



CITY OF GRAPEVINE, TEXAS  
REGULAR JOINT MEETING OF  
CITY COUNCIL AND PLANNING AND ZONING COMMISSION  
TUESDAY, AUGUST 20, 2019

GRAPEVINE CITY HALL, SECOND FLOOR  
200 SOUTH MAIN STREET  
GRAPEVINE, TEXAS

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6:15 p.m.	Dinner – City Council Conference Room
6:45 p.m.	Call to Order of City Council Meeting – City Council Chambers
6:45 p.m.	Executive Session – City Council Conference Room
7:30 p.m.	Joint Regular Meeting – City Council Chambers

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**CALL TO ORDER: 6:45 p.m.** – City Council Chambers

**EXECUTIVE SESSION:**

1. City Council to recess to the City Council Conference Room to conduct a closed session relative to:
  - A. Real property relative to deliberation to the purchase, exchange, lease, sale or value of real property (City facilities, Public Works, and the 185 acres) pursuant to Section 551.072, Texas Government Code.
  - B. Conference with City Manager and Staff to discuss and deliberate commercial and financial information received from business prospects the City seeks to have locate, stay, or expand in the City; deliberate the offer of a financial or other incentive; with which businesses the City is conducting economic development negotiations pursuant to Section 551.087, Texas Government Code.

City Council to reconvene in open session in the City Council Chambers and take any necessary action relative to items discussed in Executive Session.

**REGULAR MEETING: 7:30 p.m.** – City Council Chambers

2. Invocation and Pledge of Allegiance: Commissioner Jim Fechter

**JOINT PUBLIC HEARINGS**

3. Conditional Use Permit **CU19-21** (Kubota) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Goodwin and Marshall requesting a conditional use permit to amend the previously approved site plan of CU15-38 (Ordinance No. 2015-55) to exceed the maximum

height of 50 feet for the district and to establish a sign adjacent to the State Highway 121 service road, specifically to allow additional parking and remove retaining walls. The subject property is located at 1000 Kubota Drive and is currently zoned "CC" Community Commercial District.

4. Conditional Use Permit **CU19-22** (Waffle House) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Waffle House requesting a conditional use permit to amend the previously approved site plan of CU15-33 (Ordinance No. 2015-47) for a planned commercial center, specifically to allow a 20-foot pole sign in conjunction with a restaurant. The subject property is located at 2805 Bass Pro Drive and is currently zoned "CC" Community Commercial District.

Planning and Zoning Commission to recess to the Planning and Zoning Commission Conference Room, Second Floor, to consider published agenda items.

City Council to remain in session in the Council Chambers to consider published business.

#### CITIZEN COMMENTS

5. Any person who is not scheduled on the agenda may address the City Council under Citizen Comments by completing a Citizen Appearance Request form with the City Secretary. In accordance with the Texas Open Meetings Act, the City Council is restricted in discussing or taking any action during Citizen Comments.

#### CITY COUNCIL PUBLIC HEARING

6. City Council to conduct a public hearing to consider adoption of a tax increase and take any necessary action.

**NOTE:** In accordance with state law, this item is the first of two public hearings on the proposed tax increase. Because the proposed tax rate (\$0.284271 per \$100) exceeds the effective tax rate (\$0.272399 per \$100), the law requires that the City Council hold two public hearings on the proposal. The second public hearing will be held during the regular meeting on September 3, 2019. City Council will vote on the tax rate during the regular meeting on September 17, 2019. Both meetings will take place in the Council Chambers in City Hall at 200 South Main Street, Grapevine, Texas.

#### NEW BUSINESS

7. City Council to consider **Resolution No. 2019-028** amending the City's Enterprise Zone Program Ordinance No. 2010-38 concerning the nomination of Gamestop

Inc. to the Office of the Governor, Economic Development and Tourism, as a Texas Enterprise Project and take any necessary action.

8. City Council consider the award of RFB 484-2019 for State Highway 121/360 Landscape Enhancements Phase V to Central North Construction, LLC, **Ordinance No. 2019-048** appropriating funds, and take any necessary action.
9. City Council consider awarding the Dallas Road Construction Contract to The Fain Group, Inc. upon TxDOT concurrence, authorize a construction management agreement with SAM Construction Services, LLC, and approve **Ordinance No. 2019-054** appropriating funds, and take any necessary action.

### CONSENT AGENDA

Consent items are deemed to need little Council deliberation and will be acted upon as one business item. Any member of the City Council or member of the audience may request that an item be withdrawn from the consent agenda and placed before the City Council for full discussion. Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations.

10. Consider the purchase and installation of HVAC services for the Palace Arts Center from Texas Airsystems and **Ordinance No. 2019-049** appropriating funds. Convention and Visitors Bureau Director recommends approval.
11. Consider declaring certain items surplus property and authorizing their sale through public auction. Chief Financial Officer recommends approval.
12. Consider renewal of a contract for purchasing card services with JPMorgan Chase Bank, N.A. through an Interlocal Cooperative Agreement with the City of Fort Worth, Texas. Chief Financial Officer recommends approval.
13. Consider **Resolution No. 2019-029** supporting the application for a Department of Urban Area Security Initiative grant and **Ordinance No. 2019-050** appropriating funds. Fire Chief recommends approval.
14. City Council to consider approval for the sole source purchase, to include service and training, of a Lucas device, a chest compression system, from Stryker. Fire Chief recommends approval.
15. Consider ratifying the emergency purchase and installation of two Mercury boat motors from Eagle Marine. Fire Chief and Public Works Director recommend approval.
16. Consider for the purchase of IT network equipment and software licenses from General Datatech, L.P. Fire Chief and Chief Technology Officer recommend approval.

17. Consider the purchase of a wireless access point for Peach Tower from Scientel Solutions, LLC. Chief Technology Officer recommends approval.
18. Consider the purchase of server storage for the Public Safety Building from Unique Digital. Chief Technology Officer recommends approval.
19. Consider the purchase of server cards for the Public Safety Building from General Datatech, L.P. Chief Technology Officer recommends approval.
20. Consider the renewal of an annual sole source contract for ILS computer support and software with SIRSI Corporation. Library Director recommends approval.
21. Consider the purchase and installation of synthetic grass at the dog park from Synthetic Grass Pros. Parks and Recreation Director recommends approval.
22. Consider the renewal of an annual contract for the purchase of law enforcement uniforms with Galls, LLC. Police Chief recommends approval.
23. Consider the purchase of Creative Cloud licenses subscription renewal from SHI Government Solutions. Police Chief recommends approval.
24. Consider **Ordinance No. 2019-051** amending the Grapevine Code of Ordinances, Chapter 25, Utilities and Services, Article III. Solid Waste Disposal, Section 25-97, Service Rates – Schedules to reflect adjustments to the commercial and residential solid waste and recycling collection rates. Public Works Director recommends approval.
25. Consider the renewal of an annual sole source contract for multimedia services for streaming and archiving of meetings with Swagit Productions, LLC. City Secretary recommends approval.
26. Consider the renewal of an annual contract for Laserfiche support services with MCCI, LLC. City Secretary recommends approval.
27. Consider the minutes of the August 6, 2019 Regular City Council meeting and August 8, 2019 Special City Council meeting. City Secretary recommends approval.

Pursuant to the Texas Open Meetings Act, Texas Government Code, Chapter 551.001 et seq, one or more of the above items may be considered in Executive Session closed to the public. Any decision held on such matter will be taken or conducted in open session following conclusion of the executive session.

## PLANNING AND ZONING COMMISSION RECOMMENDATIONS

28. Conditional Use Permit **CU19-21** (Kubota) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2019-052**, if applicable, and take any necessary action.
29. Conditional Use Permit **CU19-22** (Waffle House) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2019-053**, if applicable, and take any necessary action.
30. **Preliminary Plat** of Lots 2 and 3, Block A, Foxfire Crossing – Consider the recommendation of the Planning and Zoning Commission relative to an application submitted by Patrick Gray for property located at 250' east of Lonesome Dove Road along Foxfire Lane. The subject property is currently zoned "R-20" Single Family Residential.
31. **Final Plat** of Lots 2 and 3, Block A, Foxfire Crossing – Consider the recommendation of the Planning and Zoning Commission relative to an application submitted by Patrick Gray for property located at 250' east of Lonesome Dove Road along Foxfire Lane. The subject property is currently zoned "R-20" Single Family Residential.

## ADJOURNMENT

In accordance with the Open Meetings Law, Texas Government Code, Chapter 551, I hereby certify that the above agenda was posted on the official bulletin boards at Grapevine City Hall, 200 South Main Street and on the City's website on August 16, 2019 by 5:00 p.m.

*Tara Brooks*

Tara Brooks, TRMC, CRM  
City Secretary



If you plan to attend this public meeting and you have a disability that requires special arrangements at the meeting, please contact the City Secretary's Office at 817.410.3182 at least 24 hours in advance of the meeting. Reasonable accommodations will be made to assist your needs.



CITY OF GRAPEVINE, TEXAS  
REGULAR PLANNING AND ZONING COMMISSION MEETING  
TUESDAY, AUGUST 20, 2019

GRAPEVINE CITY HALL, SECOND FLOOR  
200 SOUTH MAIN STREET  
GRAPEVINE, TEXAS 76051

- 
- 7:00 p.m. Briefing Session - Planning and Zoning Commission Conference Room  
7:30 p.m. Joint Meeting with City Council - City Council Chambers  
7:30 p.m. Regular Session - Planning and Zoning Commission Conference Room
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**CALL TO ORDER: 7:00 p.m.** - Planning and Zoning Commission Conference Room

**BRIEFING SESSION**

1. Conduct Oaths of Office for new and reappointed Commission Members.
2. Planning and Zoning Commission to conduct a briefing session to discuss all items scheduled on tonight's agenda. No action will be taken. Each item will be considered during the Regular Session which immediately follows the Joint Public Hearings.

**JOINT MEETING WITH CITY COUNCIL: 7:30 p.m.** - City Council Chambers

3. Invocation and Pledge of Allegiance: Commissioner Jim Fechter

**JOINT PUBLIC HEARINGS**

4. Conditional Use Permit **CU19-21** (Kubota) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Goodwin and Marshall requesting a conditional use permit to amend the previously approved site plan of CU15-38 (Ordinance No. 2015-055) to exceed the maximum height of 50 feet for the district and to establish a sign adjacent to the State Highway 121 service road, specifically to allow additional parking and remove retaining walls. The subject property is located at 1000 Kubota Drive and is currently zoned "CC" Community Commercial District.
5. Conditional Use Permit **CU19-22** (Waffle House) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Waffle House requesting a conditional use permit to amend the previously approved site plan of CU15-33 (Ordinance No. 2015-047) for a planned commercial center, specifically to allow a 20-foot pole sign in conjunction with a restaurant. The subject property is located at 2805 Bass Pro Drive and is currently zoned "CC" Community Commercial District.

Planning and Zoning Commission to recess to Planning and Zoning Commission Conference Room, Second Floor, to consider published agenda items.

**REGULAR SESSION: 7:30 p.m.** (Immediately following Joint Public Hearings) – Planning and Zoning Commission Conference Room

NEW BUSINESS

6. Conditional Use Permit **CU19-21** (Kubota) – Consider the application and make a recommendation to City Council.
7. Conditional Use Permit **CU19-22** (Waffle House) – Consider the application and make a recommendation to City Council.
8. **Preliminary Plat** of Lots 2 and 3, Block A, Foxfire Crossing – Consider the application submitted by Patrick Gray and make a recommendation to City Council for property located at 250’ east of Lonesome Dove Road along Foxfire Lane. The subject property is currently zoned “R-20” Single Family Residential.
9. **Final Plat** of Lots 2 and 3, Block A, Foxfire Crossing – Consider the application submitted by Patrick Gray and make a recommendation to City Council for property located at 250’ east of Lonesome Dove Road along Foxfire Lane. The subject property is currently zoned “R-20” Single Family Residential.
10. Consider the minutes of the July 16, 2019 Regular Planning and Zoning Commission meeting.

NOTE: Following the adjournment of the Planning and Zoning Commission meeting, a representative will present the recommendations of the Planning and Zoning Commission to the City Council for consideration in the City Council Chambers.

ADJOURNMENT

In accordance with the Open Meetings Law, Texas Government Code, Chapter 551, I hereby certify that the above agenda was posted on the official bulletin boards at Grapevine City Hall, 200 South Main Street and on the City’s website on August 16, 2019 by 5:00 p.m.

*Tara Brooks*

Tara Brooks, TRMC, CRM  
City Secretary



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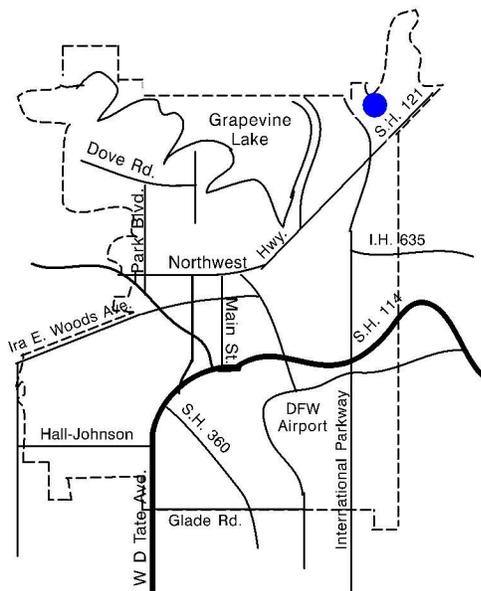
TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE  
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER  
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

BR

MEETING DATE: AUGUST 20, 2019

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF  
CONDITIONAL USE APPLICATION CU19-21 KUBOTA



APPLICANT: Matt Bakke, Goodwin & Marshall, Inc.

PROPERTY LOCATION AND SIZE:

The subject property is addressed at 1000 Kubota Drive and is proposed to be platted as Lot 1, Block 1, Kubota Addition. This property contains 27 acres and has approximately 728 feet of frontage along Kubota Drive.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to amend the previously approved site plan of CU15-38 (Ord. 2015-55) to exceed the height maximum of 50 feet in the "CC" Community Commercial District, specifically to allow for additional parking.

At the September 15, 2015 meeting the City Council approved a conditional use permit to exceed the 50-foot height limit within the "CC" Community Commercial District relative to establishing the new North American headquarters of Kubota USA on the subject property which included a three story (78 feet at tallest portion), 125,000 s.f. office structure, a two-story, 62,400 s.f. research and development structure, and a three level, 98,280 s.f. parking structure.

With this request, the applicant is proposing the creation of 114 additional parking spaces near the front entrance of the office building for visitors to Kubota that need immediate access to the site. No other changes are proposed.

#### PRESENT ZONING AND USE:

The subject property is currently zoned "CC" Community Commercial District and is developed as the North American Headquarters of Kubota USA.

#### HISTORY OF TRACT AND SURROUNDING AREA:

The subject and surrounding property was zoned "I-1" Light Industrial District prior to the 1984 City Rezoning. The area incorporating the D/FW Hilton to the north, Anderson-Gibson Road to the south and east to State Highway 26 and State Highway 121 North up to the Tarrant/Dallas County line was rezoned to "HCO" Hotel/Corporate Office during the 1984 City Rezoning. A 35-acre tract to the west of the subject site was rezoned to "CC" Community Commercial District (Z96-08) at the June 18, 1996 joint public hearing. The area to the east of the Tarrant/Dallas County line, south of Anderson-Gibson Road, as well as the area to the north of Anderson-Gibson Road east to State Highway 121 was rezoned to "PID" Planned Industrial Development during the 1984 City Rezoning. Zone Change Z85-23 approved October 1, 1985 rezoned a total of nine tracts in this area--one tract was rezoned to "R-MF-1" Multi-Family, one to "R-MF-2" Multi-Family; four tracts were rezoned to "CC" Community Commercial, one tract to "HCO" Hotel/Corporate Office, and another was rezoned to "LI" Light Industrial; one tract remained "PID" Planned Industrial Development. The approximate 28 acres currently zoned "R-20" Single Family Residential District located north and south of Anderson-Gibson Road was established during the Local Option Election of 1993. Zone Change Z95-04 rezoned three tracts in the north easternmost portion of the city from "LI" Light Industrial, "CC" Community Commercial, and "PID" Planned Industrial Development to "BP" Business Park District. Zone Change Z95-06 approved on August 15, 1995 placed deed restrictions on many of the tracts rezoned by Zone Change Z85-23. A portion of the subject property was rezoned from "PID" Planned Industrial Development to "BP" Business Park District (Z97-16) at the October 21, 1997 meeting. At Council's July 20, 1999 meeting, two tracts of land previously rezoned from "PID" to "BP" at the October 21, 1997 meeting--approximately 20.413 acres and 36.710 acres were rezoned from "BP" Business Park District to "CC" Community Commercial District for potential retail and commercial development. A zone change request (Z01-11) was considered at the August 21, 2001 on the subject site rezoning 55.9 acres of the subject property from "R-MF-1" Multifamily District and 107.3 acres from "CC" Community Commercial District to "BP" Business Park District for potential office/warehouse development. That request was withdrawn by the applicant. A later zone change request (Z01-15) was submitted on the subject property at Council's November 20, 2001 meeting rezoning 55.9 acres from "R-MF-1" Multifamily District to "CC" Community Commercial District for potential commercial and office development.

At Council's December 19, 2006 meeting a zone change request (Z06-15) and a planned development overlay (PD06-09) was considered and denied on the subject and surround property. The applicant (Toll Brothers) was attempting to rezone approximately 110 acres of the entire 162 acre "Hunt" tract for townhouse and single family development. At the Council's July 21, 2009 meeting a zoning change (Z09-03) and a conditional use permit (CU09-17) were approved to rezone approximately 16.36 acres from "CC" Community Commercial District to "MXU" Mixed Use District for the development of a multi-phase apartment project and to allow on-premise consumption of alcoholic beverages in conjunction with a restaurant and hotel development—neither project was developed.

At the September 15, 2015 meeting a conditional use permit (CU15-38) was approved on the subject property which allowed for the North American Headquarters of Kubota USA to exceed the maximum height allowed in the district and allowed for a building 78 feet in height for a portion of the headquarters building with the majority of the structure being 60 feet in height. At the October 16, 2018 meeting Council approved a conditional use permit to exceed the maximum height limit of 50 feet for the "CC" Community Commercial District to allow several five story structures (60 feet) both 150,000 s.f. in size for a multi-phase office project (Paycom) to the south of the subject site. Also to the south an entertainment and attractions overlay (EA18-01) was considered and approved at the December 18, 2018 meeting to include but not be limited to a hotel (Stand Rock) and water park with on-premise alcohol beverage sales (beer, wine, and mixed beverages), skill and coin operated machines in excess of eight machines, building height in excess of 50 feet and three pylon-type signs.

#### SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH: "GU" Governmental Use District, and "R-20" Single Family District—vacant undeveloped property
- SOUTH: "CC" Community Commercial District—vacant undeveloped property; future Paycom and Stand Rock hotel site
- EAST: "BP" Business Park District—IDI Business Park development
- WEST: "CC" Community Commercial District—vacant undeveloped property

#### AIRPORT IMPACT:

The subject property is located within "Zone B" Middle Zone of Effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map. In Zone B, the following uses may be considered only if sound treatment is included in building design: multi family apartments, motels, office buildings, movie theaters, restaurants, personal and business services. Single family residential and sound sensitive uses such

as schools and churches should avoid this zone. The applicant's proposal is an appropriate use within this noise zone.

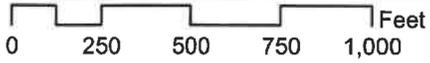
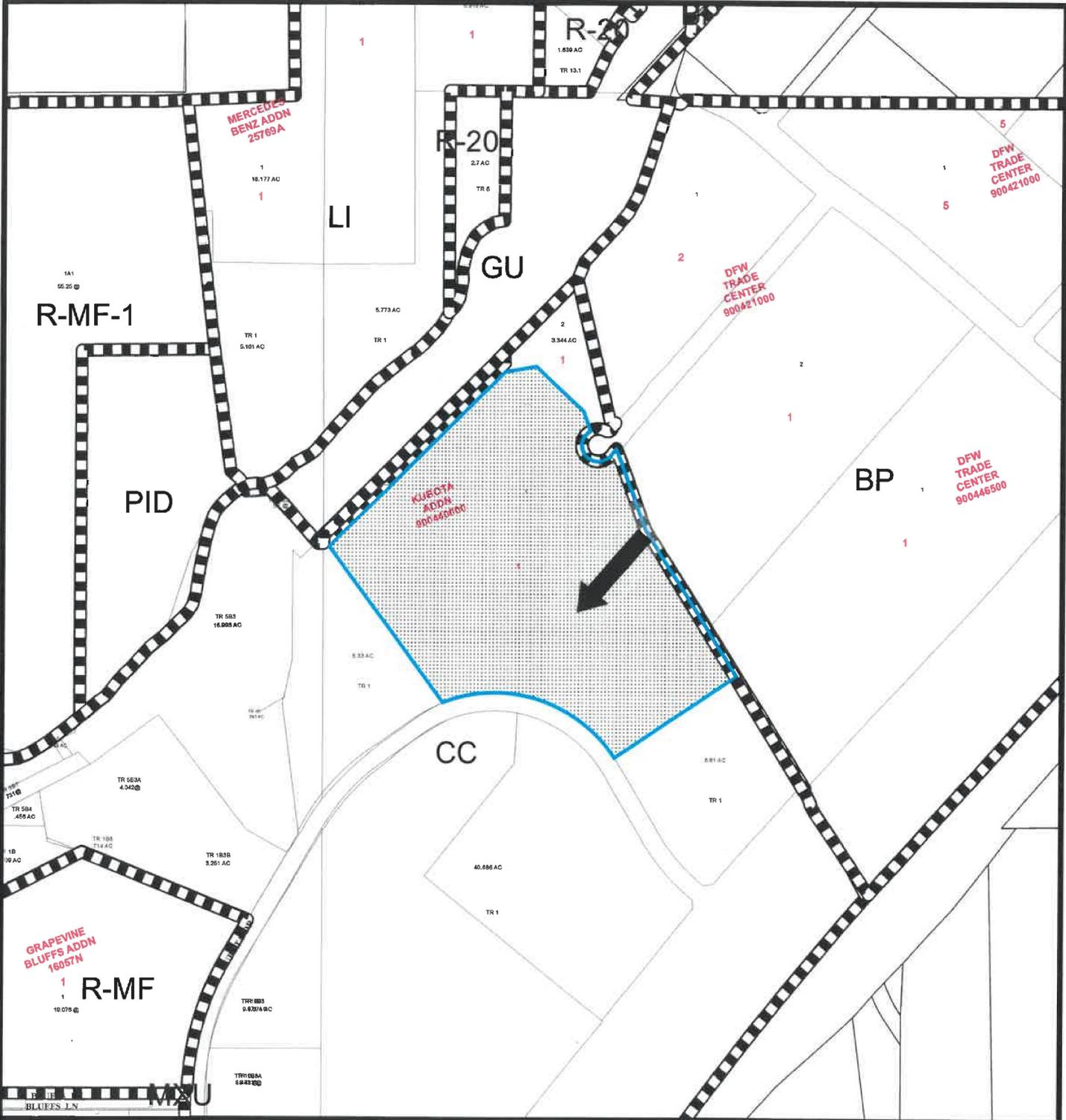
MASTER PLAN APPLICATION:

The Master Plan designates the subject property as a Commercial land use. The applicant's proposal is in compliance with the Master Plan.

THOROUGHFARE PLAN APPLICATION:

The subject site has access from and frontage on a newly created right-of-way (Kubota Drive). Kubota Drive is comprised of 100 feet of right-of-way developed as four lanes with a center median. Kubota Drive is not currently designated a Thoroughfare as shown on the city's Thoroughfare Plan. This right-of-way accesses both the southbound State Highway 121 service road and Grapevine Mills Boulevard North.

/rs



**CU19-21**  
**Kubota Tractor Corporation**

Date Prepared: 8/6/2019

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

C419-21



# CITY OF GRAPEVINE

## CONDITIONAL USE APPLICATION

Form "A"

### PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact

Goodwin and Marshall, Inc. / Matt Baacke, P.E.

Street address of applicant / agent:

2405 Mustang Drive

City / State / Zip Code of applicant / agent:

Grapevine, TX 76051

Telephone number of applicant / agent:

817-329-4373

Fax number of applicant/agent

Email address of applicant/agent

Mobile phone number of applicant/agent

### PART 2. PROPERTY INFORMATION

Street address of subject property

1000 Kubota Drive

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot 1 Block 1 Addition Kubota

Size of subject property

27.009 Acres

1,176,518 Square footage

Present zoning classification:

CC

Proposed use of the property:

Office, R & D, & Parking Garage

Circle yes or no, if applies to this application

Outdoor speakers Yes  No

Minimum / maximum district size for conditional use request:

Zoning ordinance provision requiring a conditional use:

Building Height

### PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:

Kubota North America Corporation

Street address of property owner:

1000 Kubota Drive

City / State / Zip Code of property owner:

Grapevine, TX 76051

Telephone number of property owner:

817-532-3671

Fax number of property owner:

JUN 28 2019

CU19-21

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

**PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY**

Matt Baacke, P.E.  
Print Applicant's Name:

  
Applicant's Signature:

The State of Texas

County Of Tarrant

Before Me Sherri A. Taylor (notary) on this day personally appeared Matt Baacke, P.E. (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 28<sup>th</sup> day of June, A.D. 2019.



Sherri A Taylor  
Notary In And For State Of Texas

Dan Jones  
Print Property Owners Name:

  
Property Owner's Signature:

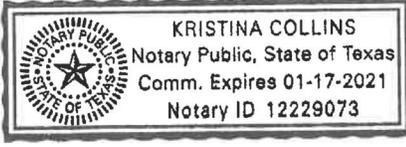
The State Of Texas

County Of Dallas

Before Me Kristina Collins (notary) on this day personally appeared Dan Jones (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 26<sup>th</sup> day of June, A.D. 2019.



Kristina Collins  
Notary In And For State Of Texas

JUN 28 2019

CUI9-21

ACKNOWLEDGEMENT

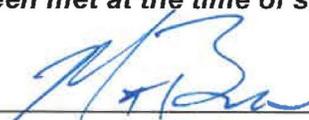
**All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.**

**All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.**

**Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.**

**Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.**

**I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.**

Signature of Applicant 

Date: 6/28/19

Signature of Owner 

Date: 6/26/2019

JUN 28 2019

June 28, 2019

CU19-21

Mr. Ron Stombaugh  
Planning and Development Manager  
City of Grapevine  
200 South Main Street  
Grapevine, Texas 76051

RE: Kubota USA, Inc. – CU15-38 (Amendment)

Mr. Stombaugh:

Please find attached the submittal documents for the above referenced project. The purpose of this submittal is to obtain approval for an amended site plan which has been revised to add 114 new parking spaces in front of the Kubota office building. The revisions to the plan include the following:

- 114 additional parking spaces with associated paving for parking and drive aisles.
- Removal or modification of existing retaining walls.
- Removal of existing trees in parking lot area. New trees and landscaping will be planted in parking lot landscape islands as required by ordinance.

