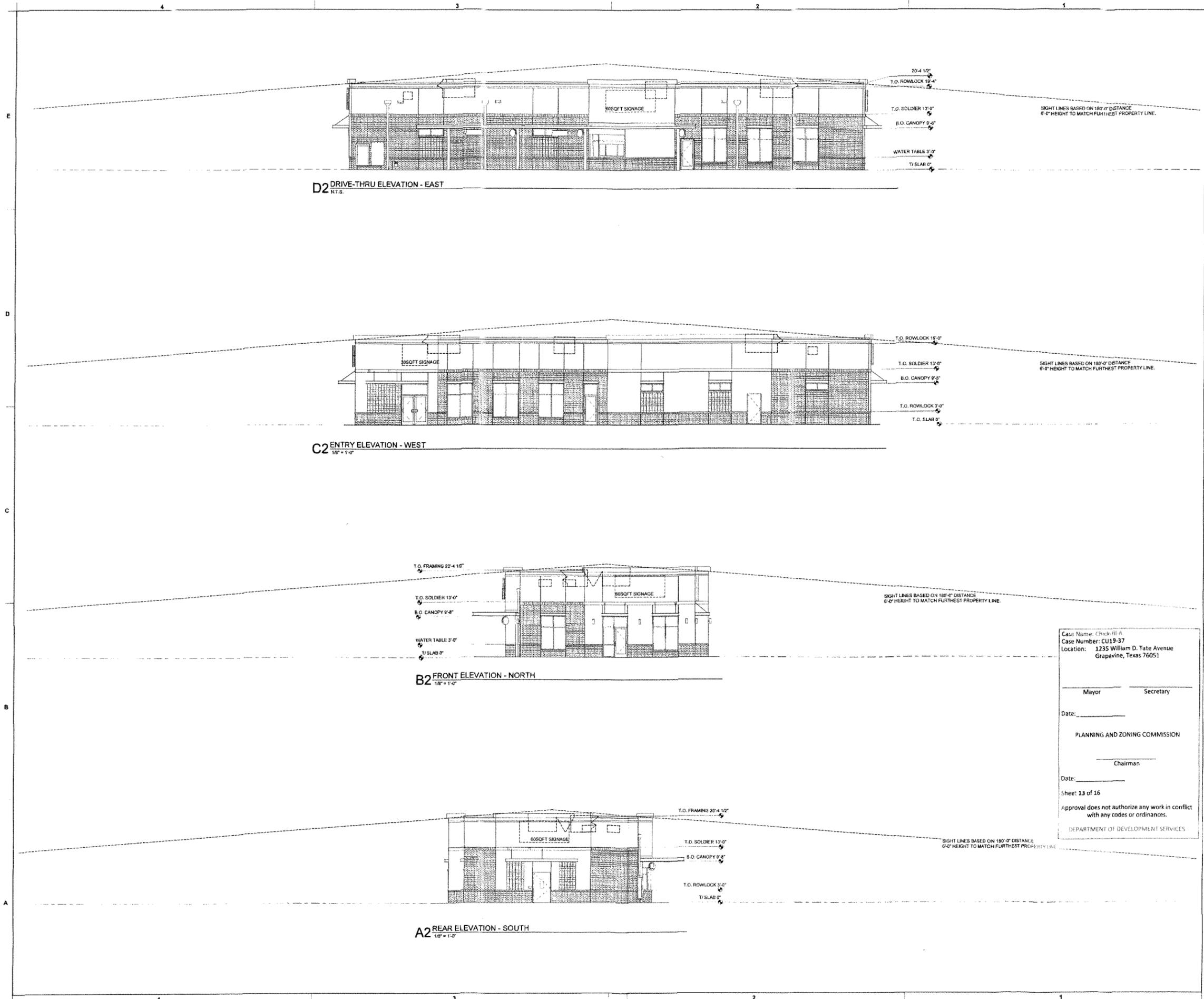
FSR#04480
 BUILDING TYPE / SIZE LS / ALL
 RELEASE 07_19_08

NO.	DATE	DESCRIPTION

PERMIT SET

CONSULTANT PROJECT #	18020
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DATE	11/27/2019 4:54:33 PM
DRAWN BY	Designer
CHECKED BY	
TITLE	STORAGE ROOM

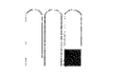
SHEET NUMBER
A-105



Chick-fil-A

Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30349-2998

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12/31/2018 8:57:32 AM

CHICK-FIL-A
GRAPEVINE
 1235 WILLIAM D TATE AVE
 GRAPEVINE, TX 76051

FSR#04480
 BUILDING TYPE / SIZE: LS / ALL
 RELEASE: v2_10.08

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

Case Name: Chick-fil-A
 Case Number: CU19-37
 Location: 1235 William D. Tate Avenue
 Grapevine, Texas 76051

Mayor _____ Secretary _____

Date: _____

PLANNING AND ZONING COMMISSION

Chairman _____

Date: _____

Sheet 13 of 16

Approval does not authorize any work in conflict with any codes or ordinances.

DEPARTMENT OF DEVELOPMENT SERVICES

CONSULTANT PROJECT # 10000

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IFP
 SHEET SCREENING DIAGRAM
 SHEET NUMBER
A-302



B4 DIMENSIONAL FLOOR PLAN
3/8" = 1'-0"

- FLOOR PLAN GENERAL NOTES**
- A.1 DIMENSIONS ARE FROM FACE OF STUD (UNLESS OTHERWISE NOTED)
 - A.2 FASTENERS, ANCHORS, CLIPS, STRAPS, ETC. WHICH ARE IN CONTACT WITH PRESERVATIVE AND/OR FIRE TREATED WOOD SHALL BE OF G-185 HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, OR AN APPROVED EQUAL.
 - A.3 REFER TO CIVIL AND LANDSCAPE FOR LOCATIONS OF WALKS, BOLLARDS, LANDSCAPING AREAS, FLAG POLE, AND OTHER SITE ITEMS.
 - A.4 REFER TO INTERIOR ELEVATIONS FOR LOCATIONS AND TYPES OF CORNER GUARDS.
 - A.5 CONTRACTOR TO COORDINATE LOCATION OF POLE MOUNTED EXTERIOR CAMERA WITH STRING SYSTEMS AND INSTALL UNDERGROUND CONDUIT AS REQUIRED. RE ELECTRICAL.
 - A.6 REFER TO ACCESSIBILITY PLAN AND FURNITURE DRAWINGS FOR SEATING LAYOUT & SPECIFICATIONS. CONTACT OWNER.
 - A.7 REFER TO ACCESSIBILITY PLAN AND OWNER DRAWINGS FOR CONDIMENT COUNTERS AND TRASH RECEPTACLES.
 - A.8 REFER TO IT WALLBOARD USER GUIDE FOR WALLBOARD INSTALLATION, IF APPLICABLE.

Case Name: Chick-fil-A
 Case Number: CU19-37
 Location: 1235 William D. Tate Avenue
 Grapevine, Texas 76051

 Mayor Secretary

Date: _____

PLANNING AND ZONING COMMISSION

 Chairman

Date: _____

Sheet 14 of 16

Approval does not authorize any work in conflict with any codes or ordinances.

DEPARTMENT OF DEVELOPMENT SERVICES



A1 OUTDOOR TYP. SEATING TABLES
1" = 3'-0"



Chick-fil-A

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 30349-2998

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1/3/2020 8:58:20 AM

CHICK-FIL-A
GRAPEVINE
 1235 WILLIAM D TATE AVE
 GRAPEVINE, TX 76051

FSR#04480
 BUILDING TYPE / SIZE: IS / ALL
 RELEASE: v2_10.00

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	10030
PRINTED FOR	JSP
DATE	1/3/2020 8:58:20 AM
DRAWN BY	Designer

IFP

SHEET NUMBER
A-201-DIM



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 Atlanta, Georgia
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Kurzynski & Associates
 2900 Lebanon Pike, Ste 201
 Nashville, Tennessee 37214
 Telephone: (615) 255-5203
 Fax: (615) 255-5207
 Email: mail@kurzynske.com

TEXAS BOARD OF PROFESSIONAL ENGINEERS FIRM NUMBER 10225



01/06/20

CHICK-FIL-A
GRAPEVINE FSU
 1235 WILLIAM D. TATE AVENUE
 GRAPEVINE, TX 76051

FSR# 04480

REVISION	SCHEDULE	NO.	DATE	DESCRIPTION

Case Name: Chick-fil-A
 Case Number: CU19-37
 Location: 1235 William D. Tate Avenue
 Grapevine, Texas 76051

 Mayor Secretary

Date: _____

PLANNING AND ZONING COMMISSION

 Chairman

Date: _____

Sheet 15 of 16

Approval does not authorize any work in conflict with any codes or ordinances.

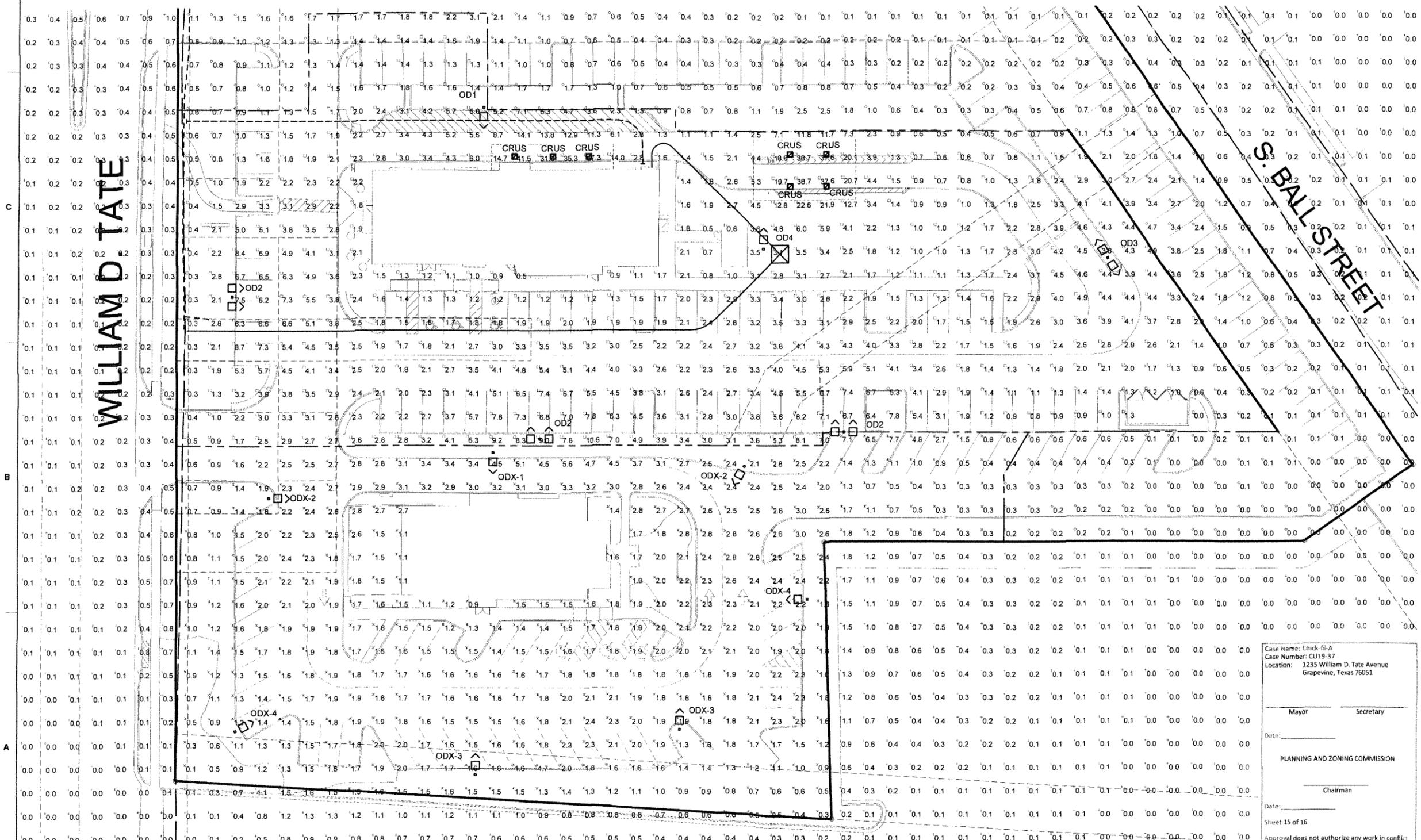
DEPARTMENT OF DEVELOPMENT SERVICES

CURRENT DESIGN 2019-XX
 NOTE APPLIED
 DISCIPLINE'S PROJECT 15192.MA.9
 JOURNAL PERMIT
 PRINTED JOB DATE 02/20/2019
 DRAWN BY BTS
 INFORMATION CONTAINED ON THIS DRAWING AND IN ALL DIGITAL FILES PRODUCED FOR THIS PROJECT MAY NOT BE REPRODUCED IN ANY MANNER WITHOUT EXPRESS WRITTEN OR VERBAL CONSENT FROM THE PROJECT PROFESSIONAL.
 SHEET PHOTOMETRIC PLAN
 SHEET NUMBER

E-102.

NOTE: IES FILES FOR THE EXISTING CFA LOT WERE NOT AVAILABLE. A COMPARABLE FIXTURE HAS BEEN USED TO ESTIMATE THE LIGHT LEVELS ON SITE. THE INFORMATION BELOW IS AS ACCURATE AS POSSIBLE BUT IS NOT EXACT. SEE SHEET E-103 FOR ADDITIONAL INFORMATION.

NOTE: EXISTING CFA LIGHT POLES TO ONLY BE UPDATED TO THE PLAN BELOW IF OF THE FOOT CANDLE LEVELS ON THE EXISTING CFA LOT ARE TOO BRIGHT.



A1 PHOTOMETRIC PLAN (CFA LOTS)
 1" = 20'-0"

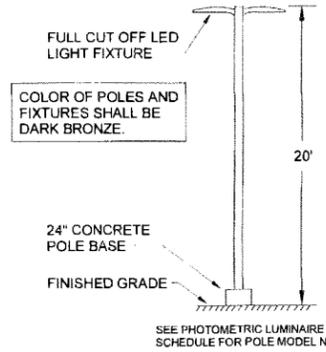
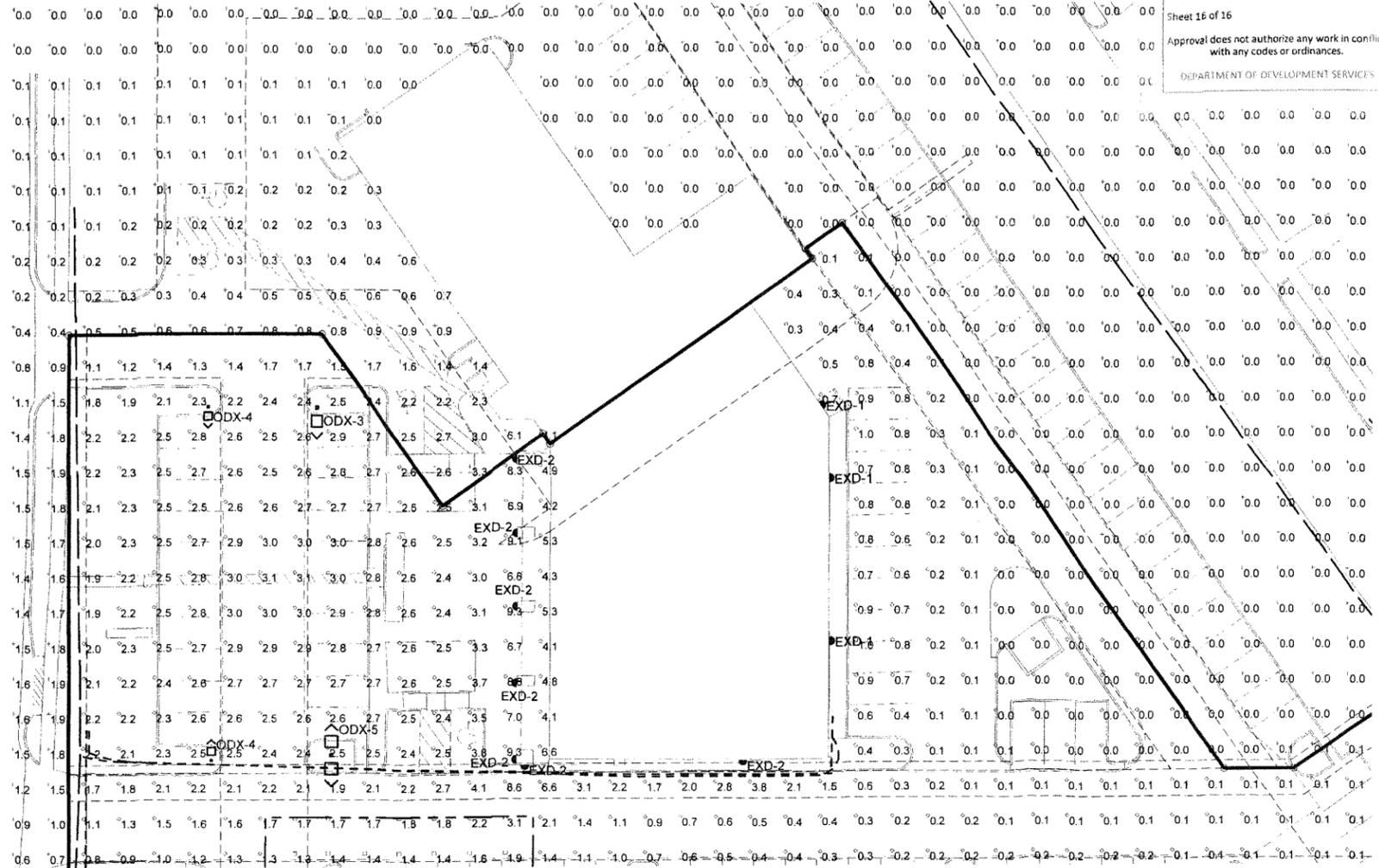
Description	Symbol	Label	Quantity	Manufacturer	Catalog Number	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	⌈	OD1	1	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C40-D-UNV-T3-BZ-HSS	2	7789	0.9	131
	⌈	OD2	3	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C40-D-UNV-T4-BZ-HSS-L90-R90	2	7769	0.8	262
	⌈	OD3	1	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C60-D-UNV-T5-BZ	2	10678	0.9	306
	⌈	OD4	1	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C60-D-UNV-T5-BZ	2	10678	0.9	153
	⌈	ODX-1	1	EATON - LUMARK (FORMER COOPER LIGHTING)	DEVELOPER-PRV-C60-D-UNV-T2-BZ	2	10042	0.9	153
	⌈	ODX-2	2	EATON - LUMARK (FORMER COOPER LIGHTING)	DEVELOPER-PRV-C60-D-UNV-T3-BZ	2	10029	0.9	153
	⌈	ODX-3	3	EATON - LUMARK (FORMER COOPER LIGHTING)	DEVELOPER-PRV-C60-D-UNV-T4-BZ	2	9993	0.9	153
	⌈	ODX-4	4	EATON - LUMARK (FORMER COOPER LIGHTING)	DEVELOPER-PRV-C40-D-UNV-T4-BZ-HSS	2	7759	0.9	131
	⌈	ODX-5	1	EATON - LUMARK (FORMER COOPER LIGHTING)	DEVELOPER-PRV-C60-D-UNV-T5-BZ	2	10678	0.9	306
	⌈	CRUS	7	LSI INDUSTRIES, INC	CRUS-SC-LED-LW-30	1	9996	0.85	73.5
	⌈	EXD-1	3	Existing Developer Hubbell Outdoor	LNC-5LU-3K-3-X	1	833	0.95	12.9
	⌈	EXD-2	7	Existing Developer Lithonia Lighting	WSR LED P1 SR2 30K MVOLT	1	2111	0.85	19.50

OD POLE SHALL BE A SQUARE STRAIGHT STEEL POLE BY KW SSP18-4 0.7-8RZ-DM10-BC (Single Luminaire Pole)
 OD POLE SHALL BE A SQUARE STRAIGHT STEEL POLE BY KW SSP18-4 0.7-8RZ-DM2180-BC (Double Luminaire Pole)

NOTE: PHOTOMETRIC INFORMATION FOR THE EXISTING NON-CFA LIGHTING WAS NOT AVAILABLE.
 A COMPARABLE METAL HALIDE FIXTURE WAS USED IN ORDER TO ESTIMATE THE LIGHT CHANGES FOR THE SITE.

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.7 fc	41.5 fc	0.0 fc	N/A	N/A
Existing CFA Lot Summary	x	1.8 fc	7.7 fc	0.1 fc	77.0:1	18.0:1
Existing NonCFA Lot	o	1.3 fc	11.8 fc	0.0 fc	N/A	N/A
New CFA Lot Summary	⌈	3.7 fc	41.5 fc	0.0 fc	N/A	N/A

NOTE: PHOTOMETRIC PLAN TO BE USED IF LIGHT LEVELS ON SITE ARE TOO BRIGHT.



A4 SITE LIGHTING POLE DETAIL
 N.T.S.

A1 PHOTOMETRIC PLAN (NON-CFA LOT)
 1" = 20'-0"

Case Name: Chick-fil-A
 Case Number: LU19-37
 Location: 1235 William D. Tate Avenue
 Grapevine, Texas 76051

Mayor _____ Secretary _____

Date: _____

PLANNING AND ZONING COMMISSION

Chairman _____

Date: _____

Sheet 16 of 16

Approval does not authorize any work in conflict with any codes or ordinances.

DEPARTMENT OF DEVELOPMENT SERVICES



Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30349-2998



Kurzynske & Associates
 2900 Lebanon Pike, Ste 201
 Nashville, Tennessee 37214
 Telephone: (615) 255-5203
 Fax: (615) 255-5207
 Email: mail@kurzynske.com

TEXAS BOARD OF PROFESSIONAL ENGINEERS FIRM NUMBER 10225



01/06/20

CHICK-FIL-A
GRAPEVINE FSU
 1235 WILLIAM D. TATE AVENUE
 GRAPEVINE, TX 76051

FSR# 04480

REVISION SCHEDULE	NO.	DATE	DESCRIPTION

CURRENT DESIGN	2019-XX
NOTE APPLIED	
DISCIPLINE'S PROJECT	19192.MA.S
DATE	
PRINTED	PERMIT
FOR	
DATE	02/20/2019
DRAWN BY	BTS

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SHEET
 PHOTOMETRIC PLAN

SHEET NUMBER

E-103.

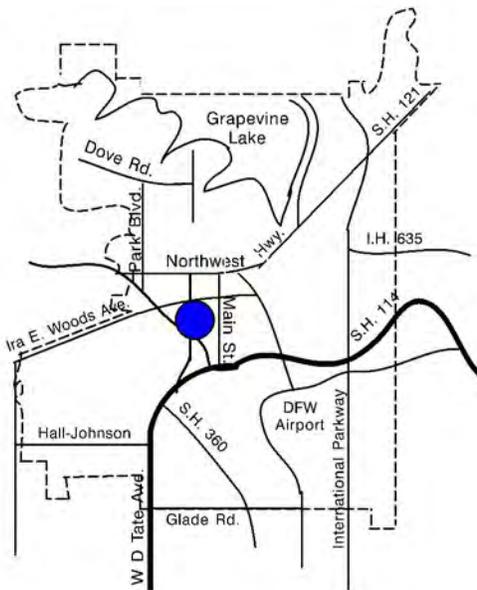
PERMIT

TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER ^{BR}
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: JANUARY 21, 2020

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF
CONDITIONAL USE APPLICATION CU19-38 EXISTING CHICK-
FIL-A



APPLICANT: Burger Engineering, LLC

PROPERTY LOCATION AND SIZE:

The subject property is located at 1245 William D. Tate Avenue and is proposed to be platted as Lot 1, Block 1, Tate Street Plaza No. 2. The addition contains 1.05 acres (45,660 square feet). The property has approximately 142.67 feet of frontage along William D. Tate Avenue.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to amend the previously approved site plan of CU99-74 (Ord. 1995-185) for a planned commercial center, specifically to allow for a drive-through, in conjunction with a restaurant.

In conjunction with this request, two accompanying conditional use requests (CU19-36 and CU19-37) focused on the creation of a new Chick-fil-A restaurant with dual drive through lanes located on the site previously occupied by the former Silver Fox restaurant and the realignment of lot lines and the creation of new lot to accommodate this new construction. When completed there will be a total of three reconfigured lots which will contain the existing Chick-fil-A which will eventually be reimaged as new concept, the newly erected Chick-fil-A, and an existing multi-tenant retail building.

This request simply addresses the existing Chick-fil-A restaurant and the reconfigured property boundaries needed to accommodate the previously described changes. This 3,632 s.f. restaurant will continue to operate until the new one is ready to open at which time it will then cease operations and be reimaged at a later date as a new restaurant with drive through service. Four existing driveways serve the planned commercial center. The driveway within the subject area will be shifted approximately 40 feet to the north to allow a shared driveway between the subject site and the adjacent lot to the north. Total required parking for the restaurant is 42 spaces; 47 parking spaces are provided.

PRESENT ZONING AND USE:

The subject site is zoned "CC" Community Commercial District and developed with an operating a drive through Chick-fil-A restaurant.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject property was rezoned in the 1984 City Rezoning from "C-2" Community Business to "CN" Neighborhood Commercial. The subject property was later rezoned from "CN" Neighborhood Commercial District to "CC" Community Commercial District (Z87-01, Ord. 87-13), as a part of a 6.4 acre tract of land. On the subject site Conditional Use Permit CU93-15 (Ord. 94-14) amended the Planned Commercial Center to allow for the development of a Burger Street with a drive through which never developed. Firestone/Master Care Store developed as a result of Zone Case Z87-01. Conditional Use Permit CU92-22 (Ord. 92-84) was approved to allow a Planned Commercial Center designation and the development of a restaurant (Chick-Fil-A) with a drive-through window. Conditional Use Permit CU93-03 (Ord. 93-22) amended the Planned Commercial Center to allow the development of a restaurant (Good Eats) with on premise consumption of alcoholic beverages and two 20-foot pole signs. Conditional Use Permit CU93-15 (Ord. 94-14) amended the Planned Commercial Center to allow the development of a restaurant (Burger Street) with a drive through. Conditional Use Permit CU94-39 (Ord. 95-06) amended the Planned Commercial Center to allow additional parking for an automotive repair store on Lot 1R. Conditional Use request CU97-28 was approved by council allowing the addition of an 8,838 square foot retail space on lot 4R. Conditional Use Request CU97-48 was approved by Council allowing the removal of 0.849 acres from the subject property. The U.S. Post Office was developed in the tract south of this parcel and is zoned "GU" Governmental Use. The Bellaire Addition was rezoned from "R-1" Single Family to "R-7.5" Single Family in the 1984 City Rezoning. The tract to the west was rezoned from "CC" Community Commercial and "C-2" Community Business to "PCD" Planned Commerce Development. The property was rezoned from "PCD" Planned Commerce Development to "CC" Community Commercial Z92-09 (Ord. 92-85) and received a conditional use permit for a Planned Commercial Center CU92-23 (Ord. 92-86). The property is currently developed as Grapevine Town Center. Conditional Use Permit CU99-05 (Ord. 99-46) was approved at the March 23, 1999 joint public hearing for a 8,838 square foot retail building on the subject site. Also on the subject site, on February 15,

2000 Council considered and approved a request for a one year extension to the 8,838 square foot retail building. Conditional Use Permit CU12-01 was denied on the subject site for Tint World. At the March 21, 2012 meeting the City Council reconsidered CU12-01 and amended the denial to denial without prejudice. At the April 17, 2012 meeting the City Council approved Conditional Use Permit CU12-10 (Ord. 2012-17) for Tint World. West of the subject site Conditional Use Permit CU15-02 was approved by the Site Plan Review Committee to revise exterior elevation for Taco Bell. The City Council at the September 15, 2015 meeting approved Conditional Use Permit CU15-37 (Ord. 2015-57) for a 20-foot pole sign for Ferrari's Italian Villa. North of the subject site and within the Planned Commercial Center, City Council at their December 15, 2015 meeting approved CU15-42 (Ord. 2015-077) to allow for a drive through with outside seating in conjunction with a restaurant.

West of the subject site Conditional Use Permit CU01-45 (Ord. 2001-75) was approved at the September 21, 2001 meeting to establish Caramba's Grill on the site of the former Esparza's Too restaurant. The City Council on October 21, 2003 approved Conditional Use Permit CU03-35 (Ord. 2004-63) to allow for an expansion of the restaurant and provide a take-out counter for Baja Mexican Grill. Conditional Use Permit CU07-34 (Ord. 2008-03) was approved at the January 15, 2008 meeting to allow for an expansion and outdoor dining for the restaurant. The Site Plan Review Committee at their march 7, 2018 meeting approved Conditional Use Permit CU18-06 to revise the floor plan and add square footage Baja Mexican Grill by combining El Taco with Baja Mexican Grill.

SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH: "CN" – Neighborhood Commercial District – Shell Convenience Store and Northeast Animal Hospital
- SOUTH: "GU" - Governmental Use District - U.S. Post Office
- EAST: "R-7.5" - Single Family District - Bellaire Addition - "CN" - Neighborhood Commercial - Shell Convenience Store and "PO" Professional Office District – Professional Offices
- WEST: "CC" - Community Commercial District - Grapevine Town Center, Ferrari's Italian Villa and multi-tenant retail including Baja Mexican Grill

AIRPORT IMPACT:

The subject tract is located within "Zone A" zone of minimal effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map. Few activities will be affected by aircraft sounds in Zone A, except for sound sensitive activities such as auditoriums, churches, schools, hospitals, and theaters. The existing restaurant

building is an appropriate use in this noise zone.

MASTER PLAN APPLICATION:

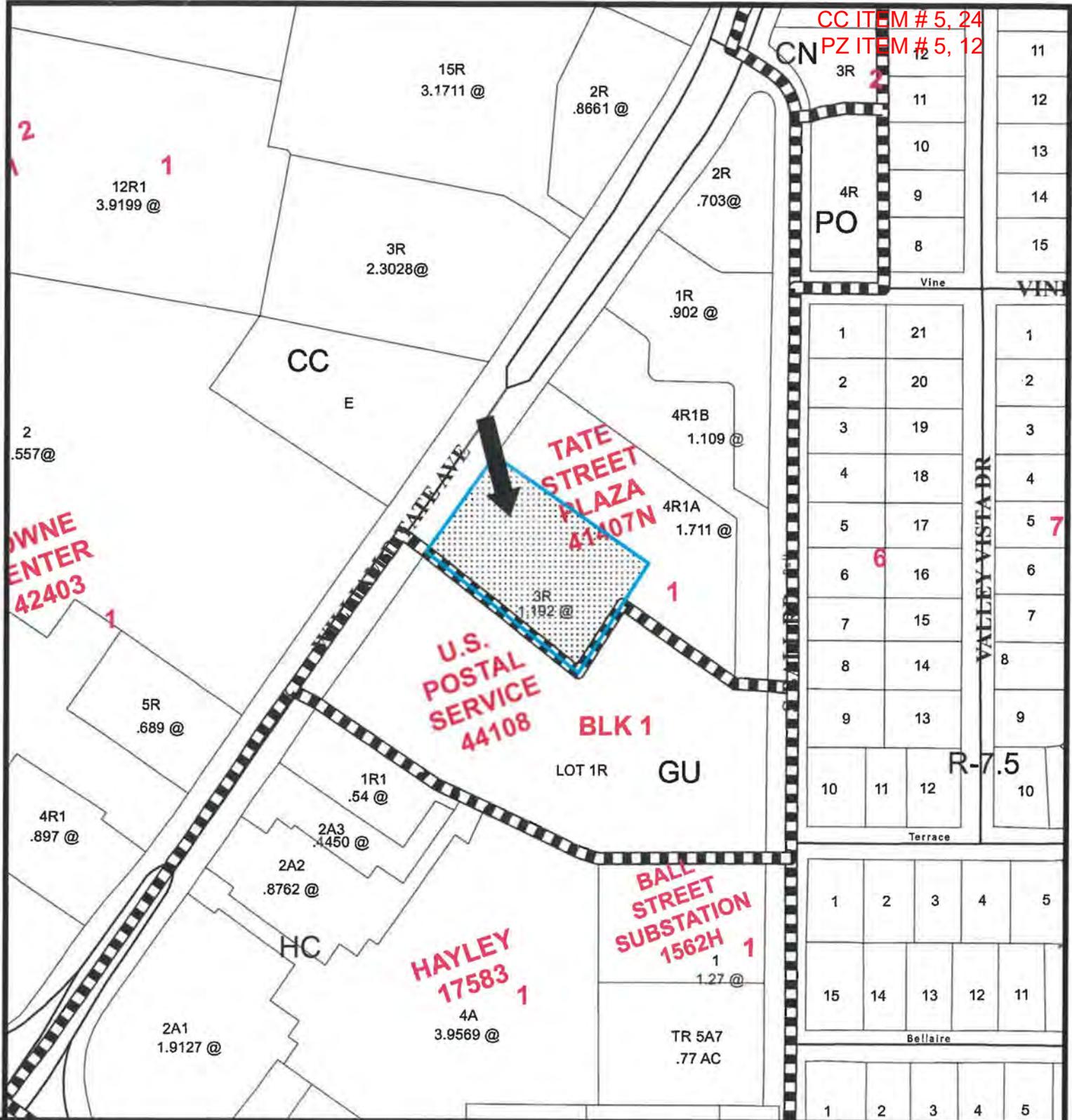
The Master Plan designates the subject property as Commercial. The applicant's request is in compliance with the Master Plan.

THOROUGHFARE PLAN APPLICATION:

The Thoroughfare Plan designates William D. Tate Avenue as a Type C Minor Arterial with a minimum 80-foot of right-of-way developed as four lanes with a center left turn lane.

at

CC ITEM # 5, 24
PZ ITEM # 5, 12



CU19-38 Existing Chick-fil-A

Date Prepared: 1/7/2020

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

CU19-38



CITY OF GRAPEVINE

CONDITIONAL USE APPLICATION

Form "A"

PART 1. APPLICANT INFORMATION

<i>Name of applicant / agent/company/contact</i> Burger Engineering, LLC c/o Bryan M. Burger, P.E.	
<i>Street address of applicant / agent:</i> 17103 Preston Road, Suite 180N	
<i>City / State / Zip Code of applicant / agent:</i> Dallas, Texas 75248	
<i>Telephone number of applicant / agent:</i> 972-630-3360	<i>Fax number of applicant/agent</i> 972-630-3380
<i>Email address of applicant/agent</i> [REDACTED]	<i>Mobile phone number of applicant/agent</i> 214-693-8572

PART 2. PROPERTY INFORMATION

<i>Street address of subject property</i> ---- William D. Tate Avenue 1245	
<i>Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)</i> Lot 3 - Block 1 Addition Tate Street Plaza No. 2	
<i>Size of subject property</i>	
<i>Present zoning classification:</i> CC	<i>Proposed use of the property:</i> Dine-in/Drive-through Restaurant
<i>Square footage</i>	
<i>Circle yes or no, if applies to this application</i> Outdoor speakers <input checked="" type="radio"/> Yes <input type="radio"/> No Drive-through Menu Board	
<i>Minimum / maximum district size for conditional use request:</i>	
<i>Zoning ordinance provision requiring a conditional use:</i> CC zoning requires a conditional use permit.	

PART 3. PROPERTY OWNER INFORMATION

<i>Name of current property owner:</i> Chick-fil-A, Inc. c/o Getra Sanders	
<i>Street address of property owner:</i> 5200 Buffington Road	
<i>City / State / Zip Code of property owner:</i> Atlanta, Georgia 30349	
<i>Telephone number of property owner:</i> 404-765-8000	<i>Fax number of property owner:</i> N/A

DEC 2 2019

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY

Bryan M. Burger, P.E.

Print Applicant's Name:

Applicant's Signature:

The State of Texas

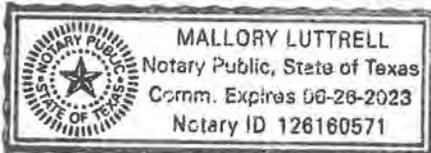
County Of Dallas

Before Me Mallory Luttrell
(notary)

on this day personally appeared Bryan M. Burger, P.E.
(applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 5th day of November, A.D. 2019



Mallory Luttrell
Notary In And For State Of Texas

Getra Sanders

Print Property Owners Name:

Property Owner's Signature:

The State Of Texas

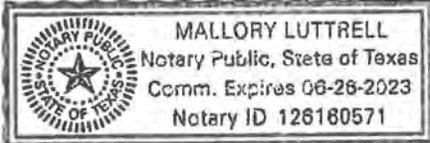
County Of Dallas

Before Me Mallory Luttrell
(notary)

on this day personally appeared Getra Sanders
(property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 5th day of November, A.D. 2019



Mallory Luttrell
Notary In And For State Of Texas

CU19-38

ACKNOWLEDGEMENT

All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

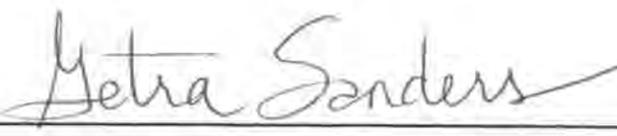
Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant 

Date: 11-5-19-19

Signature of Owner 

Date: 11-4-19

NOV 8 2019

B | BURGER
ENGINEERING

Civil Consultants

November 29, 2019

City of Grapevine
Development Services Planning Division
200 S. Main Street
Grapevine, Texas 76051

Re: Chick-fil-A
1235 William D. Tate Avenue
Lot 2, Block 1 – Tate Street Plaza No. 2
Grapevine, Texas
B.E. No. 013-303

Dear Planning Division,

Chick-fil-A, Inc. is submitting the attached conditional use/site plan application to amend the existing site plan, for the above referenced location. The existing dine in restaurant will be demolished and a new dine in and drive through Chick-fil-A restaurant will be built in its place. The new Chick-fil-A restaurant will include an approximately 5,200 square foot restaurant, associated parking, drive lanes, landscaping, drive through lanes, as well as drive through canopies at the order point and meal delivery locations. The new building construction will allow Chick-fil-A to improve the customer's experience at this location by adding additional kitchen capacity, drive through stacking and dine in seating. The order and meal delivery canopies allow Chick-fil-A team members to work outdoors while being protected from the weather elements (sun, rain, cold, etc.). The canopy areas improve the customer's experience in the drive-through lane by increasing order and meal delivery speed currently being provided by Chick-fil-A team members during the face to face ordering process.

The approval of the conditional use/site plan application will be an improvement for Chick-fil-A, the City of Grapevine, and customers who frequent this Chick-fil-A location. The proposed conditional use/site plan also substantially conforms to the master development plan.

Please contact our office if you have any questions or comments.

Sincerely,



Bryan M. Burger, P.E.

DEL 2:319

BRYAN M. BURGER, P.E.

17103 Preston Road, Suite 180N | Dallas, Texas 75248 | Office: 972.630.3360 | Fax: 972.630.3380

B

ORDINANCE NO. 2020-006

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS ISSUING CONDITIONAL USE CU19-38 TO AMEND THE PREVIOUSLY APPROVED SITE PLAN CU99-74 (ORDINANCE NO. 1995-185) FOR A PLANNED COMMERCIAL CENTER TO ADJUST THE PROPERTY LINES OF AN EXISTING DRIVE THROUGH RESTAURANT (EXISTING CHICK-FIL-A) IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT LOCATED ON LOT 1, BLOCK 1, TATE STREET PLAZA NO. 2 (1245 WILLIAM D. TATE AVENUE) ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73, ATTACHED HERETO AND MADE A PART HEREOF AS EXHIBIT "A", AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood;

adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU19-38 to amend the site plan approved by Ordinance No. 1999-185 for a planned commercial center to allow a playground awning in conjunction with a restaurant, specifically to adjust the property lines of an existing drive through restaurant (Existing Chick-fil-A) in a district zoned "CC" Community Commercial District Regulations within the following described property: Lot 3, Block 1, Tate Street Plaza No. 2 (1245 William D. Tate Avenue) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. That the City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safely from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. That this ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of

land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. That any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 21st day of January, 2020.

APPROVED:

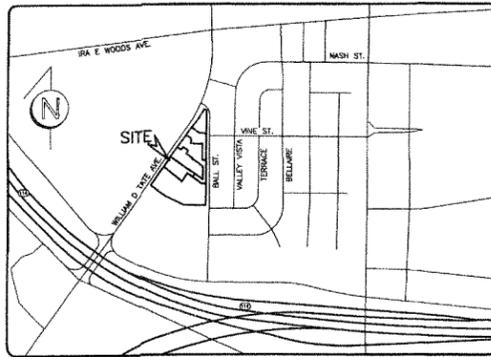
William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

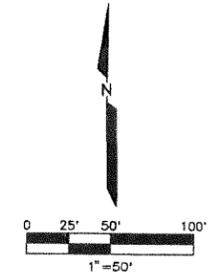
City Attorney



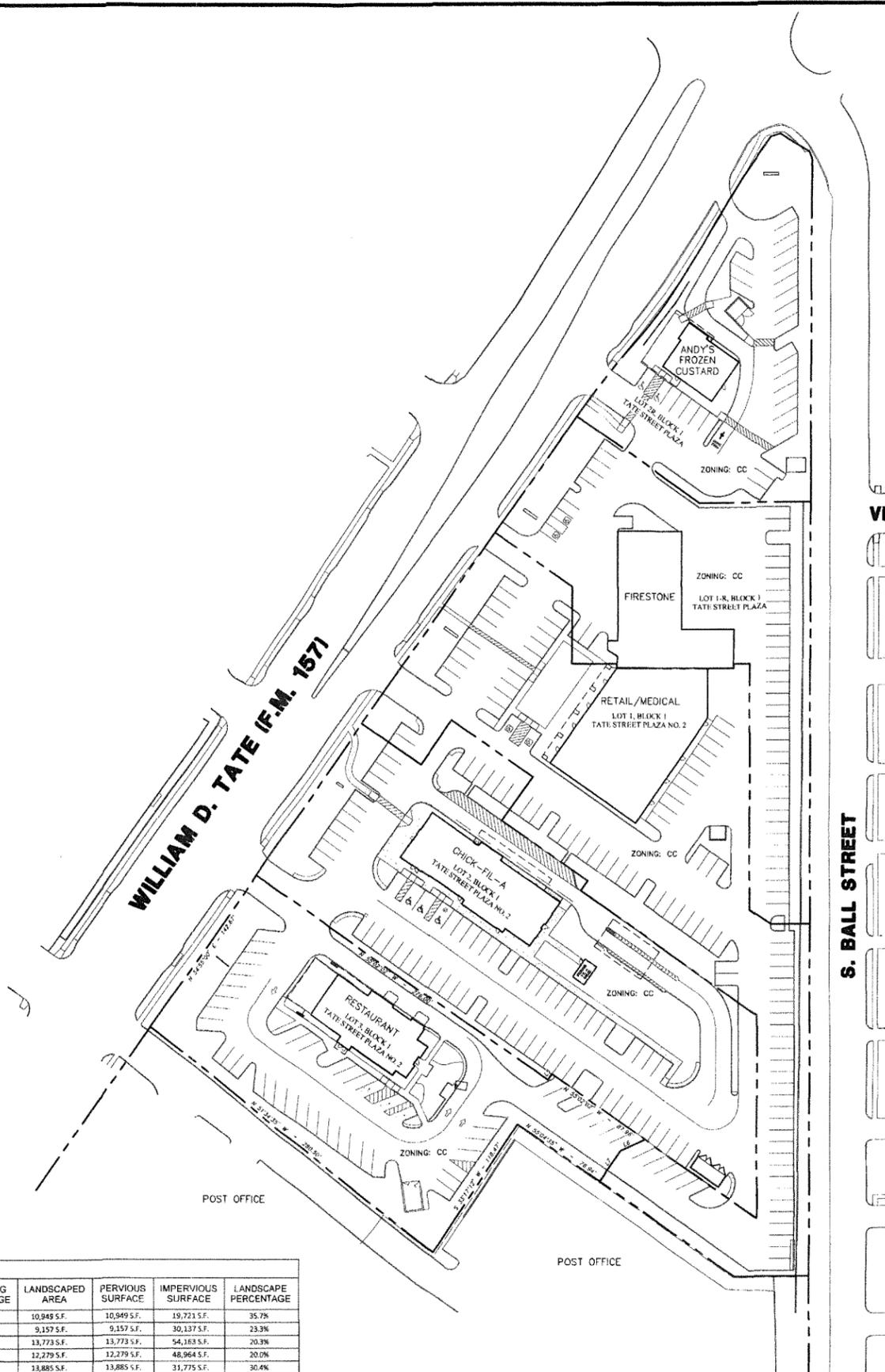
VICINITY MAP
NTS

~ BOUNDARY LINE DATA TABLE ~

L5	S 34°57'58" W	5.50'
L6	N 64°57'58" E	20.78'
L7	N 34°55'25" E	28.61'



Conditional Use Permit CU19-38 is a request to amend the previously approved site plan of CU99.74 (Ord. 1999-185) for a planned commercial center to allow for a playground owing in conjunction with a restaurant, specifically to adjust the property lines of an existing drive through restaurant.



VINE STREET

S. BALL STREET

WILLIAM D. TATE (F.M. 1571)

PROJECT DATA TABLE

LOT NUMBER	LAND AREA	BUILDING AREA	USE	PARKING REQUIRED	PARKING PROVIDED	BUILDING COVERAGE	LANDSCAPED AREA	PERVIOUS SURFACE	IMPERVIOUS SURFACE	LANDSCAPE PERCENTAGE
ANDY'S FROZEN CUSTARD - LOT 2R, BLOCK 1 - TATE STREET PLAZA	30,670 S.F.	3,605 S.F.	RESTAURANT	17 SPACES	29 SPACES	5.23%	10,949 S.F.	10,949 S.F.	19,721 S.F.	35.7%
FIRESTONE - LOT 1-R, BLOCK 1 - TATE STREET PLAZA REVISED	39,294 S.F.	6,550 S.F.	AUTO REPAIR	52 SPACES	52 SPACES	16.67%	9,157 S.F.	9,157 S.F.	30,137 S.F.	23.3%
RETAIL/MEDICAL - LOT 1, BLOCK 1 - TATE STREET PLAZA NO. 2	67,936 S.F.	8,953 S.F.	RETAIL/MEDICAL	71 SPACES	95 SPACES	13.18%	13,773 S.F.	13,773 S.F.	54,163 S.F.	20.3%
CHICK-FIL-A - LOT 2, BLOCK 1 - TATE STREET PLAZA NO. 2	61,243 S.F.	5,348 S.F.	RESTAURANT	47 SPACES	73 SPACES	8.73%	12,279 S.F.	12,279 S.F.	48,964 S.F.	20.0%
RESTAURANT - LOT 3, BLOCK 1 - TATE STREET PLAZA NO. 2	45,660 S.F.	3,632 S.F.	RESTAURANT	42 SPACES	47 SPACES	7.95%	13,885 S.F.	13,885 S.F.	31,775 S.F.	30.4%

Case Name: Existing Restaurant
 Case Number: CU19-38
 Location: 1245 William D. Tate Avenue
 Grapevine, Texas 76051

 Mayor Secretary

Date: _____

PLANNING AND ZONING COMMISSION

 Chairman

Date: _____

Sheet 1 of 10

Approval does not authorize any work in conflict with any codes or ordinances.

DEPARTMENT OF DEVELOPMENT SERVICES

5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

Revisions:

Mark	Date	By
△		
△		
△		

1245 WILLIAM D. TATE AVENUE
 LOT 3, BLOCK 1
 TATE STREET PLAZA NO. 2
 THE CITY OF GRAPEVINE, TEXAS

STORE
 SERIES
 97-136

SHEET TITLE
**MASTER
 SITE
 PLAN**

For Permit
 For Bid
 For Construction

Job No. : 013-303
 Store : 04480
 Date : 11/7/19
 Drawn By : RMP
 Checked By: BMB

Sheet

B BURGER
 ENGINEERING

17103 Preston Road, Suite 180N
 Dallas, Texas 75248
 Office: 972.630.3360 Fax: 972.630.3380
 TBPE F-12997

MSP

WILLIAM D. TATE

(VARIABLE WIDTH RIGHT-OF-WAY)

LAYOUT NOTES

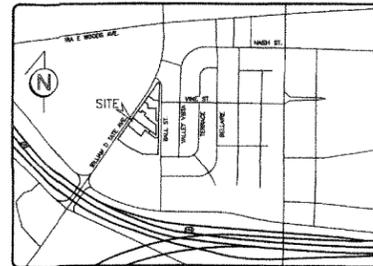
- | | |
|---|--|
| 1 PAINTED TRAFFIC ARROW | 18 EX. STRIPING |
| 2 PARKING STALLS / 4" PAINTED STRIPE | 19 EX. PAINTED STRIPE |
| 3 INTEGRAL CONCRETE CURB (SEE SHEET C-7) | 20 EX. DIRECTIONAL SIGNAGE |
| 4 CONSTRUCTION JOINT (SEE SHEET C-7) | 21 EX. LIGHT POLE |
| 5 CONSTRUCTION JOINT (SEE SHEET C-7) | 22 EX. HANDICAP SYMBOL |
| 6 CONCRETE PAVEMENT | 23 EX. INLET |
| 7 MATCH EX. CURB | 24 EX. CURBED RAMP |
| 8 PROP. FIRE HYDRANT | 25 EX. DUMPSTER AREA |
| 9 MATCH EX. CONCRETE/ASPHALT PAVEMENT | 26 EX. CANOPY ORDERING STATION |
| 10 FIRE LANE STRIPING | 27 EX. GREASE TRAP |
| 11 MATCH LOCATION & ELEVATION OF EX. SIDEWALK | 28 EX. GAS SERVICE LOCATION |
| 12 POLE MOUNTED TRANSFORMER | 29 EX. ELECTRIC METER / PANEL LOCATION |
| 13 EX. BOLLARD | 30 EX. POWER POLE |
| 14 EX. TRAFFIC ARROW | 31 EX. SIGN |

LEGEND

- F.H. FIRE HYDRANT
- CHISELED "X" SET
- O.F.X. CHISELED "X" FOUND
- O.F.R. IRON ROD FOUND (SIZE AS NOTED)
- O.S.I.R. IRON ROD SET (SIZE AS NOTED)
- PP OVERHEAD UTILITY POLE W/ GUY
- UNDERGROUND ELEC. OR TELE.
- LP LIGHT POLE
- SSMH SANITARY SEWER MANHOLE
- C.C. SAN. SWR. CLEAN OUT
- G.V. GAS VALVE
- W.V. WATER VALVE
- TREE
- MH MANHOLE (TYPE AS NOTED)
- SBX BOX TRAFFIC SIGNAL BOX
- TWBX ELEC. TRANSFORMER BOX
- STOWER ELEC. TRANSMISSION STEEL TOWER
- CABLE UNDERGROUND CABLE MARKER
- LS LIVE OAK
- CM CRAPE MYRTLE
- LS LANDSCAPE AREA
- FIRE LANE

~ BOUNDARY LINE DATA TABLE ~

L5	S 34°57'58" W	5.50'
L6	N 64°57'58" E	20.78'
L7	N 34°55'25" E	28.61'



NOTES

- ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CHICK-FIL-A SPECIFICATIONS AND/OR CITY STANDARD SPECIFICATIONS, WHICHEVER IS MORE RESTRICTIVE.
- ALL CONSTRUCTION IN CITY RIGHT-OF-WAYS AND/OR EASEMENT SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD SPECIFICATIONS.
- BEFORE STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE CONTRACTOR SHALL GIVE THE CITY A MINIMUM OF 48 HOURS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
- IF CONTRACTOR FINDS A DISCREPANCY WITH THE TOPOGRAPHIC INFORMATION ON THESE PLANS, HE/SHE SHALL CONTACT THE CONSTRUCTION MANAGER/SUPERVISOR IMMEDIATELY.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BRICK, OR AS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- BUILDING IS PARALLEL AND PERPENDICULAR TO THE NORTHEAST PROPERTY LINE.
- ALL RADII ARE 2' UNLESS OTHERWISE NOTED.
- ALL REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE CONSTRUCTION PERIOD.

SITE DATA

ZONING:	CC (COMMUNITY COMMERCIAL)
LOT AREA:	1.0482 ACRES (45,680 S.F.)
PROPOSED USE:	DINE IN & DRIVE THRU RESTAURANT
EX. BUILDING AREA:	3,632 S.F.
F.A.R.:	0.074:1
OCCUPANT LOAD:	124 PEOPLE
PARKING REQUIRED:	1 SPACE FOR EVERY 3 OCCUPANTS (124/3) = 42 SPACES
PARKING PROVIDED:	47 SPACES
BUILDING HEIGHT:	25' (1 STORY)
PROP. LANDSCAPE AREA:	13,885 S.F. (30.41%)
PROP. PAVED AREA:	26,143 S.F. (61.64%)

MAXIMUM OCCUPANCY CALCULATIONS:

SEATING AREA =	993 S.F./15	= 66
WAITING AREA =	374 S.F./7	= 53
KITCHEN AREA =	816 S.F./200	= 4
OFFICE AREA =	70 S.F./100	= 1
124 OCCUPANTS		

Case Name: Existing Restaurant
 Case Number: CU19-38
 Location: 1245 William D. Tate Avenue
 Grapevine, Texas 76051

Mayor _____ Secretary _____

Date: _____

PLANNING AND ZONING COMMISSION

Chairman _____

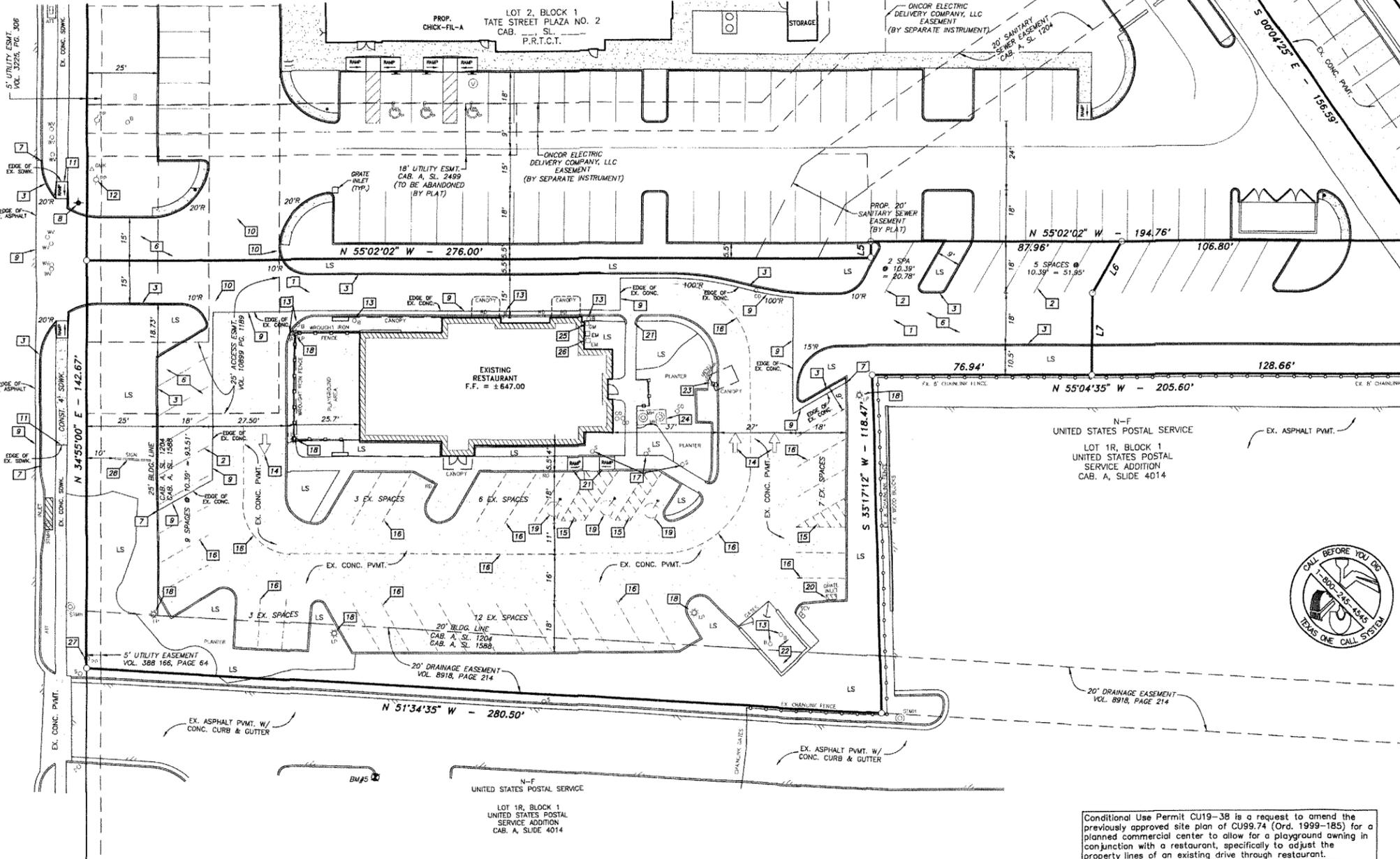
Date: _____

Sheet 2 of 10

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DEPARTMENT OF DEVELOPMENT SERVICES

Conditional Use Permit CU19-38 is a request to amend the previously approved site plan of CU99.74 (Ord. 1999-185) for a planned commercial center to allow for a playground owning in conjunction with a restaurant, specifically to adjust the property lines of an existing drive through restaurant.



LOT 1R, BLOCK 1
 UNITED STATES POSTAL
 SERVICE ADDITION
 CAB. A, SLIDE 4014

APPLICANT:
 CHICK-FIL-A, INC.
 5200 BUFFINGTON ROAD
 ATLANTA, GEORGIA 30349
 PHONE: (404) 765-8000
 CONTACT: GETRA THOMASON-SANDERS
 EMAIL: GETRA.SANDERS@CFACORP.COM

ENGINEER:
 BURGER ENGINEERING, LLC
 17103 PRESTON ROAD, SUITE 180N
 TEXAS REGISTERED ENGINEERING FIRM F-12997
 DALLAS, TEXAS 75248
 PHONE: (972) 630-3360
 CONTACT: BRYAN M. BURGER, P.E.
 EMAIL: BBURGER@BURGERENGINEERING.COM

BENCHMARK - BM 2	
ELEVATION	645.42
MONUMENT	CUT X ON TOP OF CURB
LOCATION	NORSE OF PARKING ISLAND W/ PARKING LOT OF FIRESTONE

BENCHMARK - BM 5	
ELEVATION	645.50
MONUMENT	CUT X ON TOP OF CURB
LOCATION	SOUTH SIDE OF NORTH ENTRANCE DRIVE OF POST OFFICE PROPERTY

BURGER ENGINEERING

17103 Preston Road, Suite 180N
 Dallas, Texas 75248
 Office: 972.630.3360 Fax: 972.630.3380
 TBP# F-12997



Revisions:

Mark	Date	By
Mark	Date	By
Mark	Date	By



1245 WILLIAM D. TATE AVENUE
 LOT 3, BLOCK 1
 TATE STREET PLAZA NO. 2
 THE CITY OF GRAPEVINE, TEXAS

STORE
 SERIES
 97-136

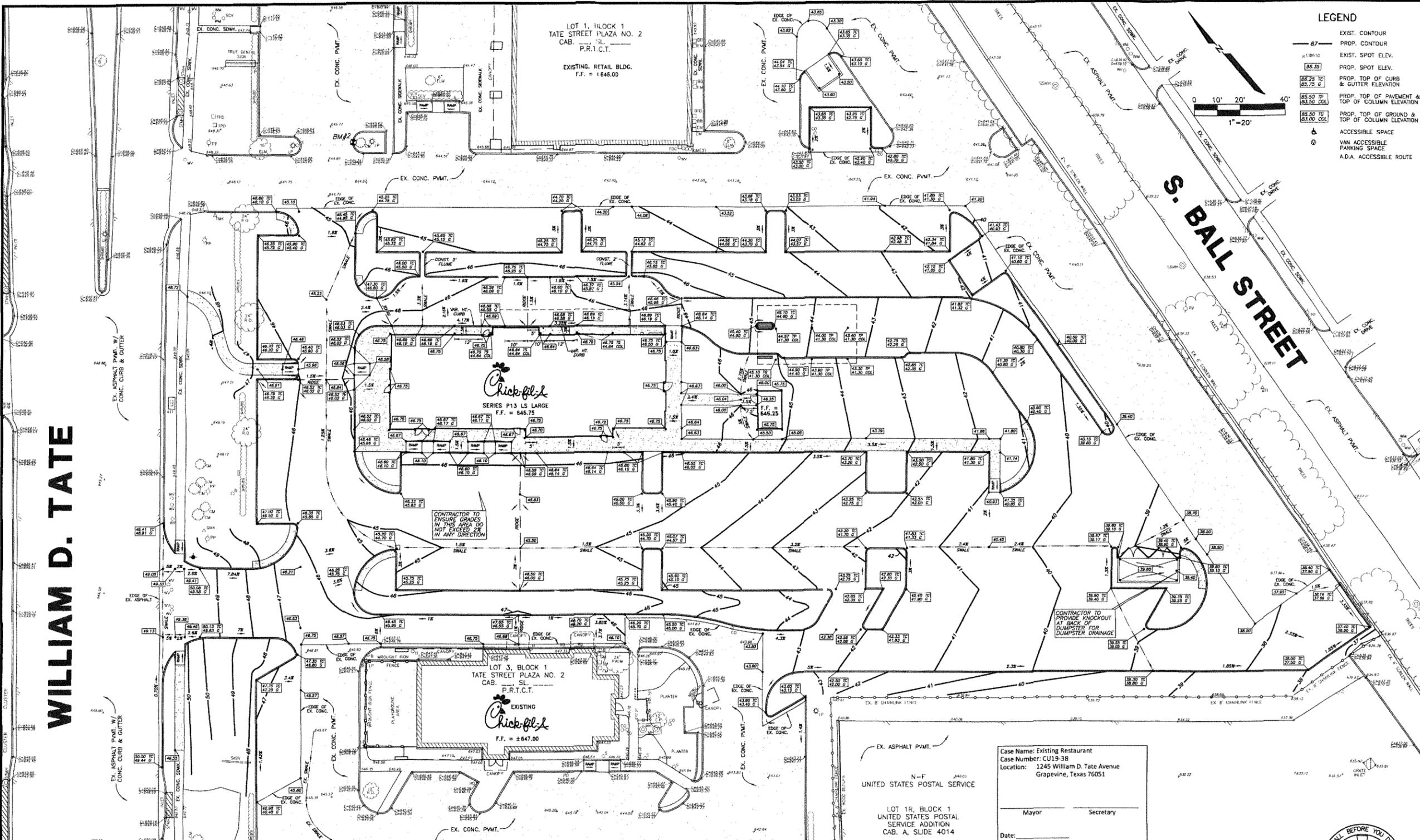
SHEET TITLE
DIMENSIONAL CONTROL SITE PLAN

For Permit
 For Bid
 For Construction

Job No. : 013-303
 Store : 04480
 Date : 11/7/19
 Drawn By : RMP
 Checked By : BMB

Sheet
C-3

WILLIAM D. TATE



LEGEND

- #7— EXIST. CONTOUR
- #10#10— PROP. CONTOUR
- EXIST. SPOT ELEV.
- #65.55 PROP. SPOT ELEV.
- #62.25 TO #62.75 G PROP. TOP OF CURB & GUTTER ELEVATION
- #65.50 TO #65.50 COL PROP. TOP OF PAVEMENT & TOP OF COLUMN ELEVATION
- #63.00 TO #63.00 COL PROP. TOP OF GROUND & TOP OF COLUMN ELEVATION
- △ ACCESSIBLE SPACE
- VAN ACCESSIBLE PARKING SPACE
- A.D.A. ACCESSIBLE ROUTE

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark	Date	By
△		
△		
△		



1245 WILLIAM D. TATE AVENUE
LOTS 1-3, BLOCK 1
TATE STREET PLAZA NO. 2
THE CITY OF GRAPEVINE, TEXAS

STORE
SERIES
P13 LS LARGE

SHEET TITLE
GRADING & DRAINAGE PLAN

For Permit
 For Bid
 For Construction

Job No. : 013-303
Store : 04480
Date : 7/9/19
Drawn By : RMP
Checked By : BMB

SHEET
C-4

- GRADING NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND CITY STANDARDS AND SPECIFICATIONS.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
 - BARRICADES, TRAFFIC CONTROL, AND PROJECT SIGN SHALL CONFORM TO "STATE DEPARTMENT OF HIGHWAYS AND PUBLIC TRANSPORTATION BARRICADE AND CONSTRUCTION STANDARDS" AND CITY SPECIFICATIONS.
 - THE CONTRACTOR SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENTS TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE IS ACCEPTABLE, IF NECESSARY, UPON PRIOR APPROVAL OF THE ENGINEER. PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
 - ALL PROPOSED CONTOURS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
 - REFER TO SITE PLAN FOR HORIZONTAL DIMENSIONS.
 - SITE PREPARATION AND GRADING, FOUNDATION EXCAVATION AND FILL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION.
 - GRATE INLETS TO BE PRECAST, SINGLE GRATE INLET MANUFACTURED BY BROOKS PRODUCTS INC. B-87-487-8783 WITH TRAFFIC BEARING GRATE, OR APPROVED EQUAL.
 - CONTRACTOR TO ENSURE GRADES IN ACCESSIBLE ROUTE DO NOT EXCEED 5% IN THE RUN DIRECTION W/ A 2% CROSS SLOPE.

- CONSTRUCTION SEQUENCE**
- OBTAIN GRADING PERMIT.
 - INSTALL ALL EROSION CONTROL MEASURES AND DEVICES THAT CAN BE INSTALLED PRIOR TO SITE CLEARING.
 - CLEAR SITE.
 - INSTALL ANY REMAINING CONTROL MEASURES AND DEVICES THAT COULD NOT BE INSTALLED PRIOR TO SITE CLEARING.
 - GRADE SITE.
 - INSTALL ALL UNDERGROUND UTILITIES. INSTALL EROSION CONTROL AROUND LATCH BASINS AND INLETS.
 - INSTALL PAVEMENT.
 - INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBED OFFSITE OR SITE AREAS HAVE BEEN HYDROLOGICALLY RECOVERED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND A MOWABLE STAND OF GRASS IS ACHIEVED.

BENCHMARK - BM 2		BENCHMARK - BM 5	
ELEVATION	845.42	ELEVATION	845.30
MONUMENT	CUT X ON TOP OF CURB	MONUMENT	CUT X ON TOP OF CURB
LOCATION	NODE OF PARKING ISLAND N. PARKING LOT OF FIRESTONE	LOCATION	SOUTH SIDE OF NORTH ENTRANCE DRIVE OF POST OFFICE PROPERTY

Case Name: Existing Restaurant
Case Number: CU19-38
Location: 1245 William D. Tate Avenue
Grapevine, Texas 76051

Mayor _____ Secretary _____

Date: _____

PLANNING AND ZONING COMMISSION

Chairman _____

Date: _____

Sheet 3 of 10

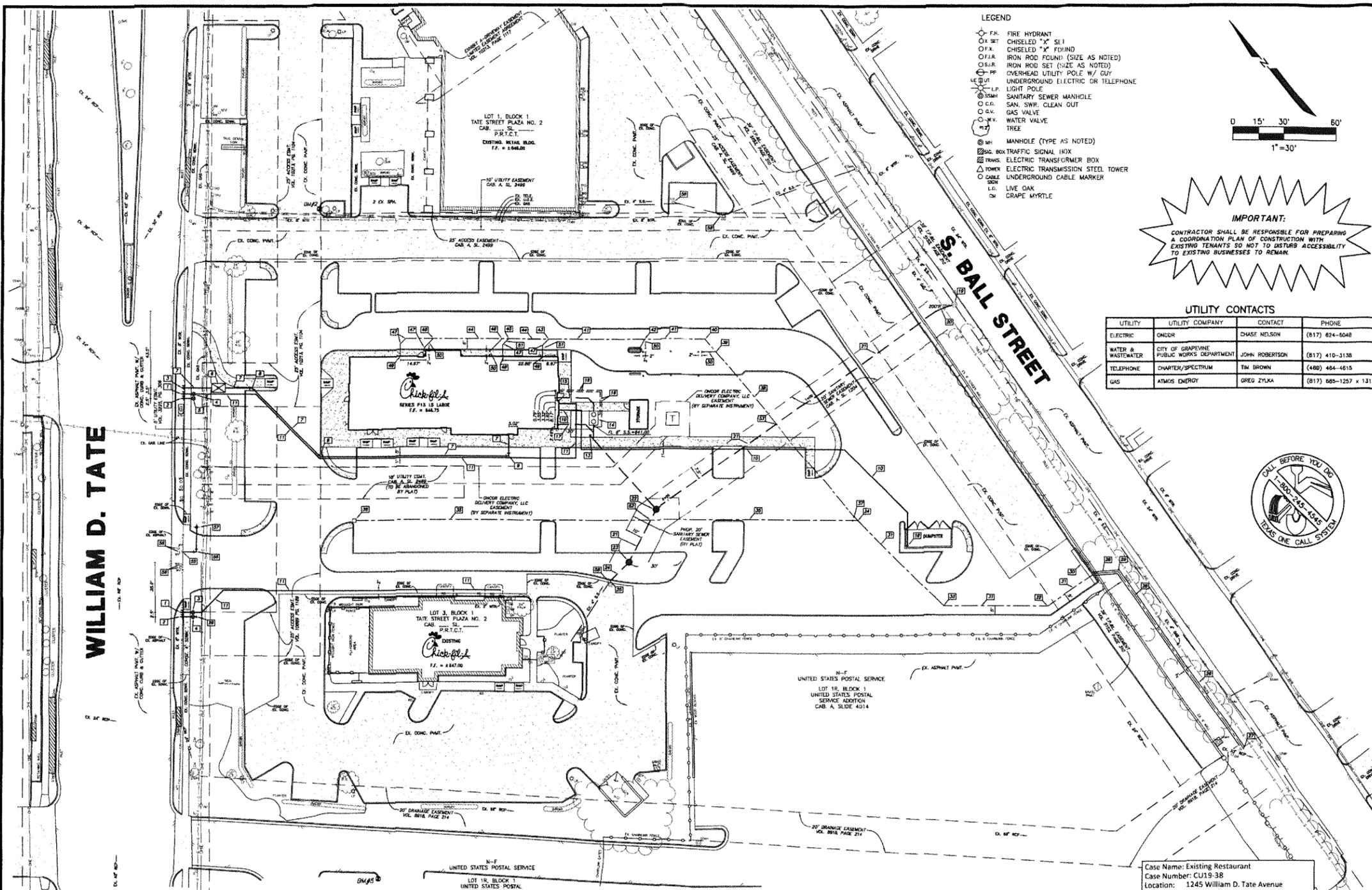
Approval does not authorize any work in conflict with any codes or ordinances.

DEPARTMENT OF DEVELOPMENT SERVICES

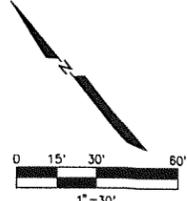
B | BURGER ENGINEERING

17103 Preston Road, Suite 180N
Dallas, Texas 75248
Office: 972.630.3360 Fax: 972.630.3380
TBPE F-12997





- LEGEND**
- FH FIRE HYDRANT
 - CHISELED "X" SET
 - CHISELED "X" FOUND
 - I.R. IRON ROD FOUND (SIZE AS NOTED)
 - I.R. IRON ROD SET (SIZE AS NOTED)
 - O.U.P. OVERHEAD UTILITY POLE W/ DUTY
 - U.E. UNDERGROUND ELECTRIC OR TELEPHONE
 - L.P. LIGHT POLE
 - S.S.M. SANITARY SEWER MANHOLE
 - S.S. SAN. SWR. CLEAN OUT
 - G.V. GAS VALVE
 - W.V. WATER VALVE
 - T. TREE
 - M.H. MANHOLE (TYPE AS NOTED)
 - T.S. TRAFFIC SIGNAL BOX
 - T.E. ELECTRIC TRANSFORMER BOX
 - T.E.T. TOWER ELECTRIC TRANSMISSION STEEL TOWER
 - C.M. UNDERGROUND CABLE MARKER
 - L.O. LIVE OAK
 - G.M. GRAPE MYRTLE



IMPORTANT:
 CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING A COORDINATION PLAN OF CONSTRUCTION WITH EXISTING TENANTS SO NOT TO DISTURB ACCESSIBILITY TO EXISTING BUSINESSES TO REMAIN.

UTILITY CONTACTS

UTILITY	UTILITY COMPANY	CONTACT	PHONE
ELECTRIC	ONCOR	CHASE NELSON	(817) 824-8048
WATER & WASTEWATER	CITY OF GRAPEVINE PUBLIC WORKS DEPARTMENT	JOHN ROBERTSON	(817) 410-3138
TELEPHONE	CHARTER/SPECTRUM	TIM BROWN	(469) 484-6115
GAS	ATMOS ENERGY	GREG ZYLKA	(817) 685-1257 x 1313

- WATER LINE GENERAL NOTES**
1. ALL WORK AND MATERIALS, UNLESS OTHERWISE NOTED, SHALL CONFORM TO CITY STANDARD SPECIFICATIONS.
 2. ALL WATER MAIN PIPE MATERIALS SHALL MEET CITY OF ANNA REQUIREMENTS.
 3. DEPTHS OF WATER LINES TO MEET CITY DESIGN CRITERIA.
 4. FIRE HYDRANTS TO BE CITY APPROVED.
 5. VALVES TO BE CITY APPROVED.
 6. THE CONTRACTOR SHALL FURNISH A MAINTENANCE BOND TO THE CITY TO RUN TWO (2) YEARS FROM THE DATE OF ACCEPTANCE OF THE SYSTEM BY THE CITY. THE MAINTENANCE BOND WILL NEED TO BE ON THE CITY'S STANDARD FORM.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING "RECORD DRAWING" PLANS TO THE ENGINEER SHOWING THE LOCATION OF WATER SERVICES AND VALVES.
 8. FIRE HYDRANTS SHALL BE PAINTED AS PER CITY STANDARDS AND SPECIFICATIONS AND LOCATED IN A PROTECTED AREA WITH 8" CURB OR BOLLARDS.
 9. STREAMER NOZZLES ON FIRE HYDRANTS SHALL BE 18" ABOVE THE TOP OF THE CURB ON FINISHED GRADE, AND SHALL FACE THE CENTER OF THE FIRE LANE OR STREET. FIRE HYDRANTS SHALL USUALLY BE LOCATED FOUR (4) FEET, BUT NOT LESS THAN TWO (2) FEET FROM MORE THAN SIX (6) FEET, BEHIND THE CURB.
 10. ALL WATER LINES SHALL BE HYDROSTATICALLY TESTED PER CITY STANDARDS AND SPECIFICATIONS.
 11. ALL WATER LINES SHALL BE STERILIZED PER CITY STANDARDS AND SPECIFICATIONS.
 12. ALL METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS AND PROTECTED BY 8" CURBS OR BOLLARDS.
 13. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THAT NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING. UTILITIES EXIST PRIOR TO THE CONSTRUCTION OF ANY SUCH CROSSING.
 14. UTILITY TRENCHES SHALL BE BACKFILLED WITH MATERIAL PER CITY SPECIFICATIONS.
 15. ALL WATER SERVICES OUTSIDE OF EASEMENTS SHALL BE INSTALLED BY A PLUMBER.
 16. CONTRACTOR TO INCLUDE ALL CITY WATER AND SEWER FEES IN BID. PAY CITY IMPACT FEES FOR WATER & S.S.
 17. NO WATER JETTING ALLOWED.

- WASTE WATER GENERAL NOTES**
1. ALL WORK, UNLESS OTHERWISE NOTED, SHALL CONFORM TO CITY STANDARD SPECIFICATIONS.
 2. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA RECORDED BY OTHERS. CONTRACTOR SHALL VERIFY THAT NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING.
 3. CONTRACTOR SHALL COORDINATE WITH THE OWNER, ENGINEER OR HIS REPRESENTATIVE AND CITY REPRESENTATIVE REGARDING ANY DEVIATIONS FROM THESE PLANS.
 4. CONTRACTOR SHALL MAINTAIN ONE SET OF RECORD DRAWINGS (AS BUILT) ON SITE WHICH WILL BE SUBMITTED TO THE ENGINEER UPON COMPLETION OF THIS PROJECT.
 5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT; ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, SEWER LATERALS, WATER SERVICE, ETC.
 6. SANITARY SEWER PIPE MUST BE KEPT CLEAR OF BROKEN CONCRETE, DIRT OR ANY OTHER DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS.
 7. ALL SANITARY SEWER MAINS ARE TO HAVE 1-21" JOINT CENTERED ON OTHER SIDE OF WATER MAINS WHERE CROSSINGS OCCUR.
 8. CONTRACTOR SHALL TIE A 1" WIDE PIECE OF RED PLASTIC FLAGGING TO THE END OF SEWER SERVICE AND SHALL LEAVE A MINIMUM OF 18" OF FLAGGING EXPOSED AFTER BACKFILL AFTER CURB AND PAVING IS COMPLETED. CONTRACTOR SHALL MARK THE LOCATION OF THE SEWER SERVICE ON THE CURB IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS.
 9. THE CONTRACTOR SHALL FURNISH A MAINTENANCE BOND TO THE CITY TO RUN 2 YEARS FROM THE DATE OF FINAL ACCEPTANCE OF THE SYSTEM BY THE CITY.
 10. ALL SANITARY SEWER LATERALS SHALL BE SIZED AND LOCATED AS SHOWN.
 11. CONTRACTOR TO INCLUDE ALL RECD. BONDS, TAP FEES & CAMERA FEES IN PROPOSAL.
 12. NO WATER JETTING ALLOWED.
 13. ALL SANITARY SEWER MAINS SHALL BE SDR-35 PVC.

- DRAINAGE GENERAL NOTES**
1. ALL WORK, UNLESS OTHERWISE NOTED, SHALL CONFORM TO CITY STANDARD SPECIFICATIONS.
 2. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA RECORDED BY OTHERS. CONTRACTOR SHALL VERIFY THAT NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING.
 3. CONTRACTOR SHALL COORDINATE WITH THE OWNER, ENGINEER, OR HIS REPRESENTATIVE AND CITY REPRESENTATIVE REGARDING ANY DEVIATIONS FROM THESE PLANS.
 4. CONTRACTOR SHALL MAINTAIN ONE SET OF RECORD DRAWINGS (AS BUILT) ON SITE WHICH WILL BE SUBMITTED TO THE ENGINEER UPON COMPLETION OF THIS PROJECT.
 5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT; ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, SEWER LATERALS, WATER SERVICE, ETC.
 6. THE CONTRACTOR SHALL SET UTILITIES TO PROPER LINE AND GRADE PRIOR TO THE PLACING OF PERMANENT PAVEMENT.
 7. ALL STORM SEWER PIPE SHALL CONFORM TO CITY SPECIFICATIONS AND SHALL BE MANUFACTURED FROM ONE OF THE FOLLOWING MATERIALS:
 - a. CLASS II RCP Diameter 18"-60"
 - b. SDR 28 PVC Diameter 8"-10"
 8. ANY PIPE LOCATED WITHIN THE RIGHT-OF-WAY OR IN AN EASEMENT WILL BE RCP PIPE UNLESS OTHERWISE NOTED.
 9. ALL STORM PIPES ARE PRIVATE EXCEPT THOSE SHOWN IN CITY & STATE R.O.W.
 10. ALL RCP PIPE INSTALLATION SHALL CONFORM TO THE AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION MANUAL.
 11. ALL PIPE BENDS AND FITTINGS SHALL BE PREFABRICATED. COLLAR CONNECTIONS SHALL BE IN ACCORDANCE WITH THE CITY STANDARDS.

- CITY GENERAL NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A TWO (2) YEAR, 25% MAINTENANCE BOND ON ALL WATER, SANITARY SEWER, STORM DRAINAGE, PAVEMENT AND EXCAVATION/FILL WITHIN RIGHT OF WAY OR EASEMENTS.
 2. THE CITY OF GRAPEVINE'S OVERTIME POLICY ALLOWING THE CONTRACTOR TO WORK FROM 7 A.M. TO 7 P.M., MONDAY THROUGH SATURDAY, NO WORK IS ALLOWED ON SUNDAYS. SATURDAY WORK REQUIRES A FOUR (4) HOUR MINIMUM CHARGE. OVERTIME CHARGES OF \$40 PER HOUR SHALL BE PAID BY THE CONTRACTOR TO THE CITY FOR WORK OUTSIDE THE NORMAL WORK WEEK (I.E. 8 A.M. TO 5 P.M. MONDAY THRU FRIDAY).
 3. ALL WATER LINES WITHIN EASEMENTS ARE INSPECTED BY PUBLIC WORKS. PRIVATE LINES (OUTSIDE OF EASEMENTS, BEYOND METERS, NOT JUST WITHIN 5' OF THE BUILDING ARE NOT INSPECTED) BY PUBLIC WORKS. THESE LINES SHALL BE DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF GRAPEVINE BUILDING DEPARTMENT.

- LAYOUT NOTES**
1. INSTALL NEW 8"x2" SERVICE CONN. W/ 2" VALVE TO EX. 8" WATER
 2. INSTALL NEW 8"x1" SERVICE CONN. W/ 1" VALVE TO EX. 8" WATER
 3. INSTALL NEW 8"x1" TAPPING SLAVE & VALVE TO EX. 8" WATER
 4. INSTALL 1 1/2" WATER METER (DOW) W/ METER BOX
 5. INSTALL 1" WATER METER (RR) W/ METER BOX
 6. INSTALL 8" DETECTOR CHECK W/ VALVE & F.D.C. PER CITY OF GRAPEVINE STANDARDS
 7. 8" FIRE LINE
 8. 8"x45" BEND W/ THRUST BLOCKING
 9. 8"x50" BEND W/ THRUST BLOCKING
 10. 3/4" CW TO DUMPSTER POST HYDRANT
 11. INSTALL 2" COPPER DOMESTIC WATER SERVICE PLUMBING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR.
 12. 8" SDR 26 PVC WASTEWATER SERVICE LINE @ 7% CLEANOUT
 13. PRECAST 1000 GAL. CAPACITY GREASE TRAP. PLUMBING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR. TOP RIM OF MANHOLE TO BE 0.2' ABOVE FINISH GRADE.
 14. 4" KITCHEN WASTE LINE
 15. 3" VENT LINE
 17. 4" RESTROOM WASTE LINE
 18. DUMPSTER POST HYDRANT REFER TO P-31
 19. STA. 0+00 LN. A. CONNECT NEW 8" S.S. MAIN TO EX. S.S. MANHOLE FL. EX. 8" S.S. OUT = 632.96 (VERIFY) FL. 8" S.S. IN = 633.25
 20. 8" S.S. ON 200' RADIUS
 21. 8" S.S. (SDR-35 PVC)
 22. STA. 2+08.40 LN. A. CONST. 4" DIA. MANHOLE W/ 8" LAT. N.W. RIM = 642.95 FL. EX. 8" S.S. (OUT) = 639.25 FL. 8" S.S. (IN) = 638.35
 23. STA. 2+42.23 LN. A. CONST. 4" DIA. MANHOLE W/ 4" LAT. S.W. RIM = 644.50 FL. EX. 8" S.S. (OUT) = 638.90 FL. 4" S.S. = 637.00
 24. 4" S.S. @ 2% MIN.
 25. REMOVE EX. 4" PLUG & CONNECT TO EX. 4" S.S. CONTRACTOR TO VERIFY FLOWLINE.
 26. CONTRACTOR TO RECONNECT EX. IRRIGATION SYSTEM TO NEW METER.
 27. STA. 0+00 LN. 1.0. CONNECT TO EX. 30" RCP W/ 30"x24" PIPE TO PIPE CONNECTION. FL. 30" RCP = 628.00 (VERIFY) FL. 24" RCP = 626.36
 28. 24" RCP LN. 1.0
 29. STA. 1+29.02 LN. 1.0. 24"x30" BEND FL. EX. 8" S.S. IN = 631.28 FL. 8" S.S. @ 3%
 30. STA. 1+39.45 LN. 1.0. INSTALL 2-4 GRATE COMBINATION INLETS ON GRADE & CONNECTED TOP = 637.75 @ C.L. FL. 24" RCP = 633.40 FL. 10" PVC = 633.50
 31. 10" PVC @ 1.42%
 32. 10"x30" BEND
 33. 10"x45" BEND
 34. 10"x10" WYE CONNECTION FL. 10" PVC = 635.75
 35. 10" PVC @ 1.90%
 36. INSTALL 2"x2" GRATE INLET TOP = 644.70 FL. 10" PVC = 641.20
 37. END 10" PVC & BEGIN 8" PVC FL. 10" & 8" PVC = 635.80
 38. 8" PVC @ 3%
 39. 8"x8" WYE CONNECTION FL. 8" PVC = 636.45
 40. 8"x8" BEND FL. 8" PVC = 636.75
 41. 8" PVC @ 3%
 42. 8"x8" WYE CONNECTION FL. 8" PVC = 640.75
 43. 8"x8" WYE CONNECTION FL. 8" PVC = 642.50
 44. 8" PVC @ 1.32%
 45. 8"x8" WYE CONNECTION FL. 8" PVC = 642.50
 46. 8"x8" WYE CONNECTION FL. 8" PVC = 642.86
 47. 8"x8" BEND
 48. 8" PVC @ 1.90%
 49. 8" PVC @ 1.90%
 50. 8" PVC TO CANOPY DRAIN @ 1% MIN.
 51. 8" PVC TO ROOF DRAIN @ 1% MIN.
 52. UTILITY CROSSING FL. 10" PVC = 637.85 FL. 8" S.S. = 636.46
 53. UTILITY CROSSING FL. 8" PVC = 637.85 FL. 8" S.S. = 635.03
 54. 4" IRRIGATION SLUEVE W/90° ELBOWS STUBBED ABOVE GRADE
 55. REMOVE EX. 8" PLUG & CONNECT TO EX. 8" WTR.
 56. 8"x90" BEND W/ THRUST BLOCKING
 57. FIRE HYDRANT PER CITY OF GRAPEVINE STANDARDS
 58. ADJUST EX. CLEANOUT/VALVE TO PROP. GRADE

Case Name: Existing Restaurant
 Case Number: CU19-38
 Location: 1245 William D. Tate Avenue
 Grapevine, Texas 76051

Mayor _____ Secretary _____

Date: _____

PLANNING AND ZONING COMMISSION

Chairman _____

Date: _____

Sheet 4 of 10

Approval does not authorize any work in conflict with any codes or ordinances.