If you have any questions or need any additional information, please contact me 817-329-4373 or



Sincerely,  
*Goodwin and Marshall, Inc.*

Matt Baacke, P.E.  
MJB/ms



ORDINANCE NO. 2019-052

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS ISSUING CONDITIONAL USE PERMIT CU19-21 TO AMEND THE PREVIOUSLY APPROVED SITE PLAN CU15-38 (ORDINANCE NO. 2015-55) TO EXCEED THE MAXIMUM HEIGHT LIMIT OF 50 FEET FOR THE DISTRICT AND TO ESTABLISH A SIGN ADJACENT TO THE NORTH STATE HIGHWAY 121 SERVICE ROAD, SPECIFICALLY TO ALLOW FOR ADDITIONAL PARKING IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT LOCATED ON LOT 1, BLOCK 1, KUBOTA (1000 KUBOTA DRIVE) ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73, ATTACHED HERETO AND MADE A PART HEREOF AS EXHIBIT "A", AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to

be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public

at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU19-21 to amend the site plan approved by Ordinance No. 2015-55 to exceed the maximum height limit of 50 feet for the district and to establish a sign adjacent to the north State Highway 121 service road, specifically to allow for additional parking in a district zoned "CC" Community Commercial District Regulations within the following described property: Lot 1, Block 1, Kubota (1000 Kubota Drive) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. That the City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. That this ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. That any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of August, 2019.

APPROVED:

---

William D. Tate  
Mayor

ATTEST:

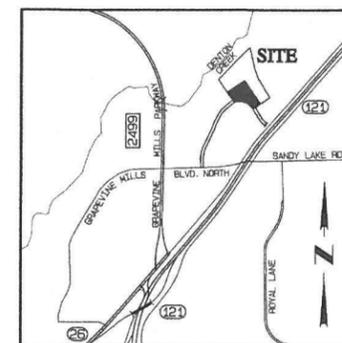
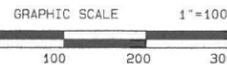
---

Tara Brooks  
City Secretary

APPROVED AS TO FORM:

---

City Attorney



VICINITY MAP  
(NOT TO SCALE)

CASE NAME: KUBOTA USA INC.  
CASE NUMBER: CU19-21  
LOCATION: 1000 KUBOTA DRIVE  
LOTS 1 & 2, BLOCK 1, KUBOTA ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 1 OF 3

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES



OVERALL SITE PLAN  
FOR  
KUBOTA ADDITION

BEING  
27.009 ACRES  
SITUATED IN THE

THOMAS W COUSY SURVEY, ABSTRACT No. 317  
JOHN E. HOLLAND SURVEY, ABSTRACT No. 614  
C.S. DUNNIGAN SURVEY, ABSTRACT N). 1655  
J.M. BAKER SURVEY, ABSTRACT No. 1691  
CITY OF GRAPEVINE, DALLAS COUNTY, TEXAS

EXISTING ZONING: CC  
EXISTING USE: VACANT  
AUGUST, 2019

PARKING CALCULATIONS

Non-Residential Use: Office and R & D  
Parking Space Schedule: 103,963 SF of Office @ 1/300 + 5  
63,314 SF of Storage @ 1/2000

Net Floor Space \_\_\_\_\_ 167,277 Sq. Ft.  
Parking and Loading Spaces Required \_\_\_\_\_ 384  
Parking and Loading Spaces Provided \_\_\_\_\_ 634 (114 SPACES ADDED)  
Handicapped Spaces Provided \_\_\_\_\_ 9

SITE DATA CHART

Description	
Existing Zoning	CC
Proposed Zoning	CC
Land Use Designation	Office, R & D, & Parking Garage
Building Heights	78 Ft. (3 Stories) 38 Ft. (2 Stories) 40 Ft. (3 Stories)
Total Building Area	285,780 Sq. Ft.
Square Footage (broken down by use)	103,963 - Office 63,314 - Storage 98,280 - Parking Garage 265,567 Total
Total Lot Area	1,176,518 SF (27.009 Ac)
Floor Area Ratio	24.4%
Total Impervious Area	328,828 SF (7.549 Ac)
Total Open Space (Landscaped Area)	847,690 SF (21.1%)
Total Building & Paved Area	328,828 SF (7.549 Ac)
Outside Storage as a Percentage	0.00%
Number of Proposed Lots	1

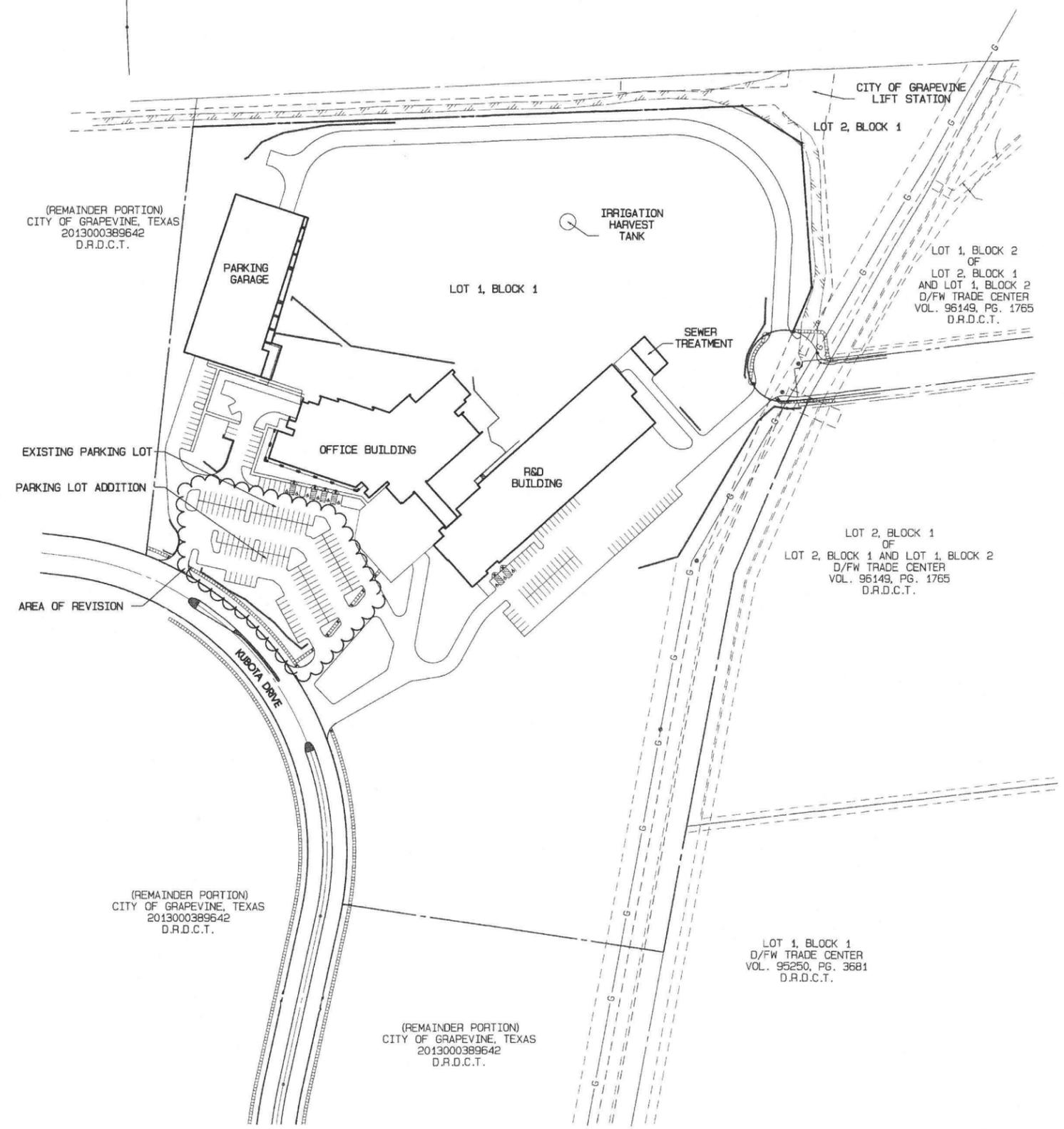
GENERAL NOTES

1. THE PROPERTY IS CURRENTLY ZONED "CC" COMMUNITY COMMERCIAL.
2. THE CURRENT LAND USE DESIGNATION AS CONTAINED IN THE COMPREHENSIVE MASTER PLAN IS COMMERCIAL.
3. ALL REQUIREMENTS OF SECTION 25, COMMUNITY COMMERCIAL DISTRICT SHALL BE MET.
4. ALL REQUIREMENTS OF SECTION 53, LANDSCAPING REGULATIONS SHALL BE MET.
5. ALL REQUIREMENTS OF SECTION 56, OFF-STREET PARKING REQUIREMENTS SHALL BE MET.
6. ALL REQUIREMENTS OF SECTION 60, SIGN STANDARDS SHALL BE MET.
7. ALL DUMPSTERS SHALL BE SCREENED IN ACCORDANCE WITH SECTION 50.B.3. SECTION 50.B.3. REQUIRES ALL SOLID REFUSE DUMPSTERS TO BE VISUALLY SCREENED BY SOLID FENCE OR WALL ONE FOOT ABOVE THE REFUSE DUMPSTER NOT TO EXCEED 8 FEET IN HEIGHT ON ALL SIDES (EXCEPT THE SIDE USED FOR GARBAGE PICKUP). SUCH SIDES SHALL NOT BE REQUIRED TO BE SCREENED UNLESS THE SERVICE SIDE OF THE REFUSE STORAGE AREA IS VISIBLE FROM A RESIDENTIALLY ZONED DISTRICT.
8. THE DUMPSTERS ILLUSTRATED ON THIS SITE PLAN SHALL BE 8' IN HEIGHT AND WILL BE CONSTRUCTED OF PAINTED CONCRETE TILT-WALL PANELS WITH REVEALS.
9. ALL LIGHTING MUST COMPLY WITH SECTION 55 OF THE GRAPEVINE ZONING ORDINANCE. LIGHTING ELEMENTS MUST NOT BE VISIBLE FROM A POINT FIVE (5) FEET ABOVE GROUND MEASURED AT ALL PROPERTY LINES. PHYSICAL TESTING OF ILLUMINATION LEVELS MUST BE PERFORMED TO VERIFY COMPLIANCE WITH PHOTOMETRIC STUDY. DOCUMENTATION SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT. NO OCCUPANCY, INCLUDING TEMPORARY OCCUPANCY WILL BE PERMITTED UNTIL THE ABOVE REQUIREMENTS ARE MET.
10. ALL PARKING FOR DISABLED PERSONS SHALL BE DESIGNATED ACCORDING TO CHAPTER 23, SECTION 23.6 THROUGH 24.69 OF THE GRAPEVINE CODE OF ORDINANCES SHALL BE MET. THIS DESIGNATION IS THE BLUE HANDICAPPED SIGN REQUIREMENT.
11. A TYPICAL PARKING SPACE DIMENSION IS 9 X 18 FEET.
12. THE MINIMUM DRIVING LANE WIDTHS IN ALL PRIVATE PARKING LOTS FOR 90-DEGREE PARKING IS A MINIMUM OF 25 FEET.
13. ALL REQUIRED OFF STREET PARKING AND LOADING AND DRIVES, VEHICLE (AUTOS, TRUCKS, TRAILERS, BOATS, ETC.) SALES, DISPLAY AREAS AND OUTSIDE STORAGE AREAS IN ALL DISTRICTS SHALL BE PAVED TO A MINIMUM STANDARD EQUIVALENT TO 4 INCH CONCRETE SLAB WITH 6 INCHES X 6 INCHES BY 6 GAGE MESH WIRE OR A 2 INCH HOT MIX ASPHALTIC CONCRETE OVER 6 INCH CRUSHED ROCK BASE.
14. MECHANICAL EQUIPMENT FOR THIS SITE PLAN SHALL BE ROOF MOUNTED. ALL MECHANICAL EQUIPMENT OVER FIVE HORSEPOWER MUST BE LOCATED A MINIMUM OF 120 FEET FROM THE CLOSEST RESIDENTIAL DISTRICT. ALL MECHANICAL EQUIPMENT, REGARDLESS OF HORSEPOWER, IS PROHIBITED FROM BEING LOCATED WITHIN THE REQUIRED OR ESTABLISHED FRONT YARD.
15. ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
16. ALL THE REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.
17. ALL ON-SITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.
18. ALL EDGE OF PAVEMENT SHALL HAVE A 6" CONCRETE CURB, UNLESS NOTED OTHERWISE.
19. THE MINIMUM PAVEMENT GRADE IS 0.5%. THE MAXIMUM PAVEMENT GRADE IS 10%.
20. THE PROPOSED USE FOR LOT 1 IS A CORPORATE OFFICE CAMPUS.
21. A FIRE HYDRANT WILL BE PLACED WITHIN ONE HUNDRED AND FIFTY FEET (150') OF THE PROPOSED FIRE DEPARTMENT CONNECTION (FDC). SAID FIRE HYDRANT WILL BE SHOWN ON THE CIVIL CONSTRUCTION PLANS.
22. FENCE TO BE COATED CHAIN LINK.
23. A CONDITIONAL USE IS REQUESTED FOR A BUILDING HEIGHT EXCEEDING 50 FEET. THE MAXIMUM BUILDING HEIGHT IS 78 FEET.

NOTE:  
ITEMS IN BOLD HAVE BEEN REVISED FROM ORIGINAL PLAN PER THE ADDITIONAL PARKING LOT.

NOTE:  
CLOUDED AREA IS TO AMMEND PARKING LOT TO INCLUDE ADDITIONAL 114 PARKING SPACES.

NOTE:  
CONDITIONAL USE REQUEST CU19-21 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU-15-38 (ORD. 2015-55) TO EXCEED THE MAXIMUM HEIGHT OF 50 FEET FOR THE DISTRICT AND TO ESTABLISH A SIGN ADJACENT TO THE STATE HIGHWAY 121 SERVICE ROAD, SPECIFICALLY TO ALLOW ADDITIONAL PARKING.



(REMAINDER PORTION)  
CITY OF GRAPEVINE, TEXAS  
2013000389642  
D.R.D.C.T.

IRRIGATION HARVEST TANK

SEWER TREATMENT

OFFICE BUILDING

R&D BUILDING

PARKING GARAGE

LOT 1, BLOCK 1

LOT 2, BLOCK 1

LOT 1, BLOCK 2 OF LOT 2, BLOCK 1 AND LOT 1, BLOCK 2 D/FW TRADE CENTER VOL. 96149, PG. 1765 D.R.D.C.T.

LOT 2, BLOCK 1 OF LOT 2, BLOCK 1 AND LOT 1, BLOCK 2 D/FW TRADE CENTER VOL. 96149, PG. 1765 D.R.D.C.T.

LOT 1, BLOCK 1 D/FW TRADE CENTER VOL. 95250, PG. 3681 D.R.D.C.T.

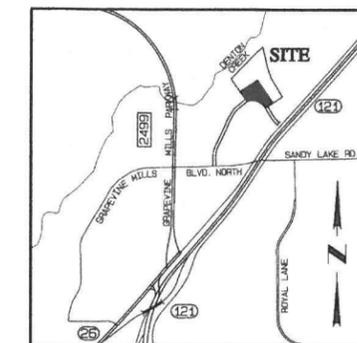
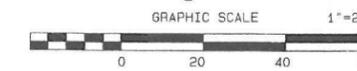
(REMAINDER PORTION)  
CITY OF GRAPEVINE, TEXAS  
2013000389642  
D.R.D.C.T.

(REMAINDER PORTION)  
CITY OF GRAPEVINE, TEXAS  
2013000389642  
D.R.D.C.T.

PREPARED BY:  
**GOODWIN & MARSHALL**  
CIVIL ENGINEERS - PLANNERS - SURVEYORS  
2405 Mustang Drive, Grapevine, Texas 76051  
Metro (817) 329-4373  
CONTACT: MATT BAACKE, P.E.



OWNER/APPLICANT:  
**Kubota**  
4400 Amon Carter Boulevard, Suite 100  
Fort Worth, TX 76155



VICINITY MAP  
(NOT TO SCALE)

CASE NAME: KUBOTA USA INC.  
CASE NUMBER: CU19-21  
LOCATION: 1000 KUBOTA DRIVE  
LOTS 1 & 2, BLOCK 1, KUBOTA ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 2 OF 3

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

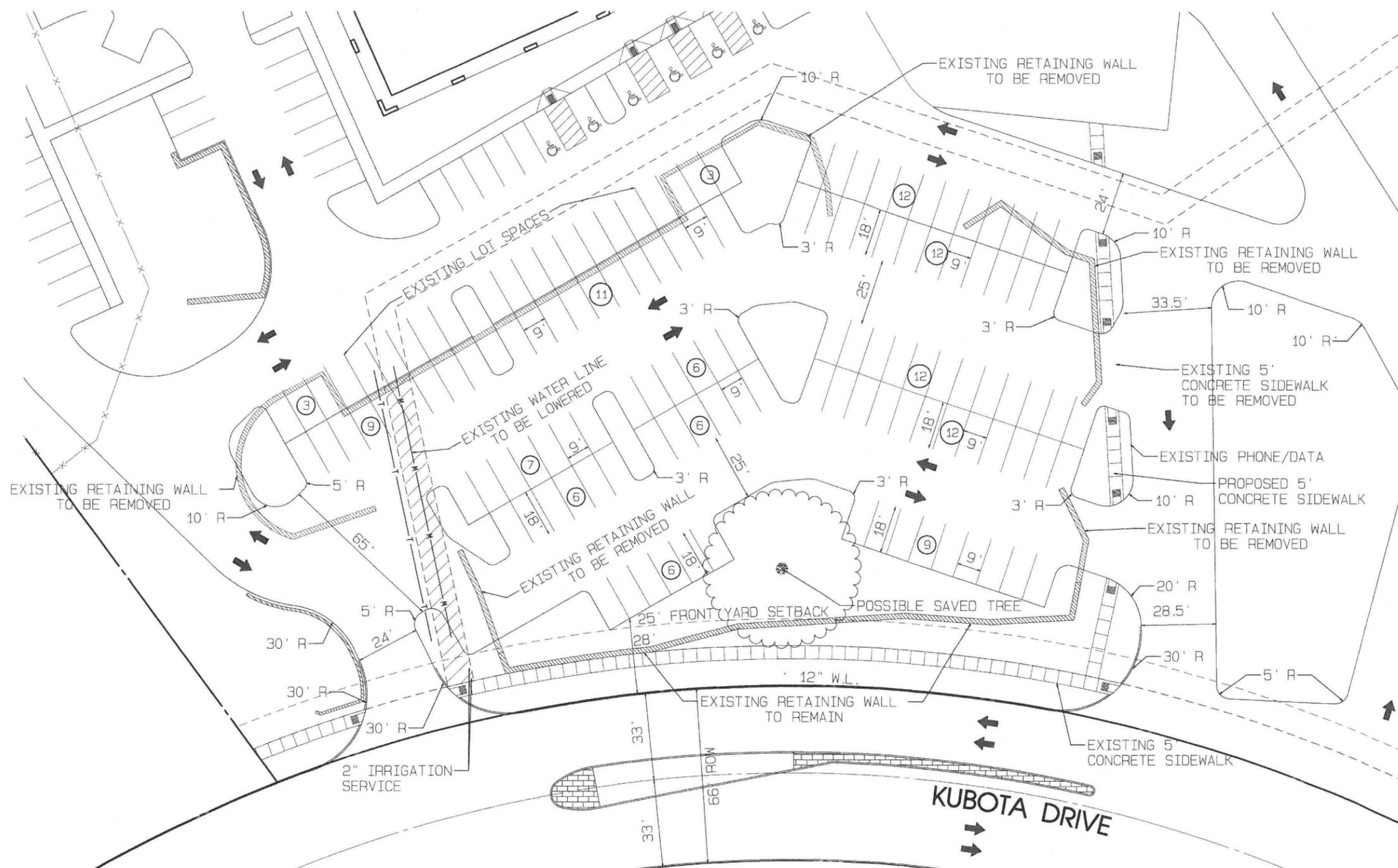


**DIMENSION CONTROL  
SITE PLAN  
FOR  
KUBOTA ADDITION**

BEING  
**27.009 ACRES**  
SITUATED IN THE

THOMAS W COUSY SURVEY, ABSTRACT No. 317  
JOHN E. HOLLAND SURVEY, ABSTRACT No. 614  
C.S. DUNNIGAN SURVEY, ABSTRACT No. 1655  
J.M. BAKER SURVEY, ABSTRACT No. 1691  
CITY OF GRAPEVINE, DALLAS COUNTY, TEXAS

EXISTING ZONING: CC  
EXISTING USE: VACANT  
AUGUST, 2019



NOTE:  
EXISTING TREES ARE POST  
OAKS AND WILL BE VERY  
DIFFICULT TO SAVE AS THEY  
ARE A SENSITIVE SPECIES.

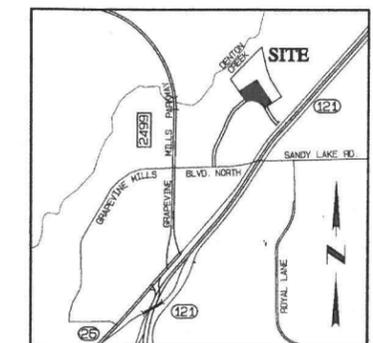
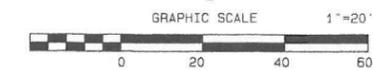
NOTE:  
CONDITIONAL USE REQUEST CU19-21 IS A REQUEST  
TO AMEND THE PREVIOUSLY APPROVED SITE PLAN  
OF CU-15-38 (ORD. 2015-55) TO EXCEED THE MAXIMUM  
HEIGHT OF 50 FEET FOR THE DISTRICT AND TO  
ESTABLISH A SIGN ADJACENT TO THE STATE HIGHWAY 121  
SERVICE ROAD, SPECIFICALLY TO ALLOW ADDITIONAL  
PARKING AND REMOVE RETAINING WALLS.

PREPARED BY:  
**GOODWIN &  
MARSHALL**  
CIVIL ENGINEERS - PLANNERS - SURVEYORS  
2405 Mustang Drive, Grapevine, Texas 76051  
Metro (817) 329-4373  
CONTACT: MATT BAACKE, P.E.



OWNER/APPLICANT:  
**Kubota**  
4400 Amon Carter Boulevard, Suite 100  
Fort Worth, TX 76155

E:\N\0653 - Kubota\Plans\Parking Lot Addition\Kubota Parking Lot Addition.pro Fri Aug 09 14:06:17 2019



VICINITY MAP  
(NOT TO SCALE)

CASE NAME: KUBOTA USA INC.  
CASE NUMBER: GU9-21  
LOCATION: 1000 KUBOTA DRIVE  
LOTS 1 & 2, BLOCK 1, KUBOTA ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 3 OF 3

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
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DEPARTMENT OF DEVELOPMENT SERVICES

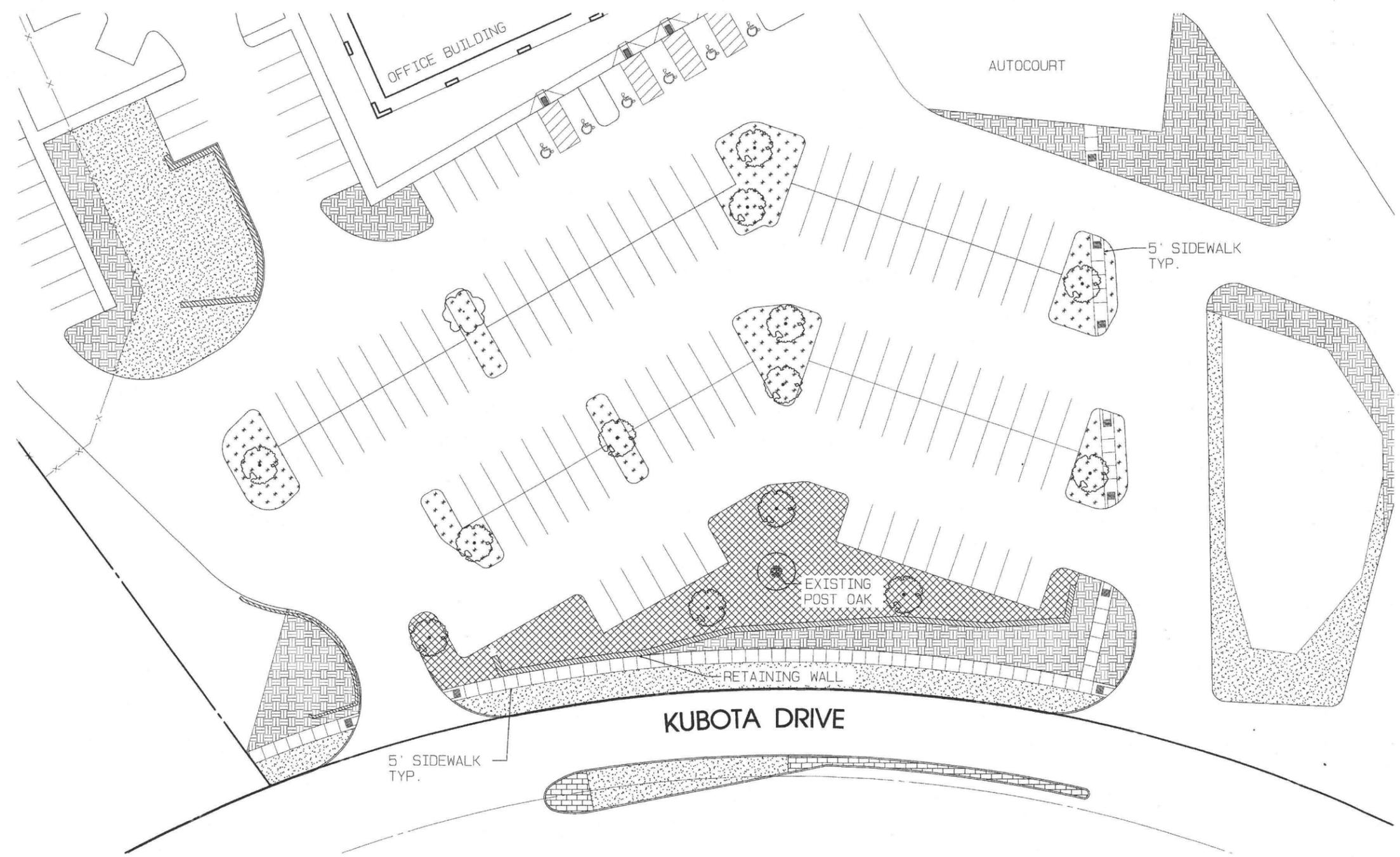


LANDSCAPE PLAN  
FOR  
KUBOTA ADDITION

BEING  
27.009 ACRES  
SITUATED IN THE

THOMAS W COUSY SURVEY, ABSTRACT No. 317  
JOHN E. HOLLAND SURVEY, ABSTRACT No. 614  
C.S. DUNNIGAN SURVEY, ABSTRACT No. 1655  
J.M. BAKER SURVEY, ABSTRACT No. 1691  
CITY OF GRAPEVINE, DALLAS COUNTY, TEXAS

EXISTING ZONING: CC  
EXISTING USE: VACANT  
AUGUST, 2019



PLANTING LEGEND

- |  |                               |  |                                  |  |                     |
|--|-------------------------------|--|----------------------------------|--|---------------------|
|  | SIGNIFICANT EXISTING POST OAK |  | EXISTING ORNAMENTAL PLANTING MIX |  | EXISTING TURF GRASS |
|  | EXISTING 4" SHADE TREE        |  | PROPOSED ORNAMENTAL PLANTING MIX |  | PROPOSED TURF GRASS |
|  | PROPOSED 4" SHADE TREE        |  |                                  |  |                     |



PREPARED BY:  
**GOODWIN & MARSHALL**  
CIVIL ENGINEERS ~ PLANNERS ~ SURVEYORS  
2405 Mustang Drive, Grapevine, Texas 76051  
Metro (817) 329-4373  
CONTACT: MATT BAACKE, P.E.