DEPARTMENT OF DEVELOPMENT SERVICES

BURGER ENGINEERING

17103 Preston Road, Suite 182N
 Dallas, Texas 75248
 Office: 972.630.3360 Fax: 972.630.3380
 TBP# F-12997



5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

Revisions:
 Mark Date By

Mark Date By

Mark Date By



1245 WILLIAM D. TATE AVENUE
 LOTS 1-9, BLOCK 1
 TATE STREET PLAZA NO. 2
 THE CITY OF GRAPEVINE, TEXAS

STORE
 SERIES
 P13 LS LARGE

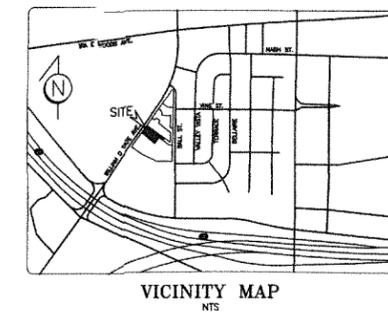
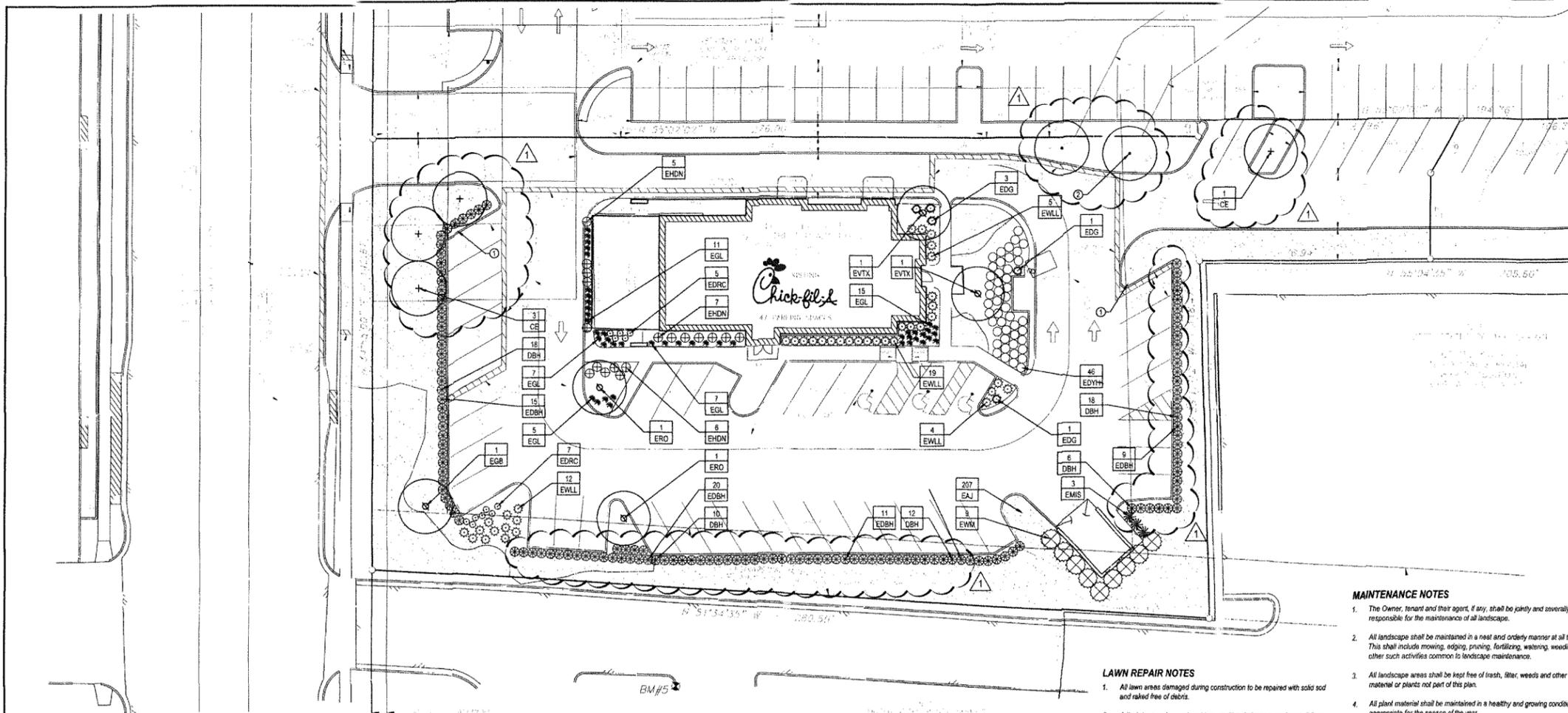
SHEET TITLE
**PLUMBING
 SITE PLAN**

For Permit
 For Bid
 For Construction

Job No. : 013-303
 Store : 04480
 Date : 7/9/19

Drawn By : RMP
 Checked By : BMB

Sheet
PS-1

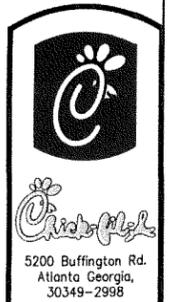


Case Name: Existing Restaurant
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 Grapevine, Texas 76051

Mayor _____ Secretary _____
 Date: _____

PLANNING AND ZONING COMMISSION
 Chairman _____
 Date: _____

Sheet 7 of 10
 Approval does not authorize any work in conflict with any codes or ordinances.
 DEPARTMENT OF DEVELOPMENT SERVICES



Revisions:

Mark	Date	By
1	1/2/20	BCC

City Comments

Mark	Date	By

Mark Date By

Mark	Date	By



1245 WILLIAM D. TATE AVENUE
 LOT 3, BLOCK 1
 TATE STREET PLAZA NO. 2
 THE CITY OF GRAPEVINE, TEXAS

STORE
 SERIES
 97-136

SHEET TITLE
 LANDSCAPE
 PLAN

For Permit
 For Bid
 For Construction

Job No.: 013-303
 Store: 04480
 Date: 11/7/19
 Drawn By: BCC
 Checked By: BDA
 Sheet

L-1

MAINTENANCE NOTES

- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

SOLID SOD NOTES

- Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.

LAWN REPAIR NOTES

- All lawn areas damaged during construction to be repaired with solid sod and raked free of debris.
- Adjust damaged areas to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All areas to be repaired must be planted by hand to cover area completely. Insure edges of sod are touching. Top dress joints by hand with compost to fill voids.
- Roll repaired areas to achieve a smooth, even surface, free from unnatural undulations.

DEMOLITION NOTES

- Provide demolition, salvage and protection of existing structures, surfaces and trees as shown on the drawings.
- Before submitting proposal, visit and examine site to determine actual nature and scope of demolition and salvage work. Claims for extra compensation on account of additional labor materials or equipment required for difficulties encountered in demolition and salvage will not be recognized.
- Prior to demo, disconnect and cap off utilities and service lines not required for new construction in accordance with requirements of governing authorities ordinances and regulations.
- Materials and debris resulting from demolition operations become the property of the Contractor. Please remove from site.
- Remove pavements, and structures to the depths of their sub-structure.
- Leave construction area clean and ready to use by other trades.
- Remove pavement sub-base to the depth of the base materials.
- Do not remove or damage trees unless noted to be removed. All tree protection devices shall be in place prior to demolition activities. Any demolition activities required within the dripline of trees to be saved shall be carefully removed by hand labor. Report any tree damage to the Landscape Architect.
- Prior to beginning demolition, Contractor shall provide coverings for existing site elements remaining to prevent damage. Any site elements scheduled to remain which are damaged by the Contractor's activities shall be repaired at the Contractor's expense.
- Provide demolition of existing site items as shown on the drawings. Completely remove items to 6" below grade and haul away all refuse.

LANDSCAPE TABULATIONS

INTERIOR VEHICULAR OPEN SPACE REQUIREMENTS: (5,413 s.f. ± 47 spaces)
 Requirements: Minimum 15% of gross parking area to be landscape area, (1) tree, 3" cal. per 400 s.f. of required landscape area. Minimum of (1) tree per parking island, (1) 9'x18' stand per 12 parking spaces

Required	Provided
5413 s.f.	1,153.9 s.f.
(3) parking islands	(6) existing islands provided
(2) trees, 3" cal.	(3) existing trees, 3" cal. min.

INTERIOR PARKING SCREEN REQUIREMENTS:
 Requirements: 30" h. screen at time of installation, or 30" swagman planting along parking lot about street frontage or adjacent property boundaries.

Provided

NON-VEHICULAR OPEN SPACE REQUIREMENTS: (45,680 s.f.)
 Requirements: Minimum 15% of gross site area to be non-vehicular open space; 50% of required area must be within the front yard.
 (1) tree, 3" cal. per 3,000 s.f. of required landscape area.

Required	Provided
6,840 s.f. (15%)	13,355 s.f. (30.3%)
(2) trees	(6) Existing trees (4) New Trees

PERIMETER REQUIREMENTS:
 Requirements: (1) tree 3" cal. per 50 l.f. along site perimeter.
 William D. Tate: (142,671 l.f.)
 Required: Provided
 (3) trees, 3" cal. (1) Existing Trees, 3" cal. min.
 (3) New trees, 3" cal.

ADDITIONAL INDICATIONS

- Decomposed Granite, 18" width min., 3" depth with steel edging border and weed barrier fabric.
- Proposed Line Dims in adjacent for landscape plan, 3" cal., refer to Sheet L-4 for details. Plans Case Number CU19-37

EXISTING PLANT LIST

EXISTING TREES	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE
1	1	CE	Existing Gingko	Gingko biloba	varies
3	3	ERO	Existing Red Oak	Quercus shumardii	varies
2	2	EVTX	Existing Vitex Tree	Vitex agnus-castus	varies

EXISTING SHRUBS	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE
63	63	EDBH	Existing Dwarf Burford Holly	Ilex cornuta 'Burfordii Nana'	varies
5	5	EDG	Existing Dwarf Grass	Muhlenbergia rigens	varies
12	12	EDRC	Existing Dwarf Red Canna	Canna 'Firebird'	varies
46	46	EDYH	Existing Dwarf Yaupon Holly	Ilex vomitoria 'Nana'	varies
45	45	EGL	Existing Green Ligustrum	Ligustrum lucidum	varies
18	18	EHDN	Existing Dwarf Mandarin	Nandina domestica 'Mandarin Dwarf'	varies
3	3	EMIS	Existing Miscanthus	Miscanthus sinensis 'Variagata'	varies
40	40	EWLL	Existing Waxleaf Ligustrum	Ligustrum japonicum	varies
9	9	EWM	Existing Wax Myrtle	Myrica cerifera	varies

EXISTING GROUNDCOVER	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE
207	207	EAJ	Existing Asian Jasmine	Trachelospermum asiaticum	varies

PROPOSED PLANT LIST

TREES	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
1	1	CE	Cedar Elm	Ulmus crassifolia	3" cal.	container grown, 13' hl., 4" spread min.

SHRUBS	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
1	66	DBH	Dwarf Burford Holly	Ilex cornuta 'Burfordii'	5 gal.	container grown, full plant specimen

GROUNDCOVERS	QTY.	TYPE	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
1	207	EAJ	Common Bermudagrass	Cynodon dactylon	roll sod	solid sod, refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

CASE NUMBER: CU19-38

SITE DATA

ZONING: CC (COMMUNITY COMMERCIAL)
 LOT AREA: 1.0462 ACRES (45,650 S.F.)
 PROPOSED USE: DINE IN & DRIVE THRU RESTAURANT
 EX. BUILDING AREA: 3,632 S.F.
 F.A.R.: 0.074:1
 OCCUPANT LOAD: 125 PEOPLE
 PARKING REQUIRED: 1 SPACE FOR EVERY 3 OCCUPANTS + 1 PER 3 OUTSIDE SEATS (125/3) = 42 SPACES

PARKING PROVIDED:
 BUILDING HEIGHT: 25' (1 STORY)
 PROP. LANDSCAPE AREA: 13,885 S.F. (30.41%)
 PROP. PAVED AREA: 28,143 S.F. (61.64%)

BOUNDARY LINE DATA TABLE

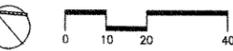
LS	S	34°57'58" W	5.50'
L6	N	64°57'58" E	20.78'
L7	N	34°55'25" E	28.61'

BENCHMARK - BM 2		BENCHMARK - BM 5	
ELEVATION	845.42	ELEVATION	845.30
MONUMENT	CUT X ON TOP OF CURB	MONUMENT	CUT X ON TOP OF CURB
LOCATION	NORSE OF PARKING ISLAND W. PARKING LOT OF FIRESTONE	LOCATION	SOUTH SIDE OF NORTH ENTRANCE DRIVE OF POST OFFICE PROPERTY



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 Tel: 214.871.0033
 Fax: 214.871.0045
 Email: smr@smr-ls.com

01 LANDSCAPE PLAN
 SCALE: 1" = 20'-0"



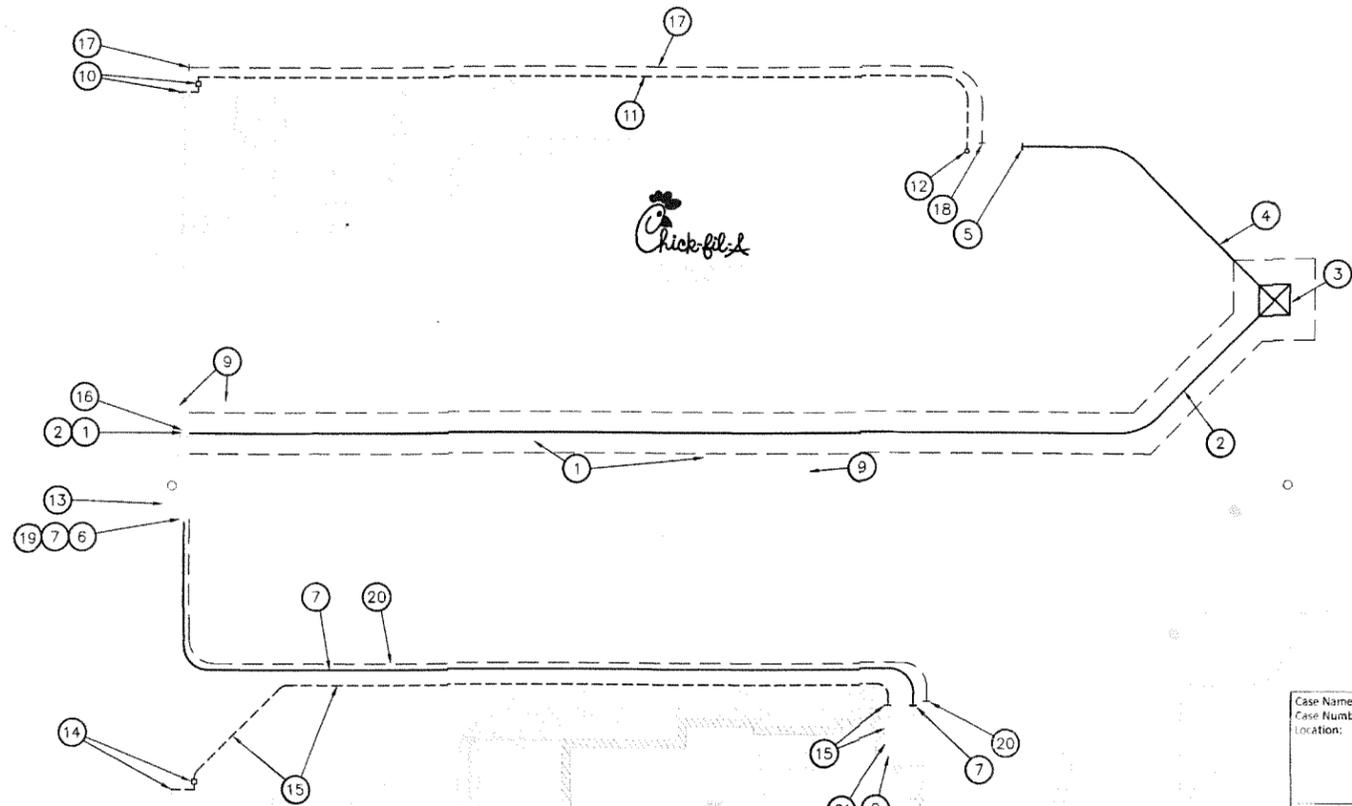
APPLICANT:
 CHICK-FIL-A, INC.
 5200 BUFFINGTON ROAD
 ATLANTA, GEORGIA 30349
 PHONE: (404) 765-8000
 CONTACT: GETRA.THOMASON-SANDERS
 EMAIL: GETRA.SANDERS@CFACORP.COM

ENGINEER:
 BURGER ENGINEERING, LLC
 17103 PRESTON ROAD, SUITE 180N
 TEXAS REGISTERED ENGINEERING FIRM F-12997
 DALLAS, TEXAS 75248
 PHONE: (972) 630-3360
 CONTACT: BRYAN M. BURGER, P.E.
 EMAIL: BBURGER@BURGERENGINEERING.COM



17103 Preston Road, Suite 180N
 Dallas, Texas 75248
 Office: 972.630.3360 Fax: 972.630.3380
 TBPE F-12997

WILLIAM D. TATE



Case Name: Existing Restaurant
 Case Number: CU19-38
 Location: 1245 William D. Tate Avenue
 Grapevine, Texas 76051

 Mayor Secretary

Date: _____

PLANNING AND ZONING COMMISSION

 Chairman

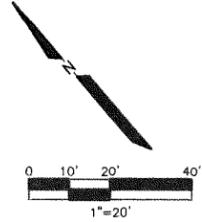
Date: _____

Sheet 5 of 10

Approval does not authorize any work in conflict
 with any codes or ordinances.

DEPARTMENT OF DEVELOPMENT SERVICES

UTILITY COMPANY CONTACTS				
ONCOR MR. CHASE NELSON 2001 N. INDUSTRIAL BLVD. BEDFORD, TX 76021 CHASE.NELSON@ONCOR.COM 817-524-6048 OFC 882-351-5926 CELL	ATMOS ENERGY MR. GREG ZYLKA 2000 RELIANCE PARKWAY BEDFORD, TX 76021 GREGORY.ZYLKA@ATMOSENERGY.COM 817-685-1257 X1313 OFC	FRONTIER COMMUNICATIONS MR. JOE GARZA 3498 N. BELT LINE ROAD IRVING, TX 75062 JOE.GARZA@FR.COM 972-252-0770 OFC 325-245-5102 CELL	CHARTER/SPECTRUM MR. TIM BROWN 750 CANYON DRIVE COPPELL, TX 75019 TIM.BROWN@CHARTER.COM 469-454-4615 OFC 214-476-8678 CELL	AT&T MRS. TONJA VAN VLECK 2513 W.E. ROBERTS DR., SUITE 200 GRAND PRAIRIE, TX 75051 TVB572@ATT.COM 972-207-3027 OFC



EXISTING UTILITIES NOTES

CONTRACTOR IS TO CONTACT 1-800-DIG-TESS AND HAVE THEM LOCATE ALL BURIED UTILITIES WHICH MAY BE AFFECTED IN ANY WAY BY THE WORK OF THIS PROJECT.

1-800-DIG-TESS WILL LOCATE UTILITIES WITHIN 2'D' HORIZONTALLY OF THEIR EXISTING BURIED LOCATION.

NEITHER DIG-TESS NOR THE UTILITY COMPANIES WILL WARRANTY EXISTING DEPTH OF BURIED UTILITIES. CONTRACTOR IS TO CAREFULLY DIG 'POTHOLES' UNTIL DEPTH AND EXACT HORIZONTAL LOCATIONS OF ALL UTILITIES CAN BE VERIFIED.

IF DISCREPANCIES AND CONFLICTS ARE DISCOVERED, CONTACT THE OWNER'S REPRESENTATIVE FOR DIRECTIONS PRIOR TO PROCEEDING WITH AFFECTED WORK.

GENERAL NOTES

- COORDINATE ALL WORK WITH UTILITY COMPANIES AND OWNER'S REPRESENTATIVE.
- STAKE EASEMENTS, CENTERLINE OF TRENCHES, ENDS OF LINES AND CORNERS OF PADS FOR UTILITY COMPANIES. COORDINATE EXACT LOCATIONS WITH CIVIL ENGINEER AND WITH UTILITY COMPANIES.
- VERIFY ALL DIMENSIONS WITH OWNER'S REPRESENTATIVE PRIOR TO ROUGH-IN.
- PROVIDE TRENCHING, BACKFILL AND COMPACTION FOR UTILITY COMPANIES PER SOILS ENGINEER RECOMMENDATIONS AND UTILITY COMPANIES' STANDARDS U.N.O.
- ALL WORK IS TO BE PROVIDED BY THE CONTRACTOR UNLESS SPECIFICALLY NOTED TO BE PROVIDED BY THE UTILITY COMPANIES.
- COMMON UTILITY TRENCHES MAY BE USED IF ACCEPTABLE TO THE UTILITY COMPANIES. MAINTAIN ALL UTILITY COMPANIES' REQUIRED SEPARATIONS HORIZONTALLY AND VERTICALLY. CONTRACTOR IS RESPONSIBLE FOR ALL TRENCHING, BEDDING, BACKFILL AND COMPACTION PER UTILITY COMPANIES' REQUIREMENTS AND SOILS ENGINEER'S RECOMMENDATIONS.
- PROVIDE SWEEPING BENDS FOR FIBER OPTIC CABLES FOR ALL TELECOM CONDUITS. VERIFY REQUIREMENTS WITH TELECOM COMPANIES.

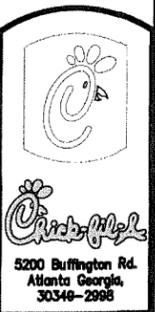
NOTES BY SYMBOL 'O' -- MEP SITE PLAN

- COORDINATE WITH ONCOR TO DISCONNECT EXISTING PRIMARY ELECTRICAL SERVICE TO VACANT BUILDING AND REMOVE METER, TRANSFORMER AND PRIMARY CONDUCTORS BACK TO EXISTING ONCOR POLE. SEE SHEET C-2 DEMOLITION PLAN FOR ADDITIONAL DETAIL.
- PROVIDE (2) 4" PRIMARY CONDUITS WITH PULL TAPE PER ONCOR STANDARDS FROM EXISTING POLE RISER TO NEW TRANSFORMER PRIMARY COMPARTMENT. VERIFY EXACT LOCATION AT BOTH POLE RISER AND NEW TRANSFORMER WITH ONCOR. PROVIDE TRENCH, BACKFILL AND COMPACTION PER ONCOR STANDARDS AND SOILS ENGINEER'S RECOMMENDATIONS. CAP, STAKE AND LABEL ENDS. ONCOR TO PROVIDE PRIMARY CONDUCTORS AND TERMINATIONS AT POLE AND NEW TRANSFORMER.
- PROVIDE CONCRETE TRANSFORMER PAD PER ONCOR STANDARDS. CONFIRM EXACT LOCATION AND ORIENTATION OF PAD WITH ONCOR PRIOR TO INSTALLATION. ONCOR TO PROVIDE PAD MOUNTED TRANSFORMER WITH 120/208V, 3P, 4W SECONDARY VOLTAGE AND METER ON TRANSFORMER. PROVIDE PAINTED, CONCRETE FILLED PIPE BOLLARDS PER ONCOR STANDARDS.
- PROVIDE (4) 4" SECONDARY CONDUITS WITH PULL TAPE PER ONCOR STANDARDS FROM TRANSFORMER SECONDARY COMPARTMENT TO WITHIN 5' OF BUILDING WALL. PROVIDE TRENCH, BACKFILL AND COMPACTION PER SOILS ENGINEER'S RECOMMENDATIONS. CAP, STAKE AND LABEL ENDS.
- BUILDING CONTRACTOR TO EXTEND CONDUITS TO BUILDING WALL AND PROVIDE BUILDING MOUNTED SWITCHGEAR DURING BUILDING CONSTRUCTION AND PROVIDE SECONDARY CONDUCTORS AND TERMINATIONS AT BUILDING SWITCHGEAR. BUILDING CONTRACTOR TO FURNISH TERMINALS PER ONCOR STANDARDS FOR ONCOR TO PROVIDE TERMINATIONS AT TRANSFORMER AND METER.
- AFTER THE EXISTING CHICK-FIL-A AT 1245 WILLIAM D. TATE AVENUE HAS VACATED THE PREMISES, COORDINATE WITH ONCOR TO DISCONNECT EXISTING SECONDARY ELECTRICAL SERVICE TO VACANT BUILDING AND REMOVE CONDUCTORS BACK TO EXISTING ONCOR POLE MOUNTED TRANSFORMERS. SEE SHEET C-2 DEMOLITION PLAN FOR ADDITIONAL DETAIL.
- BREAK INTO EXISTING SECONDARY CONDUITS AND EXTEND CONDUITS WITH PULL TAPE PER ONCOR STANDARDS TO EXISTING ONCOR POLE WITHIN UTILITY EASEMENT. VERIFY EXACT LOCATION AT POLE WITH ONCOR PRIOR TO INSTALLATION. PROVIDE TRENCH, BACKFILL AND COMPACTION PER ONCOR STANDARDS AND SOILS ENGINEER'S RECOMMENDATIONS. CAP, STAKE AND LABEL ENDS.
- COORDINATE WITH ONCOR TO PROVIDE TERMINATIONS OF SECONDARY CONDUCTORS AT POLE MOUNTED TRANSFORMERS AND METER AT EXISTING TRANSOCKET.
- COORDINATE WITH ATMOS TO DISCONNECT GAS SERVICE TO EXISTING VACANT BUILDING AND REMOVE EXISTING GAS METER. ATMOS TO CAP EXISTING GAS SERVICE LINE AT GAS MAIN. SEE SHEET C-2 DEMOLITION PLAN FOR ADDITIONAL DETAILS.
- COORDINATE WITH ATMOS TO LOCATE EXISTING GAS MAIN AT WILLIAM D. TATE AVENUE WITHIN UTILITY EASEMENT AND PROVIDE A NEW GAS SERVICE LINE TO A STUBUP WITH A MAIN SHUTOFF VALVE, A PRESSURE REGULATOR SET FOR 5 PSI DISCHARGE PRESSURE AND AN ATMOS GAS METER ADJACENT TO UTILITY EASEMENT AS SHOWN. VERIFY EXACT LOCATION WITH ATMOS AND BUILDING CONTRACTOR. PROVIDE PAINTED, CONCRETE FILLED PIPE BOLLARDS TO PROTECT METER PER ATMOS STANDARDS.
- PROVIDE PRIVATE 1-1/2" POLY GAS SERVICE LINE PIPING FROM GAS METER TO BUILDING PER ATMOS STANDARDS. PROVIDE TRENCH, BACKFILL AND COMPACTION PER SOILS ENGINEER'S RECOMMENDATIONS.
- PROVIDE STEEL GAS PIPING STUBUP TO A MAIN SHUTOFF VALVE. COORDINATE EXACT LOCATION AT BUILDING WITH BUILDING CONTRACTOR. BUILDING CONTRACTOR TO PROVIDE PRESSURE REGULATOR.
- AFTER THE EXISTING CHICK-FIL-A AT 1245 WILLIAM D. TATE AVENUE HAS VACATED THE PREMISES, COORDINATE WITH ATMOS TO DISCONNECT GAS SERVICE TO EXISTING VACANT BUILDING AND REMOVE EXISTING GAS METER. ATMOS TO CAP EXISTING GAS SERVICE LINE AT GAS MAIN. SEE SHEET C-2 DEMOLITION PLAN FOR ADDITIONAL DETAILS.
- COORDINATE WITH ATMOS TO LOCATE EXISTING GAS MAIN AT WILLIAM D. TATE AVENUE WITHIN UTILITY EASEMENT AND PROVIDE A NEW GAS SERVICE LINE TO A STUBUP WITH A MAIN SHUTOFF VALVE, A PRESSURE REGULATOR SET FOR 5 PSI DISCHARGE PRESSURE AND AN ATMOS GAS METER ADJACENT TO UTILITY EASEMENT AS SHOWN. VERIFY EXACT LOCATION WITH ATMOS AND BUILDING CONTRACTOR. PROVIDE PAINTED, CONCRETE FILLED PIPE BOLLARDS TO PROTECT METER PER ATMOS STANDARDS.
- LOCATE AND BREAK INTO EXISTING PRIVATE GAS SERVICE LINE AT BUILDING AS SHOWN. CONNECT AND EXTEND WITH NEW 1-1/2" POLY GAS SERVICE LINE PIPING TO GAS METER PER ATMOS STANDARDS. PROVIDE TRENCH, BACKFILL AND COMPACTION PER SOILS ENGINEER'S RECOMMENDATIONS. PROVIDE MAIN SHUTOFF VALVE AT BUILDING. BUILDING CONTRACTOR TO PROVIDE PRESSURE REGULATOR.
- COORDINATE WITH SPECTRUM TO DISCONNECT COMMUNICATION SERVICE TO EXISTING VACANT BUILDING. SEE SHEET C-2 DEMOLITION PLAN FOR ADDITIONAL DETAIL.
- PROVIDE (3) 4" SCHEDULE 40 PVC COMMUNICATION CONDUITS WITH PULL TAPE PER SPECTRUM STANDARDS FROM UTILITY EASEMENT ALONG WILLIAM D. TATE TO WITHIN 5' OF BUILDING WALL AS SHOWN. PROVIDE TRENCH, BACKFILL AND COMPACTION PER SPECTRUM STANDARDS AND SOILS ENGINEER'S RECOMMENDATIONS. INSTALL A MINIMUM OF 24" BELOW FINAL GRADE/TOP OF PAVING TO TOP OF CONDUIT. VERIFY EXACT LOCATION AT UTILITY EASEMENT WITH SPECTRUM. CAP, STAKE AND LABEL ENDS.
- BUILDING CONTRACTOR TO EXTEND (3) 4" CONDUITS AND PULL TAPE TO INTERIOR TERMINAL BOARD DURING BUILDING CONSTRUCTION AND COORDINATE WITH SPECTRUM TO PROVIDE CABLE AND TERMINATIONS AT BOTH ENDS DURING BUILDING CONSTRUCTION.
- AFTER THE EXISTING CHICK-FIL-A AT 1245 WILLIAM D. TATE AVENUE HAS VACATED THE PREMISES, COORDINATE WITH SPECTRUM TO DISCONNECT COMMUNICATION SERVICE TO EXISTING VACANT BUILDING. SEE SHEET C-2 DEMOLITION PLAN FOR ADDITIONAL DETAIL.
- LOCATE AND BREAK INTO EXISTING COMMUNICATION CONDUITS AT VACANT BUILDING AND EXTEND (2) 3" SCHEDULE 40 PVC COMMUNICATION CONDUITS WITH PULL TAPE PER SPECTRUM STANDARDS TO EXISTING ONCOR POLE WITHIN UTILITY EASEMENT AS SHOWN. PROVIDE TRENCH, BACKFILL AND COMPACTION PER SPECTRUM STANDARDS AND SOILS ENGINEER'S RECOMMENDATIONS. INSTALL A MINIMUM OF 24" BELOW FINAL GRADE/TOP OF PAVING TO TOP OF CONDUIT. VERIFY EXACT LOCATION AT UTILITY EASEMENT WITH SPECTRUM. CAP, STAKE AND LABEL ENDS.
- BUILDING CONTRACTOR TO COORDINATE WITH SPECTRUM TO PROVIDE CABLE FROM POLE TO INTERIOR TERMINAL BOARD AND TERMINATIONS AT BOTH ENDS DURING CONSTRUCTION.

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 robinett01@aol.com
 TBPE # F-3821

BURGER ENGINEERING

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 Dallas, Texas 75245
 Office: 972.630.3360 Fax: 972.630.3350
 TBPE I-12997



Revisions:

Mark	Date	By
△		
△		
△		



1245 WILLIAM D. TATE AVENUE
 LOTS 1-S, BLOCK 1
 TATE STREET PLAZA NO. 2
 THE CITY OF GRAPEVINE, TEXAS

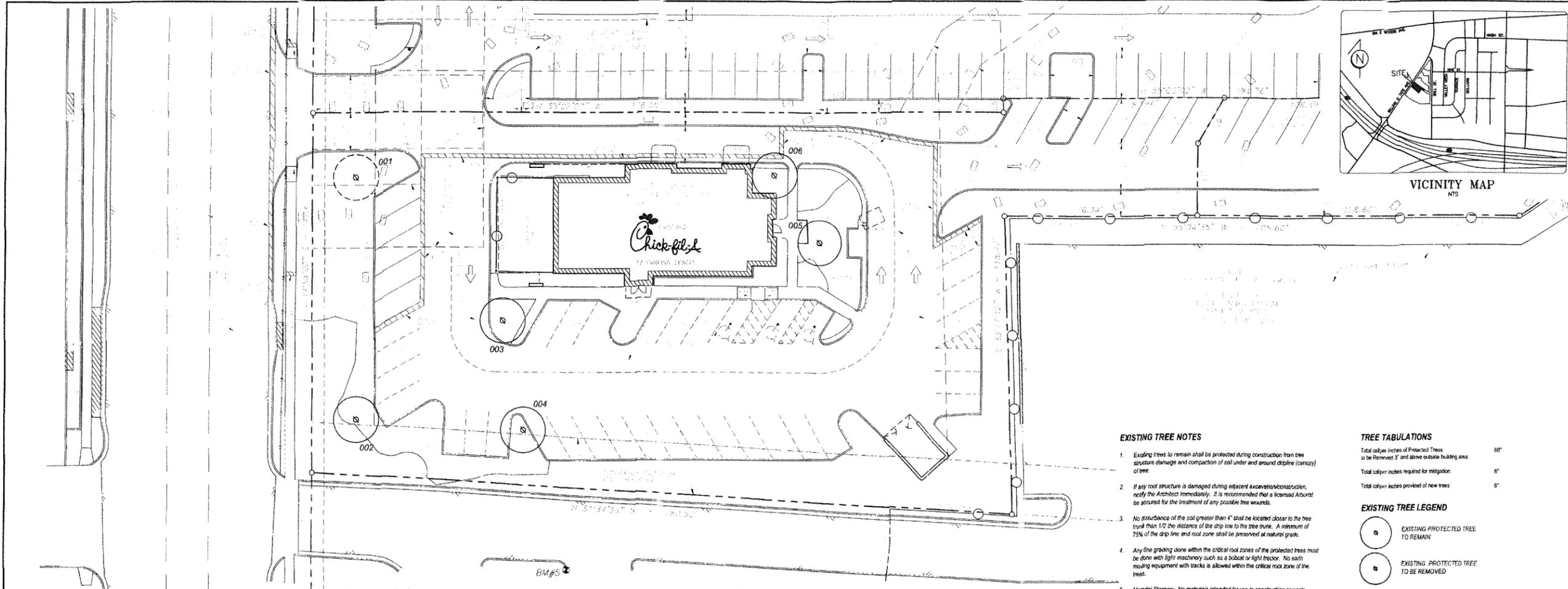
STORE
SERIES P12 LS LARGE

SHEET TITLE
MEP SITE PLAN

For Permit
 For Bid
 For Construction

Job No. : 013-303
 Store : 04480
 Date : 12/04/19
 Drawn By : RS
 Checked By : GF

Sheet
MEP1



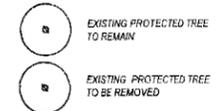
EXISTING TREE NOTES

- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around drip line (canopy) of tree.
- If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
- No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
- Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
- Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the drip line of any tree.
- Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be disposed within the limits of the drip line of a tree. This includes but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
- Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
- Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the drip line of trees.
- Boying of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48") inches.
- Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
- Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4) feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
- Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's drip line. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4) foot approximate height. The protective fencing will be located as indicated on the Tree Protection Details(s).
- Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by encircling the entire circumference of the tree's trunk with lumber encased with wire or other means that does not damage the tree. Refer to Tree Protection Details(s).
- Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.

TREE TABULATIONS

Total caliper inches of Protected Trees to be Removed 3" and above outside building area: 88"
 Total caliper inches required for mitigation: 6"
 Total caliper inches provided of new trees: 6"

EXISTING TREE LEGEND

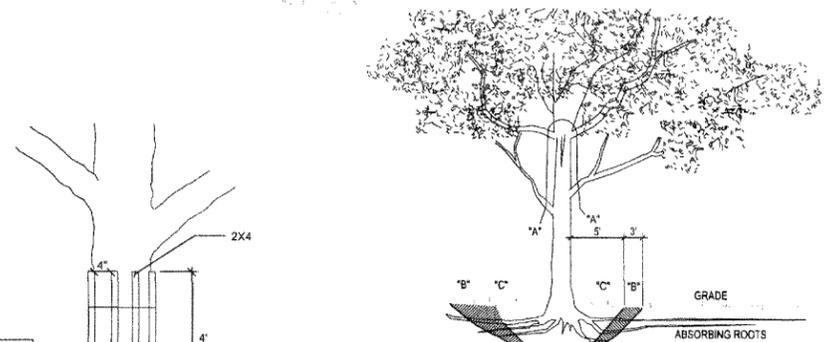


TREE TABLE

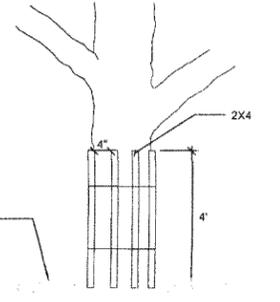
TAG #	TREE TYPE / INCHES	REMOVE / REMAIN	MITIGATION
001	Gingko / 6	REMOVE	6"
002	Gingko / 10	REMAIN	0"
003	Red Oak / 12	REMAIN	0"
004	Red Oak / 24	REMAIN	0"
005	Chinese Pistache / 12	REMAIN	0"
006	Holm / 24	REMAIN	0"

SITE DATA

ZONING: CC (COMMUNITY COMMERCIAL)
 LOT AREA: 1,0462 ACRES (45,650 S.F.)
 PROPOSED USE: DINE IN & DRIVE THRU RESTAURANT
 EX. BUILDING AREA: 3,632 S.F.
 F.A.R.: 0.074-1
 OCCUPANT LOAD: 125 PEOPLE
 PARKING REQUIRED: 1 SPACE FOR EVERY 3 OCCUPANTS + 1 PER 3 OUTSIDE SEATS (125/3) = 42 SPACES
 PARKING PROVIDED: 47 SPACES
 BUILDING HEIGHT: 25' (1 STORY)
 PROP. LANDSCAPE AREA: 13,885 S.F. (30.41%)
 PROP. PAVED AREA: 28,143 S.F. (61.64%)



NOTE:
 A" REMOVE BULKY TREE PARTS "SHRED" AND/OR HAUL SEPARATELY.
 B" BEGIN EXCAVATION APPROX. 8" FROM THE TRUNK - CUT THRU ANCHOR ROOTS AT AN ANGLE - 3" TO 4" DEEP
 C" USING TREE TRUNK AS A LEVER PUSH AT POINT "E" TO REMOVE TREE BOLE AND LARGE FEEDER ROOTS (4" TO 10" IN DIAM.)
 D" BACKFILL HOLE AND CLEAN UP.



NOTE:
 4" MINIMUM UNDER DRIP LINE AS MINIMUM PROTECTION FOR ROOTS FROM CONSTRUCTION ACTIVITIES
 NOTE: WRAP TREE TRUNK WITH 2 X 4 STUDS AND ROPE OR BAND IN PLACE AS NEEDED TO PROTECT TREES IN WORK AREAS

01 TREE PROTECTION FENCE B NOT TO SCALE

02 TREE REMOVAL DIAGRAM NOT TO SCALE

Case Name: Existing Restaurant
 Case Number: CU19-38
 Location: 1245 William D. Tate Avenue
 Grapevine, Texas 76051

 Mayor Secretary

Date: _____

PLANNING AND ZONING COMMISSION

 Chairman

Date: _____

Sheet 6 of 10

Approval does not authorize any work in conflict with any codes or ordinances.

DEPARTMENT OF DEVELOPMENT SERVICES

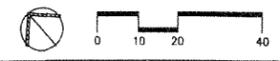
APPLICANT:
 CHICK-FIL-A, INC.
 5200 BUFFINGTON ROAD
 ATLANTA, GEORGIA 30349
 PHONE: (404) 765-8000
 CONTACT: GETRA.THOMASON-SANDERS
 EMAIL: GETRA.SANDERS@CFACORP.COM

ENGINEER:
 BURGER ENGINEERING, LLC
 17103 PRESTON ROAD, SUITE 180N
 TEXAS REGISTERED ENGINEERING FIRM F-12997
 DALLAS, TEXAS 75248
 PHONE: (972) 630-3360
 CONTACT: BRYAN M. BURGER, P.E.
 EMAIL: BBURGER@BURGERENGINEERING.COM



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 Tel: 214.871.9883
 Fax: 214.871.9245
 Email: smr@smr-ia.com

01 TREE PRESERVATION PLAN
 SCALE: 1" = 20'-0"



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 Civil Consultants

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 Office: 972.630.3360 Fax: 972.630.3380
 TBPE-F-12997

5200 Buffington Rd.
 Atlanta, Georgia,
 30349-2998

Revisions:
 Mark Date By
 △ _____
 Mark Date By
 △ _____
 Mark Date By
 △ _____

1245 WILLIAM D. TATE AVENUE
 LOT 3, BLOCK 1
 TATE STREET PLAZA NO. 2
 THE CITY OF GRAPEVINE, TEXAS

STORE
 SERIES
 97-136

SHEET TITLE
TREE PRES. PLAN

For Permit
 For Bid
 For Construction

Job No. : 013-303
 Store : 04480
 Date : 11/7/19
 Drawn By : BCC
 Checked By : BDA

Sheet
TP-1

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work includes: Furnish all supervision, labor, materials, services, equipment and supplies required to complete the work covered in the project with the landscaping covered in these specifications and landscaping plans, including:

1. Planting trees, shrubs, and grass
2. Bed preparation and fertilization
3. Notification of utilities
4. Water and Maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen 77 Douglas Street, Dallas, Texas 75201
- B. American Society of Horticultural Science 1042 18th Street, San Francisco, California 94103
- C. Texas Association of Nurserymen, Grades and Standards
- D. Hort. Trans. 1970 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources or plant materials and bed preparation required for the project.
- B. Samples: Provide representative quantities of sandy loam soil, mulch, and two (2) different grades of sod for approval by the Architect before use on project.
- C. Materials: Provide complete product data and specifications on all extra specified materials.
- D. Submit three representative samples of each variety of shrub, tree, and grass, and groundcover plants or sod for approval by the Architect before use on project.
- E. File Certificates of inspection of plant material by state, county and federal agencies with the Architect if required.
- F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

PART 2 - EXECUTION

2.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to report all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
 1. Prepare new planting beds by stripping existing sod and weeds as necessary. If existing sod is to be retained, strip sod to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturer's recommendations. Add soil (10") inches of compost and fill with a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 2. All planting areas shall receive a two (2") inch layer of specified mulch.
 3. Backfill to true grade as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, cables, subsides, etc. placed in one (1") inch layers and watered in thoroughly.
- C. Grass Areas
 1. Areas to be seeded: Seed Bermudagrass. Blocks of soil should be laid (joint to joint) staggered pattern after leveling the ground. Seed grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are accidentally gapped down. Then watered thoroughly.
 2. Areas to be hydroseeded: Co-mono Bermudagrass. Hydroseed with the bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4" x 8" better seed spreader for the seed areas.

2.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all common tree care laws are satisfactorily accepted.
- B. Plant materials to be delivered to the site only after the beds and preparation and areas ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during travel. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Stems of all B & B plants shall be well covered with foil or other acceptable material. All plants must be installed at the Contractor's own risk acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the landscape Architect for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. The pits shall be single enough to permit handling and planting without injury to balls or roots and shall be of such depth that, when graded and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface at original point of origin.

2.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they do not create any safety hazard and shall be so organized that they do not create any safety hazard. Keep paved areas clean by sweeping or hosing at end of each day's work.

JOB CONDITIONS

- A. General Contractor to complete the following punch list prior to Landscape Contractor installing any portion of landscape installation. General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All trees shall be received and shall be set out (1") inch above the finish grade of sidewalks, drives and curbs. All construction items shall be removed prior to Landscape Contractor beginning any work.
- B. General Contractor shall provide topsoil as described in Section 02900 - Fertilizer.
- C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
 1. The Landscape Contractor will be responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foreign conditions.
 2. Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, blanking up and all other work necessary for maintenance.
 3. A written report, including final inspection and acceptance shall be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be conducted prior to written acceptance.
 4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- B. Guarantee:
 1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead material as soon as weather permits and upon notification of the Owner. Plants, including trees which have actually died as that shape, size or symmetry has been damaged, shall be replaced and subject to replacement. In such cases, the species of the Owner shall be used.
 2. Plants, shrubs, or replacement shall be of the same size and kind as those originally specified and shall be planted as originally specified. All work including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including this in lawn or rock beds, caused as a result of planting, replacement, shall be immediately repaired.
 3. In the event of the Owner's plants may be installed at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 4. When plant materials are made, plants, soil, fertilizer and water are to be utilized as originally specified and respected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable Federal, State, County and local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full-time supervision by a qualified horticulturist acceptable to the Architect.
- C. Selection of Plant Material:
 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and approve materials. Develop a program of maintenance, pruning and fertilization which will ensure the purchased materials will meet and/or exceed project specifications.
 2. Landscape architect will provide a key identifying each tree located on site. Written verification will be required to document material selection, source and delivery schedule to site.
 3. Owner and/or Architect shall inspect plant materials when reasonable at place of origin for compliance with requirements for genus, species, cultivar/variety, size and quality.
 4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation. If size, variety, condition of root ball, burl, burl, or other quality matter, including this in lawn or rock beds, is not acceptable, the Contractor shall be responsible for replacement. All time during the course of work, including this in lawn or rock beds, shall be immediately repaired.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
 1. Digged and balled (B&B) plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
 2. Container Grown Plants: Deliver plants in rigid containers to hold ball shape and protect root mass.

2.1 DELIVERY

1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and on site storage at site.
2. Deliver only plant materials that can be planted in ten-day unless otherwise stated and watering facilities are available on job site.
3. Protect root balls by wrapping in wet burlap or other approved moisture retaining material if not planted within 24 hours of delivery.
4. Protect plants during delivery to prevent damage to root balls or discoloration of leaves. Root plants must be delivered in wet burlap. Cover all materials during transport.
5. Notify Architect of delivery schedule 72 hours in advance so plant materials may be observed upon arrival at job site.
6. Remove rejected plant material immediately from site.
7. To avoid damage or stress, do not fit, move, adjust to plants, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

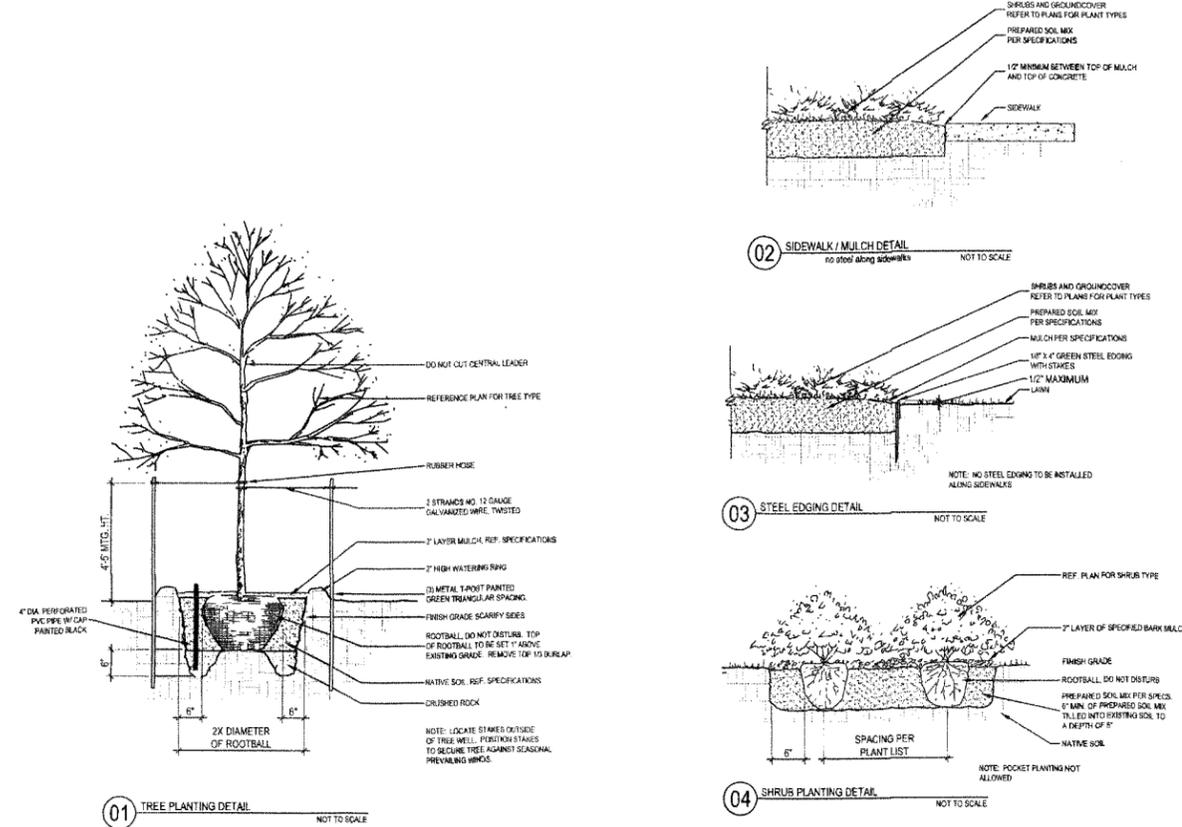
- A. General: Well formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to main top of plants. Plant spread refers to average width of the plant, not to outer leaf tips. Plants shall be individually inspected by the Architect and the decision as to their acceptability shall be final.
- B. Guarantee: The drawings and specifications are complementary. Anything called for on one and not the other is to be installed as if shown and called for on both. The above guarantee is in aid of bid only. Confirm all quantities on plan.
- C. Quality and Size: Plant materials shall conform to the size given on the plan and shall be healthy, symmetrical, well shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable deformities, insect eggs and larvae and are to be of specimen quality.
- D. Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsatisfactory in growth, or in any way, quality, burlap, or otherwise, shall be rejected by the Landscape Architect before or after planting and shall be removed at the expense of the Contractor, Contractor and replaced with acceptable plants as specified.
- E. Trees shall be healthy, full branched, well shaped and shall meet the trunk diameter and height requirements of the plant schedule. Stems shall be firm, solid, slightly tapered, and well wrapped in burlap. Any tree found to be in the soil or gain burlap ball at time of planting, will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter. Measure six (6") inches above ball. Measurements conform to the customer's nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.
- F. Pruning: All pruning of trees and shrubs as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
 1. Fertilized, fine, dark, heavy soil. Top of clay heavy, silty, and other extraneous material and laboratory free of weeds and foreign grasses. Loam containing Delong's 50-10-10 fertilizer shall be required.
 2. Physical properties as follows:
 - Clay - between 7-12 percent
 - Silt - between 15-25 percent
 - Sand - less than 52 percent
 3. Organic matter shall be 2% - 10% of total dry weight.
 4. If required, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.
- C. Premixed Bedding: Use as specified by Vital Lath Resources - Gladwin, Texas. International bedding list as supplied by Living Earth Technology, Clark, Texas or Ace Gro Municipal Mix as a substitute by Soil Building Systems, Dallas, Texas or approved equivalent.
- D. Sharp Sand: Sharp sand must be free of weeds, pebbles and gravel.
- E. Mulch: Double Shredded hardwood Mulch, partially decomposed, dark brown. Living Earth Technology or approved equivalent.
- F. Organic Fertilizer: Fertilizer (N-P-K) or Green Sense or other as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- G. Commercial Fertilizer: 10-10-10 or similar analysis. No open source to be a minimum 50% slow release organic Nitrogen (SCL or LF) with a minimum 8% sulfur and 4% iron plus microelements.
- H. Fertilizer: Commercial nitrogen free moss or partially decomposed shredded pine bark or other approved organic matter.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: Sheet by Hydrex - State Cutting - 1/2" x 4" with stakes if on center.
- B. Staking Material for Shrubs: None.
- C. Wood: Shredded 1" x 4" x 1" lumber to anchor plant. 6" x 6" length, treated green and well wrapped in burlap. Any tree found to be in the soil or gain burlap ball at time of planting, will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter. Measure six (6") inches above ball. Measurements conform to the customer's nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.
- D. Fabric: 60 lb. 60 in. x 60 in. by Greenhouse Firms Marketing Company, available at Lottman Co. (214) 631-5256 or approved equal.



Case Name: Existing Restaurant
 Case Number: CU19-38
 Location: 1245 William D. Tate Avenue
 Grapevine, Texas 76051

Mayor _____ Secretary _____

Date: _____

PLANNING AND ZONING COMMISSION

Chairman _____

Date: _____

Sheet 8 of 10

Approval does not authorize any work in conflict with any codes or ordinances.

DEPARTMENT OF DEVELOPMENT SERVICES

CRISTOFEL

5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

Revisions:
 Mark Date By

Mark Date By

Mark Date By

1245 WILLIAM D. TATE AVENUE
 LOT 3, BLOCK 1
 TATE STREET PLAZA NO. 2
 THE CITY OF GRAPEVINE, TEXAS

STORE
 SERIES
 97-136

SHEET TITLE
 LANDSCAPE
 SPECS

For Permit
 For Bid
 For Construction

Job No. : 013-303
 Store : 04480
 Date : 11/7/19
 Drawn By : BCC
 Checked By : BDA
 Sheet

L-2

smr
 landscape architects, inc.
 1700 N. Griffin Street
 Dallas, Texas 75202
 Tel: 214-871-0504
 Fax: 214-871-0545
 Email: smr@smr-ls.com

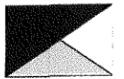
ENGINEER:
BURGER ENGINEERING, LLC
 17103 PRESTON ROAD, SUITE 180N
 DALLAS, TEXAS 75248
 PHONE: (972) 630-3360
 CONTACT: BRYAN M. BURGER, P.E.
 EMAIL: BBURGER@BURGERENGINEERING.COM

BURGER ENGINEERING
 Civil Consultants

17103 Preston Road, Suite 180N
 Dallas, Texas 75248
 Office: 972.630.3360 Fax: 972.630.3380
 TBPPE 1-12997



Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30349-2998



Kurzynski & Associates
 2900 Lebanon Pike, Ste 201
 Nashville, Tennessee 37214
 Telephone: (615) 255-5203
 Fax: (615) 255-5207
 Email: mail@kurzynske.com

TEXAS BOARD OF PROFESSIONAL ENGINEERS FIRM NUMBER 10225



01/06/20

CHICK-FIL-A
GRAPEVINE FSU
 1215 WILLIAM D. TATE AVENUE
 GRAPEVINE, TX 76051

FSR# 04480

REVISION NUMBER	DATE	DESCRIPTION

Case Name: Existing Restaurant
 Case Number: CU19-38
 Location: 1245 William D. Tate Avenue
 Grapevine, Texas 76051

Mayor _____ Secretary _____
 Date: _____
 PLANNING AND ZONING COMMISSION
 Chairman _____

Date: _____
 Sheet 9 of 10
 Approval does not authorize any work in conflict with any codes or ordinances.
 DEPARTMENT OF DEVELOPMENT SERVICES

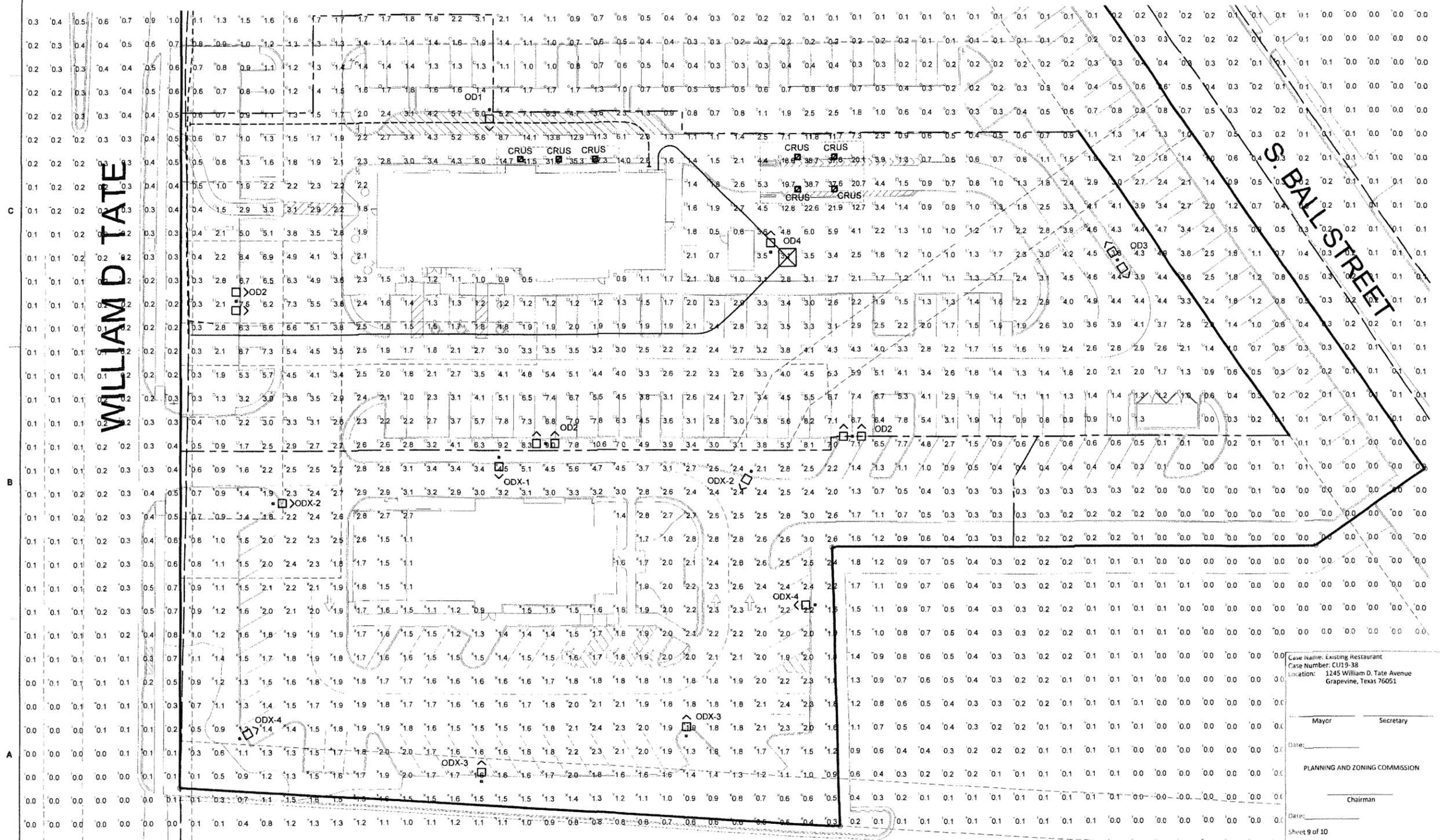
PERMIT

CURRENT DESIGN	2019-XX
DATE APPLIED	19192.MA.8
PROJECT NUMBER	PERMIT
PRINTED FOR	DATE
DATE	02/20/2019
DRAWN BY	BTS

SHEET NUMBER
E-102.

NOTE: IES FILES FOR THE EXISTING CFA LOT WERE NOT AVAILABLE. A COMPARABLE FIXTURE HAS BEEN USED TO ESTIMATE THE LIGHT LEVELS ON SITE. THE INFORMATION BELOW IS AS ACCURATE AS POSSIBLE BUT IS NOT EXACT. SEE SHEET E-103 FOR ADDITIONAL INFORMATION.

NOTE: EXISTING CFA LIGHT POLES TO ONLY BE UPDATED TO THE PLAN BELOW IF OF THE FOOT CANDLE LEVELS ON THE EXISTING CFA LOT ARE TOO BRIGHT.



A1 PHOTOMETRIC PLAN (CFA LOTS)
 1" = 20'-0"

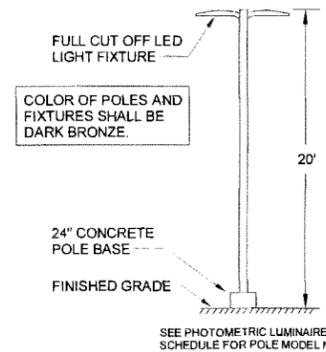
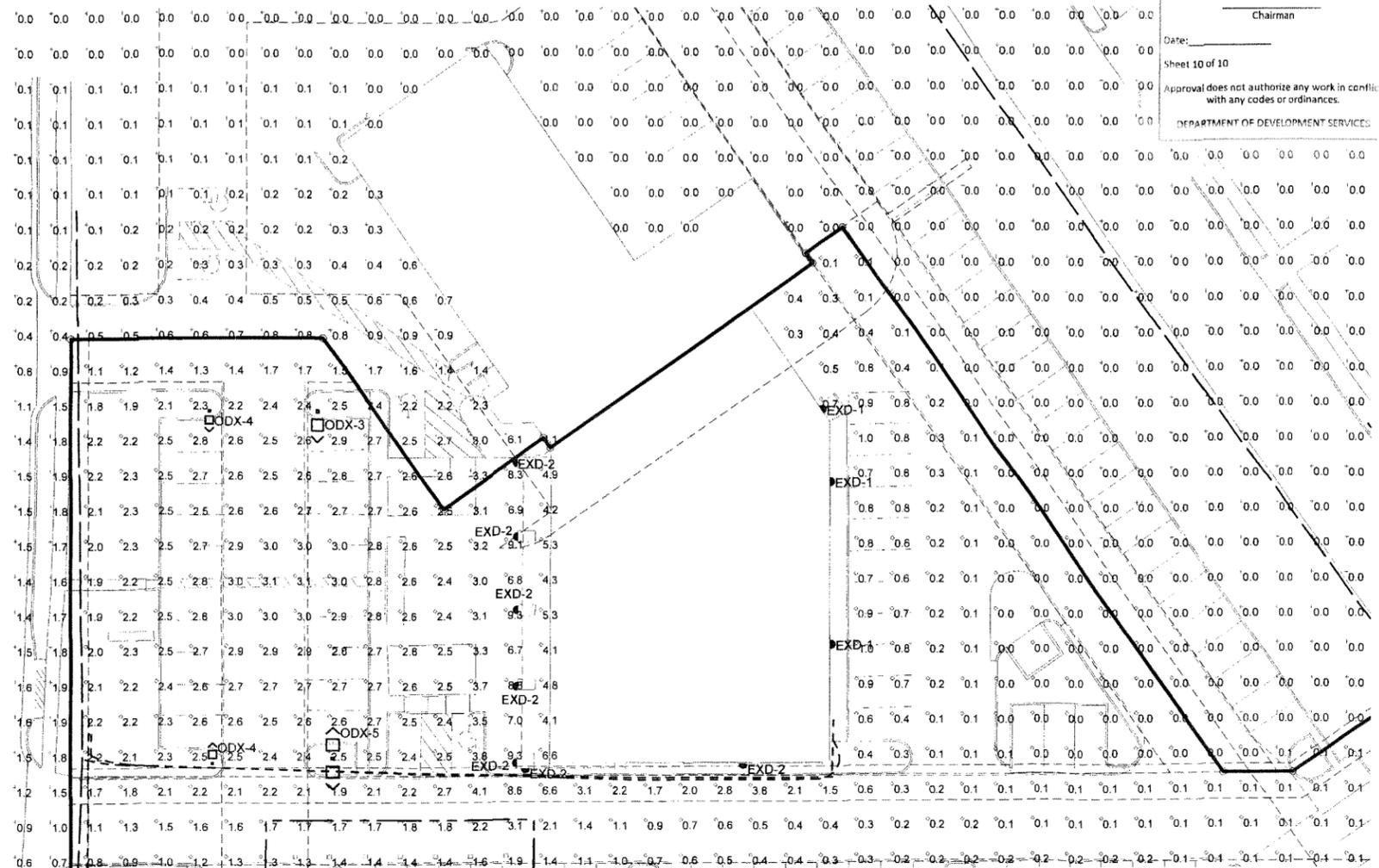
Description	Symbol	Label	Quantity	Manufacturer	Catalog Number	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
		OD1	1	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C40-D-UNV-T3-BZ-HSS	2	7788	0.9	131
		OD2	3	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C40-D-UNV-T4-BZ-HSS-L90-R90	2	7758	0.9	262
		OD3	1	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C60-D-UNV-T5-BZ	2	10678	0.9	306
		OD4	1	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-C60-D-UNV-T5-BZ	2	10678	0.9	153
		ODX-1	1	EATON - LUMARK (FORMER COOPER LIGHTING)	DEVELOPER-PRV-C60-D-UNV-T2-BZ	2	10042	0.9	153
		ODX-2	2	EATON - LUMARK (FORMER COOPER LIGHTING)	DEVELOPER-PRV-C60-D-UNV-T3-BZ	2	10029	0.9	153
		ODX-3	3	EATON - LUMARK (FORMER COOPER LIGHTING)	DEVELOPER-PRV-C60-D-UNV-T4-BZ	2	9983	0.9	153
		ODX-4	4	EATON - LUMARK (FORMER COOPER LIGHTING)	DEVELOPER-PRV-C40-D-UNV-T4-BZ-HSS	2	7758	0.9	131
		ODX-5	1	EATON - LUMARK (FORMER COOPER LIGHTING)	DEVELOPER-PRV-C60-D-UNV-T5-BZ	2	10678	0.9	306
		CRUS	7	LSI INDUSTRIES, INC	CRUS-SC-LED-LW-30	1	9966	0.85	73.5
		EXD-1	3	Existing Developer Hubbell Outdoor	LNC-SLU-3K-3-X	1	833	0.85	12.9
		EXD-2	7	Existing Developer Lithonia Lighting	WSR LED P1 SR2 30K MVOLT	1	2111	0.95	19.56

OD POLE SHALL BE A SQUARE STRAIGHT STEEL POLE BY KW SSP18-4.0-7-BRZ-DM10-BC (Single Luminaire Pole)
 OD POLE SHALL BE A SQUARE STRAIGHT STEEL POLE BY KW SSP18-4.0-7-BRZ-DM2180-BC (Double Luminaire Pole)

NOTE: PHOTOMETRIC INFORMATION FOR THE EXISTING NON-CFA LIGHTING WAS NOT AVAILABLE. A COMPARABLE METAL HALIDE FIXTURE WAS USED IN ORDER TO ESTIMATE THE LIGHT CHANGES FOR THE SITE.

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1		0.7 fc	41.5 fc	0.0 fc	N/A	N/A
Existing CFA Lot Summary	x	1.8 fc	7.7 fc	0.1 fc	77.0:1	18.0:1
Existing NonCFA Lot	o	1.3 fc	11.8 fc	0.0 fc	N/A	N/A
New CFA Lot Summary		3.7 fc	41.5 fc	0.0 fc	N/A	N/A

NOTE: PHOTOMETRIC PLAN TO BE USED IF LIGHT LEVELS ON SITE ARE TOO BRIGHT.



A4 SITE LIGHTING POLE DETAIL
N.T.S.

A1 PHOTOMETRIC PLAN (NON-CFA LOT)
1" = 20'-0"

Case Name: Existing Restaurant
 Case Number: CU19-38
 Location: 1245 William D. Tate Avenue
 Grapevine, Texas 76051

Mayor _____ Secretary _____

Date: _____

PLANNING AND ZONING COMMISSION

Chairman _____

Date: _____

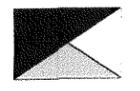
Sheet 10 of 10

Approval does not authorize any work in conflict with any codes or ordinances.

DEPARTMENT OF DEVELOPMENT SERVICES



Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30349-2998



Kurzynske & Associates
 2900 Lebanon Pike, Ste 201
 Nashville, Tennessee 37214
 Telephone: (615) 255-5203
 Fax: (615) 255-5207
 Email: mail@kurzynske.com

TEXAS BOARD OF PROFESSIONAL ENGINEERS FIRM NUMBER 10225



01/06/20

CHICK-FIL-A
GRAPEVINE FSU
 1245 WILLIAM D. TATE AVENUE
 GRAPEVINE, TX 76051

FSR# 04480

REVISION	SCHEDULE	NO.	DATE	DESCRIPTION

CURRENT DESIGN	2019-XX
DATE APPLIED	
DISCIPLINE'S PROJECT	19192.MA.S
NUMBER	
PRINTED	PERMIT
FOR	
DATE	02/20/2019
DRAWN BY	BTS

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SHEET
 PHOTOMETRIC PLAN

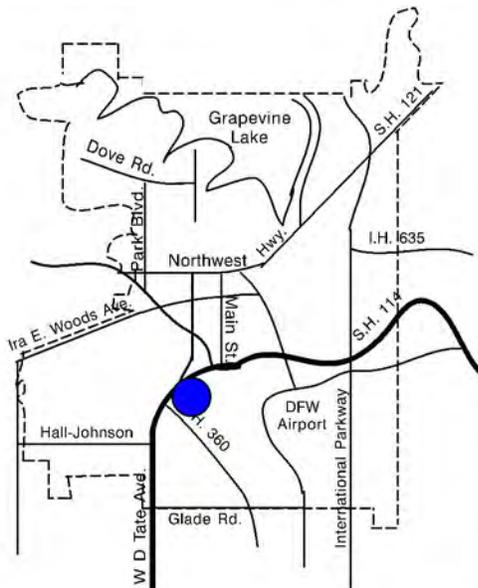
SHEET NUMBER
E-103.

TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER ^{BK}
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: JANUARY 21, 2020

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF
CONDITIONAL USE APPLICATION CU19-41 GRAPEVINE
HONDA



APPLICANT: Cool Breeze Consultants LLC

PROPERTY LOCATION AND SIZE:

The subject property is located at 2301 William D. Tate Avenue and proposed to be platted as Lot 2, Block 1, First Baptist Church of Grapevine Addition. The addition contains 17.803 acres and has approximately 400 feet of frontage along William D. Tate Avenue and approximately 1,090 feet of frontage along Stone Myers Parkway.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to establish an automobile dealership with sales and service of new and used vehicles and a 40 foot pole sign.

The City Council on January 16, 2018 approved conditional use permit CU17-28 on the subject site to allow an automobile dealership and a pole sign which was never developed and has expired. With the request, the applicant proposes to establish a new automobile dealership along northbound William D. Tate Avenue, west of Stone Myers Parkway and north of Prospect Parkway. The dealership will be comprised of two major structures—a 60,802 square foot, two-story primary structure containing the sales, service and administrative operations of the dealership and a single story, 3,750 square foot customer car wash. The car wash is proposed to be continuously accessible to the dealership customers and is located adjacent to Stone Myers Parkway. The dealership will have

frontage along both northbound William D. Tate Avenue and Stone Myers Parkway. The primary access is proposed from a semi-circle driveway along northbound William D. Tate Avenue. Two secondary access driveways are proposed along Stone Myers Parkway. Required parking for the development is 388 parking spaces—936 are provided that will be utilized for inventory/display, customer, and employee parking. One 40 foot tall, 191-square foot pole sign is proposed along northbound William D. Tate Avenue and one monument sign, 10' in height and 100 square feet in size is proposed along Stone Myers Parkway. In conjunction with the car wash, shaded vacuum stations are proposed adjacent to Stone Myers Parkway.

PRESENT ZONING AND USE:

The property is currently zoned "CC" Community Commercial District and is undeveloped.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject property and the property to the south were rezoned from "I-1", Light Industrial District to "CC", Community Commercial District during the 1984 Citywide Rezoning. CU00-43, allowing the development of a Corvette Museum on the subject site, was approved on September 19, 2000. The development of the Corvette Museum has not materialized. City Council at the April 21, 2009 meeting approved SU09-03 (Ord. 2009-12) and CU09-07 (Ord. 2009-13) on the subject site for a new church and a 40-foot pole sign on the subject site.

The Stone property, located to the east and south, was not zoned when it was a part of unincorporated Tarrant County. When the property was annexed into the City on July 20, 1993, it was automatically zoned "R-20" Single Family District. Zone Change request Z98-19, approved in August 1998, rezoned a portion of the A.C. Stone Tract from "R-20", Single Family District to "PID" Planned Industrial Development District for the development of Frank Parra Dodge. Conditional Use Permit CU99-78 was approved on June 20, 2000 allowing for the development of the Frank Parra Dodge dealership. Zone Change request 99-10 was approved on January 18, 2000, rezoning the remaining Stone property from "R-20", Single Family District to "CC", Community Commercial District, "LI", Light Industrial District and "BP", Business Park District. A conditional use request (CU00-45) for an automotive dealership (Audi) was considered on the site to the south at the November 21, 2000 meeting but was denied. Conditional use request CU01-27 was approved on the site to the south for the Classic Hummer dealership on June 19, 2001. The site was subsequently amended at the February 19, 2003 meeting (CU02-03) and allowed for an expansion of the Hummer dealership building, and the relocation of the Classic Chevrolet used truck operation to the site. A 20-foot pole sign was also approved. At the November 19, 2002 public hearing Council approved a revision (CU02-49) to the Hummer dealership site that included a 5.3 acre addition to the site for a lube and tune center, a vehicle washing area, and an employee parking lot. The Site Plan Review Committee at their December 18, 2002 meeting (CU02-51) approved an increase from 7-feet to 10-feet and

from 48 square feet to 85 square feet for a monument sign at the Hummer dealership site. The Site Plan Review Committee at their July 23, 2003 meeting (CU03-25) approved an increase from 20-feet to 30-feet for a pole sign at the Hummer dealership site. At the meeting on September 16, 2003 Council approved CU03-34 for an automotive reconditioning/detail shop on the subject site. At the September 8, 2004 Site Plan Review Committee meeting Conditional Use Permit CU04-30 approved shade structures over the bulk of the vehicle display area. At the March 12, 2008 Site Plan Review Committee meeting Conditional Use Permit CU08-05 approved an accessory vehicle fueling station on the Hummer site. Conditional Use Request CU08-23 (Ord. 2008-55) approved at the October 21, 2008 joint public hearing included expansion of the site by adding acreage, allow the development of a fleet sales building, increase the square footage of an existing parts and distribution facility and to establish a planned commercial center to allow a pole sign 40-feet in height. At the October 20, 2009 meeting Council approved a one-year extension to the previously approved Conditional Use Permit CU08-23. Conditional Use Request CU10-01 (Ord. 2010-04) approved at the February 16, 2010 joint public hearing allowed the addition of 1,300 square feet to the existing parts distribution facility. At the May 5, 2010 Site Plan Review Committee meeting Conditional Use Permit CU10-07 approved the addition of 157 parking spaces, revised the parking configuration and exterior elevations for the fleet sales building, and relocated a previously approved pole sign. Conditional Use Request CU11-09 (Ord. 2011-22) approved at the May 17, 2011 joint public hearing allowed the addition of 2,866 square feet to the new car/service department facility of the former Hummer dealership. Conditional Use Request CU12-35 (Ord. 2012-51) approved at the September 18, 2012 joint public hearing allowed the addition of 13,856 square feet to the existing parts and distribution warehouse. Conditional Use Request CU13-11 (Ord. 2013-26) approved at the June 18, 2013 joint public hearing allowed the placement of equipment for a compressed natural gas facility and pole sign 40-feet in height. Special Use Request SU13-01 (Ord. 2013-53) approved at the November 19, 2013 meeting allowed a 100-foot monopole and ground equipment. City Council approved an extension to SU13-01 at the November 19, 2015 meeting. Conditional Use Request CU14-22 (Ord. 2014-32) approved at the June 17, 2014 meeting allowed for a parking lot expansion and a pole sign 20-feet in height.

To the east of the subject site zone change request Z12-10 (Ord12-38) was approved by City Council of August 21, 2012 meeting to rezone approximately 32.57 acres from "LI" Light Industrial District and 24.62 acres from "BP" Business Park District to "CC" Community Commercial District primarily for the development of a nonprofit institution. Conditional Use Permit CU12-33 (Ord. 12-39) was approved by City Council of August 21, 2012 meeting to establish a nonprofit institution to be utilized as a women's shelter.

On the subject site the City Council on January 16, 2018 approved conditional use permit CU17-28 on the subject site to allow an automobile dealership and a pole sign which was never developed and has expired.

SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH: "PID", Planned Industrial Development District – undeveloped and DFW Airport Property
- SOUTH: "CC", Community Commercial District – Classic Chevrolet Business Elite
- EAST: "CC", Community Commercial District – Epi Kitchens, Gatehouse Commercial, the Gatehouse in Grapevine and DFW Airport Property
- WEST: State Highway 121 and "PID", Planned Industrial Development District –Office Warehouse, "CC", Community Commercial District – Retail, Entertainment and Office

AIRPORT IMPACT:

A subject the site is located within "Zone B" Middle Zone of Effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" Map. In "Zone B" the following uses may be considered only if sound treatment is included in building design: multifamily apartments, motels, office buildings, movie theaters, restaurants, and personal and business services. Single family residential and sound sensitive uses such as schools and churches should avoid this zone. The applicant's proposal is an appropriate use in this noise zone.

MASTER PLAN APPLICATION:

The Master Plan designates the subject property as a Commercial land use. The applicant's request is in compliance with the Master Plan.

THOROUGHFARE PLAN APPLICATION:

The Thoroughfare Plan designates Stone Myers Parkway as a Type D Minor Arterial with a minimum 75 feet of right-of-way developed as four lanes.

/at

CU19-41



CITY OF GRAPEVINE

CONDITIONAL USE APPLICATION

Form "A"

PART 1. APPLICANT INFORMATION

Name of applicant / agent: company/contact

COOL BREEZE CONSULTANTS LLC - CONTACT: GRAHAM MOORE

Street address of applicant / agent:

1314 AVENUE A SUITE A

City / State / Zip Code of applicant / agent:

KATY, TX 77493

Telephone number of applicant / agent:

(832)349-4018

Fax number of applicant/agent

Email address of applicant/agent

Mobile phone number of applicant/agent

(832) 349-4018

PART 2. PROPERTY INFORMATION

Street address of subject property

2301 WILLIAM D TATE AVENUE

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot 2 Block 1 Addition FIRST BAPTIST CHURCH OF GRAPEVINE

Size of subject property

Acres 17.803 ACRES

Square footage

Present zoning classification:

CC COMMUNITY COMMERCIAL

Proposed use of the property:

AUTOMOBILE SALES AND SERVICE

Circle yes or no, if applies to this application

Outdoor speakers Yes No

Minimum / maximum district size for conditional use request:

5 ACRES

Zoning ordinance provision requiring a conditional use:

SECTION 25-C (REFERENCES SECTION 48) - AUTOMOBILE SALES AND SERVICE USE

PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:

LITHIA REAL ESTATE INC - CONTACT: MITCHEL SHELBY

Street address of property owner:

150 N BARTLETT STREET

City / State / Zip Code of property owner:

MEDFORD, OR 97501

Telephone number of property owner:

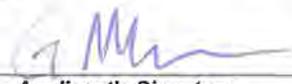
(650) 238-8213

Fax number of property owner:

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY

COOL BREEZE CONSULTANTS LLC - GRAHAM MOORE
Print Applicant's Name:


Applicant's Signature:

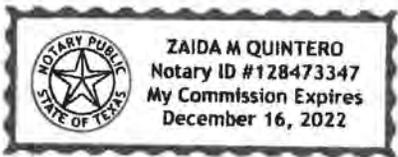
The State of Texas

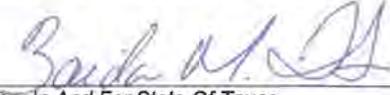
County Of Harris

Before Me Zaida M. Quintero on this day personally appeared Graham Moore
(notary) (applicant)

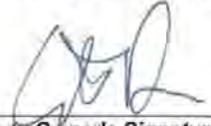
known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 26th day of November, A.D. 2019.




Notary In And For State Of Texas

LITHIA REAL ESTATE INC
Print Property Owners Name:


Property Owner's Signature:

The State Of Oregon

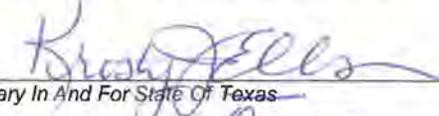
County Of Jackson

Before Me Kristy J. Ells on this day personally appeared Eric Trersen
(notary) (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 22nd day of November, A.D. 2019.




Notary In And For State Of Texas
Oregon

CU19-41

ACKNOWLEDGEMENT

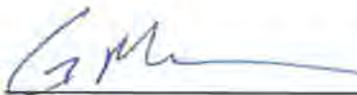
All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant 

Date: 11/26/19

Signature of Owner 

Date: 11/27/19



November 27, 2019

Albert L Triplett, Jr., Planner II
Development Services
Planning Division
200 S Main Street
Grapevine, TX 76051

Reference: Conditional Use Application Letter
Grapevine Honda
2301 William D Tate Ave
Grapevine, TX 76051

Mr. Triplet:

Lithia Real Estate, Inc, is the current owner of a vacant tract of land located at 2301 William D Tate Avenue, Grapevine, Texas. The owner wishes to develop the property as an Automobile Sales and Service and Automobile Washing Use. The site is located within the CC – Community Commercial zoning district, which permits Automobile Sales and Service as well as Automobile Washing Uses as a Conditional Use. Therefore, the purpose of this application is to formally request Conditional Use approval for the proposed Grapevine Honda development on the above referenced site.

Existing Conditions

The site is currently vacant and has been platted as Lot 2, Block 1, First Baptist Church of Grapevine. The site is encumbered by a water easement throughout the site, a 100 year floodplain and drainage easement at the southeast end of the site, a 25 foot landscape, water, and drainage easement and building line along William D Tate Avenue, a ten foot utility easement along the northern property line, and a variable with drainage easement in the southeastern portion of the site. Currently, the site is moderately wooded with native vegetation and trees.

Proposed Conditional Use

The proposed use will be a showroom/service building, a detached car wash building, and associated parking, utility, drainage and landscape improvements. The site will be accessed by two right-in, right-out driveways on William D Tate Avenue and two (2) full movement driveways on Stone Myers Parkway. The proposed showroom/service building will front towards William D Tate Avenue, and the proposed Car Wash will front towards Stone Myers Parkway. The proposed use will include two (2) masonry dumpster enclosures, as well as an above ground fuel storage tank located behind the showroom/service building. One 40-foot in height, 192- square foot pole sign is proposed along the northbound State Highway 121 service road along with a monument sign that is ten (10) feet in height and 100-square feet in size proposed along Stone Myers Parkway. In conjunction with the car wash, shaded vacuum stations are proposed adjacent to Stone Myers Parkway. These proposed improvements are depicted in detail in the attached site plan package.

Special Requirements or Conditions per District Regulations

As stated above, the site is located within the CC – Community Commercial zoning district. Per section 25.C.7 of the City of Grapevine Zoning Ordinance, the CC zoning district permits Automobile Sales and Service Uses may be permitted as a Conditional Use if a Conditional Use Permit is issued pursuant to section 48 of said ordinance. In addition, the following requirements shall apply:

BULK REQUIREMENTS		
ITEM	REQUIREMENT	PROPOSED
MIN LOT SIZE	5 AC	17.803 AC
MAX BUILDING COVERAGE	60 % (465,273 SF)	9% (69,006 SF)
MAX IMPERV. COVERAGE	80 % (620,399 SF)	72% (559,080 SF)
MIN LOT WIDTH	120 FT	393.7 FT
MIN LOT DEPTH	120 FT	300 FT
MIN FRONT YARD	25 FT	187.4 FT (CAR WASH)
MIN SIDE YARD	20 FT	71.9 FT (SHOWROOM)
MIN REAR YARD	25 FT	82.3 FT (CAR WASH)
DISTANCE BETWEEN BUILDINGS	40 FT	366.2 FT
MAX BLDG. HEIGHT	50 FT	30 FT

Additionally, the following requirements from section 25 shall apply:

- Landscaping shall be required in accordance with section 53 of the City of Grapevine Zoning Ordinance.
- Off-street parking shall be provided in accordance with sections 56 and 58 of the City of Grapevine Zoning Ordinance and shall be landscaped in accordance with section 53 of the City of Grapevine Zoning Ordinance.
- Off-street loading shall be provided in accordance with section 57 of the City of Grapevine Zoning Ordinance.
- Outdoor storage and refuse shall be landscaped and screened from view.
- Mechanical and electrical equipment, including air conditioning units, shall be designed, installed and operated to minimize noise impact on surrounding property. All such equipment shall be screened from public view.
- Lighting shall be designed to reflect away from any adjacent residential area.
- The masonry requirements of section 54 of the City of Grapevine Zoning Ordinance shall be met.

The proposed development will meet or exceed these requirements, as shown in the attached site plan package.

Value, Use and Enjoyment

The proposed Grapevine Honda development will add value, use, and enjoyment to the surrounding properties. The proposed use is compatible with adjacent uses and will drive additional retail traffic to the area. The development will also generate value through increased property taxes compared to the vacant land.

Should you have any questions or need further information regarding this submittal, please do not hesitate to contact me.

Thank you,



Graham Moore, P.E.
Cool Breeze Consultants LLC
TBPE Firm # F-20465
1314 Avenue A Suite A
Katy, TX 77493
832.349.4018



ORDINANCE NO. 2020-007

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS ISSUING CONDITIONAL USE PERMIT CU17-28 TO ESTABLISH AN AUTOMOTIVE DEALERSHIP WITH SALES AND SERVICE OF NEW AND USED VEHICLES AND 40-FOOT POLE SIGN IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT ON LOT 2, BLOCK 1, FIRST BAPTIST CHURCH OF GRAPEVINE ADDITION (2301 WILLIAM D. TATE AVENUE) ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on

the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU17-28 to establish an automotive dealership (Grapevine Honda) with the sales and service of new and used vehicles and a 40-foot pole sign in a district zoned "CC" Community Commercial District Regulations within the following described property: Lot 2, Block 1, First Baptist Church of Grapevine Addition (2301 William D. Tate Avenue) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 16th day of January, 2018.

APPROVED:

William D. Tate
Mayor

ATTEST:

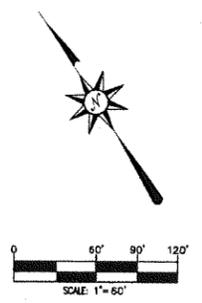
Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

STATE HIGHWAY No. 121
(THROUGH MIDDLE ROAD)

BULK REQUIREMENTS		
ITEM	REQUIREMENT	PROPOSED
MIN LOT SIZE	5 AC	17.803 AC
MAX BUILDING COVERAGE	60% (1,065,273 SF)	9% (69,080 SF)
MAX IMPERV. COVERAGE	80% (620,399 SF)	72% (559,080 SF)
MIN LOT WIDTH	120 FT	393.7 FT
MIN LOT DEPT-H	120 FT	300 FT
MIN FRONT YARD	25 FT	187.4 FT (CAR WASH)
MIN SIDE YARD	20 FT	71.9 FT (SHOWROOM)
MIN REAR YARD	25 FT	82.3 FT (CAR WASH)
DISTANCE BETWEEN BUILDINGS	40 FT	366.2 FT
MAX BLDG. HEIGHT	50 FT	30 FT



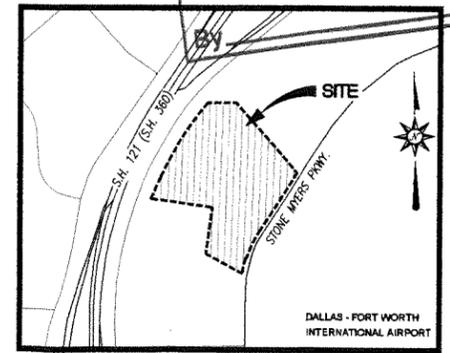
- NOTES**
1. BARBED WIRE FENCING IS NOT PERMITTED.
 2. ALL REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.
 3. CONDITIONAL USE REQUEST CU19-41 IS A REQUEST TO ESTABLISH AN AUTOMOTIVE DEALERSHIP WITH SALES AND SERVICE OF NEW AND USED VEHICLES AND A 40-FOOT POLE SIGN.

PARKING SUMMARY TABLE

TYPE	COUNT
EMPLOYEE	(60)
CUSTOMER	(128)
DISPLAY	(255)
INVENTORY	(492)

BUILDING DATA SUMMARY TABLE

TYPE	REQUIRED	PROVIDED
BUILDING HEIGHT (STORIES / FEET)		
SHOWROOM (PRIMARY BUILDING)	SEC. 25.1.1 50 FT MAX.	2 STORIES / 38 FT.
SERVICE BUILDING (PRIMARY BUILDING)	SEC. 25.1.1 15 FT MAX.	2 STORIES / 30 FT.
CAR WASH (ACCESSORY BUILDING)	SEC. 25.1.1 1 STORY / 15 FT.	1 STORY / 15 FT.
TOTAL LOT AREA	SEC. G.1 & 25.G.2 14,400 SF MIN.	775,495 SF (17.803 AC)
TOTAL BUILDING FOOTPRINT AREA	80% MAX.	64,552 SF (8.32%)
FLOOR AREA RATIO	N/A	0.1618
ON-SITE PARKING	388 SPACES	388 SPACES
TOTAL IMPERVIOUS AREA	80% MAX.	659,080 SF (72.09%)
TOTAL OPEN SPACE	20% MIN.	216,415 SF (27.91%)



LOCATION MAP
N.T.S.