OWNER/APPLICANT:  
**Kubota**  
4400 Amon Carter Boulevard, Suite 100  
Fort Worth, TX 76155

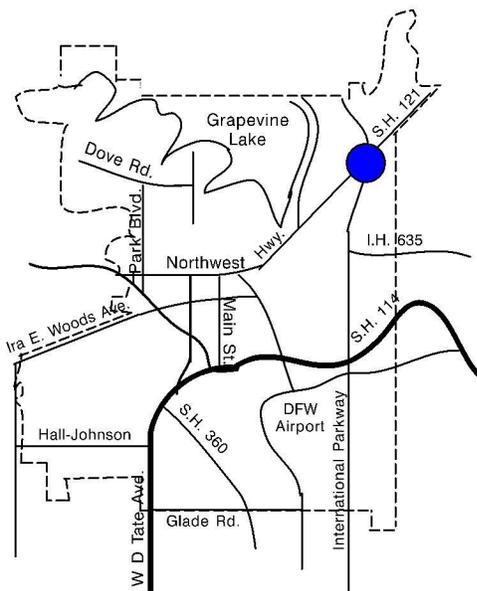
E:\10653 - Kubota\Plans\Parking Lot Addition\Kubota Parking Lot Addition.pro Fri Aug 09 14:06:34 2018

TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE  
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BK</sup>  
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: August 20, 2019

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF  
CONDITIONAL USE APPLICATION CU19-22, WAFFLE HOUSE



APPLICANT: Waffle House, Inc.

PROPERTY LOCATION AND SIZE:

The subject property is located at 2805 Bass Pro Drive and is platted as Lot 1B, Block 1, Bethel Center. The property contains 35,147 square feet and has approximately 163 feet of frontage along Enchanted Way and 192 feet of frontage along Bass Pro Drive.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to amend the previously approved site plan of CU15-33 (Ord. 2015-47) for a planned commercial center specifically to allow for a 20-foot pole sign in conjunction with a restaurant.

Conditional Use Request CU17-13 (Ord. 2017-45) was approved at the July 18, 2017 meeting to allow for a 1,635 square foot restaurant on the subject site, located at the northwest corner of Bass Pro Drive and Enchanted Way, which expired on July 18, 2019.

Unchanged from the original conditional use request, the applicant intends to develop a 1,635 square foot Waffle House restaurant. The restaurant will provide seating for 35 patrons. Total required parking for the restaurant is 17 parking spaces; 33 spaces are provided. One pole sign, 50 square-feet in area and 20-feet in height is proposed along Bass Pro Drive. No drive-through service, outdoor dining or outdoor speakers are

proposed.

PRESENT ZONING AND USE:

The property is currently zoned "CC" Community Commercial District with a planned Commercial Center Designation and is undeveloped.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject property and all the surrounding properties were rezoned in the 1984 City Rezoning from "I-1" Light Industrial to "PID" Planned Industrial Development. The subject property, the property to the east, and the property to the north were all rezoned in 1996 to "CC" Community Commercial. Conditional Use request CU97-24 was approved on the subject property allowing the development of a Comfort Inn and the establishment of a Planned Commercial Center for the Bethel Center Addition. CU99-03 was approved allowing the development of two hotels on lots 2A and 2B which were never constructed. Lot 1 of this addition has been developed as a convenience store with gasoline sales and beer and wine sales. A conditional use request (CU99-29) was approved in June 1999 to realigned lot lines and manipulate the sizes of several lots within the planned commercial center. The property to the west was rezoned from "PID" Planned Industrial Development to "CC" Community Commercial District in 1997 and is being developed as the Bass Prop Shops. At the August 18, 2015 meeting City Council approved Conditional Use Request CU15-33 (Ord.2015-47) on the subject site to allow the subdivision of the site into two lots. On December 7, 2016 the Site Plan Review Committee approved Conditional Use Request CU16-36 to revise portion of the exterior materials for Embassy Suites on the Bass Pro site. Conditional Use Request CU17-13 (Ord. 2017-46) was approved by the City Council at the July 18, 2017 to allow for a 20-foot pole sign in conjunction with a restaurant (Waffle House). The site never developed.

SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH: "CC" Community Commercial District—undeveloped
- SOUTH: DFW Airport property
- EAST: "CC" Community Commercial District—office development
- WEST: "CC" Community Commercial District—State Highway 121

AIRPORT IMPACT:

The subject tract is located within "Zone C" Greatest Zone of Effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map. In Zone C, industrial and commercial uses that can tolerate a high level of sound exposure are appropriate. The applicant's proposal is an appropriate use in this zone.

MASTER PLAN APPLICATION:

The Master Plan designates the subject property as a Commercial land use. The applicant's proposal is in compliance with the Master Plan.

THOROUGHFARE PLAN APPLICATION:

The frontage road of State Highway 121 North is not a designated thoroughfare. Bass Pro Drive is designated as a Type "B" Major Arterial with a minimum of 80 foot of right-of-way developed as four lanes with a median. Enchanted Way is not a designated thoroughfare.

/at

STATE HWY 121

6R1  
1.1568 @

5R1  
1.29 @

4R1  
1.2865 @

**BETHEL  
CENTER  
2536**

3R1A  
1.5147 @

1A  
1.239 @

7R  
4.367 @

2AR  
1.631 @

2B  
1.743 @

1 CC

ENCHANTED WAY

BP CC ITEM # 4, 29

PZ ITEM # 5, 7

**WATER  
OAKS  
EVENT  
CENTER  
45146**

1  
6.112 @

TR 3A  
1.848AC

**ASSC  
GRAPEVINE  
1178**

1  
3.462 @

**GENESIS  
ADDN  
15243**

4

5

TR 3A1  
4.102@

LI

2A

1



BETHEL SCHOOL RD

TR 2  
35.5 AC

TR 3  
40.8 AC

0 150 300 450 600 Feet



# CU19-22 Waffle House

Date Prepared: 8/6/2019

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

CU19-22



# CITY OF GRAPEVINE

## CONDITIONAL USE APPLICATION

### Form "A"

**PART 1. APPLICANT INFORMATION**

Name of applicant / agent: company/contact

Erik Hoeffs / Waffle House, Inc.

Street address of applicant / agent:

5986 Financial Dr.

City / State / Zip Code of applicant / agent:

Norcross / GA / 30071

Telephone number of applicant / agent:

770-729-5915

Fax number of applicant/agent

770-729-5853

Email address of applicant/agent

[REDACTED]

Mobile phone number of applicant/agent

404-375-8408

**PART 2. PROPERTY INFORMATION**

Street address of subject property

2805 Bass Pro Drive

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot 1B Block 1 Addition Bethel Center Addition

Size of subject property

.807 Acres 35,146 Square footage

Present zoning classification:

CC

Proposed use of the property:

Waffle House restaurant

Circle yes or no, if applies to this application

Outdoor speakers Yes  No

Minimum / maximum district size for conditional use request:

Zoning ordinance provision requiring a conditional use:

Current CUP expired (CU17-13)

**PART 3. PROPERTY OWNER INFORMATION**

Name of current property owner:

Waffle House, Inc.

Street address of property owner:

5986 Financial Dr.

City / State / Zip Code of property owner:

Norcross, GA 30071

Telephone number of property owner:

770-729-5915

Fax number of property owner:

770-729-5853

JUL 1 2019

CUI9-22

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.

- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

**PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY**

Erik Haeffs

[Signature]

Print Applicant's Name:

Applicant's Signature:

The State of Georgia

County Of Gwinnett

Before Me Kristy Ford (notary) on this day personally appeared Erik Haeffs (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 13<sup>th</sup> day of June, A.D. 2019.

[Signature]  
Notary In And For State Of Texas Georgia



Erik Haeffs

[Signature]

Print Property Owners Name:

Property Owner's Signature:

The State Of Georgia

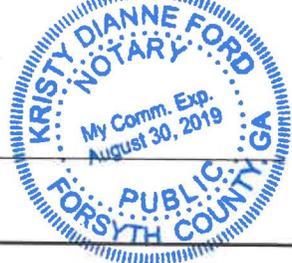
County Of Gwinnett

Before Me Kristy Ford (notary) on this day personally appeared Erik Haeffs (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 13<sup>th</sup> day of June, A.D. 2019.

[Signature]  
Notary In And For State Of Texas Georgia



**ACKNOWLEDGEMENT**

**All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.**

**All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.**

**Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.**

**Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.**

**I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.**

**Signature of Applicant** 

**Date:** 6/13/2019

**Signature of Owner** 

**Date:** 6/13/2019

# W A F F L E H O U S E<sup>®</sup>

**"GOOD FOOD FAST"<sup>®</sup>**

**P.O. Box 6450 • Norcross, Georgia 30091-6450**

**(770) 729-5700**

June 13, 2019

Mr. Ron Stombaugh, Assistant Director  
Development Services, City of Grapevine  
200 South Main Street  
Grapevine, TX 76051

**RE: Conditional Use Application Letter**

Dear Mr. Stombaugh,

Enclosed with this letter, please find the following items being submitted for the purpose of application for reapproval of a previously approved project under case number CU 17-13 as it pertains to Lot 1B, Block 1, in the Bethel Center Addition, it's address being 2805 Bass Pro Dr.

1. Signed and notarized Conditional Use Application Form "A";
2. Signed and notarized Site Plan Application Form "B";
3. Filing Fee;
4. Address and legal description of the property;
5. Four folded 24" x 36" blackline prints of the complete site plan;
6. Three folded 24" x 36" copies of the site plan only;
7. A copy of the previous application packet; and
8. A copy of the previously approved plans.

JUL 1 2019

The purpose of this application is to re-apply of a previously approved conditional use permit to develop and operate a Waffle House restaurant on the property described above. This property is currently undeveloped and zoned "CC" Community Commercial with a Planned Commercial Center Designation. The Master Development Plan designates the subject property as a Commercial land use, and this proposal is in compliance with the Master Plan.

The subject property is adjacent to State Highway 121, in an area which is primarily used for retail, lodging, and other commercial and industrial uses, and is significantly distance from residential uses. Approval of the proposed conditional use will not cause any harm whatsoever to the value, use, or enjoyment of the property in the neighborhood. To the contrary, by facilitating further high- quality development in the Bethel Center Addition, the proposed conditional use will add significantly to the value, use, and enjoyment of other properties in the neighborhood. It will also create jobs and tax revenue for the City of Grapevine.

Sincerely,

A handwritten signature in blue ink, appearing to read "Erik Haeffs".

Erik Haeffs  
Property Manager  
Waffle House, Inc.

JUL 1 2019

ORDINANCE NO. 2019-053

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS ISSUING CONDITIONAL USE PERMIT CU19-22 TO AMEND THE PREVIOUSLY APPROVED SITE PLAN CU15-33 (ORDINANCE NO. 2015-47) FOR A PLANNED COMMERCIAL CENTER TO ALLOW A TWENTY FOOT POLE SIGN IN CONJUNCTION WITH A RESTAURANT (WAFFLE HOUSE) IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT LOCATED ON LOT 1B, BLOCK 1, BETHEL CENTER (2805 BASS PRO DRIVE) ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73, ATTACHED HERETO AND MADE A PART HEREOF AS EXHIBIT "A", AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood;

adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU19-22 to amend the site plan approved by Ordinance No. 2015-47 for a planned commercial center, specifically to allow a twenty foot pole sign in conjunction with a restaurant (Waffle House) in a district zoned "CC" Community Commercial District Regulations within the following described property: Lot 1B, Block 1, Bethel Center (2805 Bass Pro Drive) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. That the City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safely from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. That this ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of

land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. That any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of August, 2019.

APPROVED:

---

William D. Tate  
Mayor

ATTEST:

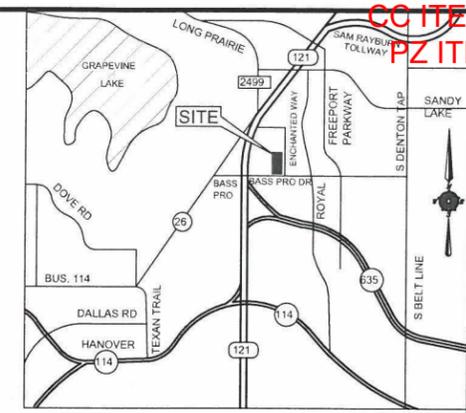
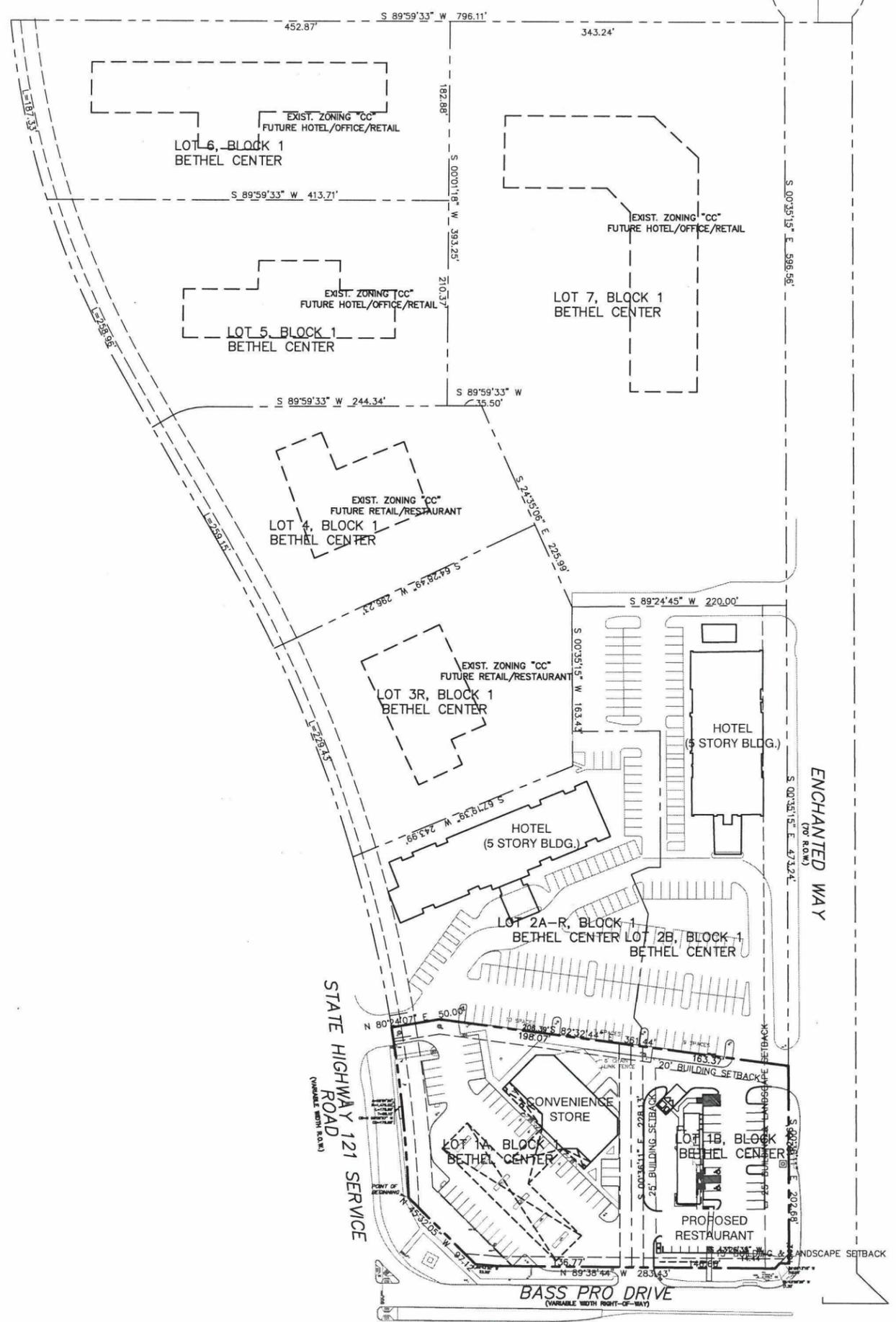
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Tara Brooks  
City Secretary

APPROVED AS TO FORM:

---

City Attorney



**THOMAS**  
SITE DEVELOPMENT ENGINEERING, INC.  
REGISTRATION NO. F-10289  
2004 BEDFORD ROAD, SUITE 200, BEDFORD, TX 76021  
PHONE: (214) 680-2728; THOMAS-ENG.COM  
EMAIL: MATHEW@THOMAS-ENG.COM



**TEAM MEMBERS**

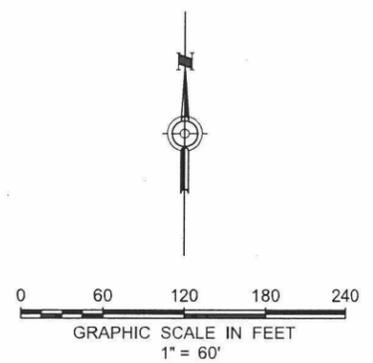
**OWNER**  
WAFFLE HOUSE, INC.  
5986 FINANCIAL DRIVE, NORCROSS, GA 30071  
ATTN: ERIK HAEFFS PH: (770) 729-5915

**DEVELOPER**  
WAFFLE HOUSE, INC.  
5986 FINANCIAL DRIVE, NORCROSS, GA 30071  
ATTN: ERIK HAEFFS PH: (770) 729-5915

**CIVIL ENGINEER**  
THOMAS SITE DEVELOPMENT ENGINEERING, INC.  
2004 BEDFORD ROAD, SUITE 200  
BEDFORD, TEXAS 76021  
ATTN: MATHEW THOMAS PH: 214.680.2728

**ARCHITECT**  
MARK D. PAVEY, AIA - ARCHITECT  
P.O. BOX 1365  
GULF SHORES, AL 36547  
ATTN: MARK PAVEY; PH: 334.546.3624

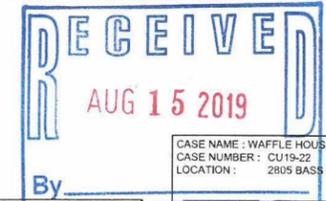
**LANDSCAPE ARCHITECT**  
FELDMAN DESIGN STUDIOS  
P.O. BOX 832346  
RICHARDSON, TX 75083-2346  
ATTN: CAROL FELDMAN; PH: 972.523.4944



**CONDITIONAL USE REQUEST CU19-22**

1. CONDITIONAL USE REQUEST CU19-22 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU15-33 (ORD. 2015-47) FOR A PLANNED COMMERCIAL CENTER, SPECIFICALLY TO ALLOW A POLE SIGN IN CONJUNCTION WITH A RESTAURANT.

2. LIGHT FIXTURES INCLUDING THE BASE SHALL BE MOUNTED NO HIGHER THAN THE HIGHEST POINT ON THE PRIMARY STRUCTURE OR 16' IN HEIGHT.



**SITE DATA**

LOT NUMBER	LOT AREA (SF)	TOTAL BUILDING AREA (SF)	TOTAL BLDG. & PAVED AREA (SF)	BUILDING COVERAGE	MIN. OPEN SPACE REQD. (SF)	LANDSCAPE AREA (SF)	NET OPEN SPACE (SF)	PARKING REQ. / PROV.
1A	53,979	6,250	40,953	11.58%	20% OR 10,796	13,026	2,230	40/43
1B	35,146	1,635	23,921	4.65%	20% OR 7,029	11,225	4,185	17/33
2	143,749	93,031	93,031	64.72%	20% OR 28,750	50,718	7,593	192/192
3	65,976	*	*	*	*	*	*	*
4	62,359	*	*	*	*	*	*	*
5	78,392	34,923	54,923	44.55%	20% OR 15,678	24,287	769	77/79
6	79,836	16,609	56,135	20.80%	20% OR 15,987	23,396	-555	74/74
7	190,215	*	*	*	*	*	*	*

\* THESE LOTS ARE CURRENTLY OPEN AREAS TO BE DEVELOPED IN THE FUTURE. SPECIFIC PROJECT DATA WILL BE PROVIDED AT TIME OF DEVELOPMENT

CASE NAME : WAFFLE HOUSE RESTAURANT  
CASE NUMBER : CU19-22  
LOCATION : 2805 BASS PRO ROAD

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE : \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE : \_\_\_\_\_  
SHEET : 1 OF 10

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

DEPARTMENT OF DEVELOPMENT SERVICES

- NOTES:**
- ALL PROPERTY SHOWN HEREON IS ZONED C-C.
  - NO PORTIONS OF THE SUBJECT PROPERTY IS SHOWN TO BE WITHIN A SPECIAL HAZARD AREA AS DEFINED BY THE FIA FLOOD HAZARD BOUNDARY MAPS PREPARED FOR THE CITY OF GRAPEVINE, COMMUNITY NO. 480598.
  - PARKING FOR THE DISABLED SHALL BE DESIGNATED ACCORDING TO THE CITY OF GRAPEVINE CODE OF ORDINANCES.
  - PARKING LOT LIGHTING SHALL BE DESIGNED USING A MIN. 1.5 FOOT CANDLES LIGHT LEVEL.
  - THE REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.
  - ALL REQUIREMENTS OF THE ZONING ORDINANCE SECTION 60, SIGN STANDARDS, SHALL BE MET BY THIS DEVELOPMENT.

**MASTER DEVELOPMENT PLAN - 1**

LOTS 1A, 1B, 2A, 2R, 3R1, 4R-7R  
BLOCK 1, BETHEL CENTER ADDITION  
CITY OF GRAPEVINE, TX 76051  
CITY OF GRAPEVINE  
TARRANT COUNTY, TX 76051

OWNER: WAFFLE HOUSE, INC.  
5986 FINANCIAL DRIVE, NORCROSS, GA 30071  
ATTN: ERIK HAEFFS PH: (770) 729-5915

ENGINEER: THOMAS SITE DEVELOPMENT ENGINEERING, INC.  
2004 BEDFORD ROAD, SUITE 200, BEDFORD, TX 76021  
ATTN: MATHEW THOMAS, PE PH: (214) 680-2728

**W A F F L E H O U S E**  
2805 BASS PRO DRIVE  
LOT 1B, BLOCK 1, BETHEL CENTER ADDITION  
CITY OF GRAPEVINE, TX 76051

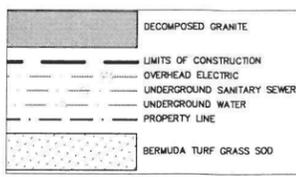
DATE	DESCRIPTION

REVISION



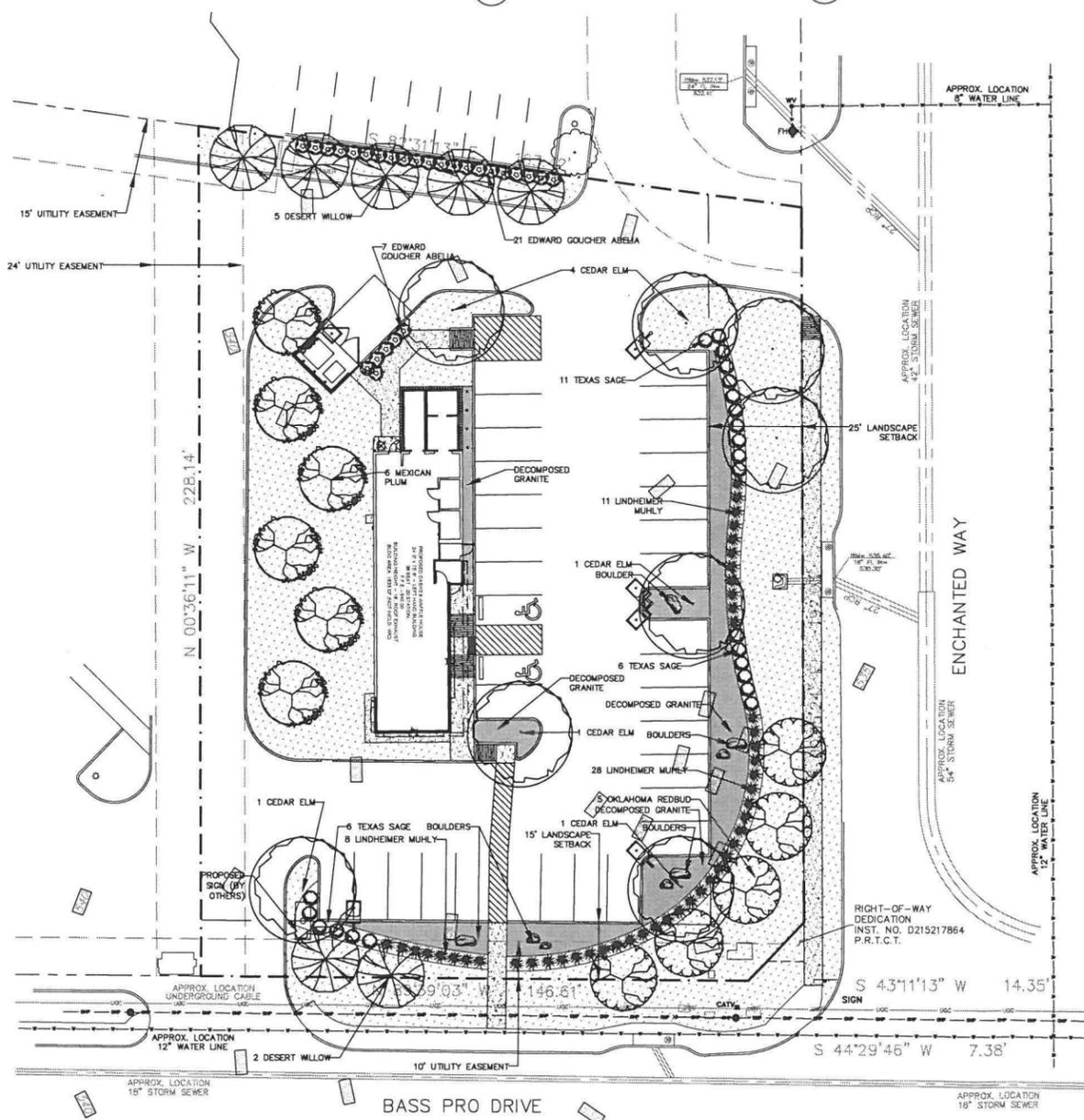


Common Name	Botanical Name	Native	Size	Qrs	Remarks
Cedar Elm	<i>Ulmus crassifolia</i>	Tree	Yes 65 gal	8	3" cal min.
Desert Willow	<i>Chiosia linearis</i>	Tree	Yes 30 gal	7	3" cal min.
Edward Goucher Abelia	<i>Abelia x 'Edward Goucher'</i>	Shrub	No 5 gal	27	30" height at planting
Lindheimer Muhly / Big Muhly	<i>Muhlenbergia lindheimeri</i>	Grass	Yes 5 gal	47	30" height at planting
Mexican Plum	<i>Prunus mexicana</i>	Small tree	Yes 30 gal	6	3" cal min.
Redbud 'Oklahoma'	<i>Cercis canadensis var. 'oklahoma'</i>	Small tree	Yes 30 gal	5	3" cal min.
Texas Sage, Compact	<i>Leucophyllum frutescens 'Compactum'</i>	Shrub	Yes 5 gal	23	30" height at planting
Bermuda grass seed	Tif 419		sq. ft.	12,645	
Boulder	Moss Boulder, 250 lb. typ.			8	
Decomposed Granite	Brown color, 5.5" compacted to 4" depth		sq. ft.	2050	



PLANT LIST

DRAWING KEY



PLANTING PLAN  
Scale: 1" = 20'



Site Location

Jurisdiction of Project

REGULATORY AUTHORITIES  
CITY OF GRAPEVINE PLANNING & ZONING  
200 S. MAIN ST., GRAPEVINE, TX 76051  
P.O. BOX 95104, GRAPEVINE, TX 76099  
(817) 418-3155

TEXAS DEPARTMENT OF LICENSING AND REGULATION  
ELIMINATION OF ARCHITECTURAL BARRIERS  
E.O. THOMPSON STATE OFFICE BUILDING  
920 COLORADO  
AUSTIN, TEXAS 78701  
(512) 463-5211  
(512) 475-2886 (FAX)

Landscaping Requirements

GRAPEVINE, TX CODE OF ORDINANCES  
SECTION 53. LANDSCAPE REGULATIONS

INTERIOR LANDSCAPING:  
A. A MIN. OF 10% OF GROSS PARKING AREAS IN LANDSCAPE (5,308 SF)  
REQUIRED: 551 SF PROVIDED: 972 SF  
B. MIN. 1 TREE PER 400 SF OF INTERIOR LANDSCAPE AREA  
REQUIRED: 2 TREES PROVIDED: 6 TREES  
C. INTERIOR PLANTER ISLAND TREES  
REQUIRED: 6 TREES PROVIDED: 6 TREES

PERIMETER LANDSCAPING  
A. ALL PARKING LOTS AND VEHICULAR USE AREAS SCREENED  
PROVIDED: HEDGE SCREENING

NOTE: PLANT MATERIAL SELECTED TO SCREEN THE VEHICULAR USE AREAS FROM THE RIGHT-OF-WAY AND ADJACENT PROPERTIES SHALL BE A MINIMUM OF THIRTY INCHES AT THE TIME OF PLANTING AND THE TYPE OF SPECIES THAT CAN ATTAIN A HEIGHT OF THREE FEET ONE YEAR AFTER PLANTING.