CASE NAME: **GRAPEVINE HONDA**
CASE NUMBER: **CU19-41**
LOCATION: **2301 WILLIAM D. TATE**

MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION
CHAIRMAN _____

DATE: _____
SHEET: **1** OF **8**

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

CBC
COOL BREEZE CONSULTANTS LLC
1314 Avenue A, Suite A
Katy, TX 77493
Phone: 832-349-4018
Email: admin@coolbreezeconsultants.com
www.coolbreezeconsultants.com
TBE FIRM # F-20465

SPARC+

Owner:
Uthia Real Estate Inc.
Contact: Michael Kelly
1214 Northwood Street
Houston, TX 77060
(800) 238-8222
mkelly@uthiarealestate.com

Architect / Architect:
Cool Breeze Consultants LLC
Contact: Graham Moore
1314 Avenue A, Suite A
Katy, TX 77493
(832) 348-4818
gmoore@coolbreezeconsultants.com

Architect:
Spac Plan LLC
Contact: R. Douglas Van Dyke
4232 West St. Suite 101
Gladwin, TX 77950
(409) 877-4230
rdouglas@spacplan.com

Project Information:
Project Number: 19-04
Drawn By: DMH
Checked By: JPM
Approved By: GM

GRAPEVINE HONDA
2301 WILLIAM D. TATE
GRAPEVINE, TX 76051

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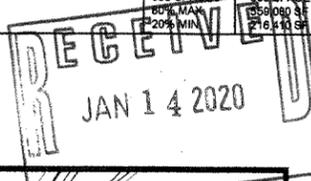
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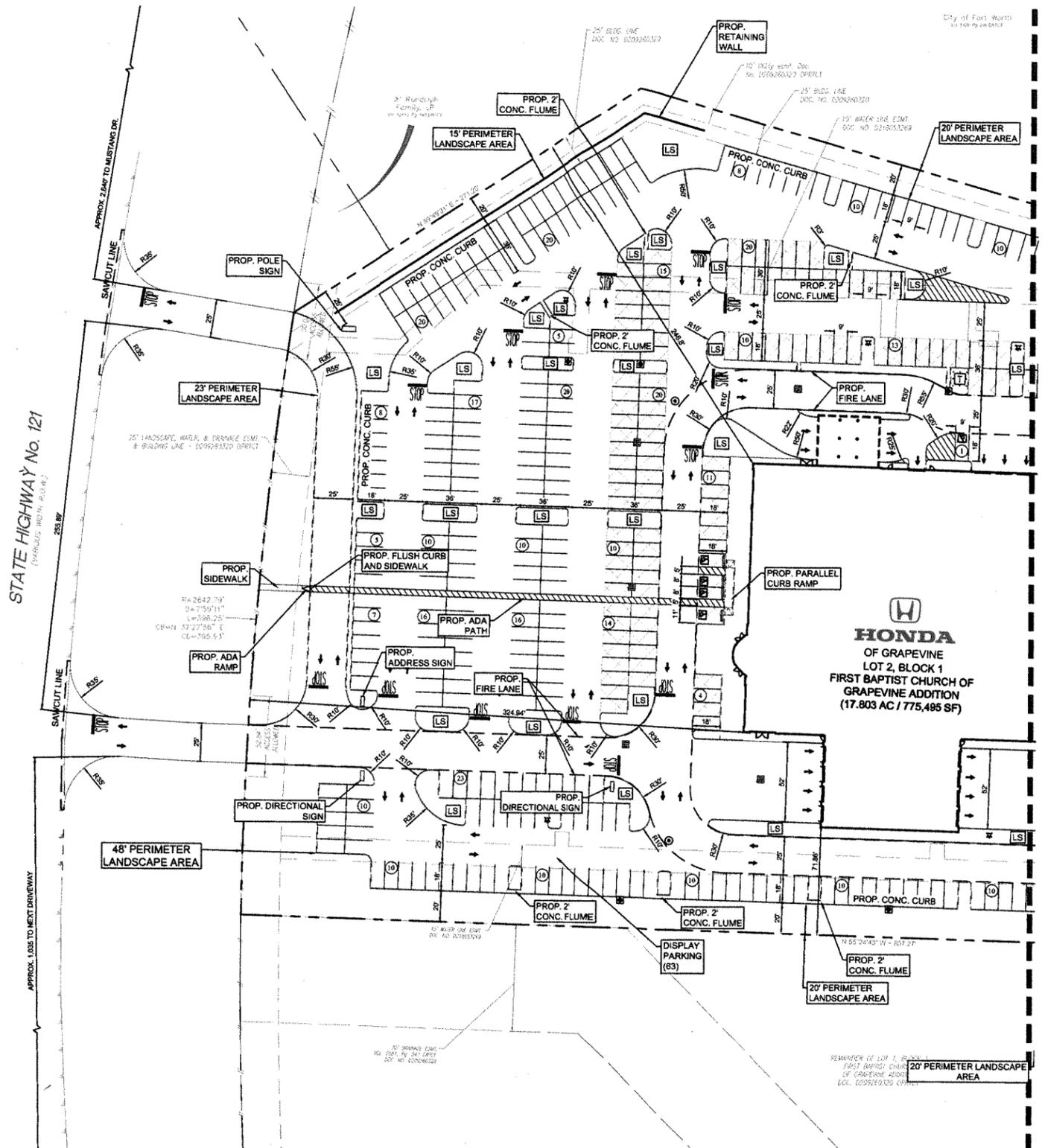
Checked & Sealed: 01/02/2020
GRAHAM MOORE
110132
LICENSED PROFESSIONAL ENGINEER

Overall Dimensional Control Plan
Sheet Number:
1 of 8

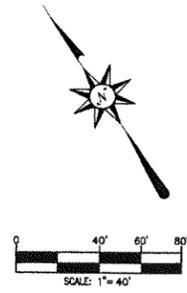


J. FAY SURVEY
ABSTRACT 53
J. CATES SURVEY
ABSTRACT 53





BULK REQUIREMENTS		
ITEM	REQUIREMENT	PROPOSED
MIN LOT SIZE	5 AC	17.803 AC
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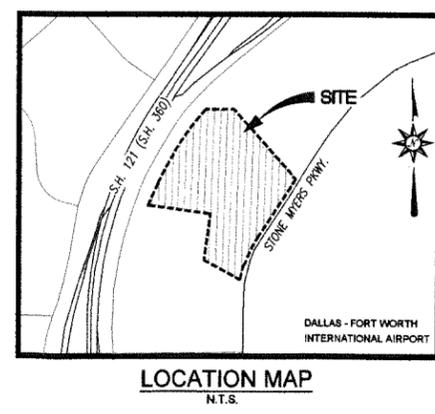
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TYPE	
(EMP)	EMPLOYEE (60)
(CUS)	CUSTOMER (129)
(DIS)	DISPLAY (255)
(INV)	INVENTORY (492)

BUILDING DATA SUMMARY TABLE

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CAR WASH (ACCESSORY BUILDING)	SEC. 25.1.1	14,400 SF MIN.	775,485 SF (17.803 AC)
TOTAL LOT AREA	SEC. G.1. & 25.G.2	60% MAX.	64,552 SF (8.32%)
TOTAL BUILDING FOOTPRINT AREA		80% MAX.	0.1618.1
FLOOR AREA RATIO		N/A	388 SPACES
ON-SITE PARKING		80% MAX.	559,080 SF (72.09%)
TOTAL IMPERVIOUS AREA		20% MIN.	216,410 SF (27.91%)
TOTAL OPEN SPACE			



CBC
COOL BREEZE CONSULTANTS LLC
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 TPE FIRM # F-20465

CASE NAME: **GRAPEVINE HONDA**
 CASE NUMBER: **CU19-41**
 LOCATION: **2301 WILLIAM D. TATE**

MAYOR _____ SECRETARY _____
 DATE: _____
 PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: _____
 SHEET: **2** OF **8**

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DEPARTMENT OF DEVELOPMENT SERVICES

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Comments:

Date	City Comments
1/21/20	

GRAHAM MOORE
 110132
 LICENSED PROFESSIONAL ENGINEER
 Signed & Sealed: 01/02/2020
 Sheet Title: **DIMENSIONAL CONTROL PLAN - A**
 Sheet Number: **2 of 8**

GRAPEVINE HONDA
 2301 WILLIAM D. TATE
 GRAPEVINE, TX 76051

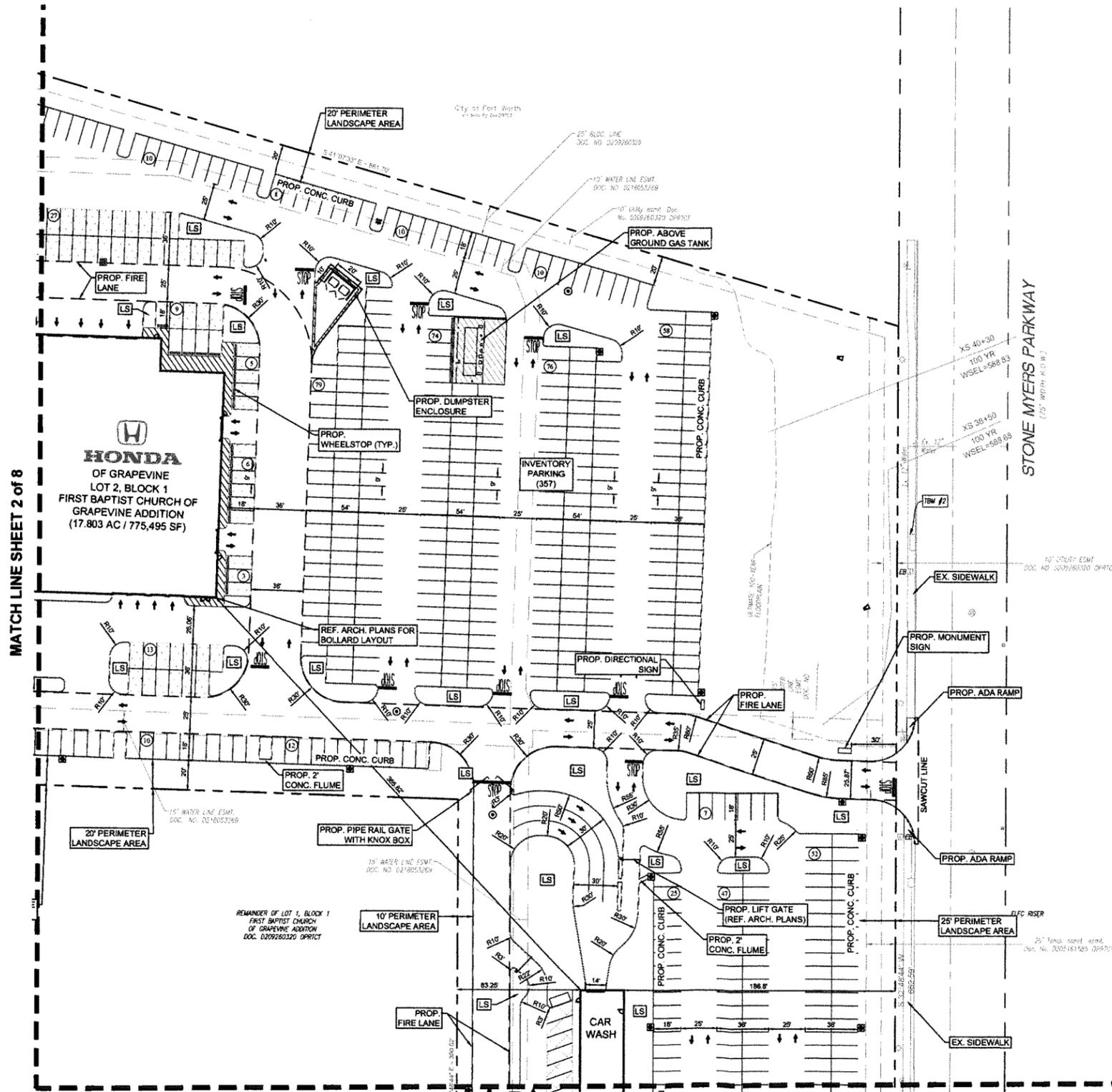
SPARC+
 Owner:
 Little Real Estate Inc.
 Contact: Michael Saly
 130 N. Bartlett Street
 Meville, OH 47001
 (601) 230-4213
 www.little.com

Architect / Agent:
 Cool Breeze Consultants LLC
 Contact: Graham Moore
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 gmoore@coolbreezeconsultants.com

Architect:
 Sparc Plus LLC
 Contact: R. Douglas Van Dyke
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 doug@sparc-plus.com

Project Information:
 Project Number: 19-04
 Drawn By: GH
 Checked By: JPM
 Approved By: GH

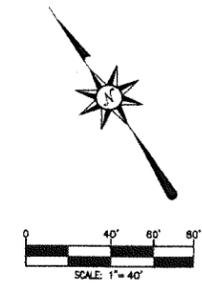




MATCH LINE SHEET 2 of 8

MATCH LINE SHEET 4 of 8

BULK REQUIREMENTS		
ITEM	REQUIREMENT	PROPOSED
MIN LOT SIZE	5 AC	17.803 AC
MAX BUILDING COVERAGE	60% (1,065,273 SF)	9% (69,006 SF)
MAX IMPERV. COVERAGE	80% (1,620,399 SF)	72% (559,080 SF)
MIN LOT WIDTH	120 FT	393.7 FT
MIN LOT DEPTH	120 FT	300 FT
MIN FRONT YARD	25 FT	187.4 FT (CAR WASH)
MIN SIDE YARD	20 FT	71.9 FT (SHOWROOM)
MIN REAR YARD	25 FT	82.3 FT (CAR WASH)
DISTANCE BETWEEN BUILDINGS	40 FT	366.2 FT
MAX BLDG. HEIGHT	50 FT	30 FT



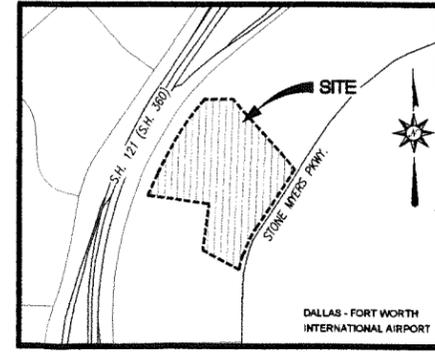
- NOTES**
1. BARBED WIRE FENCING IS NOT PERMITTED.
 2. ALL REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.
 3. CONDITIONAL USE REQUEST CU19-41 IS A REQUEST TO ESTABLISH AN AUTOMOTIVE DEALERSHIP WITH SALES AND SERVICE OF NEW AND USED VEHICLES AND A 40-FOOT POLE SIGN.

PARKING SUMMARY TABLE

TYPE	AMOUNT
EMPLOYEE	(60)
CUSTOMER	(129)
DISPLAY	(255)
INVENTORY	(492)

BUILDING DATA SUMMARY TABLE

TYPE	REQUIRED	PROVIDED
BUILDING HEIGHT (STORIES / FEET)		
SHOWROOM (PRIMARY BUILDING) SEC. 25.1.1	50 FT MAX.	2 STORIES / 38 FT.
SERVICE BUILDING (PRIMARY BUILDING) SEC. 25.1.1	50 FT MAX.	2 STORIES / 30 FT.
CAR WASH (ACCESSORY BUILDING) SEC. 25.1.1	15 FT MAX.	1 STORY / 15 FT.
TOTAL LOT AREA SEC. G. 1. & 25. G. 2	14,400 SF MIN.	64,552 SF (8.32%)
TOTAL BUILDING FOOTPRINT AREA	60% MAX.	64,552 SF (8.32%)
FLOOR AREA RATIO	N/A	0.1618:1
ON-SITE PARKING	388 SPACES	936 SPACES
TOTAL IMPERVIOUS AREA	80% MAX.	559,080 SF (72.09%)
TOTAL OPEN SPACE	20% MIN.	216,410 SF (27.91%)



LOCATION MAP
N.T.S.



COOL BREEZE CONSULTANTS LLC
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 www.coolbreezeconsultants.com
 T&E FIRM # F-20465

CASE NAME: **GRAPEVINE HONDA**
 CASE NUMBER: **CU19-41**
 LOCATION: **2301 WILLIAM D. TATE**

MAYOR _____ SECRETARY _____
 DATE: _____
 PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: _____
 SHEET: **3** OF **8**

APPROVAL DOES NOT AUTHORIZE ANY WORK
 IN CONFLICT WITH ANY CODES OR
 ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

SPARC+

Owner: Little Real Estate Inc.
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 mbailey@lre.com

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 gmoore@coolbreezeconsultants.com

Architect: Sparc Plus LLC
 Contact: R. Douglas Van Key
 4222 22nd St., Suite 101
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 doug@sparc-plus.com

Project Information:
 Project Number: 19-54
 Drawn By: DMH
 Checked By: JMH
 Approved By: GMH

GRAPEVINE HONDA
 2301 WILLIAM D. TATE
 GRAPEVINE, TX 76051

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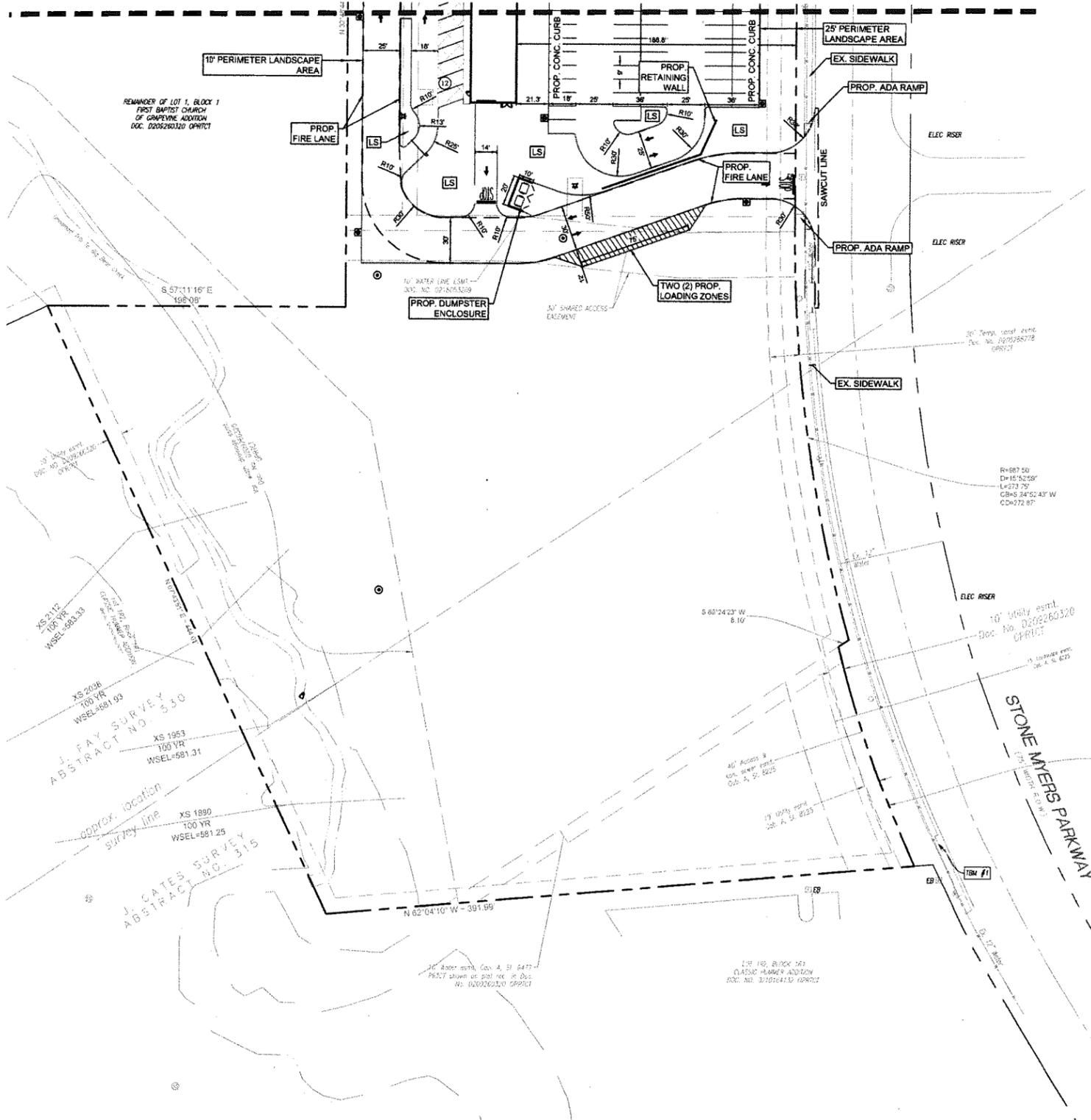
City Comments:
 Date: 1/27/20
 By: [Signature]

GRAHAM MOORE
 110132
 LICENSED PROFESSIONAL ENGINEER
 State of Texas
 01/02/2020

Sheet Title:
DIMENSIONAL CONTROL PLAN - B
 Sheet Number:
3 of 8



MATCH LINE SHEET 3 of 8



BULK REQUIREMENTS		
ITEM	REQUIREMENT	PROPOSED
MIN LOT SIZE	5 AC	17.803 AC
MAX BUILDING COVERAGE	80% (465,273 SF)	9% (69,006 SF)
MAX IMPERV. COVERAGE	80% (620,399 SF)	72% (559,080 SF)
MIN LOT WIDTH	120 FT	393.7 FT
MIN LOT DEPTH	120 FT	300 FT
MIN FRONT YARD	25 FT	187.4 FT (CAR WASH)
MIN SIDE YARD	20 FT	71.9 FT (SHOWROOM)
MIN REAR YARD	25 FT	82.3 FT (CAR WASH)
DISTANCE BETWEEN BUILDINGS	40 FT	366.2 FT
MAX BLDG. HEIGHT	50 FT	30 FT

NOTES

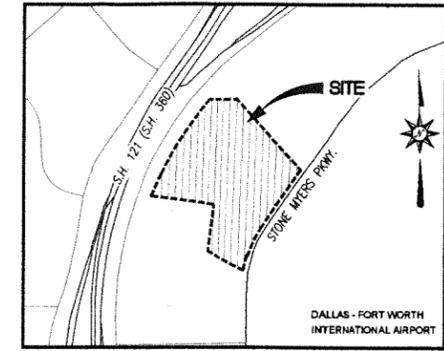
1. BARBED WIRE FENCING IS NOT PERMITTED.
2. ALL REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.
3. CONDITIONAL USE REQUEST CU19-41 IS A REQUEST TO ESTABLISH AN AUTOMOTIVE DEALERSHIP WITH SALES AND SERVICE OF NEW AND USED VEHICLES AND A 40-FOOT POLE SIGN.

PARKING SUMMARY TABLE

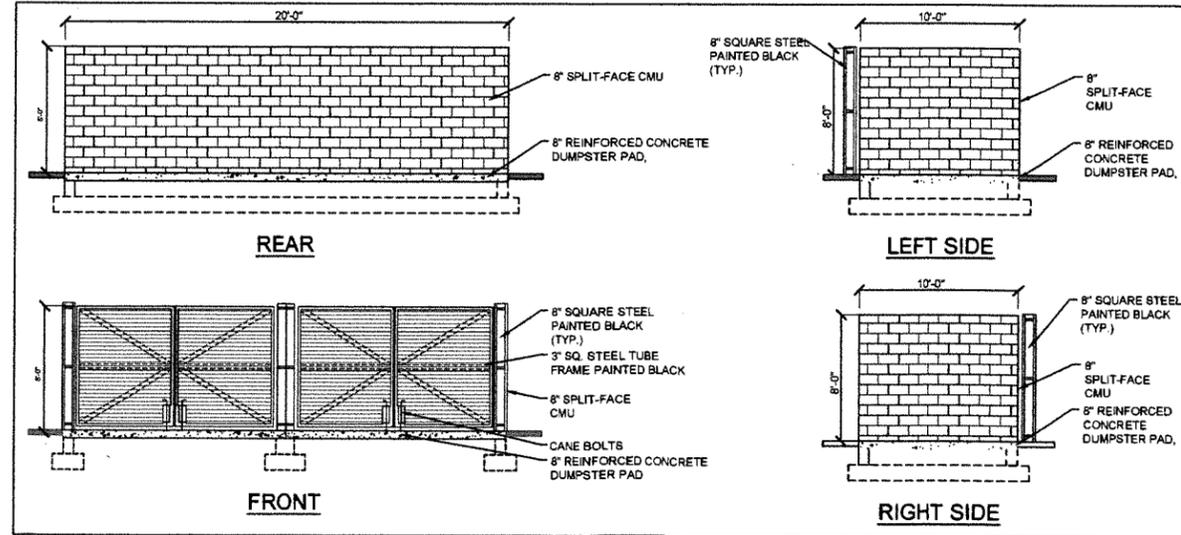
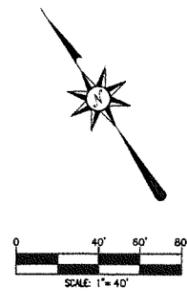
TYPE	AMOUNT
EMPLOYEE	(80)
CUSTOMER	(128)
DISPLAY	(255)
INVENTORY	(492)

BUILDING DATA SUMMARY TABLE

TYPE	REQUIRED	PROVIDED
BUILDING HEIGHT (STORIES / FEET)		
SHOWROOM (PRIMARY BUILDING)	SEC. 25.1.1 50 FT MAX.	2 STORIES / 38 FT.
SERVICE BUILDING (PRIMARY BUILDING)	SEC. 25.1.1 50 FT MAX.	2 STORIES / 30 FT.
CAR WASH (ACCESSORY BUILDING)	SEC. 25.1.1 15 FT MAX.	1 STORY / 15 FT.
TOTAL LOT AREA	SEC. G.1 & 25 G.2 14,400 SF MIN	775,495 SF (17,803 AC)
TOTAL BUILDING FOOTPRINT AREA	80% MAX.	64,552 SF (8.32%)
FLOOR AREA RATIO	N/A	0.1618-1
ON-SITE PARKING	388 SPACES	636 SPACES
TOTAL IMPERVIOUS AREA	80% MAX.	559,080 SF (72.09%)
TOTAL OPEN SPACE	20% MIN.	216,410 SF (27.91%)



LOCATION MAP
N.T.S.



DUMPSTER ELEVATIONS

SPARC+

GRAPEVINE HONDA
2301 WILLIAM D. TATE
GRAPEVINE, TX 76051

Project Information:
Project Number: 19-34
Drawn By: JMH
Checked By: JMH
Approved By: GM

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Checked By: JMH
Date: 1/27/20

GRAHAM MOORE
110132
LICENSED PROFESSIONAL ENGINEER
01/02/2020

Sheet & Sealed:
Sheet Title:
DIMENSIONAL CONTROL PLAN - C
Sheet Number:
4 of 8



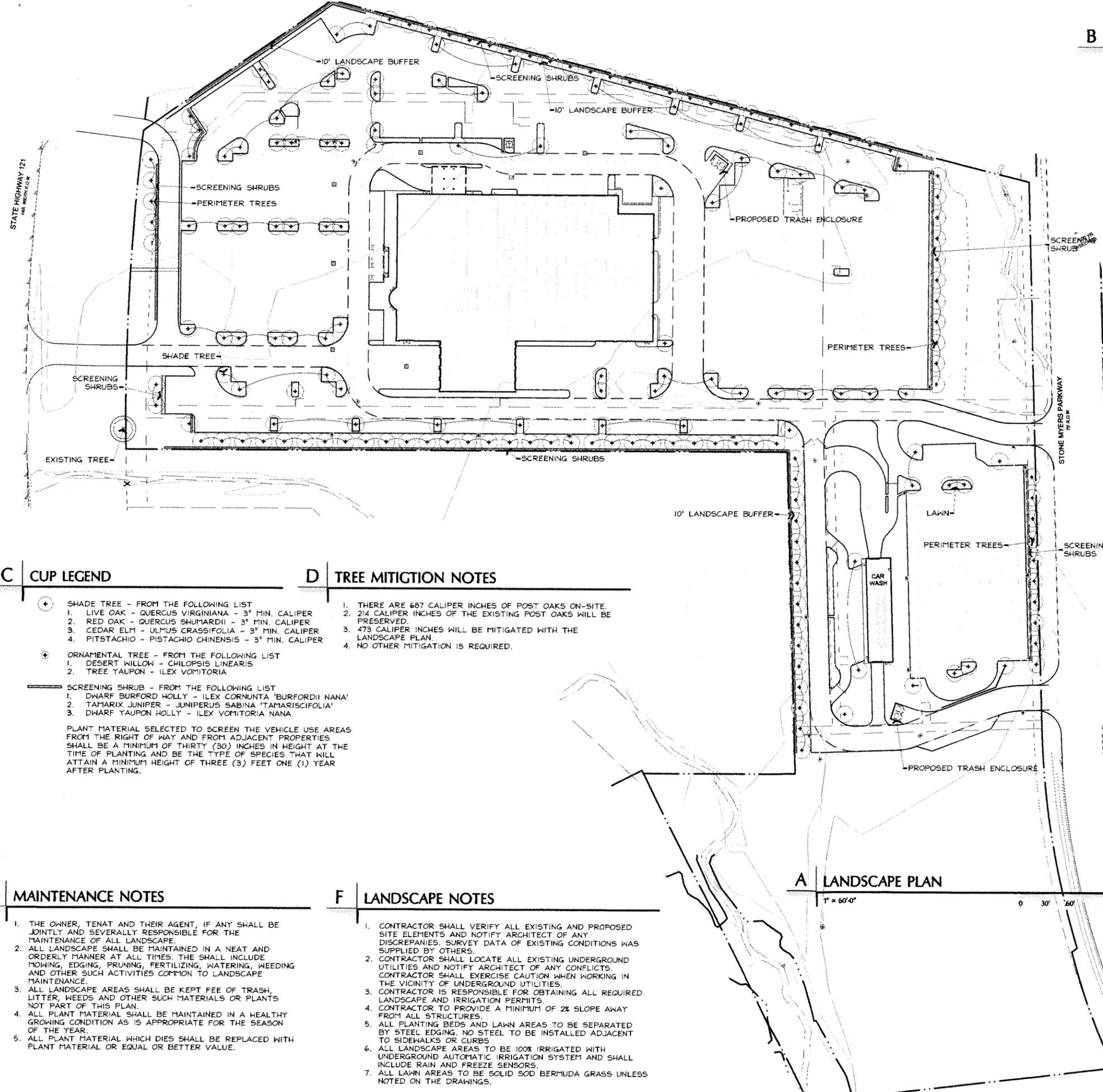
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Phone: 832-349-4018
Email: admin@coolbreezeconsultants.com
www.coolbreezeconsultants.com
T&PE FIRM # F-20465

CASE NAME: **GRAPEVINE HONDA**
CASE NUMBER: **CU19-41**
LOCATION: **2301 WILLIAM D. TATE**

MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: _____
SHEET: **4** OF **8**
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.
DEPARTMENT OF DEVELOPMENT SERVICES



B ORDINANCE REQUIREMENTS - GRAPEVINE

1. STREET PERIMETER LANDSCAPE			
54' 12" - 847.91 LINEAR FEET			
1 TREE PER 50 LINEAR FEET	398	/ 50	8 TREES REQUIRED 7 NEW TREES PROVIDED 1 EXISTING TREES
SHRUB SCREENING	398	/ 3	133 SHRUBS REQUIRED 133 SHRUBS PROVIDED
STONE MEYER			
1 TREE PER 50 LINEAR FEET	1,092	/ 50	22 TREES REQUIRED 26 TREES PROVIDED
SHRUB SCREENING	1,092	/ 3	364 SHRUBS REQUIRED 364 SHRUBS PROVIDED
2. INTERIOR PARKING OPEN SPACE			
10% OPEN SPACE REQUIRED.	775,495	*.10%	77,500 SQUARE FOOTAGE REQUIRED 98,000 SQUARE FOOTAGE PROVIDED
1 TREE PER 400 SQUARE FEET	77,550	/ 450	82 TREES REQUIRED 120 TREES PROVIDED
3. NON VEHICULAR OPEN SPACE			
	775,495	*.15	116,324 SQUARE FOOTAGE REQUIRED 122,000 SQUARE FOOTAGE PROVIDED
50% IN FRONT YARD	116,324	*.5	58,162 SQUARE FOOTAGE REQUIRED 42,000 SQUARE FOOTAGE PROVIDED
4. PERIMETER LANDSCAPE			
	4,853.60	/ 50	97 TREES REQUIRED 97 TREES PROVIDED

C CUP LEGEND

- ⊕ SHADE TREE - FROM THE FOLLOWING LIST
 - LIVE OAK - QUERCUS VIRGINIANA - 3" MIN. CALIPER
 - RED OAK - QUERCUS SHUMARDII - 3" MIN. CALIPER
 - CEDAR ELM - ULMUS CRASSIFOLIA - 3" MIN. CALIPER
 - PITSTACHIO - PISTACHIO CHINENSIS - 3" MIN. CALIPER
- ⊙ ORNAMENTAL TREE - FROM THE FOLLOWING LIST
 - DESERT WILLOW - CHILOPSIS LINEARIS
 - TREE YAUPON - ILEX VOMITORIA
- SCREENING SHRUB - FROM THE FOLLOWING LIST
 - DWARF BURFORD HOLLY - ILEX CORNUTA 'BURFORDII NANA'
 - TAMARIX JUNIPER - JUNIPERUS SABINA 'TAMARISCIFOLIA'
 - DWARF YAUPON HOLLY - ILEX VOMITORIA NANA

PLANT MATERIAL SELECTED TO SCREEN THE VEHICLE USE AREAS FROM THE RIGHT OF WAY AND FROM ADJACENT PROPERTIES SHALL BE A MINIMUM OF THIRTY (30) INCHES IN HEIGHT AT THE TIME OF PLANTING AND BE THE TYPE OF SPECIES THAT WILL ATTAIN A MINIMUM HEIGHT OF THREE (3) FEET ONE (1) YEAR AFTER PLANTING.

D TREE MITIGATION NOTES

- THERE ARE 687 CALIPER INCHES OF POST OAKS ON-SITE.
- 214 CALIPER INCHES OF THE EXISTING POST OAKS WILL BE PRESERVED.
- 473 CALIPER INCHES WILL BE MITIGATED WITH THE LANDSCAPE PLAN.
- NO OTHER MITIGATION IS REQUIRED.

E MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.

F LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM OF 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDA GRASS UNLESS NOTED ON THE DRAWINGS.

A LANDSCAPE PLAN



CASE NAME: GRAPEVINE HONDA
CASE NUMBER: CU19-41
LOCATION: 2301 WILLIAM D TATE AVE.

MAYOR SECRETARY

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN

DATE: _____

SHEET: 5 OF 8

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

MASTER SITE PLAN OF
FIRST BAPTIST CHURCH OF GRAPEVINE ADDITION

LOT 1, BLOCK 1
17.803 ACRES
situated in the
J. FAY SURVEY - ABSTRACT 530
GRAPEVINE, TARRANT COUNTY, TEXAS

Applicant / Owner
Lithia Real Estate, Inc.
150 North Barlett Street
Medford, Oregon 97501
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Contact: Eric Iverson

Engineer / Surveyor
Cool Breeze Consultants LLD
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Telephone (832) 349-4018
Contact: Graham Moore, PE

Architect
SPARC+
822 22nd Street, Suite 101
Galveston, Texas 75507
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Contact: R. Douglas Van Kay



SPARC+

Owner:
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Applicant / Agent/Author/Checker
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graham@coolbreezeco.com

Architect:
SPARC+ PLLC
Contact: R. Douglas Van Kay
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(409) 877-4136
doug@sparc-plus.com

Project Information:
Project Number: LTT19-12
Drawn By: Author
Checked By: Checker
Approved By: Approver

GRAPEVINE HONDA
2301 WILLIAM D TATE
GRAPEVINE, TX 75601

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Rev	Date	Comments
L	1/2/2019	City Comments

Signed & Sealed: 01.06.2020

Sheet Title:
LANDSCAPE PLAN

Sheet Number:
5 OF 8

SHEET NOTES

A. ILLUMINATED SIGNAGE INCLUDED IN THE DETERMINATION OF ILLUMINATION LEVELS.

SPARC+

Owner:
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Lighting Consultant:
Pacific Energy Concepts
Contact: Eric Portner
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(615) 238-0211
eric@peconcepts.com

Project Information:
Project Number: LTT11-11
Drawn By: EP
Checked By: EP
Approved By: Approver

HONDA OF GRAPEVINE
2301 WILLIAM D. TATE
GRAPEVINE, TX 75061

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Rev	Date	Comments
1	1/17/2020	CITY COMMENTS

APPROVAL SIGNATURES:

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: _____

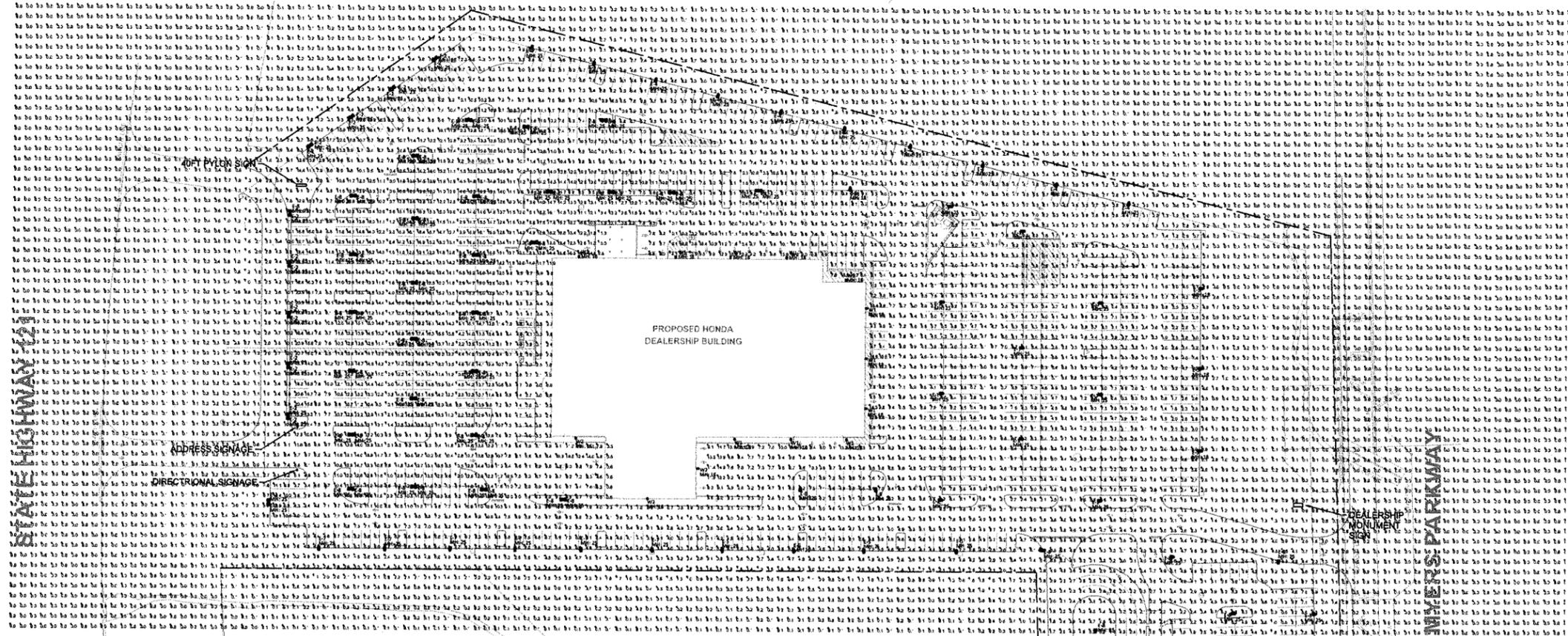
PHOTOMETRIC SITE PLAN

Sheet Number: **6 of 8**

CASE NAME: GRAPEVINE HONDA
CASE NUMBER: CU 19-43
LOCATION: 2301 WILLIAM D. TATE

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES



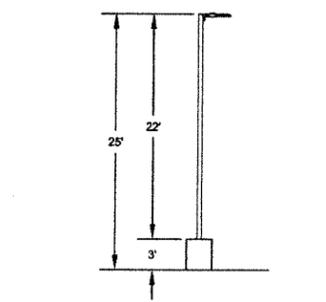
Honda of Grapevine Fixture Schedule

Symbol	Qty	Type	Part number	Description	Watts	LLF
14	14	E-1	BLX-II-4-55L-5K-UNV-BOA-WH-DIM-DS	LED AREA LIGHT - T5LR [407w]	407	0.800
19	19	E-2	BLX-II-3-96LC-3-5K-UNV-BOA-WH-DIM-DS-ROT-R	LED AREA LIGHT - T4A [102w]	102	0.800
4	4	E-3	BLX-II-3-96LC-3-5K-UNV-BOA-WH-DIM-DS	LED AREA LIGHT - T4A [102w]	102	0.800
10	10	E-4	BLX-II-4-128LC-3-5K-UNV-BOA-WH-DIM-DS	LED AREA LIGHT - T4 [143w]	143	0.800
7	7	E-5	BLX-II-4-128LC-3-5K-UNV-BOA-WH-DIM-DS	LED AREA LIGHT - T3 [143w]	143	0.800
5	5	E-6	BLX-II-3-25L-5K-UNV-BOA-WH-DIM-DS	LED AREA LIGHT - T2 [174w]	174	0.800
6	6	E-7	BLX-II-3-96LC-3-5K-UNV-BOA-WH-DIM-DS	LED AREA LIGHT - T1 [102w]	102	0.800
63	63	E-8	BLX-II-4-128LC-7-5K-UNV-BOA-WH-DIM-DS	LED AREA LIGHT - T5WR [282w]	282	0.800
11	11	W1	BSX-II-4-25L-5K-UNV-BOA-WH-DIM-DS	LED WALL MOUNTED FIXTURE - T4 [172w]	172	0.800
3	3	W2	BSX-II-4-20L-5K-UNV-BOA-WH-DIM-DS	LED WALL MOUNTED FIXTURE - T3 [152w]	152	0.800
10	10	W3	SPK-4-ALD-72LC-3-5K-UNV-WM-WH	LED WALL PACK (84w)	84	0.800

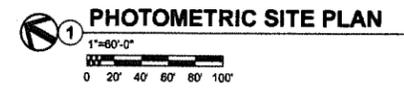
NOTES:
1. MOUNTING HEIGHTS FOR LED AREA LIGHT AT 25'-0" AFG. MOUNTING HEIGHT INCLUDES ASSUMED 3'-0" TALL POLE BASE AND 22'-0" TALL, 5" SQUARE POLE.