B. 15' PERIMETER LANDSCAPE ABUTTING PUBLIC R.O.W.  
PROVIDED: 15' ABUTTING BASS PRO DRIVE  
25' ABUTTING ENCHANTED WAY  
C. 10' PERIMETER LANDSCAPE ABUTTING ADJACENT PROPERTIES  
PROVIDED: 10' ABUTTING NORTH & WEST PROPERTIES  
D. 1 TREE FOR EACH 50 LIN. FT. OF PERIMETER  
NORTH - (163 LF) REQUIRED: 4 TREES PROVIDED: 4 TREES  
EAST - (192 LF) REQUIRED: 4 TREES PROVIDED: 4 TREES  
SOUTH - (147 LF) REQUIRED: 3 TREES PROVIDED: 3 TREES  
WEST - (228 LF) REQUIRED: 5 TREES PROVIDED: 5 TREES

OPEN SPACE REQUIREMENT  
A. SITE: 53,146 SF MIN. 20% IN OPEN SPACE  
REQUIRED OPEN SPACE: 7,029 SF (20%)  
PROVIDED OPEN SPACE: 11,225 SF (31.94%)  
OPEN SPACE IN FRONT YARD: 5,788 SF (10.87%)

ONE TREE PER TEAM MEMBER  
TREES REQUIRED: 4 TREES  
TREES PROVIDED: 4 TREES

LANDSCAPE DOES NOT OBSTRUCT TRAFFIC VISIBILITY.  
NO EXISTING TREES ON SITE.

Irrigation Requirements

UNDERGROUND AUTOMATIC SPRINKLING SYSTEM PROVIDED.  
SYSTEM DESIGNED AND INSTALLED ACCORDING TO TCCO LAWS AND REGULATIONS PROVIDING FOR 100% COVERAGE ON ALL LANDSCAPE AND TURE. THE SYSTEM SHALL INCLUDE A FREEZE-RAIN SENSOR AND RZP WITH ENCLOSURE.

**OWNER**  
WAFFLE HOUSE, INC.  
5986 FINANCIAL DRIVE, NORCROSS, GA 30071  
ATTN: DREW JOINER PH: (770) 729-5805

**DEVELOPER**  
WAFFLE HOUSE, INC.  
5986 FINANCIAL DRIVE, NORCROSS, GA 30071  
ATTN: ERIK HAEFFS PH: (770) 729-5915

**CIVIL ENGINEER**  
THOMAS SITE DEVELOPMENT ENGINEERING, INC.  
2004 BEDFORD ROAD, SUITE 200  
BEDFORD, TEXAS 76021  
ATTN: MATHEW THOMAS PH: 214.680.2728

**ARCHITECT**  
MARK D. PAVEY, AIA - ARCHITECT  
P.O. BOX 1365  
GULF SHORES, AL 36547  
ATTN: MARK PAVEY, PH: 334.546.3624

**LANDSCAPE ARCHITECT**  
FELDMAN DESIGN STUDIOS  
P.O. BOX 832346  
RICHARDSON, TX 75083-2346  
ATTN: CAROL FELDMAN, PH: 972.523.4944

**CONDITIONAL USE REQUEST CU19-22**  
1. CONDITIONAL USE REQUEST CU19-22 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU15-33 (ORD. 2015-47) FOR A PLANNED COMMERCIAL CENTER, SPECIFICALLY TO ALLOW A POLE SIGN IN CONJUNCTION WITH A RESTAURANT.  
2. LIGHT FIXTURES INCLUDING THE BASE SHALL BE MOUNTED NO HIGHER THAN THE HIGHEST POINT ON THE PRIMARY STRUCTURE OR 16' IN HEIGHT.

CASE NAME: WAFFLE HOUSE RESTAURANT  
CASE NUMBER: CU19-22  
LOCATION: 2805 BASS PRO ROAD

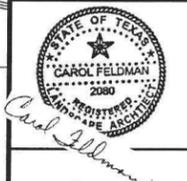
MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: \_\_\_\_\_ OF \_\_\_\_\_  
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

**LANDSCAPE PLAN**  
LOT 1B, BLOCK 1, BETHEL CENTER ADDITION  
CITY OF GRAPEVINE, TX 76051  
35,146 SF (0.807 AC.)  
CITY OF GRAPEVINE  
TARRANT COUNTY, TX 76051

OWNER: WAFFLE HOUSE, INC.  
5986 FINANCIAL DRIVE, NORCROSS, GA 30071  
ATTN: ERIK HAEFFS PH: (770) 729-5915

LANDSCAPE ARCHITECT: FELDMAN DESIGN STUDIOS  
P.O. BOX 832346, RICHARDSON, TEXAS 75083  
ATTN: CAROL FELDMAN, 972-523-4944  
CAROL@FELDMANDESIGN.COM

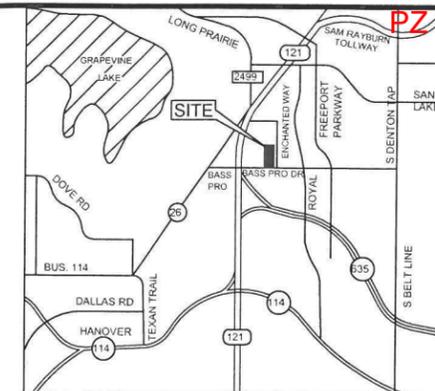
FELDMAN DESIGN STUDIOS  
P.O. Box 832346 Richardson, Texas 75083  
Mobile: 972-223-1911 Email: carol@feldmandesign.com  
These drawings have been prepared by or under the supervision of a Licensed Landscape Architect #2080, Licensed Irrigator #20245



**W A F F L E H O U S E**  
NW CORNER - BASS PRO DRIVE & ENCHANTED WAY  
LOT 1B, BLOCK 1, BETHEL CENTER ADDITION  
CITY OF GRAPEVINE, TX 76051

REVISION	DESCRIPTION	DATE
6.13.19	SITE PLAN SUBMITTAL	7.22.19
	MINOR WORDING CORRECTIONS	

**L-1.0**  
SHEET 4 OF 10



VICINITY MAP  
NOT TO SCALE

MARK D. PAVEY, AIA - ARCHITECT  
P.O. BOX 1365  
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(334)-546-3824 (208)-350-0593 (FAX)



**TEAM MEMBERS**

**OWNER**  
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5986 FINANCIAL DRIVE, NORCROSS, GA 30071  
ATTN: DREW JOINER PH: (770) 729-5805

**DEVELOPER**  
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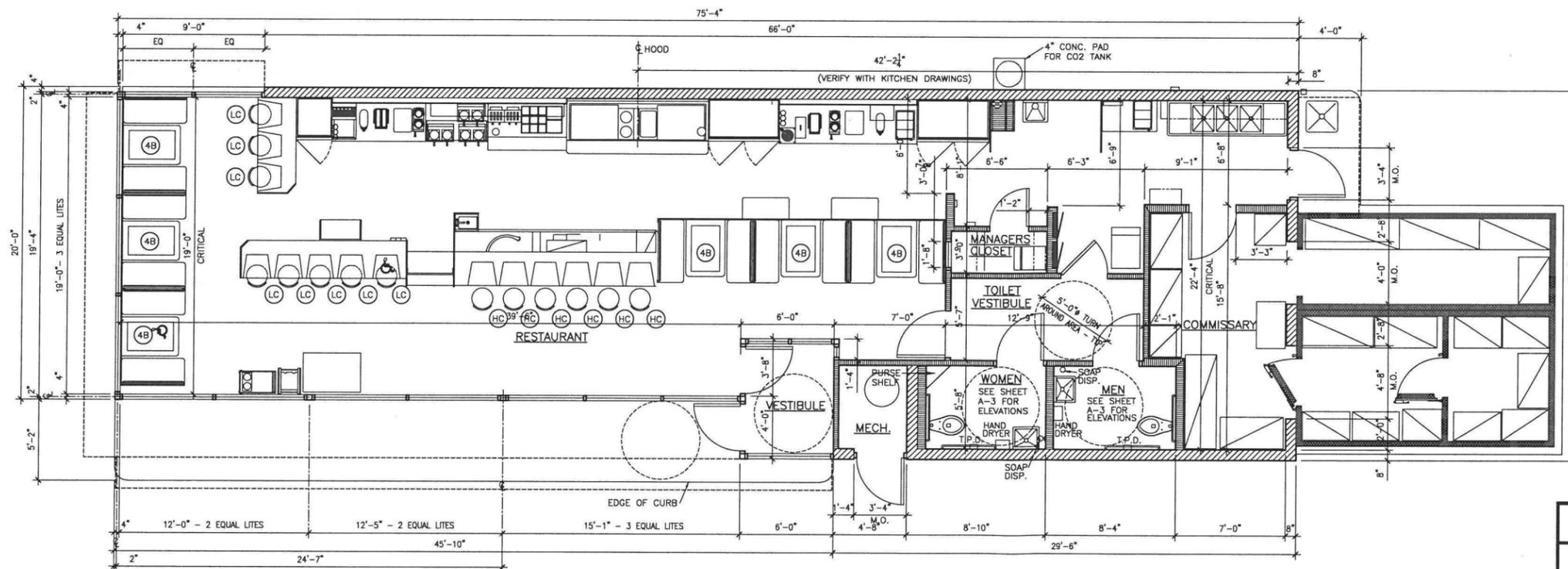
**CIVIL ENGINEER**  
THOMAS SITE DEVELOPMENT ENGINEERING, INC.  
2004 BEDFORD ROAD, SUITE 200  
BEDFORD, TEXAS 76021  
ATTN: MATHEW THOMAS PH: 214.680.2728

**ARCHITECT**  
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ATTN: MARK PAVEY; PH: 334.546.3824

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RICHARDSON, TX 75083-2346  
ATTN: CAROL FELDMAN; PH: 972.523.4944

**SEATING CALCULATIONS**

MARK	SEAT TYPE	QUANTITY	TOTAL SEATING
4B	4 MAN BOOTH	6	24
EB	EMPLOYEE BOOTH	0	0
HC	HIGH COUNTER STOOLS	6	6
LC	LOW COUNTER CHAIRS	8	8
<b>GRAND TOTAL</b>			<b>38</b>



**FLOOR PLAN**

SCALE: 1/4"=1'-0"

**CONDITIONAL USE REQUEST CU-19-22**

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CASE NAME: WAFFLE HOUSE RESTAURANT  
CASE NUMBER: CU-19-22  
LOCATION: 2805 BASS PRO ROAD

MAYOR: \_\_\_\_\_ SECRETARY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN: \_\_\_\_\_  
DATE: \_\_\_\_\_ OF \_\_\_\_\_  
SHEET \_\_\_\_\_ OF \_\_\_\_\_

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DEPARTMENT OF DEVELOPMENT SERVICES

**C.U.P. FLOOR PLAN**

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CITY OF GRAPEVINE, TX 76051  
35,146 SF (0.807 AC.)  
CITY OF GRAPEVINE  
TARRANT COUNTY, TX 76051

OWNER: WAFFLE HOUSE, INC. 5986 FINANCIAL DRIVE, NORCROSS, GA 30071 ATTN: DREW JOINER PH: (770) 729-5805  
ENGINEER: THOMAS SITE DEVELOPMENT ENGINEERING, INC. 2004 BEDFORD ROAD, SUITE 200, BEDFORD, TX 76021 ATTN: MATHEW THOMAS, PE PH: (214) 680-2728

REVISION	DESCRIPTION	DATE

**WAFFLE HOUSE**  
2805 BASS PRO DRIVE  
LOT 1B, BLOCK 1, BETHEL CENTER ADDITION  
CITY OF GRAPEVINE, TX 76051

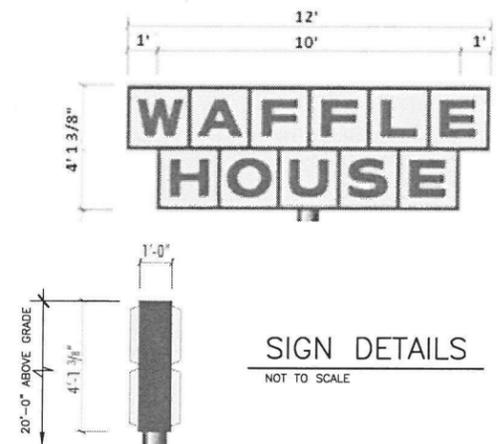
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MARK D. PAVEY, AIA - ARCHITECT  
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GULF SHORES, AL 36547  
(334)-546-3824 (206)-350-0593 (FAX)



Electronic seal & signature  
Eseled: 7/12/17

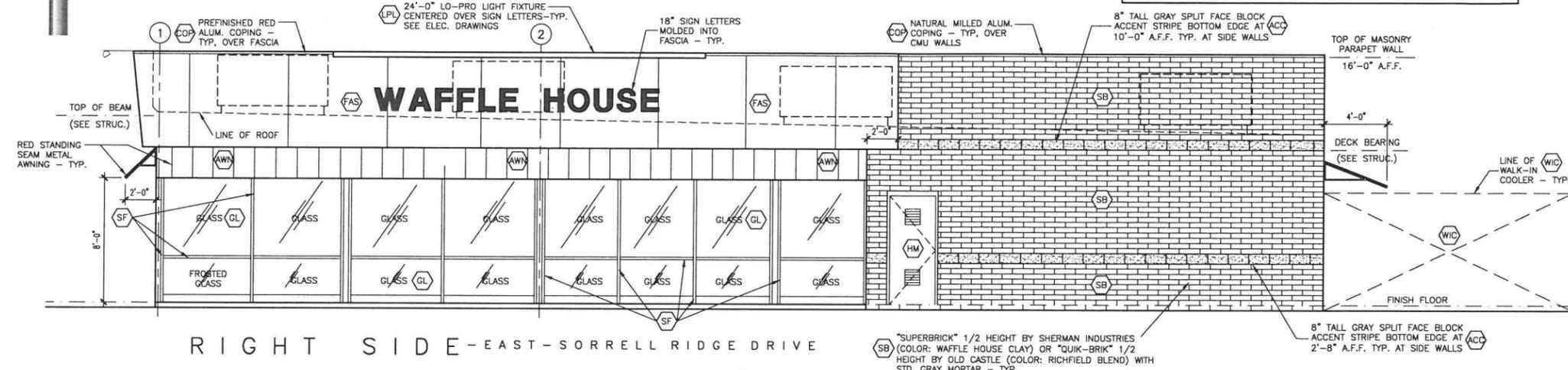
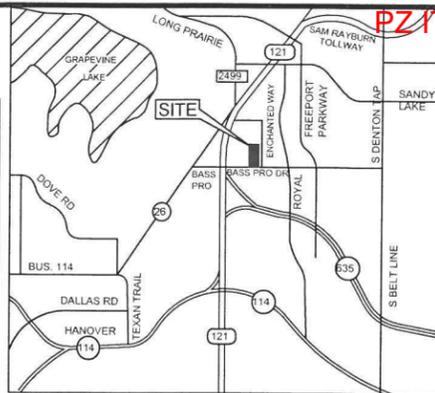
**Waffle House**  
2805 BASS PRO DRIVE  
LOT 1B, BLOCK 1, BETHEL CENTER ADDITION  
CITY OF GRAPEVINE, TX 76051



MATERIAL COLORS LEGEND					
MARK	LOCATION	SUPPLIER/MANUF.	MATERIAL	FINISH	COLOR
SB	SUPERBRICK	??	CMU/CONCRETE	COARSE	WAFFLE HOUSE CLAY
ACC	ACCENT BAND	LOCAL	CMU/CONCRETE	SPLIT FACE/SMOOTH	GRAY
HM	H.M. DOORS & FRAMES	SHERWIN WILLIAMS	METAL/PAINT	INDUSTRIAL ENAMEL	BROWN-BRONZE
WIC	WALK-IN COOLER	INTERNATIONAL COLD STORAGE	ALUMINUM/PAINT	EMBOSSED	COLONIAL RED
AWN	STANDING SEAM AWNING	BERRIDGE	ALUMINUM/POWDER COAT	SMOOTH	DEEP RED
SF	STOREFRONT	OLDCASTLE BUILDING ENVELOPE	ALUMINUM	ANODIZED/SMOOTH	CLEAR
GL	GLAZING	??	GLASS	TEMPERED	CLEAR/FROSTED
FAS	FASCIA	??	LEXAN	SMOOTH	YELLOW
COP	PARAPET COPING	??	ALUMINUM	PREFINISHED/NATURAL	RED OVER FASCIA/MILL FINISH OVER CMU
LPL	LOW PROFILE LIGHTING	??	ALUMINUM/POWDER COAT	PREFINISHED	RED
GUT	GUTTER/DOWNSPOUT	??	ALUMINUM	NATURAL	MILL

MATERIAL AREAS TABLE		
RIGHT SIDE ELEVATION		
MATERIAL	SURFACE AREA SQ. FT.	PERCENT OF TOTAL
FASCIA	302	32%
SUPERBRICK	404	43%
SPLIT FACED BLOCK	34	4%
AWNING	91	10%
WALK-IN COOLER	116	11%
TOTAL AREA	947	
LEFT SIDE ELEVATION		
FASCIA	153	12%
SUPERBRICK	925	72%
SPLIT FACED BLOCK	78	6%
AWNING	18	1%
WALK-IN COOLER	116	9%
TOTAL AREA	1,290	

NOTE: WINDOWS AND DOORS EXCLUDED FROM CALCULATIONS.



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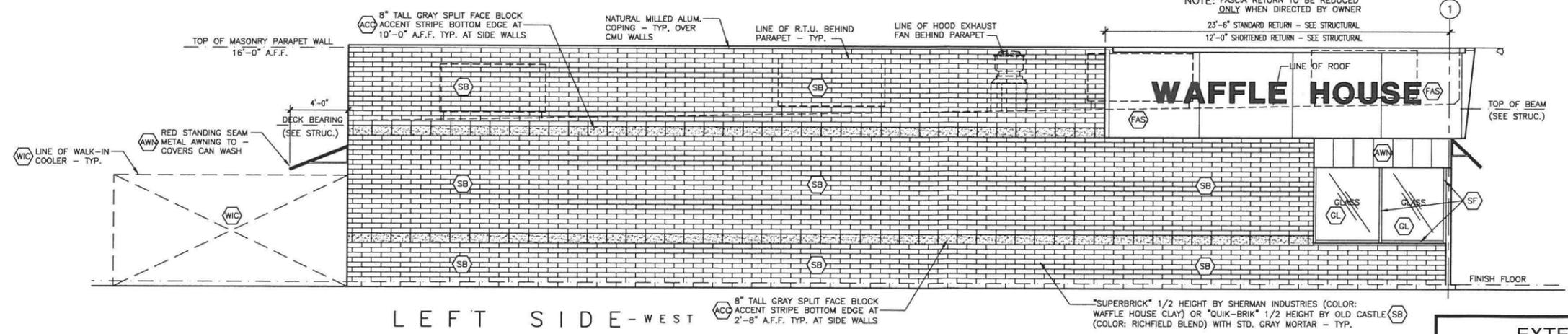
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**EXTERIOR ELEVATIONS**

SCALE: 1/4"=1'-0"

- NOTES:**
1. ALL GLAZING TO BE TEMPERED SAFETY GLASS - SEE SPECS.
  2. COORDINATE ROOF ACCESS LADDER LOCATION WITH WAFFLE HOUSE REP. IN FIELD. SEE A-4 FOR DETAIL.

**EXTERIOR ELEVATIONS**

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REVISION	DATE	DESCRIPTION

**A-3.1**  
SHEET 6 OF 10

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CG ITEM # 4, 29  
PZ ITEM # 5, 7

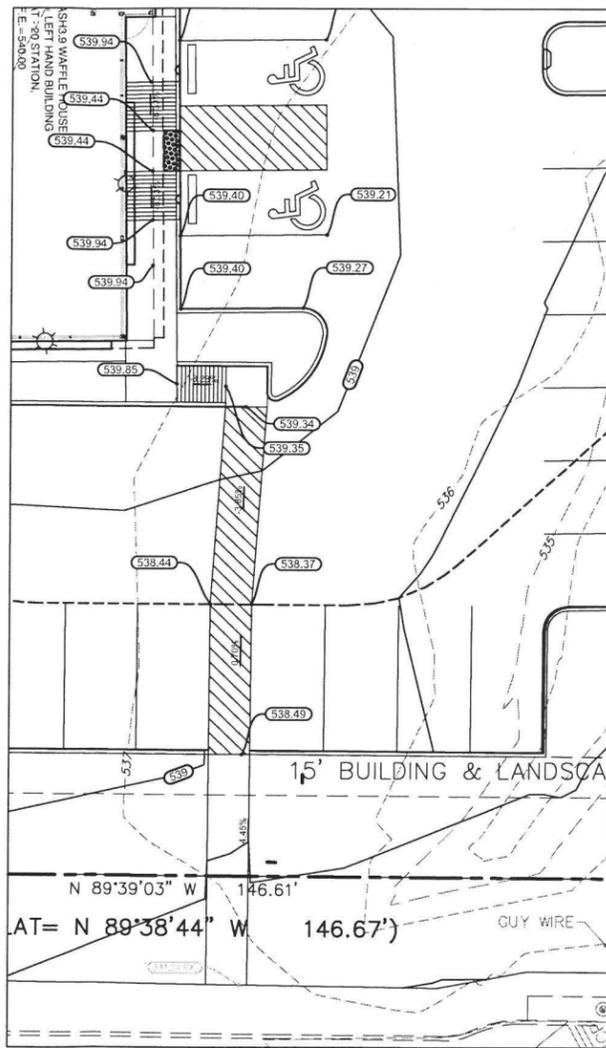
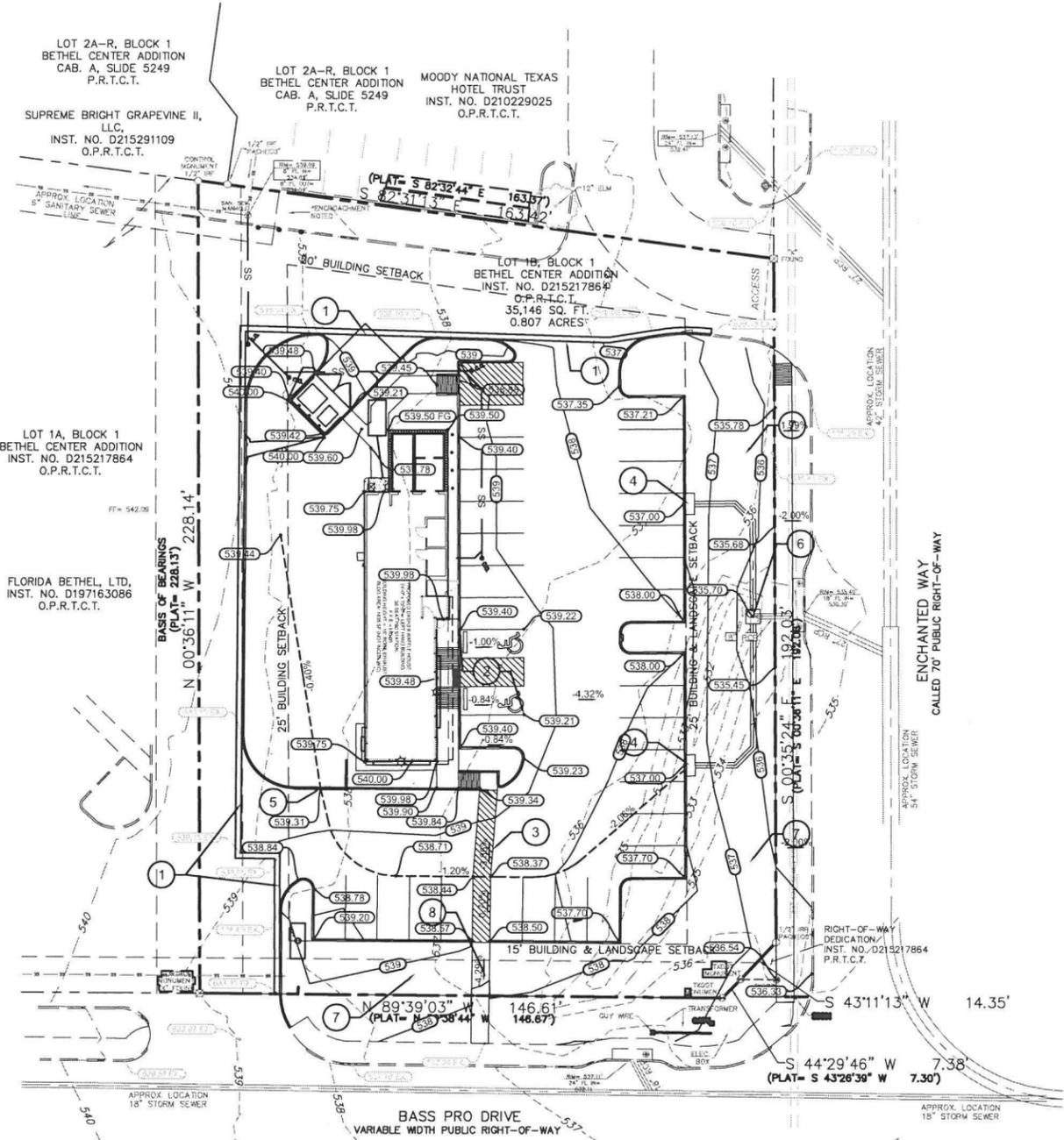
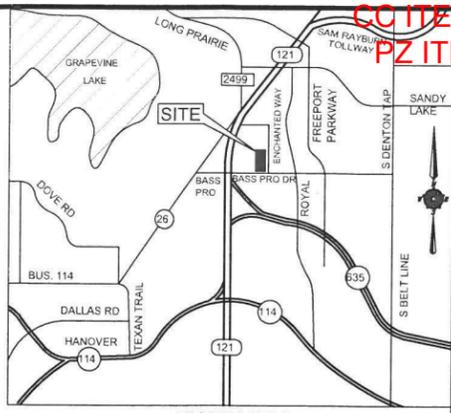
**THOMAS**  
SITE DEVELOPMENT ENGINEERING INC.  
REGISTRATION NO. F-10289  
2004 BEDFORD ROAD, SUITE 200, BEDFORD, TX 76021  
PHONE: (214) 680-2728; THOMAS-ENG.COM  
EMAIL: MATHEW@THOMAS-ENG.COM