Calculation Summary

Label	CalcType	Units	Height (FT)	Avg	Max	Min	Avg/Min	Max/Min
Back Display Front Line	illuminance	Fc	1.0	6.59	9.1	3.6	1.83	2.53
Back Lot Interior 1	illuminance	Fc	1.0	2.52	4.9	0.4	6.30	12.25
Back Lot Interior 2	illuminance	Fc	1.0	5.42	9.1	1.6	3.39	5.69
Front Line Display	illuminance	Fc	1.0	16.61	20.9	13.3	1.25	1.57
Interior Display	illuminance	Fc	1.0	12.93	18.1	6.9	1.87	2.62
Interior Display 2	illuminance	Fc	1.0	10.76	16.7	5.4	1.99	3.09
Perimeter Display 1	illuminance	Fc	1.0	6.05	6.8	5.0	1.21	1.36
Perimeter Display 2	illuminance	Fc	1.0	5.66	7.1	3.7	1.53	1.92



2 LIGHT POLE ELEVATION
NO SCALE



1 PHOTOMETRIC SITE PLAN
1"=60'-0"

released for construction

Owner:
Little Road Estates Inc.
Contact: Michael Salyer
1314 Avenue A, Suite A
Houston, TX 77058
(832) 228-8213
msalyer@lre.com

Applicant / Agents:
Coal Bross Consultants LLC
Contact: Andrew Bross
1314 Avenue A, Suite A
Houston, TX 77058
(832) 348-6018
abross@coalbrossconsultants.com

Architect:
Sparc Plus LLC
Contact: H Douglas Van Dyke
822 23rd St, Suite 101
Houston, TX 77058
(409) 877-4238
hvd@sparcplus.com

Project Information:
Project Number: LT19-12
Drawn By: SDV
Checked By: SDV
Approved By: SDV

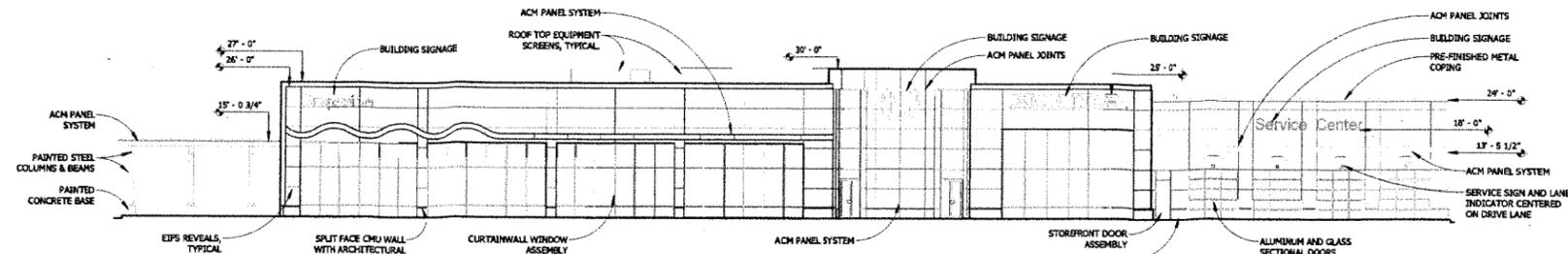
GRAPEVINE HONDA
 2301 WILLIAM D TATE
 GRAPEVINE, TX 76051

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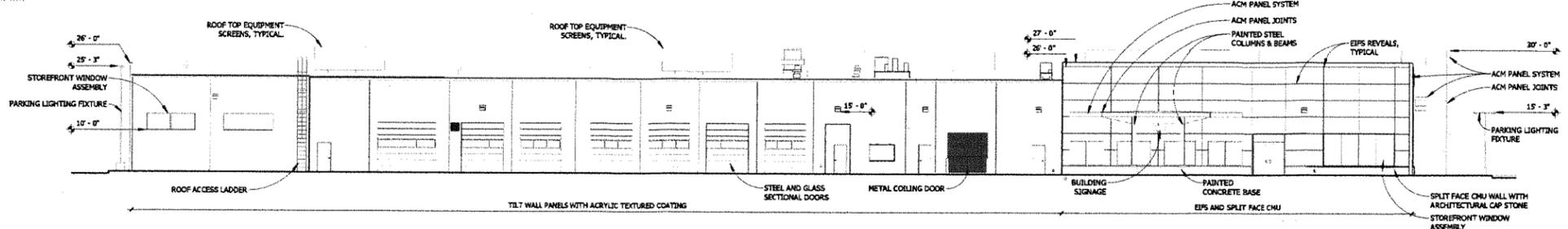
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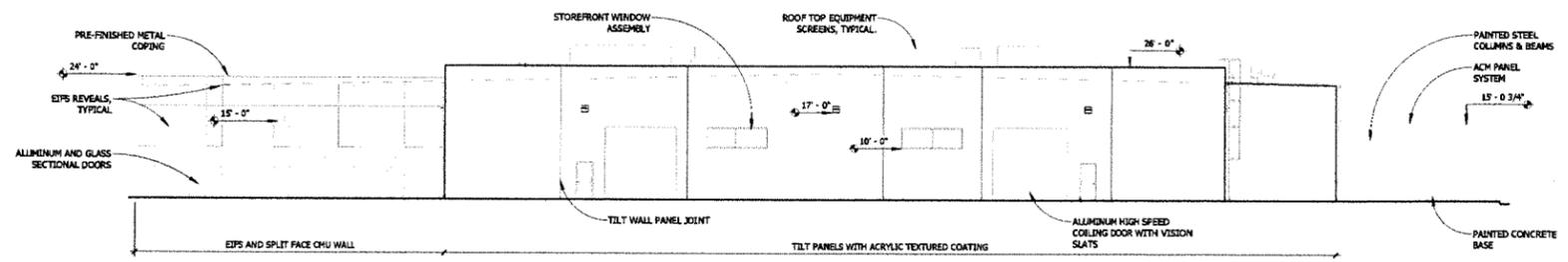
Signed & Sealed: 01.02.20
Sheet Title:
Building Elevations - Showroom
Sheet Number:
7 of 8



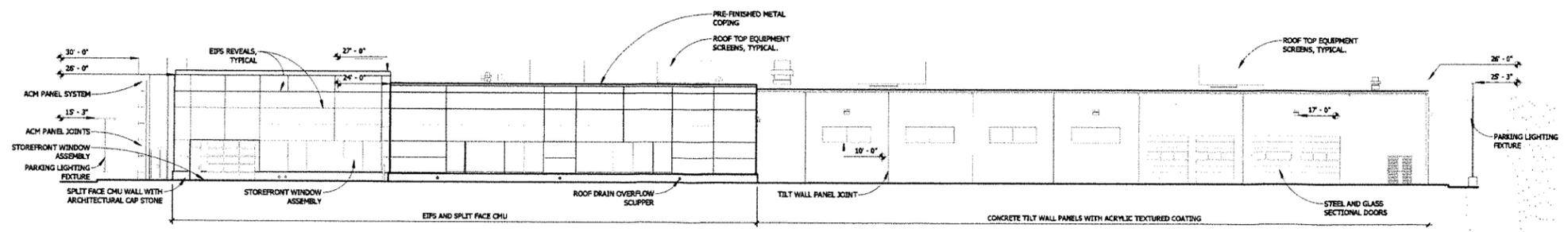
1 Proposed West Elevation
1/16" = 1'-0"



2 Proposed North Elevation
1/16" = 1'-0"

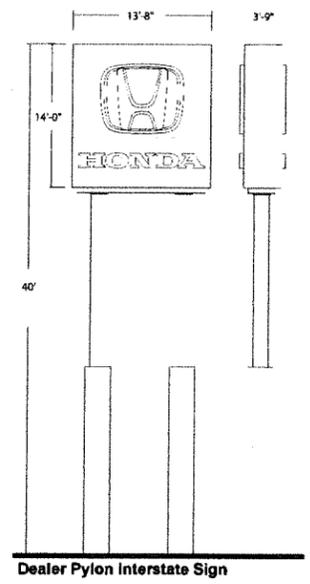


3 Proposed East Elevation
1/16" = 1'-0"

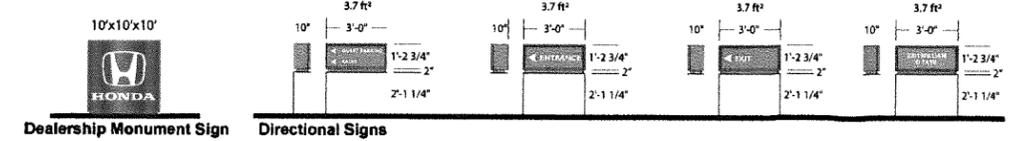


4 Proposed South Elevation
1/16" = 1'-0"

*TOTAL MASONRY PERCENTAGE FOR EXTERIOR WALLS: 98%
**BUILDING IS FIRE SPRINKLED



Dealer Pylon Interstate Sign



Dealership Monument Sign
Directional Signs

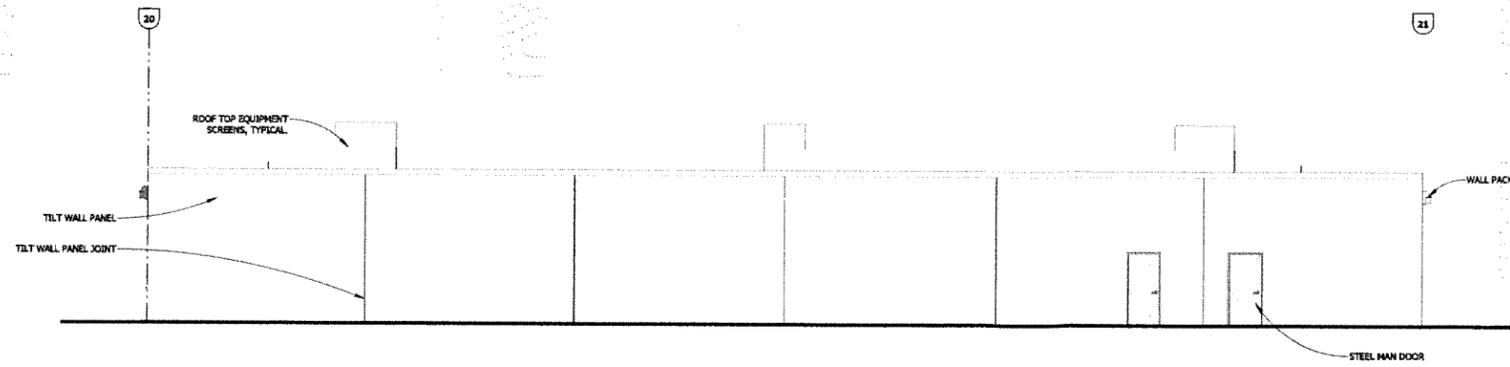
CASE NAME: GRAPEVINE HONDA
 CASE NUMBER: C019-41
 LOCATION: 2301 WILLIAM D. TATE

MAYOR _____ SECRETARY _____
 DATE: _____
 PLANNING AND ZONING COMMISSION

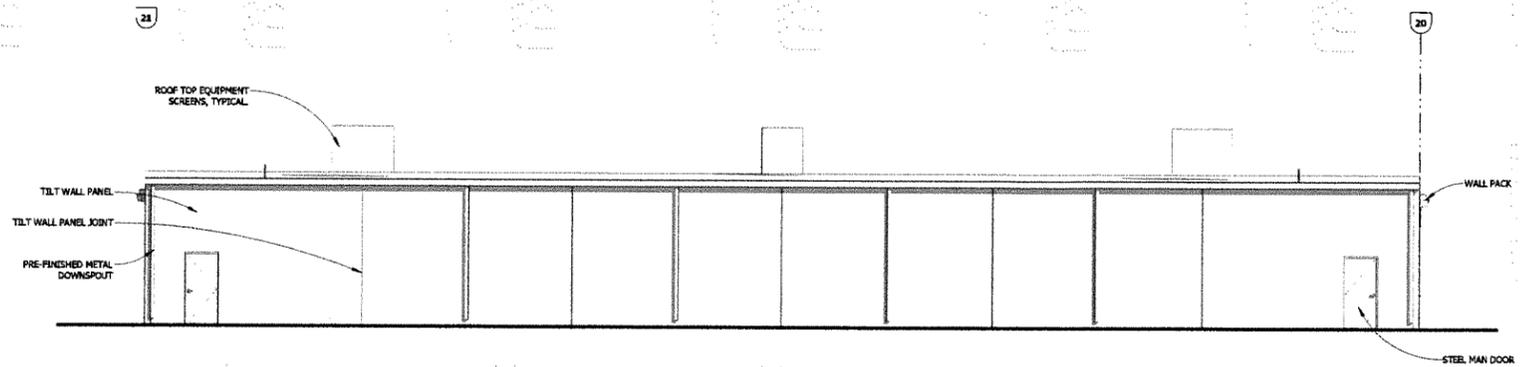
CHAIRMAN _____
 DATE: _____
 SHEET: 7 OF 8

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.
 DEPARTMENT OF DEVELOPMENT SERVICES

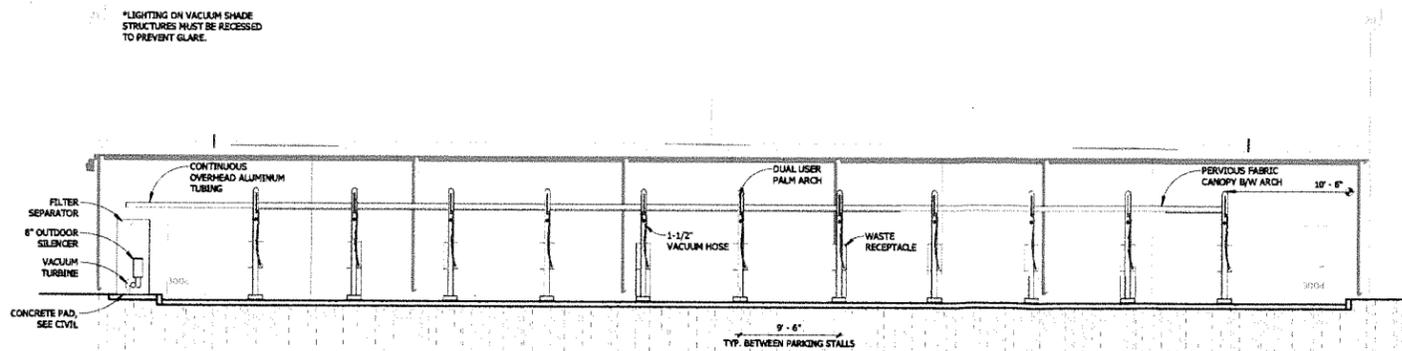




1 | Carwash East Elevation
1/8" = 1'-0"

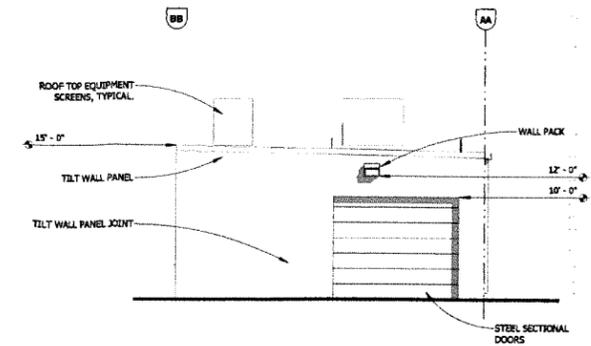


4 | Carwash West Elevation
1/8" = 1'-0"

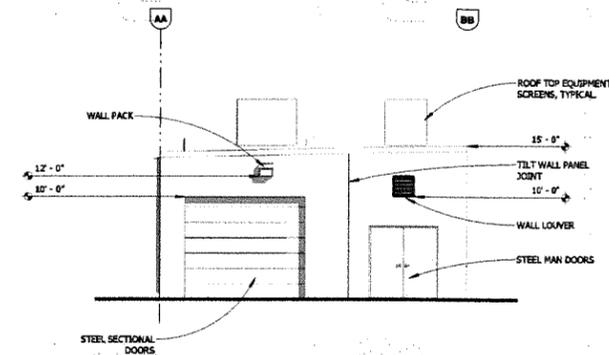


5 | Carwash Vacuum Station Elevation - A
1/8" = 1'-0"

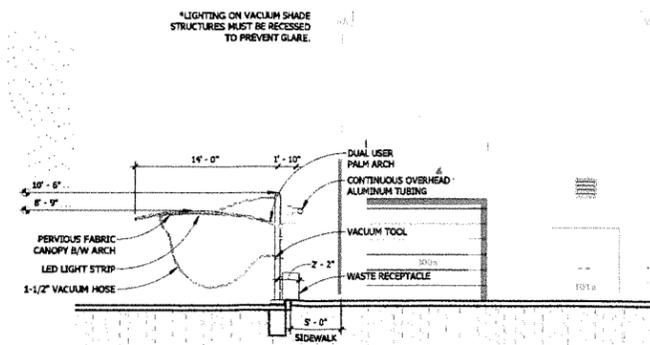
*TOTAL MASONRY PERCENTAGE FOR EXTERIOR WALLS: 100%
**BUILDING IS FIRE SPRINKLED



2 | Carwash North Elevation
1/8" = 1'-0"



3 | Carwash South Elevations
1/8" = 1'-0"



6 | Carwash Vacuum Station Elevation - B
1/8" = 1'-0"

*LIGHTING ON VACUUM SHADE STRUCTURES MUST BE RECESSED TO PREVENT GLARE.

Client:
Lithia Real Estate Inc.
Contact: Mitchell Inley
130 S. Burdick Street
Madison, CA 97901
(408) 538-8233
www.lithia.com

Applicant / Agents:
Cecil Brown Consultants LLC
Contact: Graham Hesse
4314 Arroyo A Suite A
Bain, TX 77803
(409) 344-8818
graham@cecilbrownconsultants.com

Architect:
Spac Plus LLC
Contact: B Douglas Yonker
412 23rd St. Suite 100
Houston, TX 77008
(409) 877-6136
douglas@spac-plus.com

Project Information:
Project Number: U779-12
Drawn by: RDVE
Checked by: RDVE
Approved by: RDVE

GRAPEVINE HONDA
2301 WILLIAM D. FAYE
GRAPEVINE, TX 75601

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CASE NAME: GRAPEVINE HONDA
CASE NUMBER: CV19-42
LOCATION: 2301 WILLIAM D. FAYE

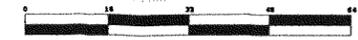
MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION

CHAIRMAN _____
DATE: _____
SHEET 8 OF 8

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.
DEPARTMENT OF DEVELOPMENT SERVICES



Signed & Sealed: 03.02.20
Sheet Title:
Carwash Elevations
Sheet Number:
8 of 8

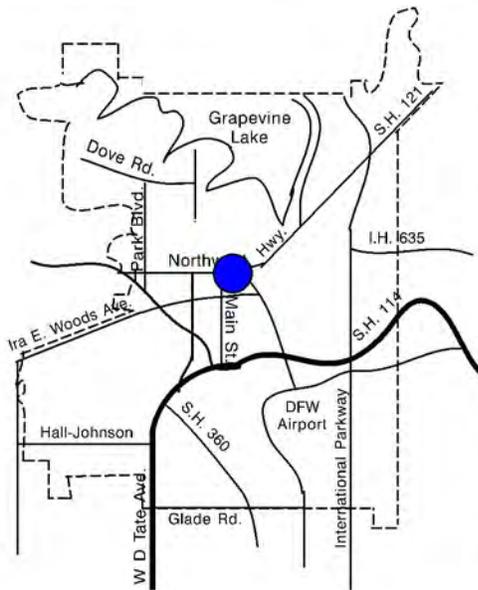


TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER ^{BR}
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: JANUARY 21, 2020

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF
CONDITIONAL USE APPLICATION CU19-42 AND PLANNED
DEVELOPMENT PD19-03 BREW AND BATTER



APPLICANT: Ashton Dierolf and Tracey Dierolf

PROPERTY LOCATION AND SIZE:

The subject property is located at 106 East Texas Street and is legally described as Tracts 59 & 60A, Abstract 422, William Dooley Survey. The subject property contains approximately 27,193 square feet and has approximately 146 feet of frontage along East Texas Street and approximately 196 feet of frontage along Jenkins Street.

REQUESTED CONDITIONAL USE AND PLANNED DEVELOPMENT OVERLAY AND COMMENTS:

The applicant is requesting a conditional use permit to allow for a restaurant in the "CBD" Central Business District. A planned development overlay is also being request to deviate from, but not be limited to a reduction in the masonry requirements from 70% to 0% in the Central Business District.

Three buildings currently exist on the subject site. It is the applicant's intent to establish a 39 seat restaurant (Brew and Batter) within an existing 970 square foot structure located at the southeast corner of East Texas Street and Jenkins Street. The applicant envisions offering waffles and non-alcoholic beverages. Initial hours are proposed from 6:00 a.m. to 3:00 p.m. Sunday through Saturday. There are 32 parking spaces shown on the site plan that are shared by tenants on the subject site. Parking required for the restaurant is 12

parking spaces. The applicant proposes use of the on-site parking and available parking in the immediate vicinity as shown on the parking plan. The Central Business District requires 70% masonry for exterior walls. The applicant is seeking a planned development overlay to reduce the exterior masonry requirement from 70% to 0% due to the existing pressed fiber board siding used on the exterior walls.

PRESENT ZONING AND USE:

The property is currently zoned "CBD" Central Business District and is developed with three structures including a multi-tenant structure which has frontage on Texas Street and two other structures which have frontage on Jenkins Street.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject property and surrounding areas were rezoned in the 1984 City Rezoning from "C-2" Community Business District to "CBD" Central Business District. West of the subject property Conditional Use Request CU05-12 (ord. 2005-27) was approved at the April 19, 2005 meeting for a restaurant with the sale and on-premise consumption of alcoholic beverages. Also on the site to the west, at the February 21, 2012 meeting Conditional Use Request CU10-15 (Ord.10-34) was approved by Council which allowed for an expansion for additional seating and a confectionary shop. Conditional Use Request CU14-02 (Ord. 2014-12) was approved by Council at the February 18, 2014 to allow for the possession, storage, retail sale and on- and off-premise consumption of alcoholic beverages (wine only) in conjunction with a winery with outdoor seating.

SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH: "CBD" Central Business District—First Baptist Church accessory use
- SOUTH: "CBD" Central Business District—public parking lot & professional office
- EAST: "CBD" Central Business District—professional office
- WEST: "CBD" Central Business District—various retail businesses

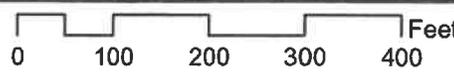
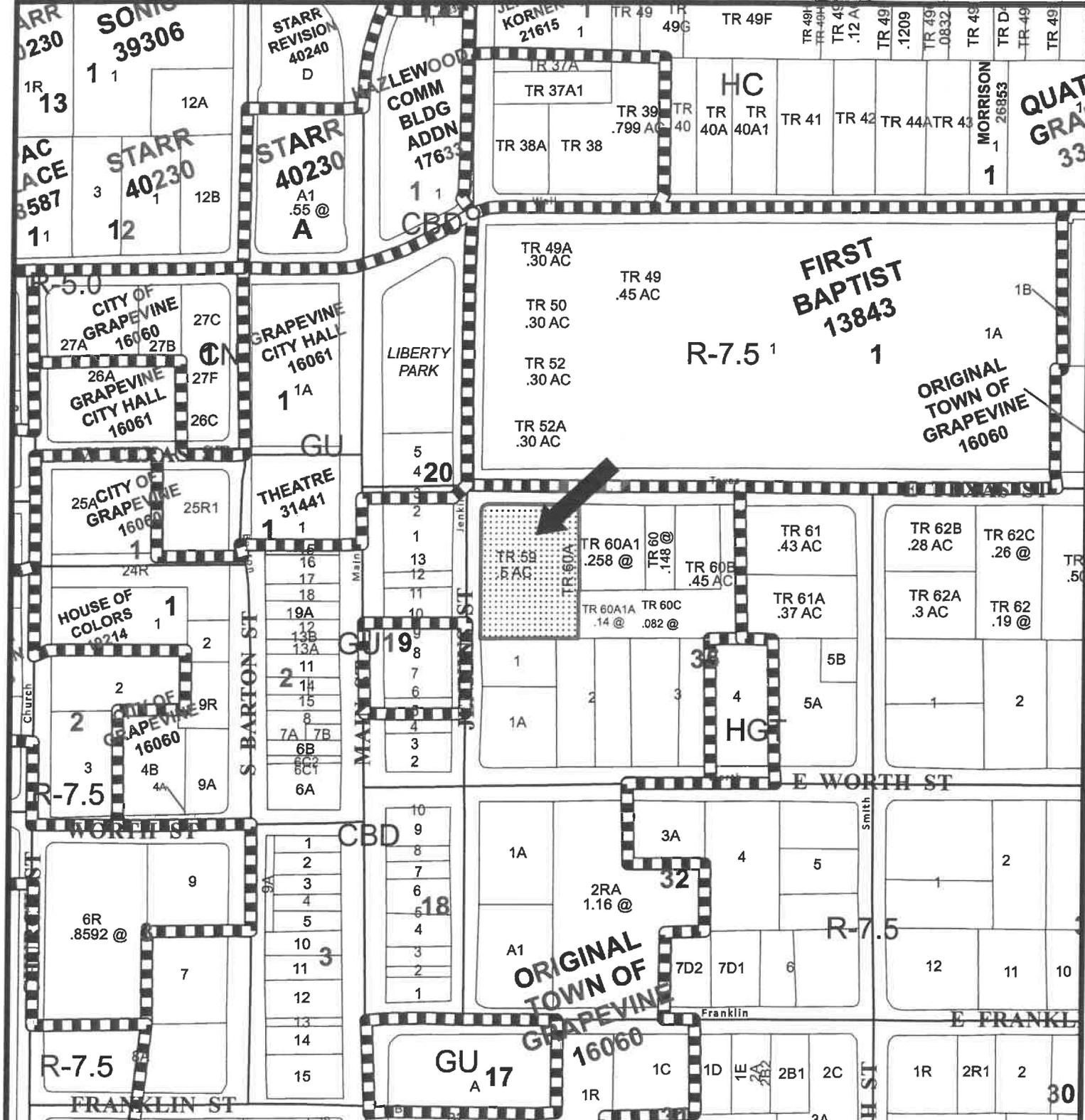
AIRPORT IMPACT:

The subject tract is located within "Zone A" zone of minimal effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map. Few activities will be affected by aircraft sounds in Zone A, except for sound sensitive activities such as auditoriums, churches, schools, hospitals, and theaters. The applicant's proposal is an appropriate use in this noise zone.

MASTER PLAN APPLICATION:

The Master Plan designates the subject property as a Central Business District land use. The applicant's request is in compliance with the Master Plan.

/at



**CU19-42/PD19-03
Brew and Batter**

Date Prepared: 1/7/2020

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

CU19-42



CITY OF GRAPEVINE

CONDITIONAL USE APPLICATION

Form "A"

PART 1. APPLICANT INFORMATION

Name of applicant / agent: / company / contact
Tracey Dierolf & Ashton Dierolf

Street address of applicant / agent:
129 South Main Street

City / State / Zip Code of applicant / agent:
Grapevine, Texas 76051

Telephone number of applicant / agent:
(817) 481-5851

Fax number of applicant/agent

Email address of applicant/agent

Mobile phone number of applicant/agent

PART 2. PROPERTY INFORMATION

Street address of subject property
106 East Texas Street

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot Block Addition William Dooley Survey, Abstract 422, Tract 59 & 60A

Size of subject property

.64 Acres

27,193 Square footage

Present zoning classification:

Proposed use of the property:

Central Business District (CBD)

Eating and drinking establishment with no service to auto. Waffle and beverage service.

Circle yes or no, if applies to this application

Outdoor speakers Yes No

Minimum / maximum district size for conditional use request:

Minimum lot area of 1500 sq.ft.; no maximum lot area

Zoning ordinance provision requiring a conditional use:

Chapter 28, Section C, Item 6

PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:

DJA Properties LLC

Street address of property owner:

2209 Crowbridge Drive

City / State / Zip Code of property owner:

Frisco, Texas 75033

Telephone number of property owner:

(972) 335-9976

Fax number of property owner:

DEC 4 2019

CU19-42

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

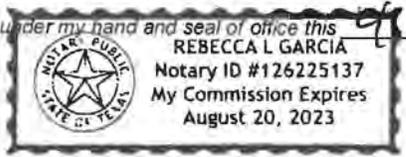
PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY

Tracey Dierolf
 Print Applicant's Name: _____ Applicant's Signature: _____

The State of Texas
 County Of Denson
 Before Me Rebecca L. Garcia (notary) on this day personally appeared Tracey Dierolf (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 9 day of December, A.D. 2019



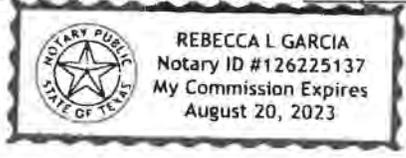
Rebecca L Garcia
 Notary In And For State Of Texas

Anne McCausland
 Print Property Owners Name: _____ Property Owner's Signature: _____

The State Of Texas
 County Of Denson
 Before Me Rebecca L. Garcia (notary) on this day personally appeared Anne McCausland (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 4 day of December, A.D. 2019



Rebecca L Garcia
 Notary In And For State Of Texas

CUI9-42

ACKNOWLEDGEMENT

All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant _____

Date: 12/4/19

Signature of Owner Quinn McCausland

Date: 12/4/19

* this is because it is AN ORIGINAL frame building

is not masonry - only reason for this application



CITY OF GRAPEVINE PLANNED DEVELOPMENT OVERLAY APPLICATION

PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact
Ashton Dierolf + Tracey Dierolf B

Street address of applicant / agent:
129 S. MAIN

City / State / Zip Code of applicant / agent:
Grapevine, TX 76051

Telephone number of applicant / agent:
(214) 507-9248

Fax number of applicant / agent:

Email address of applicant / agent:
[REDACTED]

Mobile phone number of applicant / agent:

Applicant's interest in subject property:
tenant

PART 2. PROPERTY INFORMATION

Street address of subject property
106 E Texas Street

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)
William Dosty, Survey Ab 422 part of tract 59+60A

Lot Block Addition
part of .680 Acres

Size of subject property
part of .680 Acres

Present zoning classification: Proposed use of the property:
Specialty Waffle shop

Minimum / maximum district size for request:

Zoning ordinance provision requesting deviation from:
not 70% masonry

PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:
DJA Properties

Street address of property owner:
4016 Moonlight Dr

City / State / Zip Code of property owner:
Little Elm, TX 75068

Telephone number of property owner:
469-233-5183

Fax number of property owner:
N/A

- Submit a letter describing the proposed Planned Development and note the request on the site plan document.
 - Describe any special requirements or conditions that require deviation of the zoning district regulations.
 - Describe whether the proposed overlay will, or will not cause substantial harm to the value, use or enjoyment of other property in the neighborhood.
 - Describe how the proposed planned development will add to the value, use or enjoyment of other property in the neighborhood.
 - The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All planned development overlay applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
 - All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
 - Any changes to a site plan (no matter how minor or major) approved with a planned development overlay can only be approved by city council through the public hearing process.
 - I have read and understand all the requirements as set forth by the application for planned development overlay and acknowledge that all requirements of this application have been met at the time of submittal.

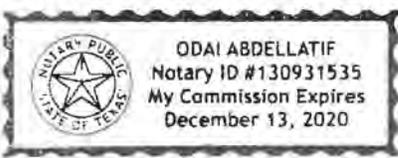
PART 4. SIGNATURE TO AUTHORIZE PLANNED DEVELOPMENT OVERLAY REQUEST AND PLACE A PLANNED DEVELOPMENT OVERLAY REQUEST SIGN ON THE SUBJECT PROPERTY

Tracey Dierolf
Print Applicant's Name: _____ Applicant's Signature: _____

The State Of TX
County Of Denton
Before Me Odai Abdellatif on this day personally appeared Tracey Dierolf
(notary) (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 31st day of Dec, A.D. 2019



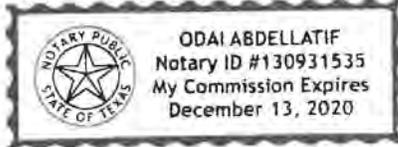
[Signature]
Notary In And For State Of Texas

Anne McCausland
Print Property Owners Name: _____ Property Owner's Signature: _____

The State Of TX
County Of Denton
Before Me Odai Abdellatif on this day personally appeared Anne McCausland
(notary) (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 31st day of DEC, A.D. 2019



[Signature]
Notary In And For State Of Texas

ACKNOWLEDGEMENT

All Planned Development Overlay Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan (no matter how minor or major) approved with a planned development overlay can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

I have read and understand all of the requirements as set forth by the application for planned development overlay and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant _____

Date: 12/31/19

Signature of Owner _____

Date: 12/31/19

CASE NAME PD19-03 / BATTER AND BREW

106 EAST TEXAS STREET

TRACTS 59 & 60 BLOCK 3 WILLIAM DOOLEY SURVEY, A-0422

SECTION	REGULATION	PROPOSED DEVIATION	EXPLANATION
SEC. 54	70% MASONRY REQUIREMENT OF THE EXTERIOR WALLS	REDUCTION OF THE 70% REQUIREMENT TO 0%	UTILIZE THE EXISTING EXTERIOR WALL MATERIAL



SLOAN & WILLIAMS WINERY

To: City of Grapevine

From: Alan Kunst, Owner/Winemaker, Sloan & Williams Winery, LLC, 112 E. Texas St.

Date: 12/16/2019

Re: Letter of Support

Sloan & Williams Winery hereby supports the forthcoming business operations to be conducted by Brew & Batter at 106 E. Texas St.

We understand parking is always an issue in Historic Downtown Grapevine and our two companies have the ability to share the parking lot directly behind our establishments. Brew & Batter will be open during the morning periods and will be able to use the parking lot. Once her establishment is closed for the day, our company can then use the same spots without any undue hardship.

We look forward to this new establishment coming to town.

Please let me know if you have any questions and/or concerns.

Regards,

Alan Kunst
Owner/Winemaker
Sloan & Williams Winery, LLC
112 E. Texas St., Grapevine, TX 76051
817-988-4723

DEC 16 2019



041942

What we have planned:

A twist on the usual breakfast/brunch/lunch. Set in a vintage location that when people come in they say " have you always been here?". Warm and comfortable with a modern vibe, with a quality that will bring people back for the unique experience, the delicious menu items and the feel good feeling they leave with. We plan to open 6am-3pm daily.

The Menu: Waffles. As the bread. We have adapted the recipes to make indulgent sandwiches for breakfast , brunch and lunch....and desserts to die for.

Coffee and Tea: A staple, we will use exclusive brands that offer a compliment to our unique menu.

Not Tea or Coffee: Seasonal Lemonades, freshly squeezed. Lavender, Peach, cranberry, mint.....
Seasonal Hot Chocolate
Bottled, vintage soda and waters

Why we chose Grapevine:

Grapevine is home. Grapevine fits the feel of what we want to do and what we want to do fits perfectly in Grapevines Historic Downtown.

We have chosen the little house at the corner of Jenkins and Texas St. It has it own private parking lot and side and street parking. And right now the parking lot is vacant during the hours we will be open, 6am-3pm daily. It is nextdoor to Sloan and Williams Outlaw Cider (who opens at 4pm daily) , they have graciously welcomed us with open arms as the perfect fit to compliment their nighttime hours....and even wrote a letter on our behalf.

We sincerely hope you will welcome us too! We love this city.

Ashton and Tracey Dierolf



ORDINANCE NO. 2020-008

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS ISSUING CONDITIONAL USE PERMIT CU19-42 TO ALLOW FOR A RESTAURANT IN A DISTRICT ZONED "CBD" CENTRAL BUSINESS DISTRICT FOR TRACT 59 AND TRACT 60 OF THE WILLIAM DOOLEY SURVEY, ABSTRACT 422 (106 EAST TEXAS STREET) ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the

overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit No. CU19-42 to allow s restaurant (Brew and Batter) in a district zoned "CBD" Central Business District Regulations within the following described property: Tract 59 and Tract 60 of the William Dooley Survey, Abstract 422 (106 East Texas Street) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to

exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 21st day of January, 2020.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

ORDINANCE NO. 2020-009

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS ISSUING PLANNED DEVELOPMENT PD19-03 TO DEVIATE FROM, BUT NOT BE LIMITED TO, A REDUCTION IN THE MASONRY REQUIREMENTS FROM 70% TO 0% IN THE "CBD" CENTRAL BUSINESS DISTRICT FOR TRACT 59 AND TRACT 60, WILLIAM DOOLEY SURVEY, ABSTRACT 422 (106 EAST TEXAS STREET) ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS PLANNED DEVELOPMENT OVERLAY PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a planned development overlay by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested planned development overlay should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking

areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested planned development overlay should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 41 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this planned development overlay, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the planned development overlay lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this planned development overlay and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this planned development overlay for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a planned development overlay in accordance with Section 41 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Planned Development Overlay PD19-03 to deviate from but not be limited to a reduction in the masonry requirements from 70% to 0% in the "CBD" Central Business District within the following described property: Tract 59 and Tract 60, William Dooley Survey, Abstract 422 (106 East Texas Street) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein planned development overlay.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 21st day of January, 2020.

APPROVED:

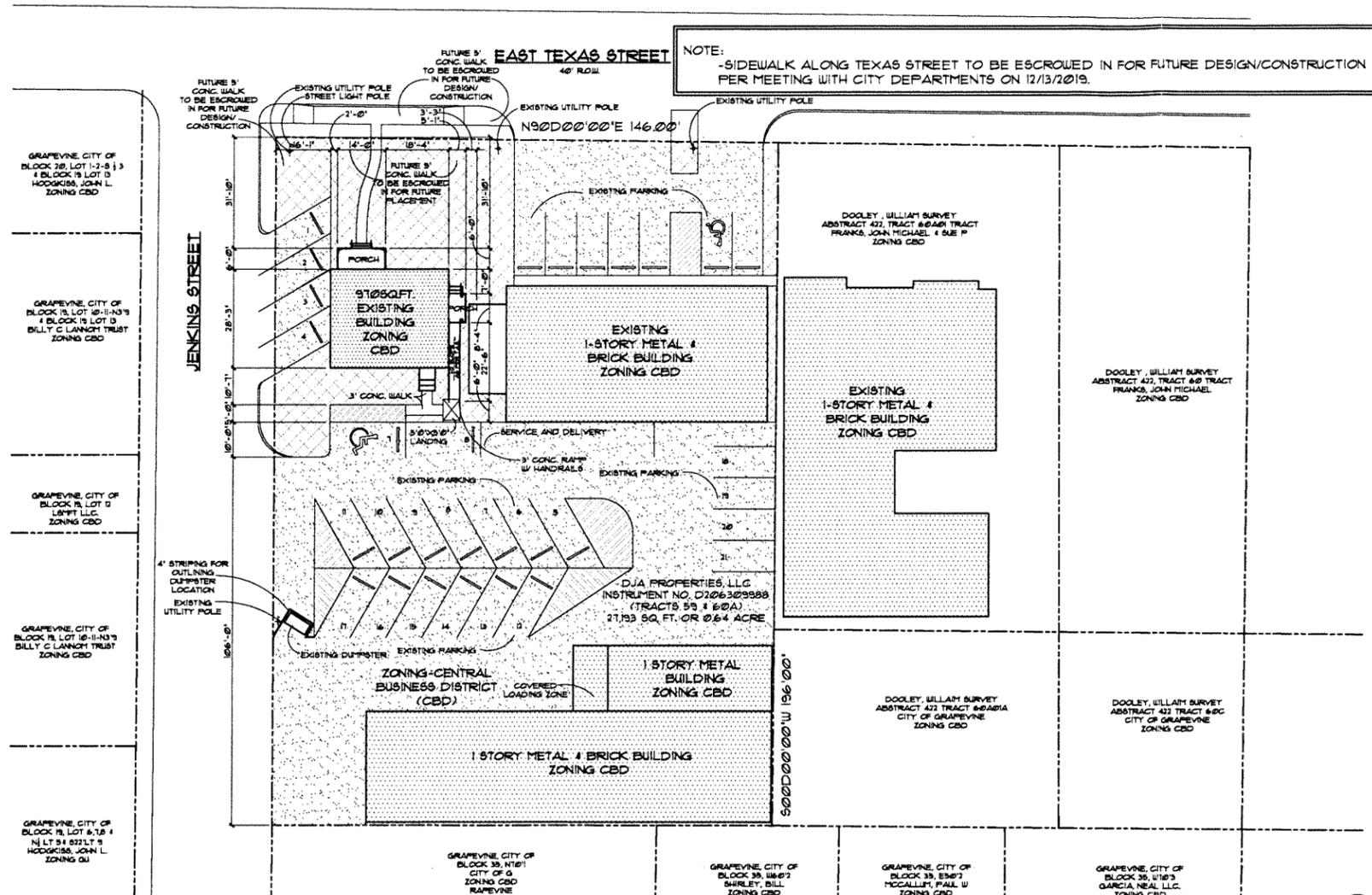
William D. Tate
Mayor

ATTEST:

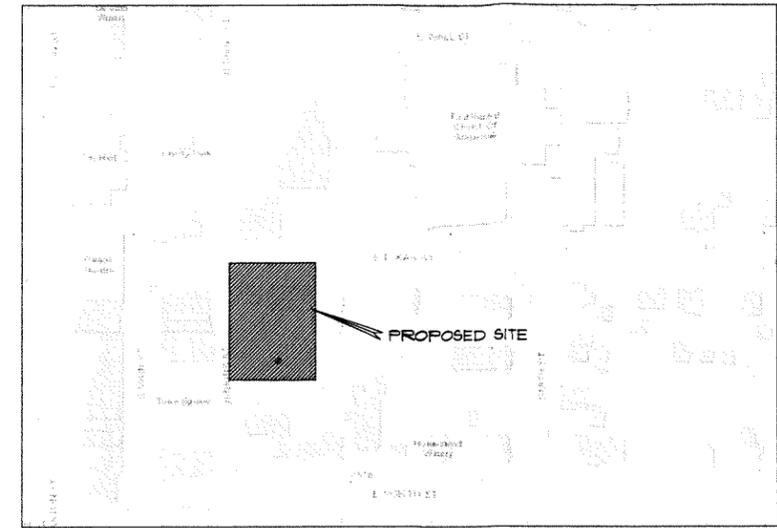
Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

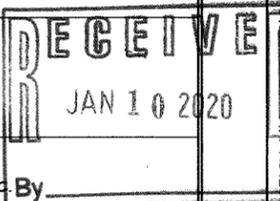


NOTE:
 -SIDEWALK ALONG TEXAS STREET TO BE ESCROWED IN FOR FUTURE DESIGN/CONSTRUCTION PER MEETING WITH CITY DEPARTMENTS ON 12/13/2019.



VICINITY MAP
 N.T.S. NORTH

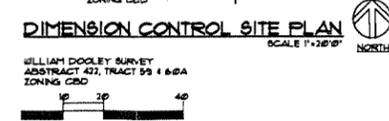
PROPERTY INFORMATION:	WILLIAM DOOLEY SURVEY ABSTRACT 422, TRACT 59 & 60A ZONING CBD
APPLICANT:	BREW AND BATTER ASHTON DIEROLF & TRACEY DIEROLF
APPLICANT'S ADDRESS:	129 SOUTH MAIN STREET GRAPEVINE, TEXAS 76031
APPLICANT'S PHONE:	(817) 481-5851
OWNER:	DJA PROPERTIES LLC
OWNER'S ADDRESS:	2209 CROWBRIDGE DRIVE FRISCO, TEXAS 75033
OWNER'S PHONE:	(972) 335-9976
PREPARER:	NATHAN HALLMARK PROJECT MANAGER MJ WRIGHT & ASSOCIATES, ARCHITECT, INC.
PREPARER'S ADDRESS:	8233 MID-CITIES BLVD. STE. A NORTH RICHLAND HILLS, TEXAS 76182
PREPARER'S PHONE:	(817) 268-5555 EXT. 7*



NOTES:
 -ALL PARKING, EXCEPT HANDICAP PARKING SPACE IS EXISTING AS SHOWN
 -SIDEWALK ALONG TEXAS STREET TO BE ESCROWED IN FOR FUTURE DESIGN/CONSTRUCTION PER MEETING WITH CITY DEPARTMENTS ON 12/13/2019.
 -EXISTING DUMPSTER LOCATION TO BE OUTLINED WITH 4' STRIPING

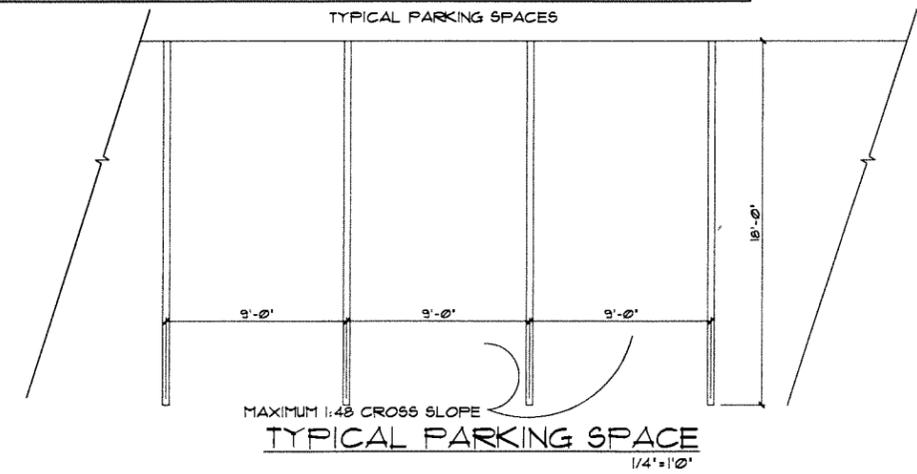
CONDITIONAL USE REQUEST:
 -CONDITIONAL USE REQUEST, CU19-42 IS A REQUEST TO ALLOW FOR A RESTAURANT IN THE CENTRAL BUSINESS DISTRICT

PLANNED DEVELOPMENT REQUEST:
 -PLANNED DEVELOPMENT REQUEST PD19-03 IS A REQUEST TO DEVIATE FROM, BUT NOT BE LIMITED TO MASONRY REQUIREMENTS IN THE CENTRAL BUSINESS DISTRICT.