**WAFFLE HOUSE**  
2805 BASS PRO DRIVE  
LOT 1B, BLOCK 1, BETHEL CENTER ADDITION  
CITY OF GRAPEVINE, TX 76051

**NOTES BY SYMBOL:**

- 1 MATCH EXISTING ELEVATION
- 2 CROSS SLOPE NOT TO EXCEED 2% (IN ANY DIRECTION) IN THIS AREA
- 3 LONGITUDINAL SLOPE NOT TO EXCEED 4.75% AND CROSS SLOPE NOT TO EXCEED 2% ALONG ADA COMPLIANT WALKWAY
- 4 INSTALL 5" CURB INLET AND STORM DRAIN PER DETAILS ON SHEET C-3.2 & C-5.3
- 5 INSTALL 3" CURB OPENING PER DETAILS ON SHEET C-5.3
- 6 REMOVE EXISTING HEADWALL AND INSTALL WYE INLET AND CONNECT TO EXIST. 18" STORM DRAIN. FLOWLINE TO MATCH 18" STORM DRAIN INVERT. THROAT ELEVATION = 535.00
- 7 INSTALL V-DITCH PER CROSS SECTION DETAIL ON THIS SHEET
- 8 INSTALL 10 LF OF 18" RCP WITH SAFETY END TREATMENTS UNDER SIDEWALK. FL UPSTREAM = 536.20; FL DOWNSTREAM = 536.00



**LEGEND:**

- PROPERTY LINE
- - - ADJOINED PROPERTY
- - - BUILDING SETBACK LINE
- - - EASEMENTS
- - - EXISTING CURB
- - - PROPOSED CURB AND GUTTER
- 579 — EXISTING 1" CONTOUR
- 578 — PROPOSED 1" CONTOUR
- FLOW ARROW
- HP HIGH POINT
- LP LOW POINT
- FG FINISHED GRADE
- 123.45 FINISHED GRADE ELEVATION
- 123.45 EX. EXISTING GRADE ELEVATION
- - - DRAINAGE SWALE

**TEAM MEMBERS**

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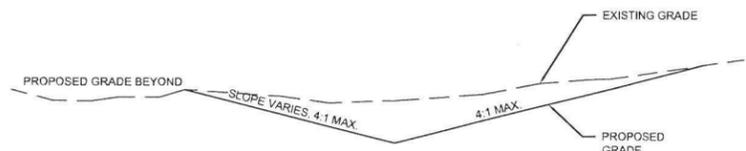
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**GENERAL NOTES**

1. ALL UNDERGROUND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT UTILITY LOCATIONS PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL DIG-TESS AT 1.800.344.8377 PRIOR TO ANY EXCAVATION.
2. IF ANY CONFLICT OR DISCREPANCY FROM THE PLANS IS FOUND, NOTIFY THE ENGINEER BEFORE CONTINUING WITH ANY FURTHER CONSTRUCTION.
3. ALL PIPE SHALL BE LAID STARTING AT THE OUTFALL AND LAID UPSTREAM FROM THAT POINT.
4. SPOT ELEVATIONS SHOWN ARE TO THE TOP OF PROPOSED PAVEMENT AND/OR TOP OF FINISHED GRADE. UNLESS OTHERWISE NOTED, ADD 0.5 FEET FOR TOP OF CURB ELEVATIONS. SPOT ELEVATIONS SHOWN IN LANDSCAPED AREAS ARE TO THE TOP OF SOD.
5. TOP OF ALL LANDSCAPED AREAS AT BUILDING SLAB TO BE A MIN. 6" BELOW FINISH FLOOR ELEVATION.
6. REFER TO THE GEOTECHNICAL REPORT FOR SOIL TREATMENT AND COMPACTION SPECIFICATIONS DURING THE GRADING OPERATIONS.
7. ADA COMPLIANT PARKING AREAS ARE NOT TO EXCEED 2% SLOPE IN ANY DIRECTION.
8. ADA COMPLIANT WALKWAYS AND SIDEWALKS ARE NOT TO EXCEED 5% IN THE DIRECTION OF TRAFFIC AND 2% CROSS SLOPE.
9. ANY DISCREPANCIES BETWEEN THESE NOTES AND CITY SPECIFICATIONS OR DETAILS SHALL BE RESOLVED BY WHICHEVER IS MORE RESTRICTIVE AS DETERMINED BY CITY INSPECTOR.

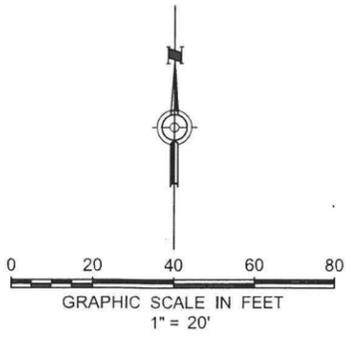


**TYPICAL "V" BOTTOM DITCH DETAIL**  
SCALE: NTS

**TRENCH SAFETY:**

STATE OF TEXAS LAW REQUIRES THAT THE CONTRACTOR WILL PROVIDE ATRENCH SAFETY PLAN (TRENCH SHORING) FOR UTILITY TRENCHES GREATER THAN FIVE (5) FEET IN DEPTH. THIS PLAN SHALL BE PREPARED BY A PROFESSIONAL ENGINEER. THE CONTRACTOR SHALL SUBMIT THE TRENCH SAFETY PLAN TO THE CITY ENGINEER PRIOR TO THE START OF CONSTRUCTION.

**BENCHMARK:**  
BENCHMARK NO. 4: ALUMINUM ROAD WITH CAP STAMPED "CITY OF GRAPEVINE, NO. 4" - MONUMENT LOCATED AT THE NE CORNER OF THE GRAPEVINE MUNICIPAL GOLF COURSE. ELEV: 471.73



**GRADING PLAN**

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2004 BEDFORD ROAD, SUITE 200, BEDFORD, TX 76021  
ATTN: MATHEW THOMAS, PE PH: (214) 680-2728

CASE NAME : WAFFLE HOUSE RESTAURANT  
CASE NUMBER : CU19-22  
LOCATION : 2805 BASS PRO ROAD

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: 8 OF 10

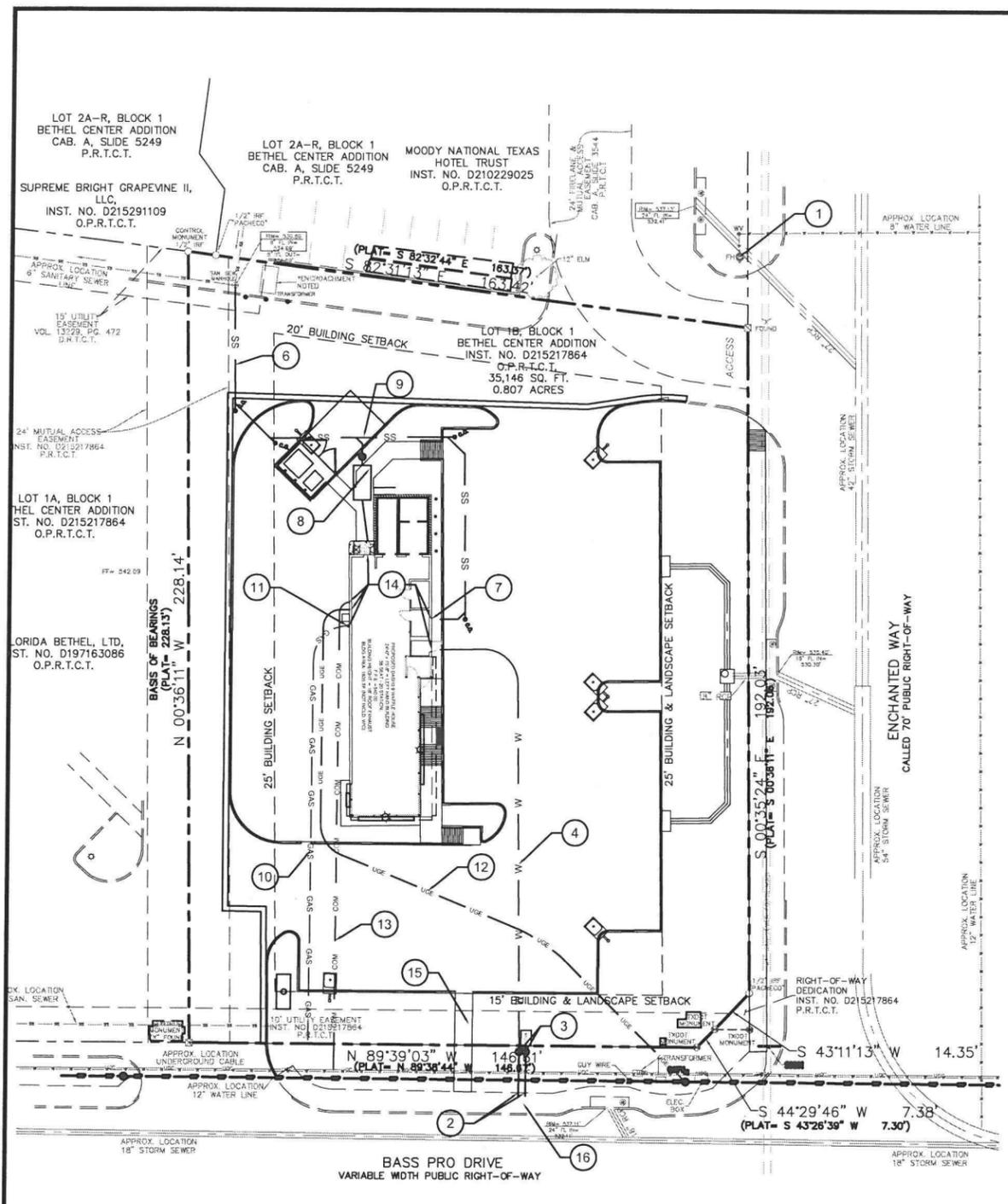
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DEPARTMENT OF DEVELOPMENT SERVICES

REVISION	DESCRIPTION	DATE

**C-3.1**  
SHEET 8 OF 10

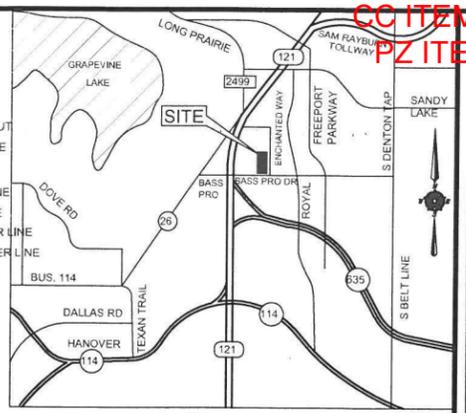
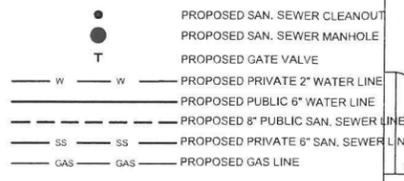
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**NOTES BY SYMBOL**

- 1 EXISTING FIRE HYDRANT
- 2 INSTALL 2" TAP FOR DOMESTIC SERVICE (WITH BYPASS) AND 5/8" TAP FOR IRRIGATION SERVICE ON EXISTING 12" PVC WATERLINE EASEMENT.
- 3 INSTALL 2" METER FOR DOMESTIC SERVICE AND 5/8" METER FOR IRRIGATION SERVICE BY PERMIT. INSTALL RPZ BACKFLOW PREVENTER ON IRRIGATION LINE DOWNSTREAM OF METER
- 4 INSTALL APPROX. 170 LF OF 2" WATER LINE FOR DOMESTIC SERVICE TO BUILDING SERVICE ENTRY POINT.
- 5 CONNECT 4" SANITARY SEWER LINE TO EXIST. SAN. SEWER DROP MANHOLE. FLOWLINE 4" IN = 534.60 INSTALL CLEANOUT AT EASEMENT LINE.
- 6 INSTALL APPROX. 155 LF OF PRIVATE 4" SANITARY SEWER AT 1% SLOPE PER PROFILE ON THIS SHEET. INSTALL CLEANOUT AT EVERY CHANGE IN DIRECTION AND AT THE EASEMENT LINE
- 7 CONNECT 4" SEWER LINE FROM BUILDING TO 4" SANITARY SEWER LINE. FLOWLINE = 536.50
- 8 INSTALL 1500 GAL. GREASE INTERCEPTOR. SEE MEP PLANS FOR MORE DETAILS. RIMS TO 4" ABOVE FINISH GRADE IN LANDSCAPED AREAS. FL IN = 537.00 ; FL OUT = 536.90. CONNECT TO GREASE WASTE LINE FROM BUILDING.
- 9 CONNECT 4" SEWER LINE FROM GREASE INTERCEPTOR TO 4" SANITARY SEWER LINE.
- 10 INSTALL APPROX. 150 LF 2-1/2" GAS LINE TO ROW. SIZE TO BE VERIFIED BASED ON AVAILABLE PRESSURE AND DEMAND BY ATMOS ENERGY BEFORE INSTALLATION. NO GAS AVAILABLE AT PROPERTY LINE AND ATMOS WILL HAVE TO EXTEND GAS TO THIS SITE AT DEVELOPER EXPENSE.
- 11 GAS METER LOCATION. VERIFY WITH ATMOS ENERGY FOR FINAL LOCATION.
- 12 INSTALL 3-4" CONDUITS (APPROX. 440 LF) FOR ELECTRIC SECONDARY LINES TO BUILDING FROM POLE MOUNTED TRANSFORMER POWER POLE IN R.O.W. COORDINATE WITH ONCOR FOR SERVICE INSTALLATION
- 13 INSTALL 2-4" CONDUITS FOR COMMUNICATION LINE TO COMMUNICATION DEMARC BOARD IN BUILDING FROM ROW
- 14 SANITARY SEWER, GREASE WASTE, WATER AND GAS LINES FROM BUILDING. COORDINATE WITH PLUMBING PLANS
- 15 INSTALL CULVERT PER INFORMATION ON SHEET C-3.1
- 16 REPLACE 8" WIDE SIDEWALK DISTURBED BY WATERLINE TAP PER CITY OF GRAPEVINE STANDARDS

**LEGEND :**



VICINITY MAP  
NOT TO SCALE

**TEAM MEMBERS**

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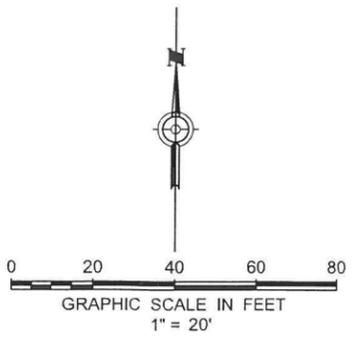
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ATTN: CAROL FELDMAN; PH: 972.523.4944

**CONDITIONAL USE REQUEST CU19-22**  
1. CONDITIONAL USE REQUEST CU19-22 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU15-33 (ORD. 2015-47) FOR A PLANNED COMMERCIAL CENTER, SPECIFICALLY TO ALLOW A POLE SIGN IN CONJUNCTION WITH A RESTAURANT.  
2. LIGHT FIXTURES INCLUDING THE BASE SHALL BE MOUNTED NO HIGHER THAN THE HIGHEST POINT ON THE PRIMARY STRUCTURE OR 16' IN HEIGHT.



CASE NAME : WAFFLE HOUSE RESTAURANT  
CASE NUMBER : CU19-22  
LOCATION : 2805 BASS PRO ROAD

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE : \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE : \_\_\_\_\_  
SHEET : 9 OF 10

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

DEPARTMENT OF DEVELOPMENT SERVICES

**UTILITY PLAN**

LOT 1B, BLOCK 1, BETHEL CENTER ADDITION  
CITY OF GRAPEVINE, TX 76051  
35,146 SF (0.807 AC.)  
CITY OF GRAPEVINE  
TARRANT COUNTY, TX 76051

OWNER: WAFFLE HOUSE INC., 5986 FINANCIAL DRIVE, NORCROSS, GA 30071, ATTN: ERIK HAEFFS PH: (770) 729-5915  
ENGINEER: THOMAS SITE DEVELOPMENT ENGINEERING, INC., 2004 BEDFORD ROAD, SUITE 200, BEDFORD, TX 76021, ATTN: MATHEW THOMAS, PE PH: (214) 680-2728

**THOMAS**  
SITE DEVELOPMENT ENGINEERING INC.  
REGISTRATION NO. F-10289  
2004 BEDFORD ROAD, SUITE 200, BEDFORD, TX 76021  
PHONE: (214) 680-2728; THOMAS-ENG.COM  
EMAIL: MATHEW@THOMAS-ENG.COM



**WAFFLE HOUSE**  
2805 BASS PRO DRIVE  
LOT 1B, BLOCK 1, BETHEL CENTER ADDITION  
CITY OF GRAPEVINE, TX 76051

**GENERAL NOTES**

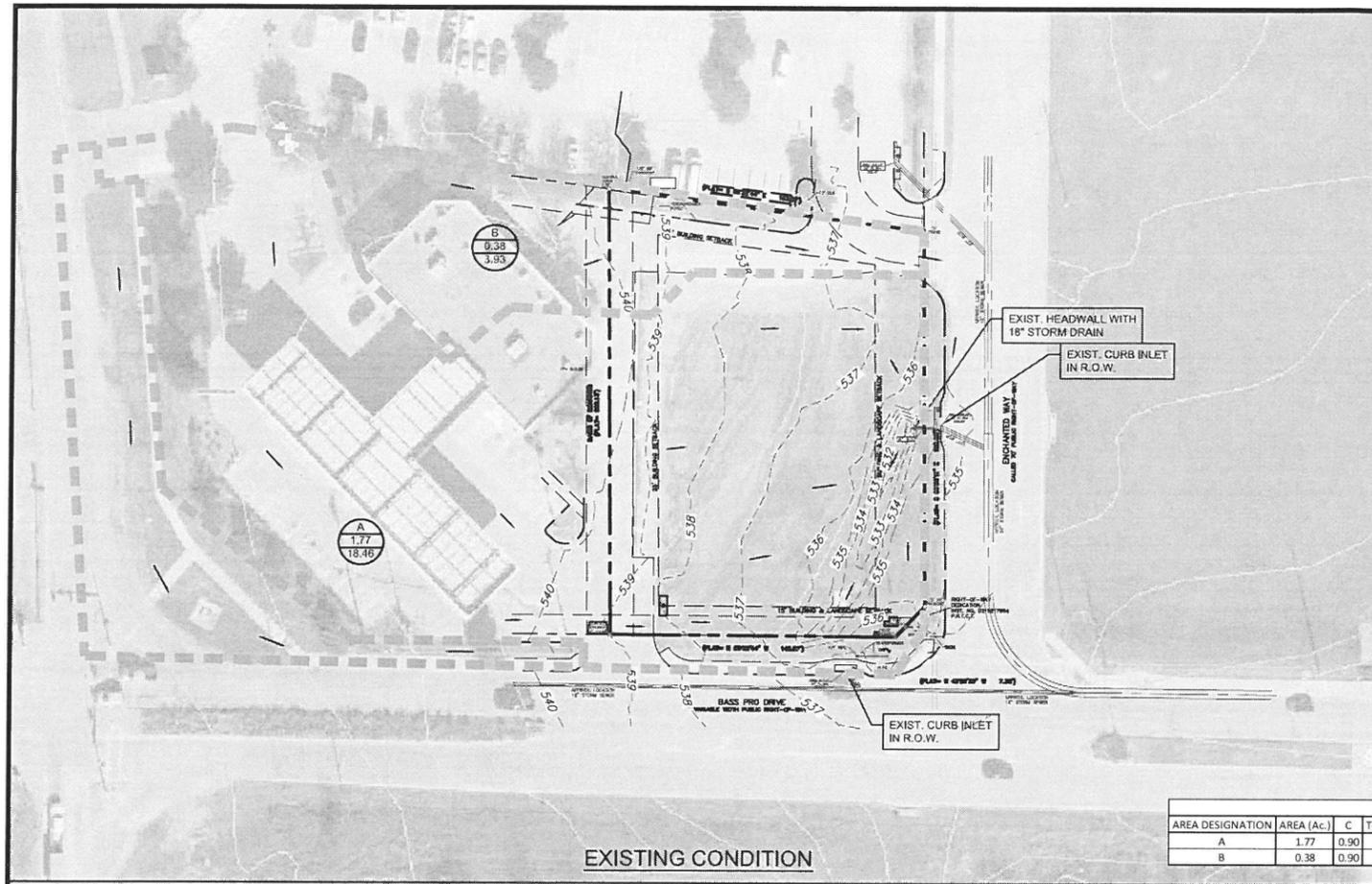
1. ALL UNDERGROUND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT UTILITY LOCATIONS PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL DIG-TESS AT 1.800.344.8377 PRIOR TO ANY EXCAVATION.
2. IF ANY CONFLICT OR DISCREPANCY FROM THE PLANS IS FOUND, NOTIFY THE ENGINEER BEFORE CONTINUING WITH ANY FURTHER CONSTRUCTION.
3. ALL PIPE SHALL BE LAID STARTING AT THE PUBLIC TIE-IN LOCATION AND LAID UPSTREAM FROM THAT POINT.
4. DOMESTIC WATER LINE MECHANICAL DEVICES TO INCLUDE DETECTOR CHECK, BACKFLOW AND ANTI-SYPHON TO BE LOCATED WITHIN THE MECHANICAL ROOM. SEE MEP PLANS FOR DETAILS AND DESIGN.
5. ALL SANITARY SEWER AND WATER PIPE AND APPURTENANCES SHALL MEET ASTM AND CITY OF GRAPEVINE STANDARDS FOR UTILITY CONSTRUCTION.
6. GAS LINE TO BE INSTALLED PER ATMOS REQUIREMENTS. LINE SIZE TO BE DETERMINED BASED ON LOAD REQUIREMENTS AND AVAILABLE PRESSURE AT GAS METER.
7. OBTAIN ALL PERMITS REQUIRED BY CITY OF GRAPEVINE PRIOR TO STARTING CONSTRUCTION OF UTILITIES WITHIN CITY RIGHTS-OF-WAY & EASEMENTS.
8. SEE GENERAL NOTES SHEET C-0.3 FOR ADDITIONAL INFORMATION.
9. FOR IRRIGATION AND ELECTRICAL SLEEVE LOCATIONS REFER TO THE IRRIGATION AND ELECTRICAL PLANS.

UTILITY MATERIAL SPECIFICATIONS	
DESCRIPTION	SPECIFICATION
3" WATER LINE AND SMALLER	AWWA C901 & ASTM F714 PE PIPE
GAS LINES	ASTM D-25 13 DIRECT BURIAL PE PIPE
SANITARY SEWER (4" TO 15")	SDR26 MEETING ASTM D3034

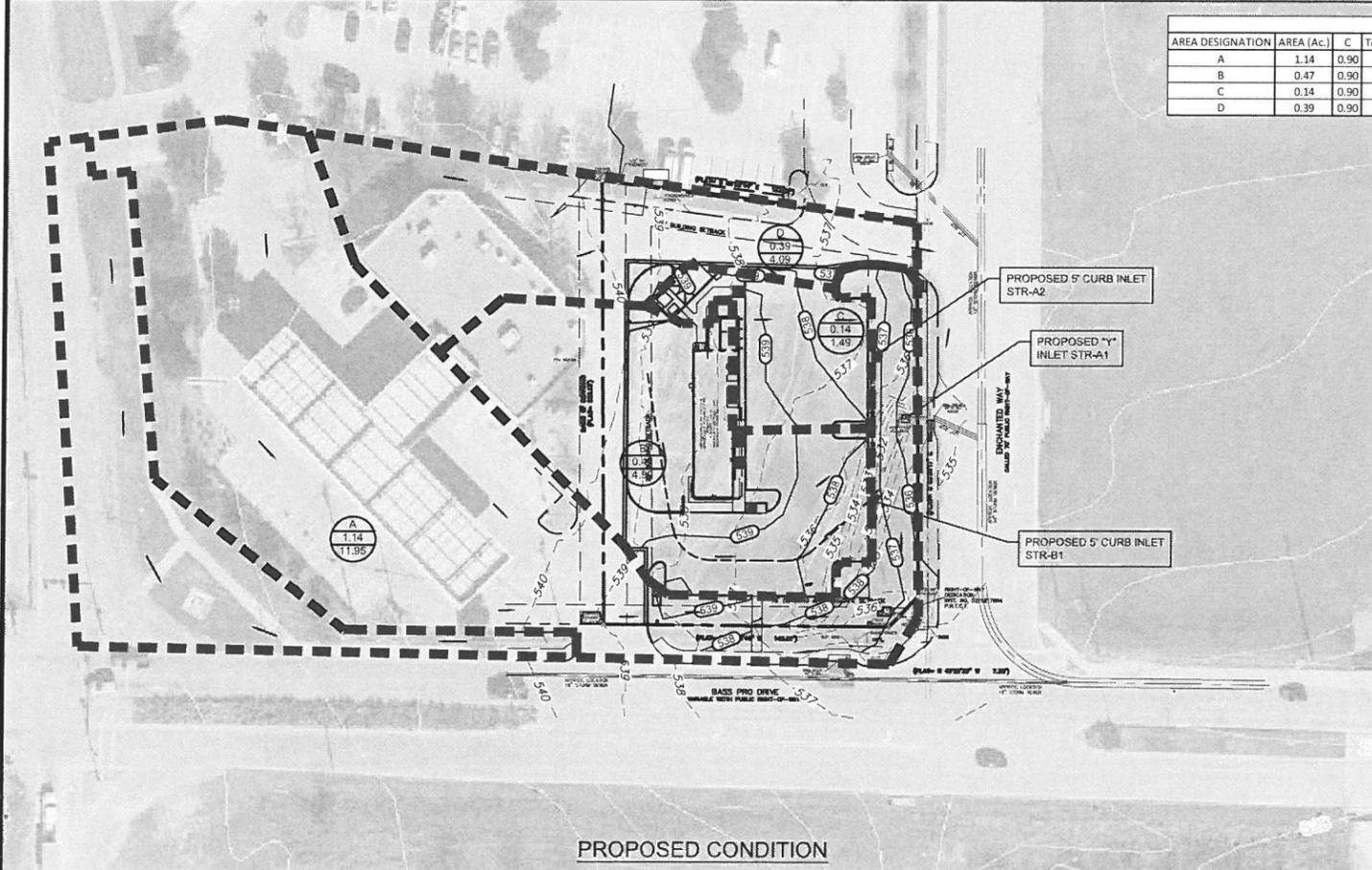
**TRENCH SAFETY:**

STATE OF TEXAS LAW REQUIRES THAT THE CONTRACTOR WILL PROVIDE A TRENCH SAFETY PLAN (TRENCH SHORING) FOR UTILITY TRENCHES GREATER THAN FIVE (5) FEET IN DEPTH. THIS PLAN SHALL BE PREPARED BY A PROFESSIONAL ENGINEER. THE CONTRACTOR SHALL SUBMIT THE TRENCH SAFETY PLAN TO THE CITY ENGINEER PRIOR TO THE START OF CONSTRUCTION.

**BENCHMARK:**  
BENCHMARK NO. 4: ALUMINUM ROAD WITH CAP STAMPED "CITY OF GRAPEVINE, NO. 4" - MONUMENT LOCATED AT THE NE CORNER OF THE GRAPEVINE MUNICIPAL GOLF COURSE. ELEV: 471.73



EXISTING CONDITION

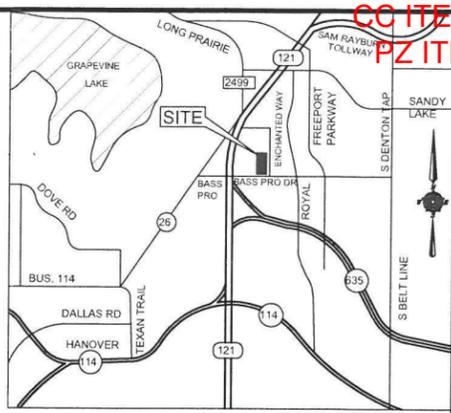


PROPOSED CONDITION

**LEGEND:**

- PROPERTY LINE
- - - ADJOINED PROPERTY
- BUILDING SETBACK LINE
- - - EXISTING EASEMENTS
- - - PROPOSED EASEMENTS
- EXISTING CURB
- PROPOSED CURB AND GUTTER
- EXISTING 1' CONTOUR
- PROPOSED 1' CONTOUR
- FLOW ARROW
- DRAINAGE DIVIDE (PROPOSED)
- DRAINAGE DIVIDE (EXISTING)
- DRAINAGE SWALE

579 ——— DRAINAGE INFORMATION (AREA ID, AREA (ACRES), Q100 (CFS))  
 578 ———  
 A ———  
 0.59  
 2.00



VICINITY MAP  
NOT TO SCALE

**THOMAS**  
SITE DEVELOPMENT  
ENGINEERING INC.  
REGISTRATION NO. F-10289  
2004 BEDFORD ROAD, SUITE 200, BEDFORD, TX 76021  
PHONE: (214) 680-2728; THOMAS-ENG.COM  
EMAIL: MATHEW@THOMAS-ENG.COM

**TEAM MEMBERS**

**OWNER**  
WAFFLE HOUSE, INC.  
5986 FINANCIAL DRIVE, NORCROSS, GA 30071  
ATTN: ERIK HAEFFS PH: (770) 729-5915

**DEVELOPER**  
WAFFLE HOUSE, INC.  
5986 FINANCIAL DRIVE, NORCROSS, GA 30071  
ATTN: ERIK HAEFFS PH: (770) 729-5915

**CIVIL ENGINEER**  
THOMAS SITE DEVELOPMENT ENGINEERING, INC.  
2004 BEDFORD ROAD, SUITE 200  
BEDFORD, TEXAS 76021  
ATTN: MATHEW THOMAS PH: 214.680.2728

**ARCHITECT**  
MARK D. PAVEY, AIA - ARCHITECT  
P.O. BOX 1365  
GULF SHORES, AL 36547  
ATTN: MARK PAVEY; PH: 334.546.3624

**LANDSCAPE ARCHITECT**  
FELDMAN DESIGN STUDIOS  
P.O. BOX 832346  
RICHARDSON, TX 75083-2346  
ATTN: CAROL FELDMAN; PH: 972.523.4944



**W A F F L E H O U S E**  
2805 BASS PRO DRIVE  
LOT 1B, BLOCK 1, BETHEL CENTER ADDITION  
CITY OF GRAPEVINE, TX 76051

**STORM DRAINAGE RUNOFF CALCULATIONS - RATIONAL METHOD (EXISTING CONDITIONS)**

AREA DESIGNATION	AREA (Ac.)	C	Tc (min.)	I10 (in/hr)	Q10 (cfs)	I25 (in/hr)	Q25 (cfs)	I100 (in/hr)	Q100 (cfs)	DESCRIPTION
A	1.77	0.90	10	7.9	12.57	9.3	14.80	11.6	18.46	DRAINS TO EXIST. STORM DRAIN IN ENCHANTED WAY THROUGH HEADWALL
B	0.38	0.90	10	7.9	2.68	9.3	3.15	11.6	3.93	SHEET FLOWS TO ENCHANTED WAY

**STORM DRAINAGE RUNOFF CALCULATIONS - RATIONAL METHOD (PROPOSED CONDITIONS)**

AREA DESIGNATION	AREA (Ac.)	C	Tc (min.)	I10 (in/hr)	Q10 (cfs)	I25 (in/hr)	Q25 (cfs)	I100 (in/hr)	Q100 (cfs)	DESCRIPTION
A	1.14	0.90	10	7.9	8.14	9.3	9.58	11.6	11.95	DRAINS TO "Y" INLET STR-A1
B	0.47	0.90	10	7.9	3.34	9.3	3.93	11.6	4.90	DRAINS TO CURB INLET STR-B1
C	0.14	0.90	10	7.9	1.01	9.3	1.19	11.6	1.49	DRAINS TO CURB INLET STR-A2
D	0.39	0.90	10	7.9	2.76	9.3	3.25	11.6	4.06	SHEET FLOWS TO ENCHANTED WAY

**CONDITIONAL USE REQUEST CU19-22**

- CONDITIONAL USE REQUEST CU19-22 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU15-33 (ORD. 2015-47) FOR A PLANNED COMMERCIAL CENTER, SPECIFICALLY TO ALLOW A POLE SIGN IN CONJUNCTION WITH A RESTAURANT.
- LIGHT FIXTURES INCLUDING THE BASE SHALL BE MOUNTED NO HIGHER THAN THE HIGHEST POINT ON THE PRIMARY STRUCTURE OR 16' IN HEIGHT.

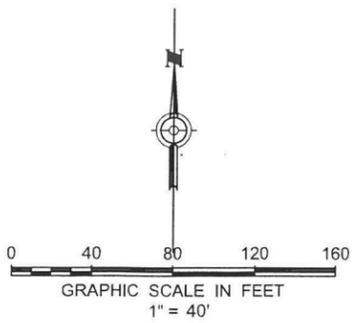
**DRAINAGE NOTES:**

- THE LOT 3R1-A AND 3R1-B HAVE BEEN INCLUDED AS A FULLY DEVELOPED CONDITION DESIGNATED AS DRAINAGE AREA "DS-1" ON THE ENGINEERING AND DRAINAGE PLANS NAMED "GRAPEVINE TEXAS MULTIFAMILY" DATED 8-15-2012 BY SPAIRS ENGINEERING.
- LOT 3R1-B IS BEING DRAINED IN A FULLY DEVELOPED CONDITION BY A 24" STORM DRAIN AS DESIGNATED AS DRAINAGE AREA "D" ON THE ENGINEERING AND DRAINAGE PLANS NAMED "TACO CASA RESTAURANT" DATED 01-15-2015 BY JDJR CONSULTANTS AND ENGINEERS INC.

**5' CURB INLET IN SUMP CONDITION**

DEPTH  $Y_0$  AT INLET = 0.25'  
 LENGTH OF INLET = 5'  
 CAPACITY OF INLET = 1.75 CFS / LF OF LENGTH (PER ISWM DESIGN MANUAL FIGURE 3.2-9)  
 TOTAL CAPACITY OF INLET: 8.75 CFS

**BENCHMARK:**  
 BENCHMARK NO. 4: ALUMINUM ROAD WITH CAP STAMPED "CITY OF GRAPEVINE, NO. 4" - MONUMENT LOCATED AT THE NE CORNER OF THE GRAPEVINE MUNICIPAL GOLF COURSE. ELEV: 471.73



CASE NAME : WAFFLE HOUSE RESTAURANT  
 CASE NUMBER : CU19-22  
 LOCATION : 2805 BASS PRO ROAD

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE : \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
 DATE : \_\_\_\_\_

SHEET : 10 OF 10

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

DEPARTMENT OF DEVELOPMENT SERVICES

**DRAINAGE AREA MAPS**

LOT 1B, BLOCK 1, BETHEL CENTER ADDITION  
 CITY OF GRAPEVINE, TX 76051  
 35,146 SF (0.807 AC.)  
 CITY OF GRAPEVINE  
 TARRANT COUNTY, TX 76051

OWNER: WAFFLE HOUSE, INC. 5986 FINANCIAL DRIVE, NORCROSS, GA 30071 ATTN: ERIK HAEFFS PH: (770) 729-5915  
 ENGINEER: THOMAS SITE DEVELOPMENT ENGINEERING INC. 2004 BEDFORD ROAD, SUITE 200, BEDFORD, TX 76021 ATTN: MATHEW THOMAS, PE PH: (214) 680-2728

REVISION	DESCRIPTION	DATE

T:\ONDRIVE\CDR\WORK\2019\2019-08-15\BETHEL CENTER ADDITION\DRAINAGE\DWG\2805 BASS PRO DRIVE\2805 BASS PRO DRIVE.dwg  
 7/20/2019 8:07:11 AM

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** AUGUST 20, 2019

**SUBJECT:** FIRST PUBLIC HEARING ON AD VALOREM TAX RATE

**RECOMMENDATION:** City Council to conduct a public hearing on the proposed ad valorem tax rate of \$.284271 per \$100 valuation for tax year 2019 and Fiscal Year 2020.

**FUNDING SOURCE:**

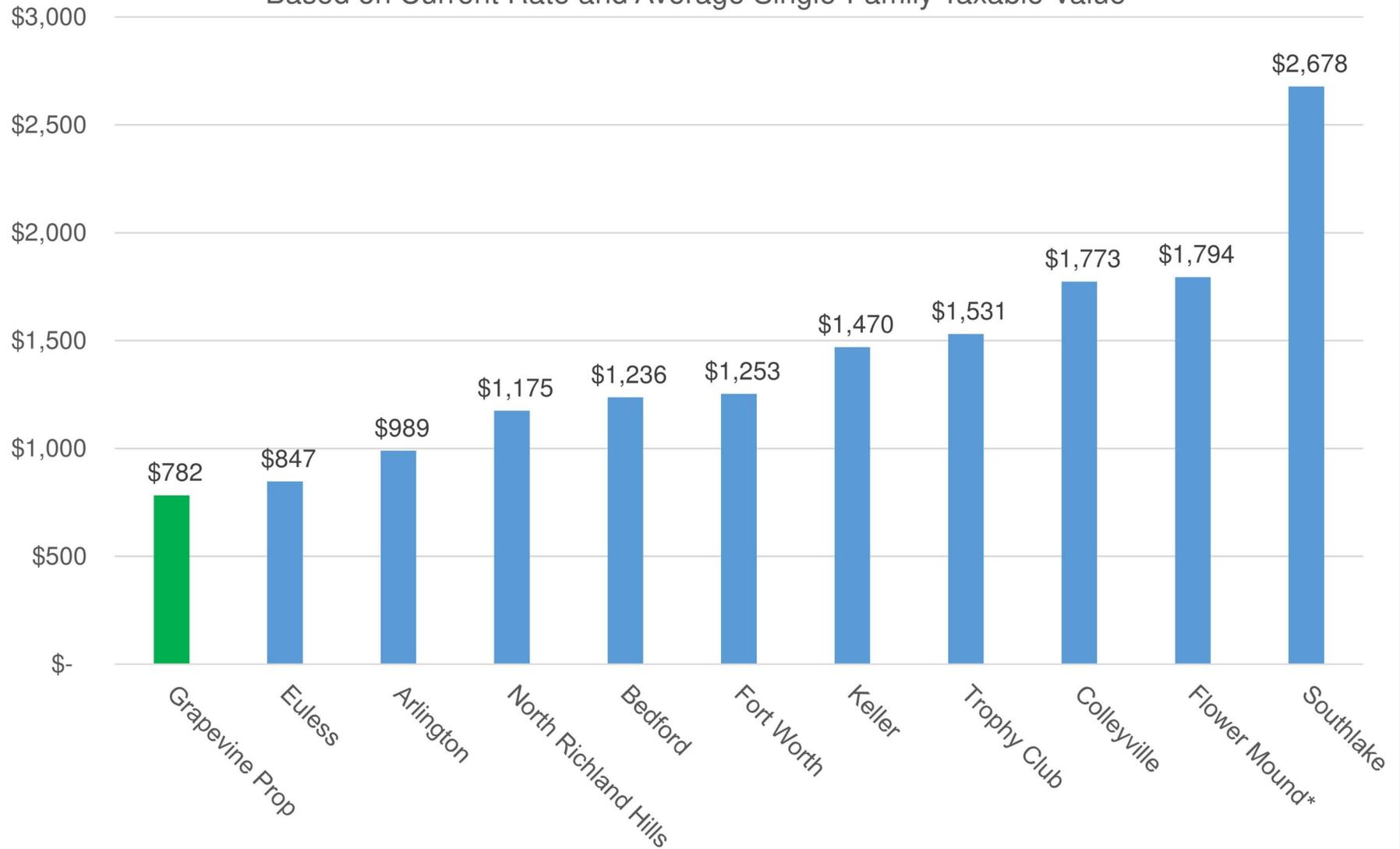
**BACKGROUND:** Pursuant to the Texas Tax Code, Section 26.05 (d), a municipal government must hold two public hearings when considering the adoption of a tax rate other than the effective tax rate.

The tax rate shall be apportioned as follows:

- For the General Fund, a tax rate of \$.141579 per \$100 value;
- For Debt Service, a tax rate of \$.142692 per \$100 value.

The second public hearing will be held during the regular City Council meeting on September 3, 2019 at 7:30 pm. The City Council will consider an ordinance adopting the tax rate at the regular City Council meeting on September 17, 2019 at 7:30 pm.

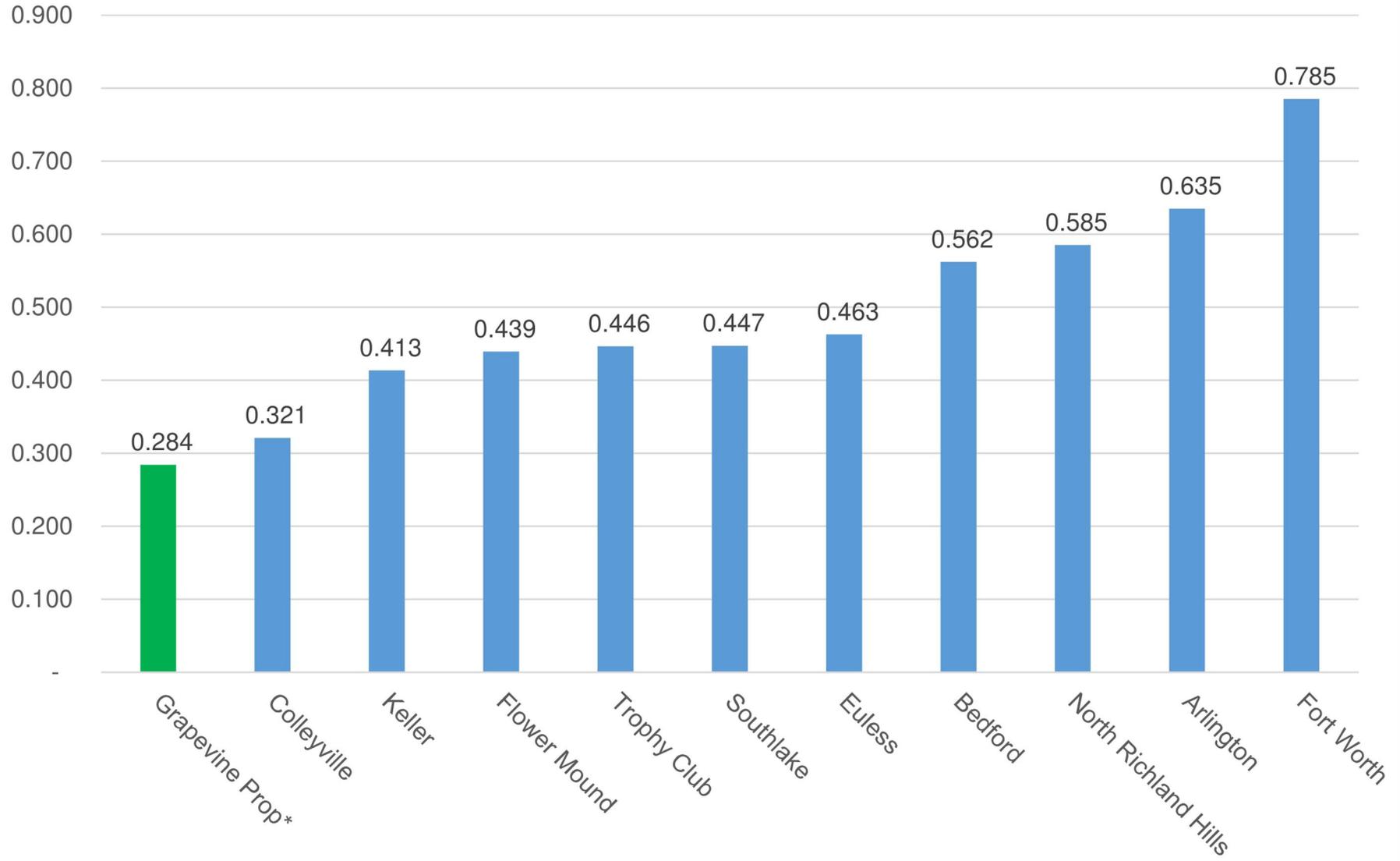
### Average Single-Family Residence Tax Bill Based on Current Rate and Average Single-Family Taxable Value



As of July 22, 2019 per TAD "Average Value of Single-Family Residence" Net Taxable Value

\*As of July 19, 2019 per Denton CAD "Average Residence Value Report" Average Taxable

### Tax Rate Comparison



\*Proposed Tax Rate for FY2020  
All Other Tax Rates per TAD updated October 3, 2018

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**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** AUGUST 20, 2019

**SUBJECT:** APPROVAL OF A RESOLUTION TO THE CITY'S ENTERPRISE ZONE PROGRAM - GAMESTOP, INC ECONOMIC DEVELOPMENT AND TOURISM, AS A TEXAS ENTERPRISE PROJECT

**RECOMMENDATION:** Staff recommends that the City Council approve the attached resolution to nominate GameStop, Inc. to the Office of the Governor, Economic Development and Tourism as a Texas Enterprise Project.

**FUNDING SOURCE:** Economic Development incentives in the form of sales and use tax rebates are derived from the state's portion of state sales and use taxes. None of the funding source will involve the local portion of state sales tax.

**BACKGROUND:** The Enterprise Zone Program is a state incentive program designed to promote job retention and/or creation and capital investment. GameStop currently has a total of approximately 2,100 employees combined at its headquarters, refurbishing center and warehouse in Grapevine. At the level of investment proposed by GameStop, the state will provide an incentive of \$2,500 per job for a total of 500 retained jobs with a maximum total benefit of \$1.25 million in sales tax rebates from the state's portion of the sales tax over a five year period.

This is GameStop's fourth requested resolution to be nominated as a Texas Enterprise Project. The first request was approved on August 3, 2010 to assist in upgrades to their refurbishing facility at 2200 William D. Tate Avenue. The second request was approved on November 15, 2011 and involved an upgrade of the IT system in both the refurbishment center and the headquarters at 625 Westport Parkway. The third request was approved on August 15, 2017 and involved investments in software, hardware and other infrastructure for the employee's personal computer operating systems. This fourth request involves \$5 million in planned improvements on the IT systems for both the headquarters and refurbishment/distribution facilities. The currently planned upgrade will improve the efficiency and viability of GameStop as a whole and allow them to retain jobs.

In order to qualify for the proposed rebate, a minimum of 35% of GameStop's new hires must be either residents of a state enterprise zone or economically disadvantaged as defined by the State Government Code. GameStop must prove to the State Comptroller's Office that they are meeting the retention and hiring criteria required by state law, prior to rebates. The next deadline for submission of the application to the State is September 1, 2019 and the selection process will take approximately 90 days.

DT



Three Galleria Tower  
13155 Noel Road  
Suite 100  
Dallas, TX 75240-5090  
Tel.: 972.934.0022  
Fax: 972.960.0613

August 9, 2019

ryan.com

Mr. Bob Farley  
Economic Development Director  
City of Grapevine  
200 South Main Street  
P.O. Box 95104  
Grapevine, Texas 76099

Re: Texas Enterprise Project Nomination Request  
Grapevine, Texas Facility

Dear Mr. Farley:

GameStop, Inc. (“GameStop”) is a wholly-owned subsidiary of GameStop Corp. Incorporated in Delaware and headquartered in Grapevine, Texas, GameStop Corp. is the world’s largest video game and entertainment software retailer and employs over 39,000 team members in more than 5,800 stores across the United States and in 14 countries worldwide. GameStop Corp. offers customers the most popular new software, hardware and game accessories for next generation video game systems as well as collectibles, apparel, gadgets, electronics and toys.

GameStop’s headquarters and warehouse is located at 625 Westport Parkway, and the Refurbishing Operations Center is located at 2200 William D. Tate Avenue in Grapevine Texas. Over the next five years, GameStop plans to invest more than \$5 million in capital improvement upgrades including IT integration among GameStop’s many integral software platforms to improve efficiency throughout GameStop’s operations. Additionally, GameStop is upgrading their E-Commerce platform to better manage their online marketing, sales, and operations. This will allow GameStop to improve their competitiveness in a market of ever-increasing online sales. As a result of this investment, GameStop respectfully requests an **Enterprise Project nomination** from the City of Grapevine for the September 3, 2019 round.

Section 2303.406(a)(4)(D) of the Texas Government Code allows a project or activity of a qualified business to be designated as an Enterprise Project and receive job retention benefits if the business has clearly demonstrated that “the business is able to employ individuals in accordance with Section 2303.402.” GameStop qualifies for job retention benefits under this statutory provision because GameStop is an Equal Opportunity Employer, and will use a proprietary, voluntary questionnaire to actively track its new-hires to determine “economically disadvantaged” hiring patterns. Additionally, GameStop, Inc. will geo-code its new-hires to identify employees that reside in state Enterprise Zones. The data collected from the

Mr. Bob Farley  
City of Grapevine  
August 9, 2019  
Page 2

questionnaires and geo-coding will be used to establish a best-practices model for hiring employees in accordance with Section 2303.402.

If designated as an enterprise project by the State of Texas, GameStop commits to hiring thirty-five percent (35%) economically disadvantaged persons, enterprise zone residents or veterans, for its new or replacement personnel for certified jobs, during its enterprise project designation. GameStop currently employs a combined 2,160 full-time employees at its Grapevine facilities. GameStop expects to maintain its existing level of employment and retain 500 full-time jobs for benefit under the Enterprise Zone Program. The benefit is state sales tax refund of \$2,500 per job up to a maximum of 500 jobs, for a total of \$1.25 million, and there is no fiscal impact to the City budget. These jobs meet the definition of a “retained job” in Texas Government Code § 2303.401(2) because they currently exist, provide and will continue to provide at least 1,820 hours of employment annually, and will be employment positions for the longer of the duration of the project’s designation period or three years after the expiration date of the claim period for receipt of state benefit.

GameStop believes that the success of their company and well-being of their employees are directly related to the well-being of the communities in which they operate. GameStop proudly gives back and supports local charities by donating thousands of volunteer hours each year to various organizations such as Make-A-Wish, Autism Speaks, and Children’s Miracle Network.

GameStop is proud to be an integral part of the City of Grapevine community and will continue to be an active participant, contributor, and corporate citizen. GameStop is excited about the its planned upgrades to its Grapevine facilities and looks forward to working with the Texas Enterprise Zone Program and City of Grapevine in the coming years.

Sincerely,

*Reece Macdonald*

Reece Macdonald  
Taxpayer Representative

## Enterprise Zone Projects

**Gamestop – August 3, 2010** to assist in upgrades to their refurbishing facility at 2200 William D. Tate Avenue. Gamestop's investment was over \$5 million in upgrades to the building and they were awarded a maximum of \$1.25 million in state sales tax rebates.

**Resolution 2010-024 (Expired)**

**Gamestop – November 15, 2011** to assist in an upgrade of the IT system in both the refurbishment center and the headquarters at 625 Westport Parkway. Gamestop's investment in new IT infrastructure was over \$150 million and they requested a maximum of \$2.5 million in state sales tax rebates but were approved for a maximum of \$1.25 million in state sales tax rebates.

**Resolution 2011-072 (Expired)**

**American Airlines – November 17, 2015** to assist in equipment and systems upgrades, a new engine disassembly center, and a large parts warehouse and distribution center at 1600 W. 20<sup>th</sup> Street. American Airlines' investment was over \$80 million and the state will provide an incentive of \$2,500 per job per year for a total incentive of \$1,250,000 in state sales tax rebates for the five-year period.

**Resolution 2015-069**

**American Airlines – May 3, 2016** to assist in a material handling system as well as equipment and system upgrades at 1816 N. Service Road. American Airlines' investment was \$5.17 million, and the state will provide an incentive of \$2,500 per job for a total incentive of \$457,500 in state sales tax rebates for the five-year period.

**Resolution 2016-035**

**Gamestop – August 15, 2017** to assist in software, hardware, and other infrastructure for the employee's personal computer operating system at the refurbishing facility at 2200 William D. Tate Avenue and the headquarters at 525 Westport Parkway. GameStop's investment was approximately \$5 million over the next 5 years, and there will be a State Sales Tax rebate of \$2,500 per job for 500 retained jobs over a period of 5 years for a total of \$1.25 million.

**Resolution 2017-071**

**Gamestop – August 20, 2019** to assist in computer upgrades at the refurbishing and distribution facility at 2200 William D. Tate Avenue and the headquarters at 525 Westport Parkway. GameStop's investment will be approximately \$5 million over the next 5 years, and there will be a State Sales Tax rebate of \$2,500 per job for 500 retained jobs over a period of 5 years for a total of \$1.25 million.

**Resolution - (Proposed)**

RESOLUTION NO. 2019-028

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, NOMINATING GAMESTOP, INC. TO THE OFFICE OF THE GOVERNOR, ECONOMIC DEVELOPMENT AND TOURISM THROUGH THE ECONOMIC DEVELOPMENT BANK FOR DESIGNATION AS AN ENTERPRISE PROJECT ("PROJECT") UNDER THE TEXAS ENTERPRISE ZONE PROGRAM UNDER THE TEXAS ENTERPRISE ZONE ACT, CHAPTER 2303, TEXAS GOVERNMENT CODE ("ACT").