PROPERTY DATA:

-LOT SIZE:	27,193 SQFT.
-BUILDING SIZE:	9,710 SQFT.
-FLOOR AREA RATIO(FAR):	0.35
-IMPERVIOUS COVERAGE:	23,063 SQFT
-OPEN SPACE:	3,160 SQFT.
-BUILDING HEIGHT:	17'-8" HIGH
-PARKING (1:1.3 PERSONS MAX OCCUPANCY LOAD)	
KITCHEN (1 PERSON/200 SQFT.) 200 SQFT. /200 SQFT = 1 PERSON	
DINING (1 PERSON/15 SQFT.) 503 SQFT/15 SQFT. = 34 PERSONS	
TOTAL REQUIRED PARKING = 1 PERSON + 34 PERSONS = 35 PERSONS 1 PARKING SPACE PER 3 PERSONS MAX. OCCUPANCY LOAD = 35 PERSONS / 3 PERSONS =	
12 REQUIRED PARKING SPACES.	
PROVIDED PARKING:	REFER TO SHEET A2 FOR PARKING ANALYSIS



FOR APPROVAL ONLY -NOT FOR CONSTRUCTION-

OWNER	DATE
CONTRACTOR	DATE

CASE NAME: BREW AND BATTER
 CASE NUMBER: CU19-42/PD19-03
 LOCATION: CORNER OF JENNINGS STREET & EAST TEXAS STREET

MAYOR _____ SECRETARY _____
 DATE: _____
 PLANNING AND ZONING COMMISSION

 CHAIRMAN _____
 DATE: 01/10/2020
 SHEET: 1 OF 4
 APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES
 DEPARTMENT OF DEVELOPMENT SERVICES

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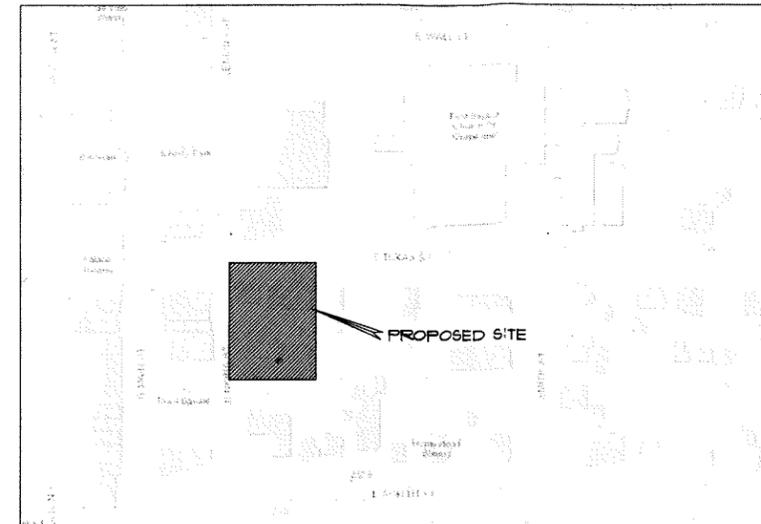
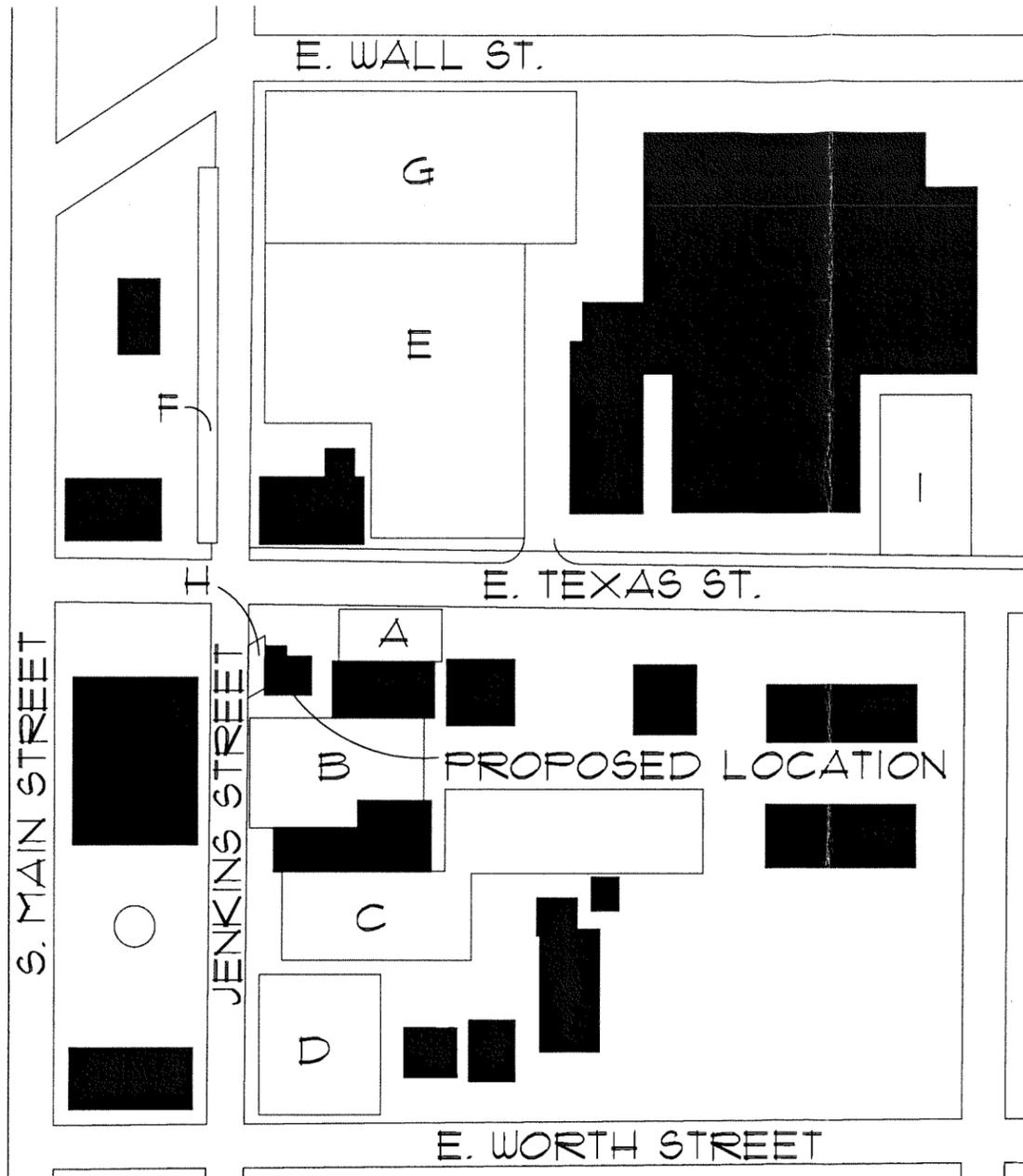
Date 01/10/2020
 Drawn By NEH
 Checked By MJW
 Revisions

BREW & BATTER
 106 EAST TEXAS STREET
 GRAPEVINE, TEXAS

8233 MIDCITIES BOULEVARD STE. A, NRN TX 76182
 OFFICE: 817/268-5555 MJW@MJWRIGHT.COM
 FAX: 817/268-5558 WWW.MJWRIGHT.COM

M.J. WRIGHT & ASSOCIATES, INC.
 ARCHITECTS

Sheet No.
 A.I.
 Project No.
 19130DIE



VICINITY MAP
N.T.S. NORTH

PARKING ANALYSIS CHART

USE = EATING AND BEVERAGE SERVICE
 AREA SQ. FT. = 910 SQFT.
 PARKING REQUIRED: 12
 PARKING PROVIDED: 229
 *NOTE: ADEQUATE PARKING IS PROVIDED DUE TO OFF-STREET PARKING

PARKING LOT	AMOUNT OF PARKING
A	7 7 SPACES AVAILABLE
B	21 AFTER 4PM: 12 SPACES AFTER 7PM: 9 SPACES
C	48 GENERAL PARKING
D	32 GENERAL PARKING
E	50 CONDITIONAL PARKING
F	20 GENERAL PARKING
G	50 CONDITIONAL PARKING
H	4 GENERAL PARKING

CASE NAME: BREW AND BATTER
 CASE NUMBER: CU19-42/PD19-03
 LOCATION: CORNER OF JENNINGS STREET & EAST TEXAS STREET

 MAYOR SECRETARY

DATE: _____
 PLANNING AND ZONING COMMISSION

 CHAIRMAN

DATE: 01/10/2020

SHEET: 2 OF 4

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

DEPARTMENT OF DEVELOPMENT SERVICES

FOR APPROVAL ONLY
-NOT FOR CONSTRUCTION-

OWNER	DATE
CONTRACTOR	DATE

Date: 01/10/2020
 Drawn By: NEH
 Checked By: MJW
 Revisions:

THIS ELECTRONIC SUBMISSION IS BEING MADE UNDER THE AUTHORITY OF MICHAEL J. WRIGHT ARCHITECTS, INC. ON BEHALF OF THE ARCHITECT. THE ORIGINAL P.L.E. THIS ELECTRONIC SUBMISSION FILE MAY BE USED AS A BACKGROUND FOR THE REVIEW OF THE PROJECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT.

BREW & BATTER
 106 EAST TEXAS STREET
 GRAPEVINE, TEXAS



M.J. WRIGHT & ASSOCIATES, INC.
 8233 MIDCITIES BOULEVARD STE. A, IRVING, TX 75038
 OFFICE: 817/268-5555 MJW@MJWRIGHT.COM
 FAX: 817/268-5558 WWW.MJWRIGHT.COM
 ARCHITECTS

Sheet No.
 A1.2
 Project No.
 19130DIE

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Date 01/10/2020
 Drawn By NEH
 Checked By MJW
 Revisions

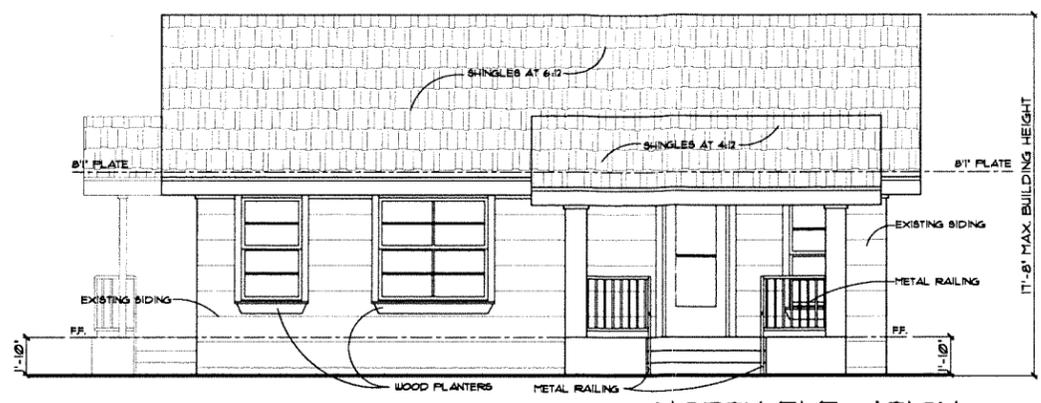
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BREW & BATTER
 106 EAST TEXAS STREET
 GRAPEVINE, TEXAS

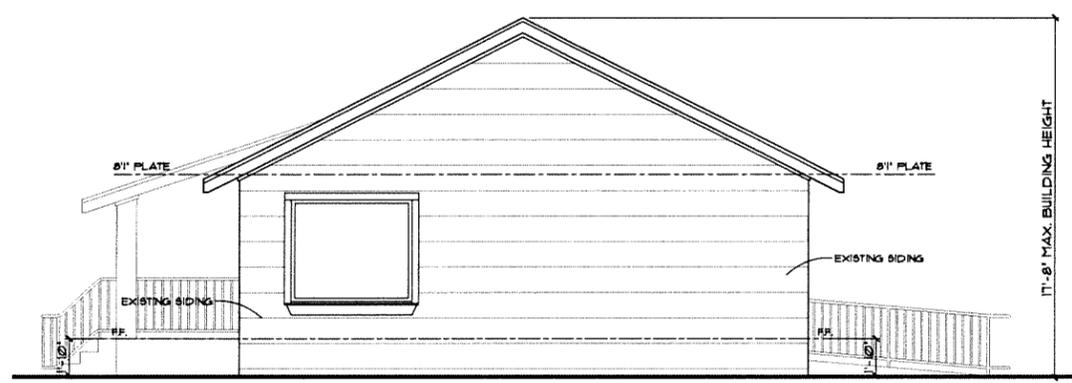


M.J. WRIGHT & ASSOCIATES, INC.
 9233 MIDCITIES BOULEVARD STE. A, IRVING, TX 75062
 OFFICE: 917/268-8555 M.J.WRIGHT.COM
 FAX: 917/268-8556 WWW.MJWRIGHT.COM

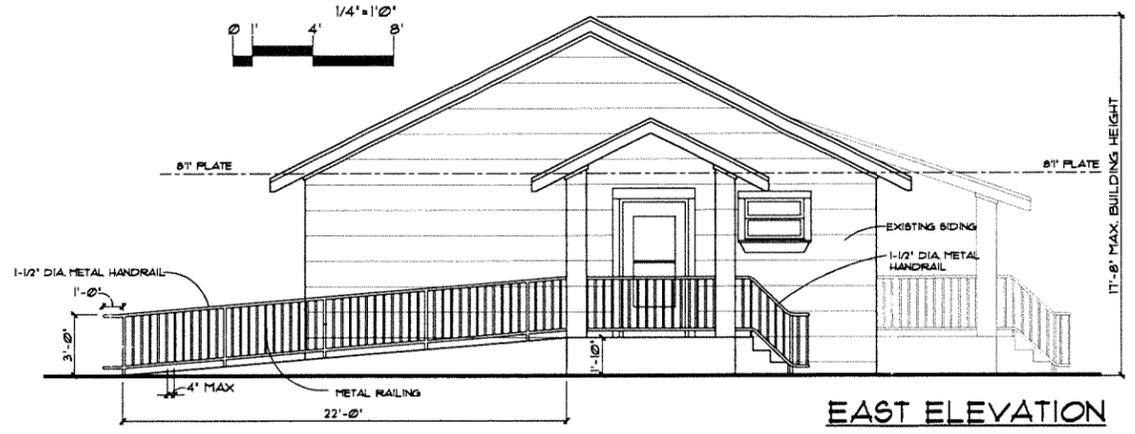
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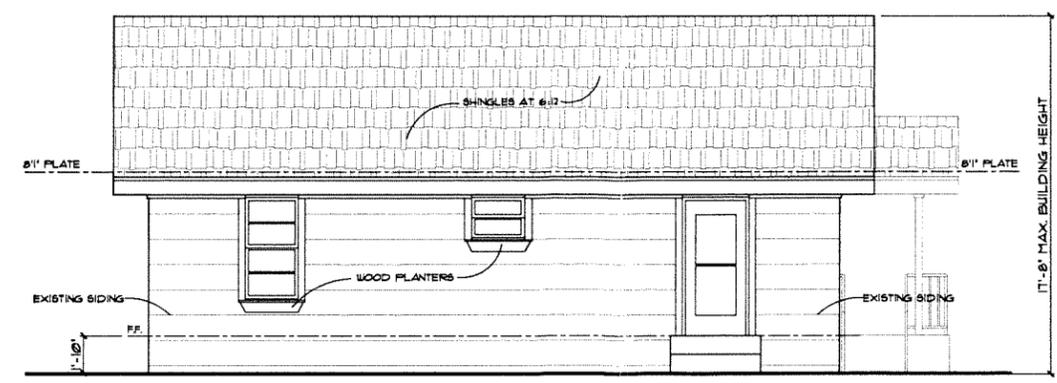
NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

FOR APPROVAL ONLY -NOT FOR CONSTRUCTION-	
OWNER	DATE
CONTRACTOR	DATE

CASE NAME: BREW AND BATTER
 CASE NUMBER: CU19-42/PD19-03
 LOCATION: CORNER OF JENNINGS STREET
 & EAST TEXAS STREET

MAYOR _____ SECRETARY _____
 DATE: _____
 PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: 01/10/2020

SHEET: 4 OF 4

APPROVAL DOES NOT AUTHORIZE ANY
 WORK IN CONFLICT WITH ANY CODES OR
 ORDINANCES

DEPARTMENT OF DEVELOPMENT SERVICES

Sheet No.
A3
 Project No.
 19130DIE

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: JANUARY 21, 2020

SUBJECT: APPROVAL FOR THE PURCHASE OF A PUMPER FIRE APPARATUS FOR THE FIRE DEPARTMENT

RECOMMENDATION: City Council to consider approval for the purchase of a pumper fire apparatus from Siddons-Martin Emergency Group for the Fire Department.

FUNDING SOURCE: Funds are available in the Motor Vehicles budget (325-48910-210-000-200001) for a total amount not to exceed \$845,263.

BACKGROUND: This purchase is for one 2020 Pierce Custom Velocity Pumper Fire Apparatus for the Grapevine Fire Department replacing unit 10109 as approved in the FY 2020 Replacement Schedule. The specifications meet the Fire and Fleet requirements.

This purchase will be made in accordance with an existing interlocal agreement with Houston-Galveston Area Council (H-GAC) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to Siddons-Martin Emergency Group. The Fleet Service and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

Staff recommends approval.

PH/LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: JANUARY 21, 2020

SUBJECT: APPROVAL TO RENEW AN ANNUAL CONTRACT FOR MEDICAL CONTROL SERVICES

RECOMMENDATION: City Council to consider the renewal of an annual contract for medical control services with BEST EMS for the Fire Department.

FUNDING SOURCE: Funds for this purchase are currently available in account 100-44530-210-006 (EMS Professional Fees) for an amount not to exceed \$31,282.

BACKGROUND: The Grapevine Fire Department requests a professional services contract with BEST EMS for medical control services in part due to the close affiliation between BEST EMS and Baylor Scott & White Medical Center at Grapevine. This affiliation will allow on-duty Baylor Scott & White emergency department physicians to provide 24-hours a day medical guidance to Grapevine Fire Department paramedics by phone and in person. Dr. Justin Norheim will be the principle contact with BEST EMS.

Dr. Norheim is an Emergency Department physician at Baylor Scott & White Medical Center at Grapevine. BEST EMS currently provides Medical Control Services to nine local fire departments including Carrollton, Euless, McKinney, Keller, Colleyville, Argyle, Trophy Club, Roanoke, and DFW Airport. This contract was for one-year with four optional renewals. If approved, this will be the final renewal available.

This procurement will be made in accordance with Local Government Code Chapter 252, Subchapter B, § 252.022. General Exemptions (a) (4), professional services.

Staff recommends approval.

JS/LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER **BR**

MEETING DATE: JANUARY 21, 2020

SUBJECT: APPROVAL FOR THE PURCHASE OF EXERCISE EQUIPMENT FOR THE REC OF GRAPEVINE

RECOMMENDATION: City Council to consider approval for the purchase of exercise equipment for The REC from Com-Fit for the Parks and Recreation Department.

FUNDING SOURCE: Funds are available in the Machinery and Equipment budget (100-48860-312-008) for a total amount not to exceed \$18,903.

BACKGROUND: his purchase is for exercise and fitness equipment to include a treadmill and stairmaster for The REC of Grapevine fitness room. PARD trades out one-third of the cardiovascular equipment annually to keep the equipment under warranty.

This purchase will be made in accordance with an existing interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to Comm-Fit. The Parks and Recreation and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

Staff recommends approval.

TK/LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: JANUARY 21, 2020

SUBJECT: APPROVAL FOR THE PURCHASE OF EXERCISE EQUIPMENT FOR THE REC

RECOMMENDATION: City Council to consider approval for the purchase of exercise equipment for The REC from Team Marathon Fitness for the Parks and Recreation Department.

FUNDING SOURCE: Funds are available in the Machinery and Equipment budget (100-48860-312-008) for a total amount not to exceed \$45,938.30.

BACKGROUND: This project is part of the annual equipment replacement for The REC. Every year The REC replaces approximately 1/3 of its cardiovascular equipment that is out of warranty and beyond its life cycle for equipment being used in a commercial setting.

This purchase will be made in accordance with an existing interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to Team Marathon Fitness. The Parks and Recreation and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would best meet the needs of the City.

Staff recommends approval.

TK/LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: JANUARY 21, 2020

SUBJECT: APPROVAL OF AN ORDINANCE FOR PURCHASE OF POLICE VEHICLE

RECOMMENDATION: City Council to consider an ordinance to transfer funds from the Crime Control District Fund for Leases and Rentals to the Capital Equipment Fund for a vehicle acquisition.

FUNDING SOURCE: Upon approval, funds in an estimated amount of \$20,000 will be available in the Capital Equipment Fund 325-48910-209-000-200001.

BACKGROUND: Funding is currently available in the Crime Control District fund for vehicle leases (117-44573-209-003) in the amount of \$20,000. However, the Department has determined the purchase of a vehicle, as opposed to a lease, will provide the required needs of the department at an overall lower cost.

The vehicle the department will purchase with these funds, in the near future, will be used for various covert police operations. Upon approval of the fund transfer, staff will locate a vehicle for purchase and bring it back to Council for approval.

Fleet Service staff recommends approval.

ORDINANCE NO. 2020-002

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE TRANSFER OF \$20,000 FROM THE CRIME CONTROL DISTRICT FUND TO THE CAPITAL PROJECT FUND AND APPROPRIATION OF THE \$20,000 IN THE CAPITAL PROJECT FUND; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City Council of the City of Grapevine desires to transition from a leased Police vehicle to a purchased Police vehicle; and

WHEREAS, funding for the project is available in the Crime Control District Fund; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act and Chapter 211 of the Local Government Code; and

WHEREAS, the City Council deems the adoption of this ordinance to be in the best interests of the health, safety, and welfare of the public.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council hereby authorizes \$20,000 be transferred from the Crime Control District Fund to the Capital Project Fund and appropriated in the Capital Project Fund.

Section 3. That the terms and provisions of this ordinance shall be deemed to be severable, and that if the validity of any section, subsection, word, sentence or phrase shall be held to be invalid, it shall not affect the remaining part of this ordinance.

Section 4. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 21st day of January, 2020.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER **BR**

MEETING DATE: JANUARY 21, 2020

SUBJECT: APPROVAL FOR THE PURCHASE OF A FORD F550 WITH SERVICE BODY AND CRANE FOR THE PUBLIC WORKS DEPARTMENT

RECOMMENDATION: City Council to consider approval for the purchase of a Ford F550 with service body and crane from Chastang Ford for the Public Works Department.

FUNDING SOURCE: Funds are available in the Motor Vehicles budget (200-48910-531-002-200001) for a total amount not to exceed \$133,988.

BACKGROUND: This purchase is for one 2020 Ford F550 with service body and crane for the Water Utility division as approved in FY 2020 Vehicle Replacement Schedule. This vehicle is used in the daily operations and meets all the specifications and requirements of Public Works and Fleet Services. This is for the replacement a 2010 Chevy one ton service body vehicle.

This purchase will be made in accordance with an existing interlocal agreement with Houston-Galveston Area Council (H-GAC) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to Chastang Ford. The Fleet Service and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

Staff recommends approval.

PH/LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: JANUARY 21, 2020

SUBJECT: FIRST AMENDMENT TO GROUND AND TOWER LEASE AGREEMENT WITH SPRINT (CLEAR WIRELESS) FOR BARTON WATER

RECOMMENDATION: City Council consider adopting a resolution approving the First Amendment to the Tower/Ground Lease Agreement with Clear Wireless LLC for the purpose of installing operating, and maintaining communications facilities on the Barton Water Tower.

FUNDING SOURCE:

BACKGROUND: The initial lease was approved by City Council on July 21, 2009, for a period of 20 years. The initial rent was \$20,000 annually. The current annual payment is \$26,450. Under the amended lease, the City of Grapevine will receive an annual lease payment of \$34,000.

The main points of the amendment include:

- the installation of additional antennas
- update lease to indicate correct corporate names and/or subsidiary
- adjusting the annual rental rate (effective immediately)
- permits Lessee to add, modify and/or replace equipment in order to comply with federal, state or local mandated applications; and
- extend the term of the lease another 20 years.

The City Attorney and Staff have reviewed the terms of the agreement and recommend approval.

RESOLUTION NO. 2020-002

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, APPROVING THE FIRST AMENDMENT TO THE TOWER/GROUND LEASE AGREEMENT WITH CLEAR WIRELESS LLC, FOR THE INSTALLATION OF COMMUNICATIONS EQUIPMENT INCLUDING ANTENNAS, CABLES AND OTHER COMMUNICATION INSTRUMENTS ON THE BARTON WATER TOWER AND PROVIDING AN EFFECTIVE DATE

WHEREAS, on July 21, 2009, the City of Grapevine (hereinafter referred to as ("Grapevine")) entered into a Tower/Ground Lease Agreement with Clear Wireless LLC, ("Clear Wireless"), a Nevada limited liability company, is a wholly owned subsidiary of Sprint Corporation; and

WHEREAS, the City of Grapevine is in agreement to enter into the First Amendment to said Tower/Ground Lease Agreement with Clear Wireless LLC; and

WHEREAS, all legal prerequisites for the adoption of this resolution have been met, including but not limited to the Local Government Code and the Open Meetings Act; and

WHEREAS, the City Council hereby declares that the approval of this resolution is in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated in the preamble of this resolution are true and correct and are hereby incorporated into the body of this resolution as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine, Texas hereby approves the First Amendment to the Tower/Lease Agreement, for the Barton Water Tower located at 211 West Texas Street, with Clear Wireless, LLC.

Section 3. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 21st day of January, 2020.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: JANUARY 21, 2020

SUBJECT: APPROVAL OF THE FIRST AMENDMENT TO THE CONTRACT FOR GENERAL ENGINEERING CONSULTING SERVICES

RECOMMENDATION: City Council to consider the first amendment to the contract for general engineering consulting services with Pacheco Koch Consulting Engineers, Inc.

FUNDING SOURCE: Funds are available in the estimated amount of \$250,000 in the Utility and Street Permanent Capital Maintenance Fund 174 and Stormwater Drainage Utility Fund 116.

BACKGROUND: On May 7, 2019, Council approved a contract for general consulting services in the amount of \$300,000 with Pacheco Koch Consulting Engineers, Inc. These services included planning studies, design, inspection and surveying for water, sewer and storm drain improvements.

Staff issued 15 task orders against the original contract. Four task orders were for water and wastewater projects and the remaining 11 were for storm drain projects. Based on the complexity of the improvements designed, staff will elect to construct with their own forces or retain an outside contractor through a competitive bid process.

We have reached the end of the initial funding capacity and seek \$250,000 for additional task orders.

Staff recommends approval.

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: JANUARY 21, 2020

SUBJECT: APPROVAL OF THE SECOND CONTRACT AMENDMENT FOR LAND ACQUISITION SERVICES

RECOMMENDATION: City Council to consider a second amendment to the contract for land acquisition services with Teague, Nall, and Perkins, Inc.

FUNDING SOURCE: Funding for this purchase is limited to the operating budgeted amount by each department in an amount not to exceed \$50,000.

BACKGROUND: The purpose of this contract was to establish third party support for acquisition of property required by the City for capital projects on an as-needed basis. These services included necessary surveying, exhibits, appraisal, negotiation, title curative, and closing support. Staff anticipated that the originally approved \$100,000 fee would support up to 15 parcels depending on the complexity of the acquisition. Since the award of the contract on October 3, 2017, 10 task orders have been created for a total of \$97,000 in expenses. An additional \$50,000 was awarded on October 2, 2018 and nine additional task orders were created for a total of \$49,500 in expenses.

Staff recommends an additional \$50,000 be awarded to Teague, Nall and Perkins for future land acquisition services. Staff intends to use this contract in support of capital projects with an emphasis on utility projects and other City Council supported initiatives.

Staff recommends approval.

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER ^{BR}

MEETING DATE: JANUARY 21, 2020

SUBJECT: APPROVAL OF PURCHASE OF PROJECT MANAGEMENT SOFTWARE

RECOMMENDATION: City Council to consider purchase of project management software from ProjectMates.

FUNDING SOURCE: Upon approval, funds will be available in the Utility Enterprise Capital Fund in the estimated amount of \$130,000.

BACKGROUND: Presently, Public Works seeks a more efficient means to manage our departmental projects within a consolidated information portal. Public Works staff selected ProjectMates as the vendor after viewing other project management solutions.

ProjectMates is a cloud based software that functions as a project management software for construction projects. ProjectMates will provide a central location for project document management, project communication, project budget tracking, and project status reports on Public Works' construction projects. The software will provide improved communication with outside vendors and City staff by providing a central location that vendors and City staff can view and edit documents, budget information, and communicate with those assigned to a project. Fifty licenses are included for use by Public Works and other departments with capital projects.

ProjectMates will be used on all future public works capital projects including rehabilitation projects for the water and wastewater plants, future inflow and infiltration projects, raw water pump station and pipeline, and water and wastewater main repair and rehabilitation. ProjectMates is used by North Texas Municipal Water District, Trinity River Authority and several area local municipalities. This software will also be utilized by other city departments for their CIP projects and will make the tracking and managing of all projects more efficient for the departmental user, the Finance Department and for project reporting to city management and the city council.

The cost of implementation is \$130,000 and the recurring annual service fees will be approximately \$49,100 and will be included in departmental budgets. The implementation services and licensing will be purchased under a Texas DIR contract.

Staff recommends approval.

STATE OF TEXAS
COUNTY OF TARRANT
CITY OF GRAPEVINE

The City Council of the City of Grapevine, Texas met in Regular Session on this the 7th day of January, 2020 in the City Council Chambers, Second Floor, 200 South Main Street, with the following members present:

William D. Tate	Mayor
Darlene Freed	Mayor Pro Tem
Sharron Rogers	Council Member
Chris Coy	Council Member
Duff O'Dell	Council Member
Paul Slechta	Council Member
Leon Leal	Council Member

constituting a quorum, and with the following members of the City Staff:

Bruno Rumbelow	City Manager
Jennifer Hibbs	Assistant City Manager
Matthew C.G. Boyle	Assistant City Attorney
Tara Brooks	City Secretary

Call to Order

Mayor Pro Tem Freed called the meeting to order at 6:45 p.m.

Item 1. Executive Session

Mayor Pro Tem Freed announced the City Council would recess to the City Council Conference Room to conduct a closed session regarding:

- A. Real property relative to deliberation of the purchase, exchange, lease, sale or value of real property (City facilities, historic preservation (608 South Dooley Street) Public Works, and the 185 acres) pursuant to Section 551.072, Texas Government Code.
- B. Conference with City Manager and Staff to discuss and deliberate commercial and financial information received from business prospects the City seeks to have locate, stay, or expand in the City; deliberate the offer of a financial or other incentive; with which businesses the City is conducting economic development negotiations pursuant to Section 551.087, Texas Government Code.

Mayor Tate joined the meeting in Executive Session at 6:47 p.m. The City Council recessed to the City Council Conference Room and began the closed session at 6:47 p.m. The closed session ended at 7:25 p.m.

Upon reconvening in open session in the Council Chambers, Mayor Tate asked if there was any action necessary relative to Sections 551.072 or 551.087.

In regards to Section 551.072, City Manager Bruno Rumbelow requested Council authorize the acquisition of the R. J. Roberson Farmhouse under the terms proposed by the owner and authorize the City Manager to execute all associated documents and to take all other necessary action.

Motion was made to authorize the acquisition of the R. J. Roberson Farmhouse under the terms proposed by the owner and authorize the City Manager to execute all associated documents and to take all other necessary action.

Motion: Coy
Second: Freed
Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal
Nays: None
Approved: 7-0

NOTE: City Council continued with the Regular portion of the Agenda in open session in the City Council Chambers.

Mayor Tate called the regular meeting to order at 7:30 p.m.

REGULAR MEETING

Item 2. Invocation

Council Member Coy delivered the invocation.

Item 3. Posting of the Colors and Pledges of Allegiance

Boy Scout Troop 928 posted the colors and led the Pledges of Allegiance.

Item 4. Citizen Comments

Pam Braak, 520 Briarcraft Drive, Grapevine, representing the Grapevine Garden Club, thanked the City for the gardening and horticulture programs it provides.

Deborah Boyle, 4105 Mapleridge Drive, Grapevine, representing the Botanical Garden Greenhouse thanked the City for the program to reintroduce native species back into the environment.

Matt Taylor, 1710 Overlook Drive, Grapevine, thanked the City for the Parks and Recreation Go Wild Program.

Dinah Cancellor, 890 Harbor Court, Grapevine, President of the Grapevine Garden Club, spoke about the Enhancing Our Natural World Program and thanked the City for the support of the Garden Club.

Ray Chancellor, 890 Harbor Court, Grapevine, with the Southlake Ornithological Society thanked the City for the proclamation for Bird Sanctuary Week, and discussed the bird habitats in this area.

Angelina Francis, 1721 Stoneway Drive, Grapevine, a student at Grapevine High School, thanked the City for the H.E.R.E. program.

Alexandra Zavala, 1902 Shorewood, Grapevine, a student at Grapevine High School, thanked the City for the H.E.R.E. program.

Noel Bennett, 2501 Bear Haven Drive, Grapevine, thanked the City for the H.E.R.E. program.

Genesis Reyes-Petriz, 2100 Grayson Drive, Apartment 2100, Grapevine,

J.J. Burton, 3604 Shady Brook Drive, Bedford, a teacher at Grapevine High School thanked the City for the ecological programs it provides for students.

Sara Rayon, Hidden Lakes Cove,

Jessika Calder Wilkinson, 3312 Lexington Avenue, Grapevine, thanked the City for the Go Wild Program.

Paul Kocurek, 3312 Lexington Avenue, Grapevine, thanked the City for the Go Wild Program.

Louisa Hilton, 2713 Pin Oaks Drive, Grapevine, a second grade teacher at Dove Elementary, thanked the City for the programs it provides to second graders, specifically the Go Wild Program.

PRESENTATIONS

Item 5. Parks and Recreation Director to present Parks and Recreation Department update.

Parks and Recreation Director Kevin Mitchell presented this item to Council and highlighted the mission and vision of the department. He also discussed the accomplishments over the past year including \$11.8 million in received grant funds, 93 community events, and over 18,000 memberships at The REC. He also highlighted the special needs programs, the Vineyards Campgrounds, the Lake Parks the associations with Keep Grapevine Beautiful and Friends of Grapevine Baseball and Softball, as well as the other partnerships including the Goodwill Summer Earn and Learn program.

NEW BUSINESS

Item 6. Consider an agreement with WGI Parking Planners for consulting work relative to wayfinding signage and the implementation of a City website parking map, and take any necessary action.

Development Services Director Scott Williams presented this item and introduced Nicole Chinaea with WGI Parking Partners who described the project and answered questions from Council.

Motion was made to approve the agreement with WGI Parking Planners for consulting work relative to wayfinding signage and the implementation of a City website parking map.

Motion: Freed

Second: Coy

Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal

Nays: None

Approved: 7-0

CONSENT AGENDA

Consent items are deemed to need little Council deliberation and were acted upon as one business item. Any member of the City Council or member of the audience may request that an item be withdrawn from the consent agenda and placed before the City Council for full discussion. No one requested to remove any items from the consent agenda.

Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations.

Item 7. Consider **Resolution No. 2020-001** adopting the Tarrant County Hazard Mitigation Action Plan.

Fire Chief Darrell Brown recommended approval of the resolution adopting the Tarrant county Hazard Mitigation Action Plan. This plan ensures Tarrant County and participating entities comply with the Disaster Mitigation Act of 2000 and it's implementing regulations, which maintains eligibility to apply for federal technical assistance and post-disaster hazard mitigation project funding. The plan has been conditionally approved by the Federal Emergency Management Agency (FEMA).

Motion was made to approve the consent agenda as presented.

Motion: Rogers

Second: O'Dell

Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal

Nays: None

Approved: 7-0

RESOLUTION NO. 2020-001

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ADOPTING THE TARRANT COUNTY HAZARD MITIGATION ACTION PLAN AND PROVIDING FOR AN EFFECTIVE DATE

Item 8. Consider the purchase and installation of synthetic grass from Synthetic Grass Pros.

Parks and Recreation Director Mitchell recommended approval of the purchase and installation of synthetic grass to be installed at Bear Creek Dog Park and the Community Outreach Center for a total amount not to exceed \$71,797.

Prior to voting on the consent agenda, Council Member Rogers asked Parks and Recreation Director Mitchell about the amount of grass the City was purchasing.

Motion was made to approve the consent agenda as presented.

Motion: Rogers
Second: O'Dell
Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal
Nays: None
Approved: 7-0

Item 9. Consider the purchase and installation of alarm push-bar devices at The REC of Grapevine from Fairway Supply Inc.

Parks and Recreation Director Mitchell and Public Works Director Bryan Beck recommended approval of the purchase and installation of alarm push-bar devices for a total amount not to exceed \$20,465.

Motion was made to approve the consent agenda as presented.

Motion: Rogers
Second: O'Dell
Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal
Nays: None
Approved: 7-0

Item 10. Consider the purchase of a 2020 Harley-Davidson police motorcycle from Longhorn Harley-Davidson.

Police Chief Mike Hamlin and Public Works Director Bryan Beck recommended approval of the purchase of a Harley-Davidson police motorcycle for an amount not to exceed \$35,991.

Motion was made to approve the consent agenda as presented.

Motion: Rogers

Second: O'Dell
Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal
Nays: None
Approved: 7-0

Item 11. Consider the approval for the purchase of twelve Ford vehicles from Sam Pack's Five Star Ford.

Public Works Director Beck recommended approval of the purchase of twelve Ford vehicles for Public Works, Parks, Utilities, Fire and Police for an estimated amount of \$106,208.

Motion was made to approve the consent agenda as presented.

Motion: Rogers
Second: O'Dell
Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal
Nays: None
Approved: 7-0

Item 12. Consider ratification of the emergency purchase of clarifier concrete crack repairs from Western Specialty Contractors.

Public Works Director Beck recommended approval of the ratification of the emergency purchase of clarifier concrete crack repairs for \$32,900 that were required by TCEQ upon a recent inspection of the tanks.

Motion was made to approve the consent agenda as presented.

Motion: Rogers
Second: O'Dell
Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal
Nays: None
Approved: 7-0

Item 13. Consider approval for the award of an informal request for quote for replacement of isolation valves for High Service Pump No. 5.

Public Works Director Beck recommended approval of the award of the informal request for quote for replacement of isolation valves for an amount not to exceed \$35,494.

Council Member Rogers did have a question about the amount of grass we are purchasing as requested in item 8, which was answered by Parks and Recreation Director answered her question.

Item 14. Consider a waterline oversizing reimbursement to Westwood Development Group for the construction of a 12" water line along Northwest Highway and **Ordinance No. 2020-001** appropriating funds.

Public Works Director Beck recommended approval of the reimbursement for waterline oversizing for an amount not to exceed \$42,771. The development's demand requires a proposed 8" water line. The City's Master Plan calls for a 12" water line to serve future needs. As such, the City will require the developer to install a 12" water line and will reimburse the developer for the cost difference between the 8" and 12" line.

Council Member Rogers did have a question about the amount of grass we are purchasing as requested in item 8, which was answered by Parks and Recreation Director answered her question.

ORDINANCE NO. 2020-001

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE APPROPRIATION OF \$42,771 IN THE UTILITY ENTERPRISE CAPITAL FUND; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 15. Consider the minutes of the December 17, 2019 Regular City Council meeting.

City Secretary Tara Brooks recommended approval of the minutes as provided.

Council Member Rogers did have a question about the amount of grass we are purchasing as requested in item 8, which was answered by Parks and Recreation Director answered her question.

ADJOURNMENT

Motion was made to adjourn the meeting at 8:28 p.m.

Motion: O'Dell

Second: Coy

Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal

Nays: None

Approved: 7-0

Passed and approved by the City Council of the City of Grapevine, Texas on this the 21st day of January 21, 2020.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: JANUARY 21, 2020

SUBJECT: FINAL PLAT APPLICATION
LOT 1, BLOCK 1, SOUTHLAND ADDITION

PLAT APPLICATION FILING DATE..... January 14, 2020

APPLICANTScott Matthews, Alston Construction

REASON FOR APPLICATION..... To plat unplatted property into one (1) lot

PROPERTY LOCATION Northeast Corner of Kubota Drive and SH 121

ACREAGE..... 6.686

ZONING CC

NUMBER OF LOTS 1

PREVIOUS PLATTING No

CONCEPT PLAN SP19-07

SITE PLAN..... No

OPEN SPACE REQUIREMENT..... No

AVIGATION RELEASE Yes

PUBLIC HEARING REQUIRED No

**PLAT INFORMATION SHEET
FINAL PLAT APPLICATION
LOT 1, BLOCK 1, SOUTHLAND ADDITION**

I. GENERAL:

- The applicant, Scott Matthews with Alston Construction is platting the 6.686 acre tract of land into one community commercial (1) lot. The property is located at the northeast corner of Kubota Drive and SH 121.

II. STREET SYSTEM:

- The development has access to Kubota Drive.
- Abutting roads: on the City Thoroughfare Plan:
 not on the City Thoroughfare Plan:

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 15.00 / LF		

Periphery Street Fees are not due:

III. STORM DRAINAGE SYSTEM:

- The site drains south and east.
- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for: Lot 1, Block 1, Southland Addition (part of HA Grapevine)
- Water and Wastewater Impact Fees are due prior to the issuance of building permits for:
 - Single Family Residential (\$ 2,414/ Lot)
 - Multifamily (\$ 1,134/ Unit)
 - Hotel (\$ 43,632/ Acre)
 - Corporate Office (\$ 20,523/ Acre)
 - Government (\$ 4,414/ Acre)
 - Commercial / Industrial (\$ 5,739 / Acre)
- Open Space Fees are not required for: Lot 1, Block 1, Southland Addition
- Open Space Fees are due prior to the preconstruction meeting for public infrastructure improvements for:
 - R-5.0, R-TH, Zero Lot District (\$ 1,416.00 / Lot)
 - R-7.5, Single Family District (\$ 1,146.00 / Lot)
 - R-12.5, Single Family District (\$ 1,071.00 / Lot)
 - R-20.0, Single Family District (\$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
 - Front building line
 - Allowing a setback of 3 feet for the rear property line for an accessory building
 - Lot width & depth
 - Max. Impervious Area
 - Landscaping Regulations, allowing no landscape buffer between the edge of the parking area and the adjacent property line.
- The following items associated with this plat are not in accordance with the current subdivision standards:
 - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
 - Length of cul-de-sac street exceeds the 600-foot limit:
 - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
 - The right-of-way provides for future widening of public streets that will serve the development of this site.
 - The onsite utility easements provide for a utility network to serve the development of this site.
 - The onsite drainage easements provide for a drainage network to serve the development of this site.
 - The onsite access easements provide cross access capabilities to this site and surrounding property.

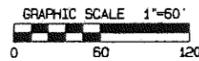
- The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:

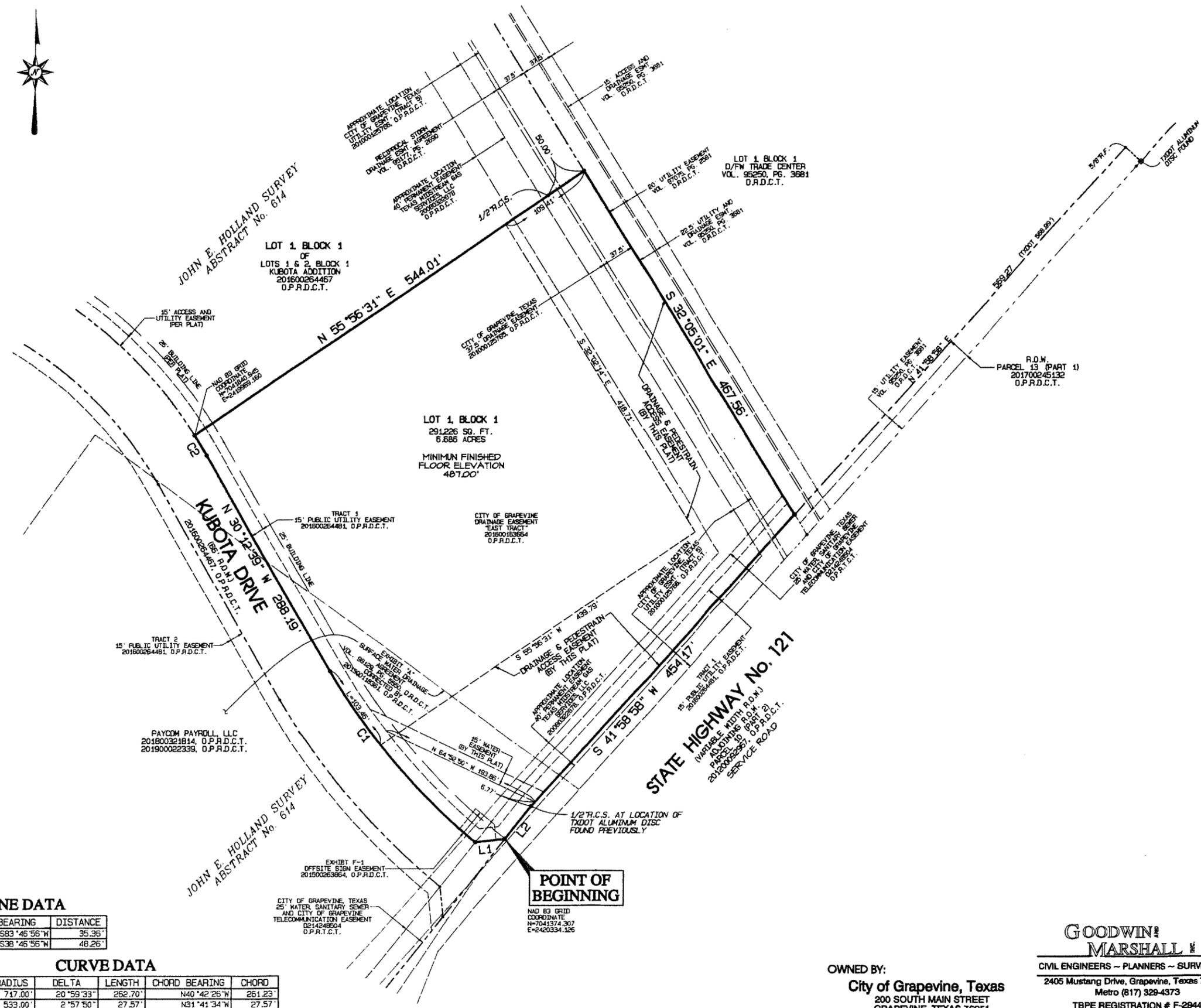
- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
- The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
- The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
- The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
- The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
- All of the dedications benefit the development to at least the extent of the impact of such on the development.

VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Final Plat of Lot 1, Block 1, Southland Addition."



LEGEND	
R.O.W.	RIGHT OF WAY
SQ. FT.	SQUARE FEET
VOL.	VOLUME
PG.	PAGE
D.R.D.C.T.	DEED RECORDS, DALLAS COUNTY, TEXAS
O.P.R.D.C.T.	OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS
R.F.	REBAR FOUND
R.C.F.	REBAR WITH CAP FOUND
R.C.S.	REBAR WITH CAP SET "GSM"



LOT 1, BLOCK 1
291,226 SQ. FT.
6.686 ACRES
MINIMUM FINISHED FLOOR ELEVATION 467.00'

POINT OF BEGINNING
NAD 83 GRID COORDINATE
N=704374.207
E=2420334.126

STATE HIGHWAY No. 121
NAD 83 GRID COORDINATE
N=704374.207
E=2420334.126

LINE DATA

LINE	BEARING	DISTANCE
L1	S83°46'56\"W	35.36'
L2	S38°46'56\"W	48.26'

CURVE DATA

CURVE	RADIUS	DELTA	LENGTH	CHORD BEARING	CHORD
C1	717.00'	20°59'33\"	262.70'	N40°42'26\"W	261.23'
C2	533.00'	2°57'50\"	27.57'	N81°41'34\"W	27.57'

PLANNING AND ZONING COMMISSION:

DATE APPROVED _____

CHAIRMAN _____

SECRETARY _____

GRAPEVINE CITY COUNCIL

DATE APPROVED **JAN 14 2020**

MAYOR _____

CITY SECRETARY _____

Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.
Issued for review Wed Dec 18 14:25:14 2019

FINAL PLAT
OF
LOT 1, BLOCK 1
SOUTHLAND ADDITION
BEING
1 NON-RESIDENTIAL LOT
6.686 ACRES
SITUATED IN THE

JOHN E. HOLLAND SURVEY, ABSTRACT No. 614
CITY OF GRAPEVINE, DALLAS COUNTY, TEXAS
EXISTING AND PROPOSED ZONING: (CC)
DECEMBER 2019 **SHEET 1 OF 2**

OWNED BY:
City of Grapevine, Texas
200 SOUTH MAIN STREET
GRAPEVINE, TEXAS 76051
(817) 410-3000

GOODWIN & MARSHALL
CIVIL ENGINEERS - PLANNERS - SURVEYORS
2405 Mustang Drive, Grapevine, Texas 76051
Metro (817) 329-4373
TBPE REGISTRATION # F-2944
TBPLS # 10021700

THIS PLAT FILED ON _____ INSTRUMENT# _____

E:\1\0867 - Southland\COGO\PLAT\PLAT.PLT

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF DALLAS:

WHEREAS the CITY OF GRAPEVINE, TEXAS is the owner of a tract of land situated in the John E. Holland Survey, Abstract No. 614, City of Grapevine, Dallas County, Texas, being a portion of Tract I as described in deed to the City of Grapevine, Texas, recorded in 201300389642, Official Public Records, Dallas County, Texas (OPRDC), and being more particularly described as follows:

BEGINNING at a 1/2" rebar capped Goodwin & Marshall set (hereafter referred to as 1/2" rebar capped set) at the intersection of the easterly line of Kubota Drive (R.D.W. per 201600264467, OPRDC) and the northwesterly line of State Highway No. 121 (variable width R.D.W., adjoining right-of-way per Parcel 10 (Part2), recorded in 201200092967, OPRDC);

THENCE along the easterly line of said Kubota Drive, as follows:

S 83°46'56" W, a distance of 35.36 feet to a 1/2" rebar capped set at the beginning of a non-tangent curve to the right, having a radius of 717.00 feet;

Northwesterly, along said curve, having a central angle of 20°59'33", an arc distance of 262.70 feet, and a chord that bears N 40°42'26" W, 261.23 feet to a 1/2" rebar capped set at the end of said curve;

N 30°12'39" W, tangent to said curve, a distance of 288.19 feet to a 1/2" rebar capped set at the beginning of a tangent curve to the left, having a radius of 533.00 feet;

Northwesterly, along said curve, having a central angle of 02°57'50", an arc distance of 27.57 feet, and a chord that bears N 31°41'34" W, 27.57 feet to a 1/2" rebar capped set at the most southerly corner of Lot 1, Block 1 of the final plat of Lots 1 & 2, Block 1, Kubota Addition, an addition to the City of Grapevine, Dallas County, Texas as recorded in 201600264467, OPRDC;

THENCE N 65°56'31" E, departing the easterly line of said Kubota Drive, non-tangent to said curve, along a south line of said Lot 1, Block 1 of Kubota Addition, at a distance of 494.01 feet passing a 1/2" rebar capped set for reference, continuing a total distance of 544.01 feet to the most easterly corner of said Lot 1, Block 1 of Kubota Addition, said point lying in the southwesterly line of Lot 1, Block 1, D/FW Trade Center, an addition to the City of Grapevine, Dallas County, Texas as recorded in Volume 95250, Page 3681, Deed Records, Dallas County, Texas and the northeasterly line of said City of Grapevine Tract I;

THENCE S 32°05'01" E, along the southwesterly line of said Lot 1, Block 1, D/FW Trade Center and the northeasterly line of said City of Grapevine Tract I, a distance of 467.56 feet to a point in the northwesterly line of said State Highway No. 121, from which a 5/8" rebar found bears N 41°58'58" E, 569.27 feet (TXDOT 568.99 feet);

THENCE departing said Lot 1, Block 1, D/FW Trade Center, along the northwesterly line of said State Highway No. 121 and the easterly line of said City of Grapevine Tract I, as follows:

S 41°58'58" W, a distance of 454.17 feet (TXDOT 454.36 feet) to a 1/2" rebar capped set at the location of a TXDOT aluminum disc found previously;

S 38°46'56" W, a distance of 48.26 feet to the POINT OF BEGINNING and containing 291,226 square feet or 6.686 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS, THAT the CITY OF GRAPEVINE, TEXAS, does hereby adopt this plat of LOT 1, BLOCK 1, SOUTHLAND ADDITION, an addition to the City of Grapevine, Dallas County, Texas, and does hereby dedicate to the public use forever the right-of-way and easements shown hereon. The easements shown hereon are hereby reserved for the purposes indicated. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of paving on the easements is the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed or placed upon, over or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. Any City or franchised utility shall have the full right to remove and keep removed all or parts of any fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all City or franchised utilities shall at all times have the full right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone. I have reviewed the City's findings concerning dedications and I do agree that the statements are true and correct.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

Witness our hands this _____ day of _____, 2019.

City of Grapevine, Texas

By: _____

STATE OF TEXAS
COUNTY OF TARRANT:

BEFORE ME, the undersigned Notary Public in and for said county and state, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein and expressed.

Given under my hand and seal of office this _____ day of _____, 2019.

Notary Public in and for the State of Texas
My Commission Expires: _____

AVIGATION RELEASE

STATE OF TEXAS
COUNTY OF DALLAS:

WHEREAS, the CITY OF GRAPEVINE, TEXAS is the owner of that certain parcel of land situated in the City of Grapevine, Dallas County, Texas, being said property as described and shown on this plat.

NOW THEREFORE, in consideration of the sum of ONE AND 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confessed, Owner does hereby waive, release, remise and quitclaim to the City of Grapevine, Tarrant County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas, Texas and Fort Worth, Texas, their successors and assigns, hereinafter called "Cities," for the use and benefit of the public and its agencies, any and all claims for damages of any kind to persons or property that Owner may suffer by reason of the passage and flight of all aircraft in the air space above Owner's property above the height restriction as presently established by Ordinance No. 73-50 for the City of Grapevine, known as the Airport Zoning Ordinance of the Dallas-Fort Worth International Airport, to an infinite height above same, whether such damage shall originate from noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft, landing et. or taking off from, or operating at or on the Dallas-Fort Worth International Airport.

This instrument does not release the owners or operators of aircraft from liability for damage to person or property caused by falling aircraft or falling physical objects from aircraft, except as stated herein with respect to noise, fumes, dust, fuel, and lubricant particles.

It is agreed that this Release shall be binding upon said Owner and his heirs and assigns, and successors in interest to said property; and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of the county or counties in which the property is situated.

EXECUTED at _____, this _____ day of _____, 2019.

OWNER:

CITY OF GRAPEVINE, TEXAS

STATE OF TEXAS
COUNTY OF TARRANT:

BEFORE ME, the undersigned Notary Public in and for said county and state, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein and expressed.

Given under my hand and seal of office this _____ day of _____, 2019.

Notary Public in and for the State of Texas
My Commission Expires: _____

NOTES

1. Bearings are referenced to Texas State Plane Coordinate System, North Central Zone, NAD83 as derived from Western Data Systems RTK Cooperative Network.
2. The property platted hereon is subject to Airport Zoning Ordinance No. 71-100 of the Dallas-Fort Worth Regional Airport, recorded in Volume 62173, Page 179, OPRDC, Deed Restrictions, recorded in Volume 95168, Page 2455, OPRDC, Letter Agreement, recorded in Volume 95168, Page 2459, OPRDC, and Declaration of Easements and Restrictive Covenants, recorded in 201500263864, OPRDC.
3. According to the Federal Emergency Management Agency Flood Insurance Rate Map No. 48193C0129K, map revised July 7, 2014, the subject property appears to lie in ZONE X NON-SHADED (Areas determined to be outside the 0.2% annual chance floodplain).
4. Reference Benchmark: City of Grapevine Monument No. 4 located at the northeast corner of the Grapevine Municipal Golf Course. Elevation = 471.73 feet (NGVD 1929)

AREA SUMMARY:

Total Platted Area: 291,226 square feet
Net Platted Area: 291,226 square feet
Right of Way Dedication: 0 square feet
Easement Dedication: 107,568 square feet

SURVEYOR'S CERTIFICATION

I, Joel S. Barton, of Goodwin and Marshall, Inc., a Registered Professional Land Surveyor of the State of Texas, do hereby declare that I prepared this plat from an actual and accurate survey on the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the State of Texas and the City of Grapevine. Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document. Issued for review Wed Dec 18 14:25:19 2019

Joel S. Barton
Registered Professional Land Surveyor No. 4914
Goodwin and Marshall, Inc.
2405 Mustang Drive
Grapevine, Texas 76051
(817) 329-4373

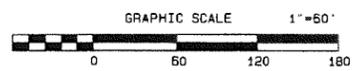
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FINAL PLAT
OF
LOT 1, BLOCK 1
SOUTHLAND ADDITION
BEING
1 NON-RESIDENTIAL LOT
6.686 ACRES
SITUATED IN THE

JOHN E. HOLLAND SURVEY, ABSTRACT No. 614
CITY OF GRAPEVINE, DALLAS COUNTY, TEXAS
EXISTING AND PROPOSED ZONING: (CC)
DECEMBER 2019 SHEET 2 OF 2

GOODWIN &
MARSHALL &
CIVIL ENGINEERS - PLANNERS - SURVEYORS
2405 Mustang Drive, Grapevine, Texas 76051
Metro (817) 329-4373
TBE REGISTRATION # F-2944
TBPLS # 10021700

OWNED BY:
City of Grapevine, Texas
200 SOUTH MAIN STREET
GRAPEVINE, TEXAS 76051
(817) 410-3000



BUILDING AREA DETAILS	
CONDITIONED SPACE	Sq. Ft.
OFFICE	70,200
TOTAL BUILDING AREA	70,200

SITE DATA CHART	
Description	
Existing Zoning	CC
Proposed Zoning	CC
Land Use Designation	Office
Building Height	37.5 Ft.
Total Building Area	35,920 Sq. Ft.
Square Footage	70,200
Total Lot Area	291,225 Sq. Ft.
Floor Area Ratio	4.15
Total Impervious Area	133,176 Sq. Ft. (3.06 Ac)
Total Open Space	158,049 Sq. Ft. (54.3%)
(Irrigated/ Planted Area)	52,558 Sq. Ft. (18.0%)
Total Building & Paved Area	133,176 Sq. Ft. (3.06 Ac)
Outside Storage as a Percentage	0.00%
Number of Proposed Lots	1

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S83°46'56"W	35.36'
L2	S38°46'56"W	48.28'

CURVE TABLE					
LINE	RADIUS	LENGTH	CHORD BEARING	DELTA	CHORD
C1	532.98'	3.33'	N32°59'45"W	0°21'30"	3.33'
C2	341.16'	19.39'	S31°50'22"E	3°15'29"	19.39'
C3	717.00'	262.70'	N40°42'26"W	20°59'32"	261.23'

PAYCOM PAYROLL, LLC
201800321814, O.P.R.D.C.T.
201900022338, O.P.R.D.C.T.

LOT SUMMARY			
	UNITS	REQUIRED	LOT 1 BLOCK 1
			CC
Site:	Zoning	Sq. Ft.	30,000 min
	Lot Area	Sq. Ft.	min. 20%
	Open Space	% of Lot	54.3%
	Paved Areas:	Sq. Ft.	
	Vehicular	Sq. Ft.	97,256 (33.4%)
	Pedestrian	Sq. Ft.	8,496
	Impervious Area	Sq. Ft.	max. 80%
	% of Lot		45.7%
	Parking Spaces		(min.) 282
	Accessible Spaces		(min.) 7 (7 req.)
	Van Access. Space		(min.) 7 (2 req.)
Building:	Number of Buildings		1
	Proposed Use		Office
	Height	Stories	max. 3
		ft.	max. 50'
	Area	Sq. Ft.	max. 60%
	% of Lot		12.3%
	Min. Bldg. Separations	ft.	none
			N/A

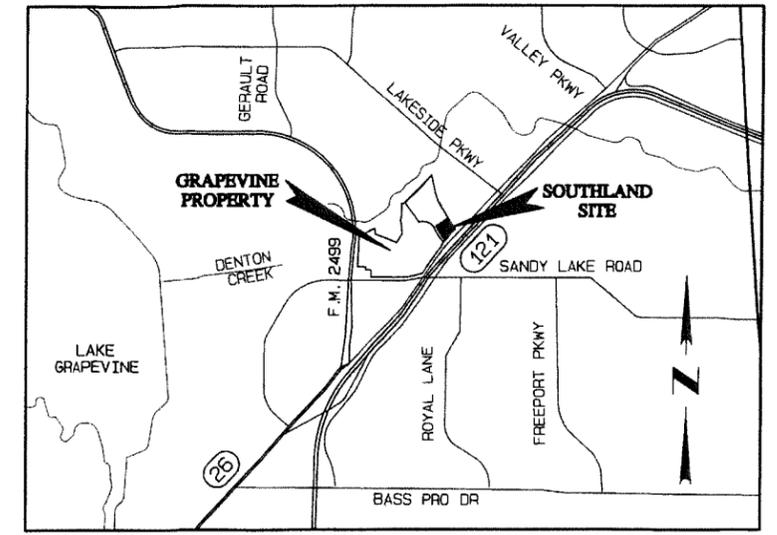
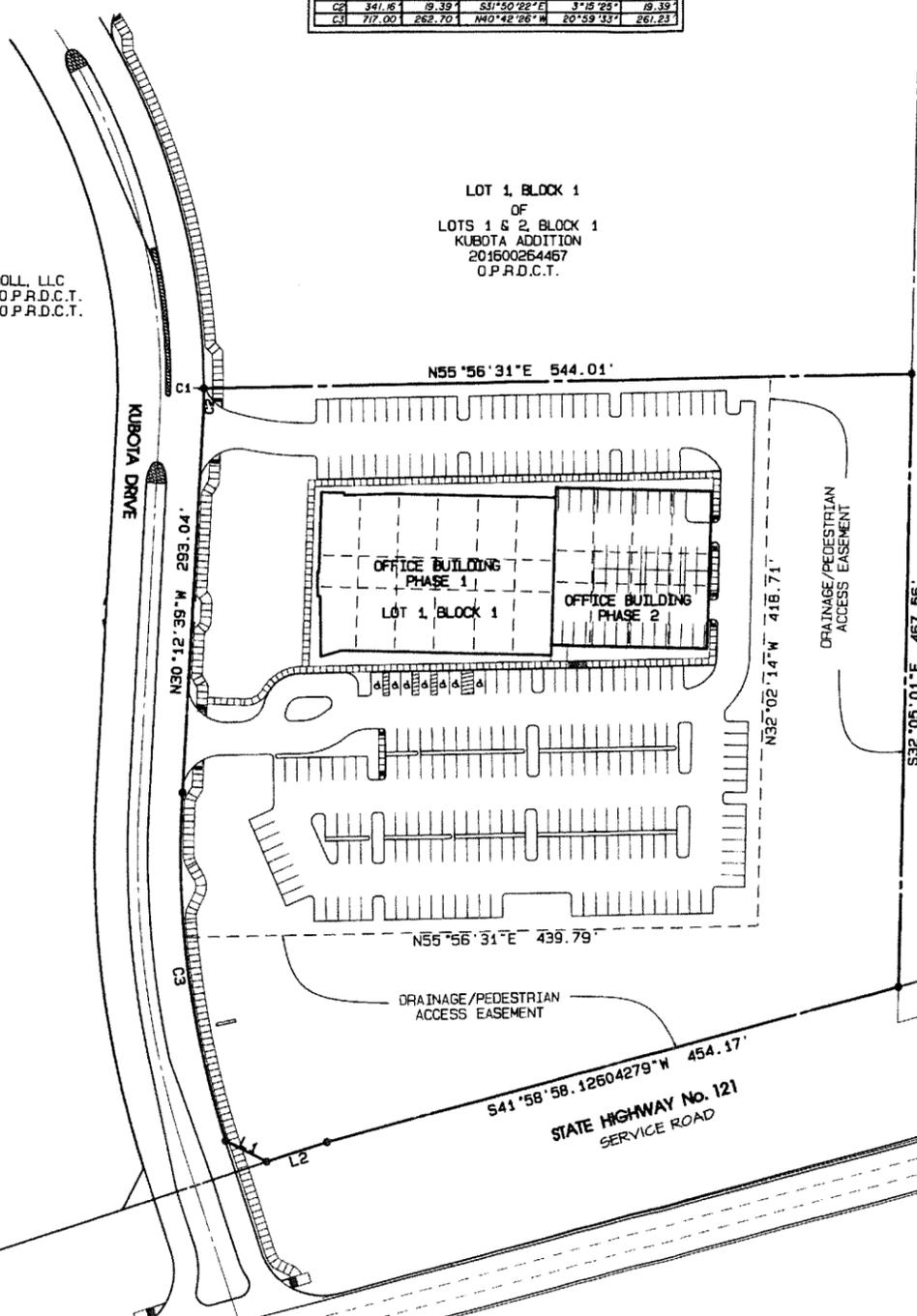
PARKING CALCULATIONS	
Non-Residential Use: Office Complex	
Parking Space Schedule: 1 Parking Space per 300 S.F. of Office Space + 5	
Office Building Sizes	70,200 Square Feet
Parking and Loading Spaces Required	239
Parking and Loading Spaces Provided	282
Handicapped Spaces Provided	7 (7 Van Accessible)

EXTERIOR MATERIAL TAKE-OFFS		
MATERIAL	Sq. Ft.	%
CONCRETE TILT WALL	12,229	96.3%
COMPOSITE METAL PANEL	471	3.7%
TOTAL BUILDING AREA	12,700	100%
OVERALL MASONRY AREA	12,229	96.3%

LOT 1, BLOCK 1
OF
LOTS 1 & 2, BLOCK 1
KUBOTA ADDITION
201500264467
O.P.R.D.C.T.

LOT 2, BLOCK 1
OF
LOT 2, BLOCK 1 AND LOT 1, BLOCK 2
D/FW TRADE CENTER
VOL. 96149, PG. 1765
D.R.D.C.T.

LOT 1, BLOCK 1
D/FW TRADE CENTER
VOL. 95250, PG. 3681
D.R.D.C.T.



VICINITY MAP
(NOT TO SCALE)

SITE PLAN
1100 KUBOTA DRIVE
CITY OF GRAPEVINE
APPROVED

APPROVAL DOES NOT AUTHORIZE
ANY WORK IN CONFLICT WITH
ANY CODES OR ORDINANCES.

RECEIVED
PLANNER
JAN 14 2020
DATE

BY SHEET _____ OF _____
DEPARTMENT OF DEVELOPMENT SERVICES



OWNER:
CITY OF GRAPEVINE
200 SOUTH MAIN STREET
GRAPEVINE, TEXAS 76051



APPLICANT:
SOUTHLAND
608 Hamletia Creek Road,
Rowles, TX 76262
Contact: Frank Renda
817-293-4263

PREPARED BY:
GOODWIN & MARSHALL
CIVIL ENGINEERS - PLANNERS - SURVEYORS
2405 Mustang Drive, Grapevine, Texas 76051
Metro (817) 329-4373
CONTACT: MATT BAACKE, P.E.

OVERALL SITE PLAN
FOR
LOT 1, BLOCK 1
SOUTHLAND ADDITION
BEING
6.686 Acres
SITUATED IN THE
JOHN E. HOLLAND SURVEY, ABSTRACT No. 614
CITY OF GRAPEVINE, DALLAS COUNTY, TEXAS
EXISTING ZONING: CC
EXISTING USE: VACANT
DECEMBER, 2019

E:\10817 - Southland\Plan\Southland.dwg Mon Jan 13 15:42:42 2020

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: JANUARY 21, 2020

SUBJECT: FINAL PLAT APPLICATION
LOTS 1 AND 2, BLOCK 1, GHH ADDITION

PLAT APPLICATION FILING DATE..... January 14, 2020

APPLICANT Grayson CeBallos, Windrose Land Services

REASON FOR APPLICATION..... To plat unplatted property into two (2) lots

PROPERTY LOCATION 717 & 721 E. Wall Street

ACREAGE..... 0.532

ZONING R-7.5

NUMBER OF LOTS 2

PREVIOUS PLATTING No

CONCEPT PLAN Z19-02

SITE PLAN..... No

OPEN SPACE REQUIREMENT..... Yes

AVIGATION RELEASE Yes

PUBLIC HEARING REQUIRED No

**PLAT INFORMATION SHEET
FINAL PLAT APPLICATION
LOTS 1 & 2, BLOCK 1, GHH ADDITION**

I. GENERAL:

- The applicant, Grayson CeBallos with Windrose Land Services is platting the 0.532 acre tract of land into two (2) lots for residential properties. Lot 1 has an existing home that will remain and Lot 2 will be a new home site. The properties are located at 717 and 721 E. Wall Street.

II. STREET SYSTEM:

- The development has access to Wall Street.
- Abutting roads: on the City Thoroughfare Plan:
 not on the City Thoroughfare Plan:

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 15.00 / LF		

Periphery Street Fees are not due:

III. STORM DRAINAGE SYSTEM:

- The site drains northeast.
- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for: Lots 1 & 2, Block 1, GHH Addition (previous home sites)
- Water and Wastewater Impact Fees are due prior to the issuance of building permits for:
 - Single Family Residential (\$ 2,414/ Lot)
 - Multifamily (\$ 1,134/ Unit)
 - Hotel (\$ 43,632/ Acre)
 - Corporate Office (\$ 20,523/ Acre)
 - Government (\$ 4,414/ Acre)
 - Commercial / Industrial (\$ 5,739 / Acre)
- Open Space Fees are not required for: Lots 1 & 2, Block 1, GHH Addition (previous home sites)
- Open Space Fees are due prior to the preconstruction meeting for public infrastructure improvements for:
 - R-5.0, R-TH, Zero Lot District (\$ 1,416.00 / Lot)
 - R-7.5, Single Family District (\$ 1,146.00 / Lot)
 - R-12.5, Single Family District (\$ 1,071.00 / Lot)

R-20.0, Single Family District (\$ 807.00 / Lot)

Public Hearing Only

Variances were required on the following items:

Front building line

Allowing a setback of 3 feet for the rear property line for an accessory building

Lot width & depth

Max. Impervious Area

Landscaping Regulations, allowing no landscape buffer between the edge of the parking area and the adjacent property line.

The following items associated with this plat are not in accordance with the current subdivision standards:

50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).

Length of cul-de-sac street exceeds the 600-foot limit:

Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:

The right-of-way provides for future widening of public streets that will serve the development of this site.

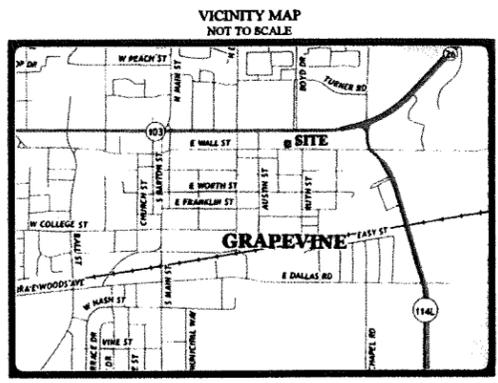
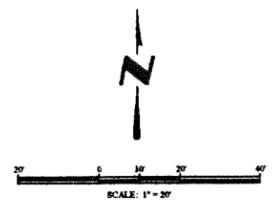
The onsite utility easements provide for a utility network to serve the development of this site.

The onsite drainage easements provide for a drainage network to serve the development of this site.

- The onsite access easements provide cross access capabilities to this site and surrounding property.
 - The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.
- B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:
- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
 - The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
 - The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
 - The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
 - The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
 - All of the dedications benefit the development to at least the extent of the impact of such on the development.

VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Final Plat of Lots 1 & 2, Block 1, GHH Addition."



STATE OF TEXAS
COUNTY OF TARRANT

WHEREAS, Grapevine Historic Homes, LLC hereinafter called "OWNER", is the owner of that certain parcel of land situated in the City of Grapevine, Tarrant County, Texas being more particularly described as shown on this plat.

NOW THEREFORE, in consideration of the sum of ONE AND 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confessed, Owner does hereby waive, release, remise and quitclaim to the City of Grapevine, Tarrant County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas, Texas and Fort Worth, Texas, their successors and assigns, hereinafter called "City", for the use and benefit of the public and its agencies, any and all claims for damages of any kind to persons or property that Owner may suffer by reason of the passage and flight of all aircraft in the air space above Owner's property above the height restriction as presently established by Ordinance No. 73-50 for the City of Grapevine, known as the Airport Zoning Ordinance of the Dallas-Fort Worth International Airport, to an infinite height above same, wether such damage shall originate from noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft, landing at, or taking off from, or operating at or on the Dallas-Fort Worth International Airport.

This instrument does not release the owners or operators of aircraft from liability for damage or injury to person or property caused by falling aircraft or falling physical objects from aircraft, except as stated herein with respect to noise, fumes, dust, fuel and lubricant particles.

It is agreed that this Release shall be binding upon said owner and his heirs and assigns, and successors in interest to said property, and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of the county or counties in which the property is situated.

EXECUTED at _____, Texas, this ____ day of _____, 20__.

Owner: _____
Title: _____

- SURVEYOR'S NOTES**
- Bearings and distances are based on Texas State Plane Coordinate System, Texas North Central Zone 4202 North American Datum of 1983 (NAD 83) (U.S. Foot) with a combined scale factor of 1.00012.
 - This property lies within Zone "X" Unshaded of the Flood Insurance Rate Map for Tarrant County, Texas and Incorporated Areas, map no. 48439C0105K, dated September 25, 2009, via scaled map location and graphic plotting.
 - Notice: Selling a portion of this addition by metes and bounds is a violation of City subdivision ordinance and state platting statutes and is subject to fines and withholding of utilities and building certificates.
 - The purpose of this plat is to take two existing tracts and create two lots.

STATE OF TEXAS
COUNTY OF _____

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Kelly Palma, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____, 20__.

Notary Public in and for the State of Texas

STATE OF TEXAS
COUNTY OF DENTON

This is to certify that I, Thomas W. Matk, a Registered Professional Land Surveyor of the State of Texas, have plotted the subdivision from an actual survey on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

PRELIMINARY
THIS INSTRUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED AS EVIDENCE UNTIL IT IS RECORDED IN THE PUBLIC RECORDS DATED 1/18/2020

Thomas W. Matk, R.P.L.S.
No. 5119

STATE OF TEXAS
COUNTY OF DENTON

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Thomas W. Matk, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____, 20__.

Notary Public in and for the State of Texas

STATE OF TEXAS
COUNTY OF TARRANT

WHEREAS Grapevine Historical Homes, LLC are the owners of two tracts of land situated in the A.F. Leonard Survey, Abstract Number 946, as conveyed to Grapevine Historical Homes, LLC by deeds recorded in Instrument Number D216103339 and D216103340, Deed Records, Tarrant County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron pipe found for the southwest corner of a tract of land conveyed to Debbie S. Dorasil by deed recorded in Instrument Number D208454506, Deed Records, Tarrant County, Texas, same being the southeast corner of a tract of land conveyed to MZ Series LLC Series 19 by deed recorded in Instrument Number D219017141, Deed Records, Tarrant County, Texas;

THENCE South 89 degrees 54 minutes 49 seconds East, with the south line of said Dorasil tract, a distance of 66.09 feet to a 1/2 inch rebar capped "ASC" set for the northwest corner of a tract of land conveyed to Bert F. Elsey Jr. by deed recorded in Instrument Number D207192143, Deed Records, Tarrant County, Texas;

THENCE South 00 degrees 42 minutes 30 seconds East, departing the south line of said Dorasil tract, with the west line of said Elsey tract, a distance of 179.48 feet to a PK nail set for the southeast corner of said second referenced Grapevine Historical Homes, LLC tract and lying on the north right of way line of East Wall Street (Variable Width Right of Way);

THENCE North 89 degrees 54 minutes 49 seconds West with the north right of way line of said East Wall Street, a distance of 67.71 feet to a PK nail set for corner;

THENCE North 00 degrees 11 minutes 55 seconds West, with the northeast right of way line of said East Wall Street, a distance of 7.17 feet to a PK nail set for corner;

THENCE South 89 degrees 48 minutes 33 seconds West with the north right of way line of said East Wall Street, a distance of 65.11 feet to a PK nail set for the southwest corner of said first referenced Grapevine Historical Homes tract;

THENCE North 00 degrees 11 minutes 27 seconds West with the west line of said first referenced Grapevine Historical Homes tract, passing a point for the southeast corner of a tract of land at a distance of 23.58 feet conveyed to MZ Series LLC Series 8 by deed recorded in Instrument Number D219017144, Deed Records, Tarrant County, Texas and continuing with the east line of said MZ Series LLC Series 8 tract, a total distance of 171.00 feet to a 1/2 inch rebar capped "ASC" set for the northeast corner of said MZ Series LLC Series 8 tract, same being a point on the south line of said MZ Series LLC Series 19 tract;

THENCE North 88 degrees 40 minutes 09 seconds East with the south line of said MZ Series LLC Series 19 tract, a distance of 65.12 feet to THE POINT OF BEGINNING and containing 0.532 acres of land or 23,181 square feet of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS

Grapevine Historic Homes, LLC does hereby adopt this plat of GHH Addition, Lots 1 & 2, Block 1, an addition to the City of Grapevine, Tarrant County, Texas and does hereby dedicate to the public use forever the right-of-way and easements shown hereon. The easements shown hereon are hereby reserved for the purposes indicated. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of paving on the easements are the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed, or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using, or desiring to use same. Any City or franchised utility shall have the full right to remove and keep removed all or parts of any fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all City or franchised utilities shall at all times have the full right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone.

I have reviewed the City's Findings concerning dedications and I do agree that the statements are true and correct.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Grapevine, Texas.

Witness my hand this the ____ day of _____, 20__.

GRAPEVINE HISTORICAL HOMES, LLC

By: _____
Authorized Representative

Title / Date

STATE OF TEXAS
COUNTY OF _____

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____, 20__.

Notary Public in and for the State of Texas

PLANNING AND ZONING COMMISSION:

Date Approved: _____

Chairman: _____

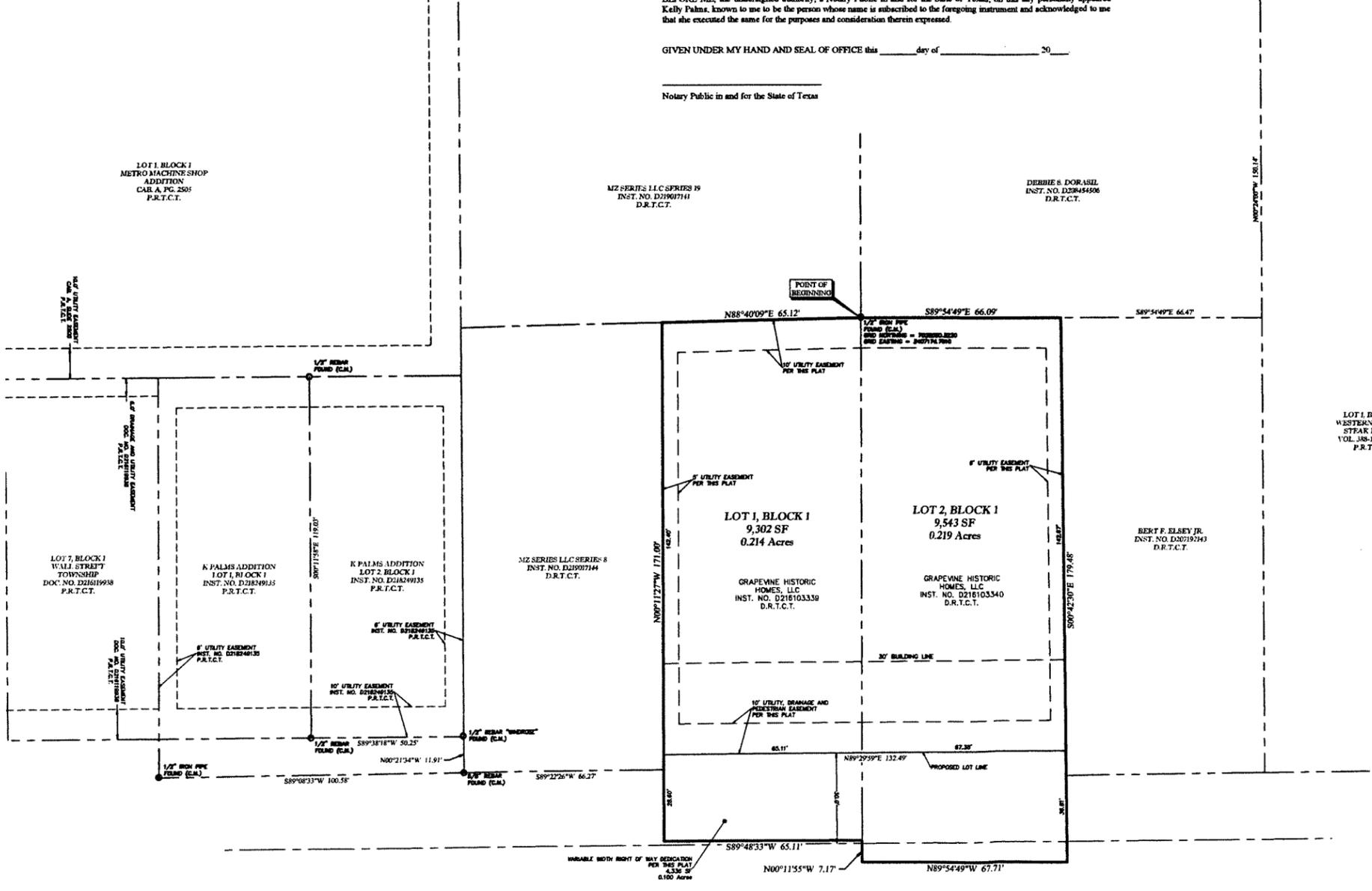
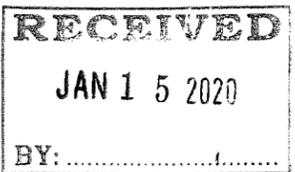
Secretary: _____

GRAPEVINE CITY COUNCIL:

Date Approved: _____

Mayor: _____

City Secretary: _____



- LEGEND OF ABBREVIATIONS**
- D.R.T.C.T. DEED RECORDS, TARRANT COUNTY, TEXAS
 - O.P.R.T.C.T. OFFICIAL PUBLIC RECORDS, TARRANT COUNTY, TEXAS
 - P.R.T.C.T. PLAT RECORDS, TARRANT COUNTY, TEXAS
 - ROW RIGHT OF WAY
 - IRS 1/2 INCH CAPPED REBAR STAMPED "ASC" SET
 - C.M. CONTROLLING MONUMENT
 - SF SQUARE FEET

Area and Dedication

1.1.	Total Platted Area: 23,181 Square Feet or 0.532 Acres
1.2.	Net Platted Area: 18,182 Square Feet or 0.417 Acres
1.3.	Right of Way Dedication: 4,999 Square Feet

EAST WALL STREET
(VARIABLE WIDTH R.O.W.)

OWNER/DEVELOPER
Grapevine Historic Homes, LLC
504 W. College Street
Grapevine, Texas 76051

WINDROSE
LAND SURVEYING & PLATTING
220 ELM STREET, SUITE 200 | LEWISVILLE, TX 76047 | 214.217.2644
TX REGISTRATION NO. 16174-01 | WINDROSESERVICE.COM

ARTHUR
LAND SURVEYING
220 Elm St., P. 200 | Lewisville, TX 76047
PH: 214.217.2644 | TYPENR 10623620
arthur@arthurlandsurveying.com | Established 1965

STATE OF TEXAS
COUNTY OF TARRANT
CITY OF GRAPEVINE

The Planning and Zoning Commission of the City of Grapevine, Texas met in Regular Session on this the 17th day of December 2019 in the Planning and Zoning Conference Room, 200 South Main Street, 2nd Floor, Grapevine, Texas with the following members present-to-wit:

Larry Oliver	Chairman
B J Wilson	Vice-Chairman
Jimmy Fechter	Member
Beth Tiggelaar	Member
Dennis Luers	Member
Traci Hutton	Member

constituting a quorum with Monica Hotelling, Gary Martin and David Hallberg absent and the following City Staff:

Scott Williams	Development Services Director
Ron Stombaugh	Development Services Assistant Director
John Robertson	Engineering Manager
Albert L. Triplett, Jr.	Planner II
Susan Batte	Planning Technician

Call to Order

Chairman Oliver called the meeting to order at 7:00 p.m.

BRIEFING SESSION

Chairman Oliver announced the Planning and Zoning Commission would conduct a work session relative to the following cases:

Item 1.

Chairman Oliver announced the Planning and Zoning Commission would conduct a work session relative to the following cases:

CU19-24	Faith Christian School
CU19-25	Faith Christian School
CU19-35	Faith Christian School
CU19-31	Napoli's Italian Kitchen and Market

CU19-33 Daylight Golf
PD19-01 411 Turner Street

Chairman Oliver closed the Briefing Session at 7:30 p.m.

JOINT PUBLIC HEARINGS

Mayor Tate called the meeting to order at 7:30 p.m. in the City Council Chambers. Items 2-8 of the Joint Public Hearings was held in the City Council Chambers. The Planning and Zoning Commission recessed to the Planning and Zoning Conference Room, Second Floor to consider published agenda items.

PLANNING AND ZONING COMMISSION REGULAR SESSION

Call to Order

Chairman Oliver called the Planning and Zoning Commission deliberation session to order at 7:55 p.m.

Item 9. Citizen Comments

There was no one wishing to speak during citizen comments.

Item 10. Conditional Use Application CU19-24 Faith Christian School

First for the Commission to consider and make recommendation to City Council was conditional use application CU19-24 submitted by Faith Christian School for property located at 729 East Dallas Road and platted as Lot 1A, Block 1, Faith Christian School Addition. The applicant was requesting to amend the previously approved site plan of CU14-35 (Ord. 2014-52) for a non-profit educational institution, specifically to allow for a baseball field with stadium lighting and parking lot modifications.

In the Commission's deliberation session, Dennis Luers moved to approve conditional use application CU19-24. Jimmy Fechter seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Fechter, Tiggelaar, Luers and Hutton
Nays: None

Item 11. Conditional Use Application CU19-25 Faith Christian School

Next for the Commission to consider and make recommendation to the City Council was conditional use application CU19-25 submitted by Faith Christian School for property located at 730 East Worth Street and platted as Lot 1R, Block 2, Faith Christian School

Addition. The applicant was requesting a conditional use permit to amend the previously approved site plan of CU15-26 (Ord. 2015-12) for a non-profit educational institution, specifically to allow for a softball field and an outdoor educational (STEAM) classroom area.

In the Commission's deliberation session, Tracy Hutton moved to approve conditional use application CU19-25. Dennis Luers seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Fechter, Tiggelaar, Luers and Hutton
Nays: None

Item 12 – Conditional Use Application CU19-35 Faith Christian School – submitted by Faith Christian School for property located at 845 Dawn Lane and proposed to be platted as Lot 1R, Tract 3, Sunshine Harbor Industrial Addition. The applicant was requesting a conditional use permit to allow for a non-profit educational institution and also allow parking lot modifications and enhancements for Grapevine Faith Christian School events.

In the Commission's deliberation session, Tracy Hutton moved to approve conditional use application CU19-35. Jimmy Fechter seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Fechter, Tiggelaar, Luers and Hutton
Nays: None

Item 13. – Final Plat Application – Lot 1R, Tract 3 Sunshine Harbor Industrial Addition

Next for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Final Plat Application of Lot 1R, Tract 3, Sunshine Harbor Industrial Addition. The applicant was final platting 1.825 acres into one lot.

In the Commission's deliberation session, Dennis Luers moved to approve the Statement of Findings and Final Plat Application of Lot 1R, Tract 3, Sunshine Harbor Industrial Addition. Tracy Hutton seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Fechter, Tiggelaar, Luers and Hutton
Nays: None

Item 14. Conditional Use Application CU19-31 Napoli's Italian Kitchen and Market

Next for the Commission to consider and make recommendation to the City Council was conditional use application CU19-31 submitted by James Kinzel for property located at

309, 309 Suite 100 and 311 South Main Street and platted as Lots 12 and 13, Block 19 and Lots 1 and 2, Block 20, City of Grapevine Addition. The applicant was requesting a conditional use permit to amend the previously approved site of CU10-15 (Ord. 2010-34) to allow access, indoor dining, and on-premise alcohol beverage sales (beer, wine, and mixed beverages) in conjunction with a restaurant at 309 South Main Street.

Discussion was held with Mr. Kinzel regarding designating some of the parking spaces as public parking. Mr. Kinzel indicated that he would be willing to discuss the issue with staff.

In the Commission's deliberation session, Jimmy Fechter moved to approve conditional use application CU19-31 with the understanding that the application will discuss with staff a joint use agreement regarding public parking. Dennis Luers seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Fechter, Tiggelaar, Luers and Hutton
Nays: None

Item 15. Conditional Use Application CU19-33 Daylight Golf

Next for the Commission to consider and make recommendation to the City Council was conditional use application CU19-33 submitted by Daylight Golf for property located at 2505 East Grapevine Mills Circle and platted as Lot 1R, Block 3, Grapevine Mills Addition. The applicant was requesting a conditional use permit to amend the previously approved site plan of CU09-24 (Ord. 2009-39), for a planned commercial center in excess of 1,000,000 square feet of gross leasable area with the possession, storage, retail sales and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages) specifically, to revise the building elevations and floor plan, allow outdoor speakers, outside dining and five golf simulators in conjunction with a restaurant.

In the Commission's deliberation session, Dennis Luers moved to approve conditional use application CU19-33. Jimmy Fechter seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Fechter, Tiggelaar, Luers and Hutton
Nays: None

Item 16. Planned Development Overlay Application PD19-02 411 Turner Road

Next for the Commission to consider and make recommendation to the City Council was planned development overlay application PD19-02 submitted by Troy L Burchfield for property located at 411 Turner Road and proposed to be platted as Lot 1R and 2R, 411

Turner Road. The applicant was requesting a planned development overlay to deviate from but not be limited to the rear yard setback and lot depth.

In the Commission's deliberation session, Tracy Hutton moved to approve planned development overlay PD19-02. Dennis Luers seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Fechter, Tiggelaar, Luers and Hutton
Nays: None

Item 17. Final Plat Application – Lots 1R and 2R, Block 1, 411 Turner Road Addition

Next for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Final Plat Application of Lots 1R and 2R, Block 1, 411 Turner Road Addition. The applicant was final platting 0.3177 acres for the development of two single family structures.

In the Commission's deliberation session, B J Wilson moved to approve the Statement of Findings and Final Plat Application of Lots 1R and 2R, Block 1, 411 Turner Road Addition. Jimmy Fechter seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Fechter, Tiggelaar, Luers and Hutton
Nays: None

Item 18. Final Plat Application – Lot 1R, Block 1, Glade Road Retail Center Addition

Next for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Final Plat Application of Lot 1R, Block 1, Glade Road Retail Center Addition. The applicant was final platting 1.175 acres for the development of medical/retail site.

In the Commission's deliberation session, B J Wilson moved to approve the Statement of Findings and Final Plat Application of Lot 1R, Block 1, Glade Road Retail Center Addition. Jimmy Fechter seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Fechter, Tiggelaar, Luers and Hutton
Nays: None

Item 19. Consider the minutes of the November 19, 2019 Planning and Zoning Commission Meeting

Next for the Commission to consider were the minutes of the November 19, 2019, Planning and Zoning Public Hearing.

Dennis Luers moved to approve the November 19, 2019 Planning and Zoning Public Hearing minutes. Jimmy Fechter seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Fechter, Tiggelaar, Luers and Hutton
Nays: None

Adjournment

With no further business to discuss, Jimmy Fechter moved to adjourn the meeting at 8:45 p.m. Dennis Luers seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Fechter, Tiggelaar, Luers and Hutton
Nays: None

PASSED AND APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF GRAPEVINE, TEXAS ON THIS THE 21ST DAY OF JANUARY 2020.

APPROVED:

CHAIRMAN

ATTEST:

PLANNING TECHNICIAN