WHEREAS, on August 3, 2010, the City of Grapevine, Texas (the "City") passed Ordinance No. 2010-38 electing to participate in the Texas Enterprise Zone Program, and the local incentives available under this resolution are the same on this date as were outlined in Ordinance No. 2010-38; and

WHEREAS, the Office of the Governor Economic Development and Tourism ("OOGEDT") through the Economic Development Bank ("Bank") will consider GameStop, Inc. (the "Company") as an enterprise project pursuant to a nomination and an application made by the City; and

WHEREAS, the City Council of the City of Grapevine, Texas, desires to pursue the creation of the proper economic and social environment in order to induce the investment of private resources in productive business enterprises located in the City and to provide employment to residents of enterprise zones and to other economically disadvantaged individuals; and

WHEREAS, pursuant to Chapter 2303, Subchapter F of the Texas Enterprise Zone Act, Texas Government Code (the "Act"), GameStop, Inc. has applied for a fourth time to the City for designation as an enterprise project, the first, second and third time concerning different assets and successfully approved in the August 3, 2010, November 15, 2011 and August 25, 2017 City Council meetings; and

WHEREAS, the City finds that GameStop, Inc. meets the criteria for designation as an enterprise project under Chapter 2303, Subchapter F of the Act on the following grounds:

1. GameStop, Inc. is a "qualified business" under Section 2303.402 of the Act since it will be engaged in the active conduct of a trade or business at a qualified business site within the governing body's jurisdiction located outside of an enterprise zone and at least thirty-five percent (35.0%) of the business' new employees will be residents of an enterprise zone, economically disadvantaged individuals, or veterans; and
2. There has been and will continue to be a high level of cooperation between public, private, and neighborhood entities within the area; and

3. The designation of GameStop, Inc. as an enterprise project will contribute significantly to the achievement of the plans of the City for development and revitalization of the area.

WHEREAS, the City finds that GameStop, Inc. meets the criteria for tax relief and other incentives adopted by the City and nominates GameStop, Inc. for enterprise project status on the grounds that it will be located at the qualified business site, will create a higher level of employment, economic activity and stability;

WHEREAS, all constitutional and statutory prerequisites for the approval of this Resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public; and

WHEREAS, the City finds that it is in the best interest of the City to nominate GameStop, Inc. as an enterprise project pursuant to the Act.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. The City finds that GameStop, Inc. is a "qualified business", as defined in Section 2303.402 of the Act, and meets the criteria for designation as an enterprise project, as set forth in Section 2303, Subchapter F of the Act.

Section 3. The City nominates GameStop, Inc. to the State of Texas for Enterprise Project status.

Section 4. The enterprise project shall take effect on the date of designation of the enterprise project by Office of the Governor, Economic Development and Tourism and terminate 5 years after the date of designation.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of August, 2019.

APPROVED:

---

William D. Tate  
Mayor

ATTEST:

---

Tara Brooks  
City Secretary

APPROVED AS TO FORM:

---

City Attorney

---

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** AUGUST 20, 2019

**SUBJECT:** APPROVAL FOR THE AWARD OF RFB 484-2019 FOR STATE HIGHWAY 121/360 LANDSCAPE ENHANCEMENTS PHASE V

**RECOMMENDATION:** City Council to consider the award of RFB 484-2019 for State Highway 121/360 Landscape Enhancements Phase V to Central North Construction, LLC. for the Parks and Recreation Department.

**FUNDING SOURCE:** Upon approval of the attached appropriation ordinance, \$791,164 will be available in the Grants Fund 113.

**BACKGROUND:** Phases I, II, III and IV of the Connector landscaping project are complete creating 2.5 miles of welcoming corridors into our community along State Highway 114 and FM 2499.

Phase V is located at the merger of State Highway 121 and State Highway 360. The addition of landscaping will enhance this designated southern gateway into the City from and including a section of Stone-Myers Parkway northward to Timberline Drive. The total cost of this phase is \$791,164, of which Texas Department of Transportation (TxDOT) will provide funding in the amount of \$500,000 through the Green Ribbon Program and \$250,000 through the Governor's Community Grant award. The Community Grant award is now limited by the State of Texas to highway landscaping and irrigation projects - so the use as a match to the Green Ribbon project is our only option for that particular grant's use given the rule change. The remaining balance of \$41,164 will come from the Quality of Life Fund.

The City of Grapevine has received funding for all five phases. These projects are funded by the Federal Highway Administration (FHWA) and TxDOT Green Ribbon program. The Green Ribbon program provides no allowances for cost overruns; therefore, the City will cover any cost overruns that may arise.

Bids were taken in accordance with Local Government Code Chapter 252, Subchapter B, Section 252.021 (a) and Section 252.041 (a). The bid was advertised in the Fort Worth Star-Telegram on July 3 and July 10, 2019. It was also posted on the Texas Electronic State Business Daily. There were 915 vendors electronically notified of the bid through the eBid system. There were four vendors who submitted bids. The bids were opened publicly on July 25, 2019 at 2 pm.

Based on the evaluation by Purchasing, and the PARD staff, Central North Construction, LLC. is the lowest responsible and responsive bid.

Staff recommends approval.

KM/LW



**Tabulation of Bids  
City of Grapevine**

<b>Bid Number:</b>	RFB 484-2019	<b>Bid Opening Date</b>	7/25/2019	<b>1st Ad:</b>	7/3/2019	<b>Bidders Notified:</b>	915
<b>Name:</b>	SH121/360 Landscape Enhancements Phase V	<b>Bid Opening Time</b>	2:00 PM	<b>2nd Ad:</b>	7/10/2019	<b>ITEM # 8</b>	
<b>Requesting Dept:</b>	PARD					<b>Bids Issued/Viewed</b>	24
						<b>Bids Received</b>	4

		VENDOR	VENDOR	VENDOR	VENDOR
Name of Bidder.....		C Green Scaping, LP	Central North Construction	Cole Construction	George Meeks LandPro

Item	Qty	Unit	Price	Price	Price	Price
1						
Total Base Bid + Alternate #1	1	Total	\$ 920,876.04	\$ 791,164.00	\$ 858,298.20	\$ 1,039,871.60

**NOTES**

**“TABULATION STATEMENT”**

ALL BIDS SUBMITTED ARE REFLECTED ON THIS BID TAB SHEET. **HOWEVER, THE LISTING OF A BID ON THIS SHEET SHOULD NOT BE CONSTRUED AS A COMMENT ON THE RESPONSIVENESS OF SUCH BID OR AS ANY INDICATION THAT THE CITY ACCEPTS SUCH BID AS RESPONSIVE.** THE CITY WILL MAKE A DETERMINATION AS TO THE RESPONSIVENESS OF BIDS SUBMITTED BASED UPON COMPLIANCE WITH ALL APPLICABLE LAWS, CITY OF GRAPEVINE PURCHASING GUIDELINES, AND PROJECT DOCUMENTS, INCLUDING BUT NOT LIMITED TO THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS. THE CITY WILL NOTIFY THE SUCCESSFUL BIDDER UPON AWARD OF THE CONTRACT AND, ACCORDING TO LAW, ALL BIDS RECEIVED WILL BE AVAILABLE FOR INSPECTION AT THAT TIME.

ORDINANCE NO. 2019-048

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS; APPROPRIATING \$41,164 IN THE QUALITY OF LIFE FUND FOR THE STATE HIGHWAYS 121/360 LANDSCAPE ENHANCEMENTS PHASE V PROJECT; TRANSFERRING \$41,164 FROM THE QUALITY OF LIFE FUND TO THE GRANT FUND; AND APPROPRIATING \$791,164 IN THE GRANT FUND FOR THE STATE HIGHWAYS 121/360 LANDSCAPE ENHANCEMENTS PHASE V PROJECT AND PROVIDING AN EFFECTIVCE DATE

WHEREAS, the City Council of Grapevine desires to make landscape improvements at the merger of State Highways 121/360 including a section of Stone Myers Parkway in the City of Grapevine; and

WHEREAS, funding for this project has reimbursable portion through the approved Local Advance Funding Agreement with the Texas Department of Transportation including funding received through the 2018 Governor Community Grant Award; and

WHEREAS, the City's portion of the project will come from the Quality of Life Fund; and

WHEREAS, approval of this ordinance will make funds available for the total State Highways 121/360 Phase V project in the amount of \$791,164 in the Grant Fund 113; and

WHEREAS, all constitutional and statutory prerequisites for the approval of the ordinance have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this ordinance is in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated herein above are true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council hereby appropriates \$41,164 in the Quality of Life Fund and transfers the amount from the Quality of Life Fund to the Grant Fund.

Section 3. That the City Council hereby appropriates \$791,164 in the Grant Fund for the total Phase V landscape project.

Section 4. That this ordinance shall take effect immediately upon passage by the City Council of the City of Grapevine pending concurrence from the Texas Department of Transportation.

Section 5. The fact that the present ordinances and regulations of the City of Grapevine, Texas are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the public creates an emergency which requires that this ordinance become effective from and after the date of its passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this 20th day of August, 2019.

APPROVED:

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William D. Tate  
Mayor

ATTEST:

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Tara Brooks  
City Secretary

APPROVED AS TO FORM:

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City Attorney

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**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** AUGUST 20, 2019

**SUBJECT:** APPROVAL OF DALLAS ROAD CORRIDOR/COTTON BELT TRAIL CONSTRUCTION CONTRACT

**RECOMMENDATION:** Consider awarding the Dallas Road Construction Contract to The Fain Group, Inc. upon TxDOT concurrence, authorize a construction management agreement with SAM Construction Services, LLC, and approve **Ordinance No. 2019-054** appropriating funds.

**FUNDING SOURCE:** Upon approval and receipt of grant funding, funds will be available in the 178 Capital Projects Street Fund in an amount of \$5,000,000. On October 3, 2017 Council approved a reimbursement resolution for \$7,130,000 to cover the City's portion of project expenses from the 178 Capital Projects Street Fund.

The reimbursement resolution has been used for design and engineering work to -date and will be used to cover the balance of the construction, construction management and contingency costs.

**BACKGROUND:** On February 7, 2017, City Council authorized the City Manager to submit projects in response to the North Central Texas Council of Governments (NCTCOG) Transportation Alternatives Set -Aside Program. Staff submitted the Dallas Road Corridor/Cotton Belt Trail to NCTCOG for consideration with a 31% local match requirement. On June 8, 2017, the Regional Transportation Council selected the Dallas Road Corridor/Cotton Belt Trail as the top rated project in the western sub-region of the Metroplex. The City of Grapevine was awarded \$5,000,000 toward construction of the roadway and trail improvements.

Bids for the construction of the Dallas Road Corridor/Cotton Belt Trail project were opened on August 1, 2019 and five bids were received. In coordination and concurrence with TxDOT staff, three bids were determined to be unresponsive to the bidding requirements and were not evaluated. The two remaining bids are as follows:

- The Fain Group, Inc. \$8,404,817.50
- Ed Bell Construction Co. \$9,959,916.65

Huitt-Zollars, Inc. has reviewed the bids and concurs with staff's recommendation to award to The Fain Group, Inc. in the amount of \$8,404,817.50. The engineer's estimate for construction is \$8,430,964. In addition, staff is seeking a 5% construction contingency of \$420,000.

Staff is also seeking approval to enter into a construction management, inspection and materials testing agreement with SAM Construction Services, LLC in an amount not to exceed \$500,000. These services also include the necessary federally required reporting activities.

The contractor has 458 days to complete the projects after notice to proceed.

Staff recommends approval.

BB

ORDINANCE NO. 2019-054

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS AUTHORIZING THE APPROPRIATION OF \$5,000,000.00 REGIONAL TRANSPORTATION COUNCIL GRANT FUNDS FROM THE 178 CAPITAL PROJECTS STREET FUND FOR THE DALLAS ROAD CORRIDOR COTTON BELT TRAIL CONSTRUCTION PROJECT AND PROVIDING AN EFFECTIVE DATE

WHEREAS, on June 8, 2017 the Regional Transportation Council selected the Dallas Road Corridor/Cotton Belt Trail for a \$5,000,000.00 Grant for construction of roadway and trail improvements; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this ordinance to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine approves the appropriation of \$5,000,000.00 in the Capital Projects Street Fund for the Dallas Road Corridor/Cotton Belt Roadway Construction and Trail Improvements.

Section 3. That the terms and provisions of this ordinance shall be deemed to be severable, and that if the validity of any section, subsection, word, sentence or phrase shall be held to be invalid, it shall not affect the remaining part of this ordinance.

Section 4. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of August 2019.

APPROVED:

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William D. Tate  
Mayor

ATTEST:

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Tara Brooks  
City Secretary

APPROVED AS TO FORM:

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City Attorney

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**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** AUGUST 20, 2019

**SUBJECT:** APPROVAL FOR THE PURCHASE AND INSTALLATION OF HVAC SERVICES FOR PALACE ARTS CENTER

**RECOMMENDATION:** City Council to consider approval for the purchase and installation of HVAC services for the Palace Arts Center from Texas Airsystems for the Grapevine Convention and Visitors Bureau.

**FUNDING SOURCE:** Upon approval of this purchase, funds will be available in Fund 816 for a total amount not to exceed \$162,390.

**BACKGROUND:** The roof top air handler and duct work installed in 2000 during the restoration of the Palace Arts Center is no longer serviceable. For several years the systems have been repaired and now the software controls are no longer supported. The three cell heat exchanger assembly on the unit is now defective as well. The roof top exterior duct work for the unit is damaged and subject to leak.

The proposal from Texas AirSystems under the TIPS Comprehensive HVAC Solutions and Service provides the following:

- \*Engineering services for design of new Roof Top Unit (RTU) and structural and electrical as required for permitting and sizing of new equipment.
- \*Crane and rigging services to remove existing RTU including removal of wiring and conduit and install new RTU and duct.
- \*Rigging services to modify existing structural steel for new RTU.
- \*Furnish and install new Aon 30 ton unit to include Wattmaster Controls.
- \*Furnish and install new supply and return including installation of new wire air ducts as required to connect to existing.
- \*Provide haul off of existing RTU for recycling.
- \*Energize circuits and provide in house testing and balancing to verify equipment is working properly.

This purchase will be made in accordance with an existing interlocal agreement with the Region VIII Education Service Center of Texas (TIPS) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791

Bids were taken by the cooperative and a contract was awarded to Texas AirSystems. The Grapevine Convention and Visitors Bureau and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

Staff recommends approval.

PN/LW



# QUOTATION

Date: July 22, 2019

To: Grapevine Convention & Visitor's Bureau  
Attn: Paula Newman

Project: City of Grapevine – Lancaster Theater

## PRICING SUMMARY

DESCRIPTION	QTY	TAGGING	TOTAL NET PRICE
Option 1 – Reusing Existing Unit Structure			\$ 162,390.00

\*FOB Factory, Full Freight Allowed, Tax Not Included

We are pleased to quote the following through TIPS Comprehensive HVAC Solutions and Service per contract #18010101. Effective March 22, 2018 – March 22, 2020

### Option 1 Scope of Work– Reusing existing unit structure

- Provide Engineering Services for Design of new RTU and Structural and Electrical as required for permitting and sizing of new equipment
- Provide Rigging services to remove existing RTU
- Provide rigging services to modify existing structural steel for new RTU
- Provide labor to remove excess return and supply ducts
- Furnish and install new Aaon 30 ton unit
- Unit provided with Wattmaster Controls
- Furnish and install new Supply and return air ducts as required to connect to existing. New ducts to be installed at least 14" above existing roof to allow for roofing to be performed. The intent is to minimize duct runs by reconfiguring the new unit. New duct to be run above existing duct. New duct to be double walled and insulated.
- Provide crane services to rig new RTU and Duct into place
- Recover refrigerant removal and disposal per EPA guidelines.
- Provide haul off the existing RTU for recycling.
- Provide temporary dumpster for duct work
- Provide in house testing and balancing
- Furnish Mechanical Permit
- LOTO breaker feeding RTU-5
- Remove wiring and conduit to RTU-5 to allow for removal of the unit
- Provide and replace breaker in the MDP with a 200 amp breaker
- Install new wiring from MDP to new RTU
- Energize circuits and verify everything is working properly
- **One Year Service Agreement included at no charge**

### Exclusions/Assumptions

- Any work not specifically stated above is not included.
- Pricing does not include any safety or site specific training or security measures that may be required by the customer or others.
- Proposal is based upon city approval including street closures as required. Pricing also assumes that the city will not require architectural screening. If required, this would be extra
- Over time work has been excluded except as needed for rigging
- Sales Tax and bonding is excluded
- Roofing is excluded

- Painting of any kind, including touch up
- Asbestos containing materials testing, or abatement.

-This quotation is subject to change without notice and void after 15 days.  
-Add to the prices quoted any sales tax payable on the transaction under any effective Federal or State statute.  
-F.O.B. Factory, FFA, per mutually agreed schedule. No material to be returned without written authorization.  
-Payment terms: Net 30 Days, Upon Receipt of Satisfactory Credit Information.  
-Texas AirSystems equipment will be supplied based upon approved submittal data.  
-Retainage is not allowed. Texas AirSystems is a material supplier, and will be supplying the entire purchase order value upon delivery of equipment.  
-Payment to Texas AirSystems cannot be conditioned on receipt of payment from the owner by a contractor, construction manager, or customer.  
-Texas AirSystems standard warranty, parts only, is for 12 months from start-up date, not to exceed 18 months from ship date.  
-Texas AirSystems is responsible and accountable only for the acts and omissions of Texas AirSystems.  
-Insurance certificates and bonds can/will be provided upon request.

**TEXAS AIRSYSTEMS**

*Jessica Reese*

ORDINANCE NO. 2019-049

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, APPROPRIATING \$162,390 IN THE HERITAGE FOUNDATION FUND FOR THE PURCHASE AND INSTALLATION OF HVAC SERVICES FOR THE PALACE THEATER; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, staff is recommending approval a purchase of HVAC services from Texas Airsystems; and

WHEREAS, upon approval, this ordinance will make the total project funds available for the HVAC services contract in the amount of \$162,390; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this ordinance is in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated herein above are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council hereby authorizes \$162,390 to be appropriated in the Heritage Foundation Fund for the purchase of HVAC services.

Section 3. The fact that the present ordinances and regulations of the City of Grapevine, Texas are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the public creates an emergency which requires that this ordinance become effective from and after the date of its passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of August, 2019.

APPROVED:

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William D. Tate  
Mayor

ATTEST:

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Tara Brooks  
City Secretary

APPROVED AS TO FORM:

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City Attorney

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** AUGUST 20, 2019

**SUBJECT:** APPROVAL FOR THE SALE OF CITY SURPLUS PROPERTY

**RECOMMENDATION:** City Council to consider approval for the sale of property as surplus property and authorizes their sale through public auction.

**FUNDING SOURCE:** N/A

**BACKGROUND:** This request is for approval for the sale of surplus property. The City currently has a cabin ready for auction due to item age or condition. Cabin 12, at The Vineyards Campground, was damaged by flooding due to the rapid nature of the latest flood event. All other cabins at the Vineyards were quickly moved to high ground but the location and the sudden water elevation change made it impossible to move.

Due to the length of time it spent in the water, the cabin has significant damage to the flooring, interior and exterior walls, duct work, cabinets, appliances and more. The cost of repairs is not justified when compared to the cabin's age and replacement costs.

Risk Management has all the information they need to file a claim with our carrier for this loss and are requesting the damaged unit be auctioned. Staff has considered age, cost of operation and/or life-to-date maintenance costs when classifying certain property as surplus.

Staff recommends approval.

LW

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** AUGUST 20, 2019

**SUBJECT:** APPROVAL TO RENEW A CONTRACT FOR PURCHASING CARD SERVICES

**RECOMMENDATION:** City Council to consider approval to renew a contract for purchasing card services with JPMorgan Chase Bank, N.A. through an Interlocal Cooperative Agreement with the City of Fort Worth, Texas.

**FUNDING SOURCE:** The program will be administered at no cost to the City.

**BACKGROUND:** The program's primary objectives are to achieve administrative savings associated with an online electronic small-purchase billing/payment/management system to consolidate and enhance data collection and reporting, and to realize volume-based rebates. The ease of processing the monthly billing makes it less expensive to process than payments by check.

This Purchase will be made in accordance with an existing interlocal agreement with the City of Fort Worth, Texas as allowed by Texas Local Government Code, Section 271 and Texas Government Code, Chapter 791. The contract was for an initial five-year period with two optional, two-year renewals. If approved, this will be the first two-year renewal option.

RFPs were received by the City of Fort Worth, Texas for purchasing card services and an award was made to JPMorgan Chase Bank, N.A. Purchasing reviewed the contract for specification compliance and pricing and determined that this contract would provide the best service for meeting the needs of the City.

Staff recommends approval.

LW

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** AUGUST 20, 2019

**SUBJECT:** APPROVE DEPARTMENT OF HOMELAND SECURITY (DHS), URBAN AREA SECURITY INITIATIVE (UASI) FUNDS TO BE USED FOR URBAN SEARCH AND RESCUE EQUIPMENT.

**RECOMMENDATION:** City Council to consider a resolution supporting the application for a Department of Urban Area Security Initiative grant and an ordinance appropriating funds.

**FUNDING SOURCE:** Upon approval funds will be available through the Department of Homeland Security (DHS), Urban Area Security Initiative (UASI) Grant; \$54,450 in the grant fund 113-42281-210-010.

**BACKGROUND:** The Grapevine Fire Department is managing the FY2019 Department of Homeland Security (DHS) Urban Area Security Initiative (UASI) grant allocation to the Northeast Fire Department Association (NEFDA). The non-matching grant is expected to total \$54,450 and will be used to purchase technical rescue equipment to be used in the NEFDA member cities.

In preparation of the award application, we request that Council adopts a resolution supporting the application and an ordinance appropriating the funds.

RESOLUTION NO. 2019-029

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE SUBMISSION OF AN FY2019 DEPARTMENT OF HOMELAND SECURITY URBAN AREA SECURITY INITIATIVE GRANT ON BEHALF OF THE NORTHEAST FIRE DEPARTMENT ASSOCIATION AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City Council of the City of Grapevine desires to utilize Department of Homeland Security and the Urban Area Security Initiative for the purchase of Urban Search and Rescue Equipment; and

WHEREAS, The City Council of the City of Grapevine finds it in the best interest of the citizens of Grapevine, that the UASI-TC-Grapevine-NEFDA-Technical Rescue Sustainment Equipment project be operated for 2019; and

WHEREAS, Grapevine City Council agrees that in the event of loss or misuse of the Office of the Governor funds, Grapevine City Council assures that the funds will be returned to the Office of the Governor in full; and

WHEREAS, Grapevine City Council designates the Emergency Management Coordinator as the grantee's authorized official with the power to apply for, accept, reject, alter or terminate the grant on behalf of the applicant agency; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the citizens of The City of Grapevine.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That Grapevine City Council approves submission of the grant application for the UASI-TC-Grapevine-NEFDA-Technical Rescue Sustainment to the Office of the Governor.

Section 3. That this resolution shall become effective from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of August, 2019.

APPROVED:

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William D. Tate  
Mayor

ATTEST:

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Tara Brooks  
City Secretary

APPROVED AS TO FORM:

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City Attorney

ORDINANCE NO. 2019-050

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE APPROPRIATION OF \$54,450 IN THE GRANT FUND; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City Council of the City of Grapevine desires to utilize Department of Homeland Security and the Urban Area Security Initiative for the purchase of Urban Search and Rescue Equipment; and

WHEREAS, funding for the acquisition is available in the grant fund; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act and Chapter 211 of the Local Government Code; and

WHEREAS, the City Council deems the adoption of this ordinance to be in the best interests of the health, safety, and welfare of the public.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council hereby authorizes an amount estimated at \$54,450 be appropriated in the Grant Fund for the acquisition of Urban Search and Rescue Equipment.

Section 3. That the terms and provisions of this ordinance shall be deemed to be severable, and that if the validity of any section, subsection, word, sentence or phrase shall be held to be invalid, it shall not affect the remaining part of this ordinance.

Section 4. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of August, 2019.

APPROVED:

---

William D. Tate  
Mayor

ATTEST:

---

Tara Brooks  
City Secretary

APPROVED AS TO FORM:

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City Attorney

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**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** AUGUST 20, 2019

**SUBJECT:** APPROVAL FOR THE SOLE SOURCE PURCHASE OF A CHEST COMPRESSION SYSTEM, SERVICE AND TRAINING

**RECOMMENDATION:** City Council to consider approval for the sole source purchase, to include service and training, of a Lucas device, a chest compression system, from Stryker for the Fire Department.

**FUNDING SOURCE:** Upon approval, funds are available in account 100-42225-210-006 (EMS Expenses & Supplies) for an amount not to exceed \$20,098.

**BACKGROUND:** During a cardiac arrest, proper and continuous CPR is a patient's best chance of survival. Cardiac medications are administered to a patient during resuscitative efforts and circulation throughout the body has to take place for the cardiac medications to be effective. The use of the Lucas device improves the circulatory rate approximately 60% over manual CPR methods, which can greatly increase CPR survivability rates. Due to the length, height and/or distance of many hotels, apartments, commercial buildings and trails within our city, many times effective CPR is impossible while moving a patient. This device will allow proper CPR to be performed while traveling the distance to the MICU and during transport to the hospital. Therefore, giving patients the very best chance to survive a sudden cardiac arrest.

The department is specifying this particular device since they currently have four devices in service and it is the only device that will communicate with the current cardiac monitors (Life-Pak 15). This device also matches the unit that will be at Baylor Scott & White - Grapevine which will allow the MICUs to transfer the patient to the same device.

This procurement will be made as a sole source in accordance with Local Government Code Chapter 252, Subchapter B, § 252.022. General Exemptions (a)(7)(A).

Staff recommends approval.

JS/LW

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** AUGUST 20, 2019

**SUBJECT:** APPROVAL OF THE EMERGENCY PURCHASE AND INSTALLATION OF TWO MERCURY BOAT MOTORS

**RECOMMENDATION:** City Council to consider ratifying the emergency purchase and installation of two Mercury boat motors from Eagle Marine for the Public Works Fleet Services Department.

**FUNDING SOURCE:** Funds for this purchase are available in account 100-43430-108-001 (Motor Vehicle Maintenance) for an amount not to exceed \$35,800.

**BACKGROUND:** This is for the purchase and installation by Eagle Marine of two, 2019 Mercury 225CXL boat motors for the City's primary fire boat (Unit 10211) used for search and rescue on Grapevine Lake.

An emergency purchase order was issued to Eagle Marine for the purchase and installation of two Mercury boat motors on August 12, 2019.

Staff recommends approval.

PH/LW

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** AUGUST 20, 2019

**SUBJECT:** APPROVAL FOR THE PURCHASE OF IT EQUIPMENT AND SOFTWARE LICENSES

**RECOMMENDATION:** City Council to consider the approval for the purchase of IT network equipment and software licenses from General Datatech, L.P. for Fire Station #1.

**FUNDING SOURCE:** Upon approval, funds are available in the capital project fund 177-48870-210-003-170002-02 for an amount not to exceed \$19,209.

**BACKGROUND:** This purchase is for network switching equipment that will connect computers, phones and various building controls for the new Fire Station 1 into the City network. This purchase also includes the Wireless Access Points that will be necessary to connect wireless devices used by the Fire Department to the City's network.

This purchase will be made in accordance with an existing interlocal agreement with The Texas Department of Information Resources (DIR) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to General Datatech, L.P. The IT Department and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

Staff recommends approval.

LW/TA

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** AUGUST 20, 2019

**SUBJECT:** APPROVAL FOR THE PURCHASE OF A WIRELESS ACCESS POINT FOR PEACH TOWER

**RECOMMENDATION:** City Council to consider the approval of the purchase of a wireless access point for Peach Tower from Scientel Solutions, LLC for the IT Department.

**FUNDING SOURCE:** Funds for this purchase are currently available in 325-42210-101-002 (Computer Equipment and Supplies) for an amount not to exceed \$16,763.

**BACKGROUND:** This purchase is for the replacement of the Wireless Access Point on top of the Peach Tower used to establish communication to traffic signals, lift stations and remote buildings.

Purchases will be made in accordance with an existing interlocal agreement with Houston-Galveston Area Council (H-GAC) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to Scientel Solutions, LLC. The IT and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

LW/LW

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**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** AUGUST 20, 2019

**SUBJECT:** APPROVAL FOR THE PURCHASE OF SERVER STORAGE FOR THE PUBLIC SAFETY BUILDING

**RECOMMENDATION:** City Council to consider the approval for the purchase of server storage for the Public Safety Building from Unique Digital for the IT Department.

**FUNDING SOURCE:** Funds for this purchase are available in account 325-48860-101-002 (Machinery and Equipment) for an amount not to exceed \$89,197.

**BACKGROUND:** This purchase is for storage that will be placed in the Public Safety Building data center. This storage will be utilized to store on premise data and video.

The purchase of this server storage will save the City \$80,000 in maintenance costs next fiscal year by moving critical server data to a new and more efficient system. This will allow the City to drop the more costly maintenance on the current solution and acquire less expensive third party maintenance. This new server storage will also give the Virtual Desktop Infrastructure more processing performance and server resources as more servers are moved to it.

This purchase will be made in accordance with an existing interlocal agreement with The Texas Department of Information Resources (DIR) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to Unique Digital. The IT and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

Staff recommends approval.

LW/LW

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** AUGUST 20, 2019

**SUBJECT:** APPROVAL FOR THE PURCHASE OF SERVER CARDS FOR THE PUBLIC SAFETY BUILDING

**RECOMMENDATION:** City Council to consider the approval for the purchase of server cards for the Public Safety Building Datacenter from General Datatech, L.P. for the IT Department.

**FUNDING SOURCE:** Funds for this purchase are available in account 325-48860-101-002 (Machinery and Equipment) for an amount not to exceed \$31,162.

**BACKGROUND:** This purchase is for additional server blades (cards) that will be placed in the Public Safety Building data center.

This purchase will be made in accordance with an existing interlocal agreement with the Texas Department of Information Resources (DIR) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to General Datatech, L.P. The IT Department and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

Staff recommends approval.

LW/LW

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** AUGUST 20, 2019

**SUBJECT:** APPROVAL TO RENEW AN ANNUAL SOLE SOURCE CONTRACT FOR ILS COMPUTER SUPPORT AND SOFTWARE

**RECOMMENDATION:** City Council to consider the renewal of an annual sole source contract for ILS computer support and software with SIRSI Corporation for the Library.

**FUNDING SOURCE:** Upon approval, funds are available in the general fund, account 100-44500-313-001 (Information Technology License and Maintenance Fees) for an amount not to exceed \$59,972.

**BACKGROUND:** The Grapevine Public Library has had an automated computer system since 1998. This renewal is for the SirsiDynix Symphony Library Automation Service. This library automation system is housed and maintained by SIRSI Corporation at their data center.

This procurement will be made as a sole source in accordance with Local Government Code Chapter 252, Subchapter B, § 252.022. General Exemptions (A) (7) (A).

Staff recommends approval.

RC/LW

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**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>

**MEETING DATE:** AUGUST 20, 2019

**SUBJECT:** APPROVAL FOR THE PURCHASE AND INSTALLATION OF SYNTHETIC GRASS

**RECOMMENDATION:** City Council to consider approval for the purchase and installation of synthetic grass from Synthetic Grass Pros for the Parks and Recreation Department.

**FUNDING SOURCE:** Funds for this purchase are available in account 121-48850-312-016-000061-0 (Dog Park Design & Construction) for a total amount not to exceed \$105,388.

**BACKGROUND:** This purchase is for synthetic grass to go in the all-weather paddock at the Bear Creek Dog Park. The all-weather paddock was one of the most highly requested items in the dog park public input sessions that were held. The all-weather paddock with synthetic grass will have the ability to stay open during many weather related events that will require closure of the other paddocks. The all-weather paddock is located on the northeast corner of the dog park with easy access from the parking lot and is located near the large covered pavilion, dog spray pad, and restroom facilities. The approximate size of the synthetic grass area is 16,000 square feet.

This purchase will be made in accordance with an existing interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to Synthetic Grass Pros. The Parks and Recreation and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would best meet the needs of the City.

Staff recommends approval.

TS/LW

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**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>

**MEETING DATE:** AUGUST 20, 2019

**SUBJECT:** APPROVAL TO RENEW AN ANNUAL CONTRACT FOR LAW ENFORCEMENT UNIFORMS

**RECOMMENDATION:** City Council to consider the renewal of an annual contract for the purchase of law enforcement uniforms with Galls, LLC for the Police Department.

**FUNDING SOURCE:** Upon approval, funds are available in the Crime Control District Fund, account 117-42220-209-004 (Clothing Supplies) in an estimated annual amount of \$100,000.

**BACKGROUND:** The purpose of this contract is to establish fixed annual pricing for law enforcement uniforms to be purchased on an as-needed basis.

This purchase will be made in accordance with an existing interlocal agreement with the City of Frisco, Texas as allowed by Texas Local Government Code, Section 271 and Texas Government Code, Chapter 791. The contract is for an initial one-year period with four optional, one-year renewals.

The City of Frisco, Texas solicited a best value bid for law enforcement uniforms and awarded a primary contract to Galls, LLC based on the best value criteria stated in the bid. The Police Department and Purchasing reviewed the contract for specification compliance and pricing and determined that this contract would provide the best product, service and pricing for meeting the needs of the City. The contract was for an initial one-year period with four, one-year renewal options. If approved, this will be the first renewal available.

Staff recommends approval.

SS/LW

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** AUGUST 20, 2019

**SUBJECT:** APPROVAL FOR THE PURCHASE OF CREATIVE CLOUD LICENSING SUBSCRIPTION RENEWAL

**RECOMMENDATION:** City Council to consider the approval for the purchase of Creative Cloud licenses subscription renewal from SHI Government Solutions for the Police Department.

**FUNDING SOURCE:** Funds for this purchase are currently available in 117-44500-209-004 (IT License & Maintenance Fees) for an amount not to exceed \$18,340.

**BACKGROUND:** This purchase is for the renewal of Adobe Creative Cloud software licenses for the Police Department. The software is used for a multitude of things to include redactions for open record requests, creation and editing of PDF documents, creation and editing of picture presentations, video creation and editing, etc.

This purchase will be made in accordance with an existing interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to SHI Government Solutions. The Police and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

MB/LW

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER

**MEETING DATE:** AUGUST 20, 2019

**SUBJECT:** APPROVAL OF SOLID WASTE AND RECYCLING RATE ADJUSTMENT REQUEST

**RECOMMENDATION:** City Council consider adopting an ordinance amending the Grapevine Code of Ordinances Chapter 25, Utilities and Services, Article III. Solid Waste Disposal, Section 25-97, Service Rates — Schedules to reflect adjustments to the commercial and residential solid waste and recycling collection rates.

**FUNDING SOURCE:** Funds are generated by user fees for this service.

**BACKGROUND:** City Council granted Republic Services (dba Allied Waste Services of Fort Worth, LLC.) and its predecessor companies a franchise agreement (Ordinance No. 95-35) to provide solid waste and recycling services for both residential and commercial customers in Grapevine on May 2, 1995.

Section 12 - Item 1 of the Franchise Agreement provides for the establishment of residential and commercial rates on an annual basis prior to October 1. Republic has requested a rate adjustment effective October 1, 2019.

Under Section 11 - Rates and Charges, Republic can request "Any other cost increases including state, federal and local fees, taxes or other additional disposal regulatory charges imposed on disposal since the last rate modification, and any expenditures required of Company solely because of federal, state or local law, rule, regulation, ordinance, order, permit or permit condition becoming effective since the last rate modification may be considered by City on a case-by-case basis."

The rate adjustment calculation is a component of the agreement for both commercial and residential collection. The base rate is divided into operational, disposal and recycle commodity components. The operational component represents 70% and the disposal or recycle commodity component represents 30% of the base rate. The operational component is adjusted based on 70% of the Consumer Price Index for the most recent

12-month period (March 2018 - March 2019). The disposal component is adjusted by the average increase in disposal cost of five local landfill facilities. The recycle commodity component is adjusted by the average decrease in commodity revenue for the 12-month period June 2018 to May 2019.

Republic has requested a rate adjustment effective October 1, 2019. The total combined rate increase request is for a 6.22% increase resulting in a \$0.89 monthly increase for residential service from \$14.30 to \$15.19.

Staff recommends approval.

BB/ds

ORDINANCE NO. 2019-051

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS AMENDING THE GRAPEVINE CODE OF ORDINANCES, CHAPTER 25 UTILITIES AND SERVICES, ARTICLE III SOLID WASTE DISPOSAL, SECTION 25-97 SERVICE RATES--SCHEDULES; PROVIDING A SEVERABILITY CLAUSE; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, on June 1, 1995, by passage of Ordinance No. 95-35 the City of Grapevine, Texas granted Laidlaw Waste Systems, Inc. a franchise agreement to provide for solid waste services for both residential and commercial customers for a ten (10) year period; and

WHEREAS, Laidlaw Waste Systems, Inc. was renamed Trinity Waste Services, Inc.; and

WHEREAS, Trinity Waste Services, Inc. was renamed, Allied Waste Services Inc.; and

WHEREAS, Allied Waste Services Inc. was renamed, Allied Waste Services of Fort Worth, LLC.; and

WHEREAS, Allied Waste Services of Fort Worth, LLC. is a subsidiary of Republic Services; and

WHEREAS, on September 18, 2001, by passage of Ordinance No. 2001-67 the City of Grapevine, Texas granted Laidlaw Waste Systems, Inc. an extension of the franchise agreement to provide for solid waste services for both residential and commercial customers for one (1) additional five (5) year period, commencing on June 1, 2005; and

WHEREAS, on July 20, 2010, by passage of Ordinance No. 2010-30 the City of Grapevine, Texas granted Republic Services an extension of the franchise agreement to provide for solid waste services for both residential and commercial customers for one (1) additional five (5) year period, commencing on August 1, 2010; and

WHEREAS, on September 18, 2012, by passage of Ordinance No. 2012-44 the City of Grapevine, Texas extended the term of the franchise five (5) years commencing on November 1, 2012; and granted Republic Services an automatic renewal of the franchise agreement for one (1) additional five (5) year period, commencing on November 1, 2017; and

WHEREAS, Section 12, Item 1 of the franchise agreement provides for the establishment of residential and commercial rates on an annual basis prior to October 1 of each year; and

WHEREAS, Section 11, of the franchise agreement provides for the request of other cost increases; and

WHEREAS, Republic Services has requested a rate adjustment to be effective on October 1, 2019; and

WHEREAS, the City Council finds it necessary to increase the rates for collecting and removing garbage, recycling, refuse and trash and other solid waste by amending Chapter 25 Utilities and Services, Article III, Solid Waste Disposal, Section 25-97 of the Code of Ordinances of the City of Grapevine, Texas; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this ordinance to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the above premises are found to be true and correct and are incorporated into the body of this ordinance as if copied in their entirety.

Section 2. That Chapter 25 Utilities and Services, Article III, Solid Waste Disposal, is hereby amended by amending Section 25-97 in its entirety to read as follows:

“Sec. 25-97. Service rates--Schedules.

(a) Any houses, buildings or premises used for residential purposes, shall have their garbage and trash removed at a monthly charge where such collection and removal is not required in excess of twice each week, have their recyclable materials removed once per week, have their brush and yard waste removed once per week, and have their bulky wastes removed once every other week with such rates established annually by ordinance.

*Monthly Charge*

Single-family residential .....	\$15.19
Single-family residence without city water service .....	15.19
Duplex .....	30.38

Multifamily, per unit (without dumpster) ..... 15.19"

- (b) Collecting and removing of garbage, refuse and trash from houses, buildings and premises used for commercial and business purposes (apartment complexes with three or more units and mobile home parks are defined as commercial units) shall be determined by the number of times each week that collection and removal of garbage, refuse and trash is required, plus the amount of garbage, refuse and trash collected and removed. The rates are established annually by ordinance.

(1) *Trash Container rates:*

a. Two-yard loose containers:

1 Dump per week .....	\$ 75.74
2 Dumps per week .....	127.67
3 Dumps per week .....	170.99
4 Dumps per week .....	240.45
5 Dumps per week .....	312.17
6 Dumps per week .....	361.07
Extra pickup.....	25.89

b. Two-yard compactor containers:

1 Dump per week .....	\$ 90.89
2 Dumps per week .....	153.20
3 Dumps per week .....	205.19
4 Dumps per week .....	288.53
5 Dumps per week .....	374.61
6 Dumps per week .....	433.30
Extra pickup.....	30.90

c. Three-yard loose containers:

1 Dump per week .....	\$ 86.12
2 Dumps per week .....	142.18
3 Dumps per week .....	203.99
4 Dumps per week .....	271.35
5 Dumps per week .....	340.71
6 Dumps per week .....	386.60
Extra pickup.....	29.61

d. Three-yard compactor containers:

1 Dump per week .....	\$ 103.34
2 Dumps per week .....	170.60
3 Dumps per week .....	244.79

4 Dumps per week .....	325.62
5 Dumps per week .....	408.85
6 Dumps per week .....	463.92
Extra pickup.....	35.14

e. Four-yard loose containers:

1 Dump per week .....	\$ 109.28
2 Dumps per week .....	175.62
3 Dumps per week .....	245.92
4 Dumps per week .....	313.11
5 Dumps per week .....	382.11
6 Dumps per week .....	418.11
Extra pickup.....	33.32

f. Four-yard compactor containers:

1 Dump per week .....	\$ 131.13
2 Dumps per week .....	210.74
3 Dumps per week .....	295.10
4 Dumps per week .....	375.73
5 Dumps per week .....	458.53
6 Dumps per week .....	501.73
Extra pickup.....	44.58

g. Six-yard loose containers:

1 Dump per week .....	\$ 130.02
2 Dumps per week .....	219.27
3 Dumps per week .....	308.00
4 Dumps per week .....	396.09
5 Dumps per week .....	496.68
6 Dumps per week .....	575.06
7 Dumps per week .....	670.88
Extra pickup.....	37.01

h. Six-yard compactor containers:

1 Dump per week .....	\$ 156.02
2 Dumps per week .....	263.11
3 Dumps per week .....	369.60
4 Dumps per week .....	475.31
5 Dumps per week .....	596.03
6 Dumps per week .....	690.07
7 Dumps per week .....	805.05
Extra pickup.....	53.04

i. Eight-yard loose containers:

1 Dump per week .....	\$ 162.01
2 Dumps per week .....	273.62
3 Dumps per week .....	391.59
4 Dumps per week .....	500.57
5 Dumps per week .....	611.14
6 Dumps per week .....	696.39
7 Dumps per week .....	812.47
Extra pickup.....	40.70

j. Roll-Card Containers (Main Street):

2 Dumps per week .....	\$ 30.44
Extra Roll-Carts .....	6.30

(2) *Recycle Container rates:*

a. Cardboard only front-load eight-yard containers:

1 Dump per week (not to exceed) .....	\$ 46.73
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b. Roll-Card (95 gallon) Recycle containers:

1 Dump per week (not to exceed) .....	\$ 19.56
Extra Roll-Carts .....	\$ 6.30

c. Six-yard front-load recycle containers:

1 Dump per week .....	\$ 84.85
2 Dumps per week .....	146.16
3 Dumps per week .....	205.30
4 Dumps per week .....	264.02
Extra pickup .....	28.85

d. Eight-yard front-load recycle containers:

1 Dump per week .....	\$ 97.93
2 Dumps per week .....	168.66
3 Dumps per week .....	241.38
4 Dumps per week .....	308.54
Extra pickup .....	33.29

e. Twenty-yard open top loose recycle containers:

Total per load .....	\$ 281.61
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f. Twenty-yard compacted recycle containers:

Total per load ..... \$ 311.64

g. Thirty-yard open top loose recycle containers:

Total per load ..... \$ 289.12

h. Thirty-yard compacted recycle containers:

Total per load ..... \$ 341.68

(3) *Organic Food Waste rates:*

a. Three-yard containers:

1 Dump per week ..... \$ 121.08

(4) *Caster rates:*

per month ..... \$ 7.89

(5) *Lock rates:*

per lift ..... \$ 1.39

(6) *Enclosure Gate rates:*

per lift ..... \$ 1.39

(7) *Commercial hand-load, two (2) dumps per week:* Thirty-one dollars and seventy-three cents (\$31.73) per month for a maximum for four (4) thirty-gallon containers. If more than four (4) thirty-gallon containers are necessary for service, then customer will use commercial garbage container(s).

(8) *Open top construction and compactor containers:*

a. Delivery fee..... \$ 118.00

b. Daily rental fee..... \$ 5.01

c. Haul ..... \$ 214.04

d. Trash Disposal:

Loose..... \$ 7.49 / cubic yard

Compacted ..... \$ 10.57 / cubic yard

- e. Deposit ..... \$ 344.52
- f. Billing for commercial containers will be performed by the contractor. The City will establish such rates annually by ordinance.

(c) Collecting and removing of recyclables from multifamily (apartment) complexes will be performed [by] contractor at least once each week. Every apartment complex will be assessed a per unit monthly fee with such rates established annually by ordinance.

Monthly apartment recycling fee ..... \$1.24

- (d) Rates for any service required other than the above described services will be determined by the City.
- (e) The minimum service to be rendered shall be once each week. Should any place of business not be specifically designated by name, such error or omission will not relieve the owner, occupant, tenant or lessee of the binding effect of this article, but the same charge shall be made as that entered against a business of a like or similar nature.
- (f) Mobile home parks may request curbside service for each individual housing unit for the collection of garbage, trash, yard waste and recyclables only. Such garbage, trash, yard waste and recyclables must be generated by tenant. The fee for such service will be the normal residential rate established annually by ordinance per the number of units in the park. The mobile home park must maintain commercial service for its office, management and other operations and for the collection of all brush and bulky waste as further defined by Article III, section 25-90, Grapevine Code of Ordinances.”

Section 3. If any section, article, paragraph, sentence, clause, phrase or word in this ordinance, or application thereto any person or circumstances is held invalid or unconstitutional by a Court of competent jurisdiction, such holding shall not affect the validity of the remaining portions of the ordinance; and the City Council hereby declares it would have passed such remaining portions of the ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

Section 4. The fact that the present ordinances and regulations of the City of Grapevine, Texas are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its passage, and it is accordingly so ordained.

Section 5. That the effective date of this rate adjustment will be October 1, 2019.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of August, 2019.

APPROVED:

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William D. Tate  
Mayor

ATTEST:

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Tara Brooks  
City Secretary

APPROVED AS TO FORM:

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City Attorney

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER **BR**

**MEETING DATE:** AUGUST 20, 2019

**SUBJECT:** APPROVAL TO RENEW AN ANNUAL SOLE SOURCE CONTRACT FOR MULTIMEDIA SERVICES

**RECOMMENDATION:** City Council to consider the renewal of an annual sole source contract for multimedia services for streaming and archiving of meetings with Swagit Productions, LLC.

**FUNDING SOURCE:** Upon approval, funds are available in the general fund, account 100-44540-102-001 (Professional Services) for an amount not to exceed \$16,200.

**BACKGROUND:** Swagit Productions, LLC manages the cameras and live streaming of the meetings of the City Council, Planning and Zoning Commission, and Historic Preservation Commission. These meeting videos are archived and available on the City's website. Swagit Productions, LLC also records the audio of the Board of Zoning Adjustment and Building Board of Appeals meetings.

This procurement was made as a sole source in accordance with Local Government Code Chapter 252, Subchapter B, § 252.022. General Exemptions (a)(7)(A). The contract was for an initial one-year period with optional, one-year renewals. If approved, this will be for the fourth renewal option.

Staff recommends approval.

TB/LW

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** AUGUST 20, 2019

**SUBJECT:** APPROVAL TO RENEW AN ANNUAL CONTRACT FOR LASERFICHE SUPPORT SERVICES

**RECOMMENDATION:** City Council to consider the renewal of an annual contract for Laserfiche support services with MCCI, LLC.

**FUNDING SOURCE:** Upon approval, funds are available in account 100-44500-103-001 (IT License and Maintenance Fees) for the annual amount of \$52,877.

**BACKGROUND:** Laserfiche is a system that manages digital records in a way that makes them easily searchable, retrievable, and shareable while adhering to common record management principles. Laserfiche has been adopted as the citywide document management system and is used by all departments throughout the City. This will renew the annual software support for all licenses within the City. This renewal is an increase of \$4,850 due to the additional licenses and modules that were purchased in Fiscal Year 2019.

Purchases will be made in accordance with an existing interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) as allowed by Texas Local Government Code, Section 271 and Texas Government Code, Section 791.

Bids were taken by the Cooperative and a contract was awarded to MCCI, LLC. The City Secretary's Office and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would best meet the needs of the City. The contract is for an initial one-year period with three, one-year renewal options.

Staff recommends approval.

SB/LW

STATE OF TEXAS  
COUNTY OF TARRANT  
CITY OF GRAPEVINE

The City Council of the City of Grapevine, Texas met in Regular Session on this the 6th day of August, 2019 in the City Council Chambers, Second Floor, 200 South Main Street, with the following members present:

William D. Tate	Mayor
Darlene Freed	Mayor Pro Tem
Chris Coy	Council Member
Duff O'Dell	Council Member
Paul Slechta	Council Member
Leon Leal	Council Member

constituting a quorum, with Council Member Sharron Rogers being absent, and with the following members of the City Staff:

Bruno Rumbelow	City Manager
Jennifer Hibbs	Assistant City Manager
Matthew C.G. Boyle	Assistant City Attorney
Tara Brooks	City Secretary

Call to Order

Mayor Tate called the meeting to order at 6:45 p.m.

Item 1. Executive Session

Mayor Tate announced the City Council would recess to the City Council Conference Room to conduct a closed session regarding:

- A. Consultation with and legal advice from the City Attorney regarding pending litigation (Muns, et al. v. Grapevine – Cause No. 348-303736-18), pursuant to Section 551.071, Texas Government Code.
- B. Real property relative to deliberation to the purchase, exchange, lease, sale or value of real property (City property, Public Works, the 185 acres and Lonesome Dove Exchange) pursuant to Section 551.072, Texas Government Code.
- C. Conference with City Manager and Staff to discuss and deliberate commercial and financial information received from business prospects the City seeks to have locate, stay, or expand in the City; deliberate the offer of a financial or other incentive; with which businesses the City is conducting economic development negotiations pursuant to Section 551.087, Texas Government Code.

The City Council recessed to the City Council Conference Room and began the closed session at 6:47 p.m. The closed session ended at 7:25 p.m.

Upon reconvening in open session in the Council Chambers, Mayor Tate asked if there was any action necessary relative to Sections 551.071, 551.072 or 551.087. City Manager Bruno Rumbelow stated there was no action necessary.

NOTE: City Council continued with the Regular portion of the Agenda in open session in the City Council Chambers.

Mayor Tate called the regular meeting to order at 7:34 p.m.

## **REGULAR MEETING**

### Item 2. Invocation

Council Member Duff O'Dell delivered the invocation.

### Item 3. Posting of the Colors and Pledges of Allegiance

Boy Scout Troop 700 posted the colors and led the Pledges of Allegiance.

### Item 4. Citizen Comments

Don Mayo, Kimball Court, Grapevine, Texas expressed concerns about the proposed speed limits in the Lake Parks as listed in item 14.

## PRESENTATIONS

### Item 5. Teresa Grady from 6 Stones to update Council on the Community Powered Revitalization (CPR) project.

Teresa Grady, Director of CPR for 6 Stones, described the work that was completed on seven homes during the CPR Spring Blitz that took place in April. Ms. Grady answered questions from Council.

### Item 6. Police Chief to present Police Department update.

Police Chief Mike Hamlin presented the update to Council and highlighted the Police Department staffing tenures, hiring practices, current crime statistics, the Selective Traffic Enforcement Program, patrol staffing increases, and the renovation of the Animal Shelter.

Community Outreach Manager Haydee Hall updated Council on the programs at the Community Outreach Center including the Valuable After School Time (VAST) program and community events sponsored by the Community Outreach Center.

Chief Hamlin answered questions from Council.

## NEW BUSINESS

Item 7. Consider an agreement with the City of Coppell to provide temporary animal shelter services during the construction of the City of Grapevine Animal Shelter, and take any necessary action.

Police Chief Hamlin reported that during construction of the new Animal Shelter, the City of Coppell will provide animal shelter services. The agreement also stipulates that the City of Grapevine will provide an employee to work 40-hours a week at the Coppell Animal Shelter.

Chief Hamlin answered questions from Council.

Motion was made to approve the agreement with the City of Coppell to provide temporary animal shelter services.

Motion: O'Dell  
Second: Freed  
Ayes: Tate, Freed, Coy, O'Dell, Slechta and Leal  
Nays: None  
Approved: 6-0

Item 8. Consider **Resolution No. 2019-027** accepting the Certified Tax Rolls having a total appraised value of \$14,503,723,763, less exemptions of \$5,218,167,245, for a net taxable value of \$9,285,556,518, and take any necessary action.

Chief Financial Officer Greg Jordan presented this item to Council. The appraised value from the Certified Tax Rolls is \$14,503,723,763, less the exemptions of \$5,218,167,245, for a net taxable value of \$9,285,556,518.

Motion was made to approve Resolution No. 2019-027 accepting the Certified Tax Rolls.

Motion: Coy  
Second: Slechta  
Ayes: Tate, Freed, Coy, O'Dell, Slechta and Leal  
Nays: None  
Approved: 6-0

### RESOLUTION NO. 2019-027

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, APPROVING THE TAX ROLLS FOR TAX YEAR 2019 ON PROPERTY WITHIN THE CITY; AND PROVIDING AN EFFECTIVE DATE

## Consent Agenda

Consent items are deemed to need little Council deliberation and were acted upon as one business item. Any member of the City Council or member of the audience may request

that an item be withdrawn from the consent agenda and placed before the City Council for full discussion.

Mayor Pro Tem Freed requested items 17 and 18 be removed from the consent agenda. Council Member Leal requested item 13 be removed from the consent agenda. Council Member O'Dell requested item 14 be removed from the consent agenda. These items were considered following the approval of the remaining consent agenda items.

Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations.

Item 9. Consider **Ordinance No. 2019-042** appropriating funds for payments to the City of Dallas and the City of Fort Worth in accordance with Senate Bill 569 Revenue Sharing Agreement.

Chief Financial Officer Jordan recommended approval of the ordinance to appropriate funds for the payments required under SB 569 DFW Revenue Sharing Agreement. The agreement requires that the City of Grapevine share certain revenues generated within the boundaries of the Dallas/Fort Worth International Airport with the Cities of Dallas and Fort Worth. Per the agreement, \$845,494 are due to these cities this year.

Motion was made to approve the consent agenda as presented.

Motion: Freed  
Second: Coy  
Ayes: Tate, Freed, Coy, O'Dell, Slechta and Leal  
Nays: None  
Approved: 6-0

ORDINANCE NO. 2019-042

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, REVISING THE ADOPTED BUDGET FOR THE FISCAL YEAR ENDING IN 2019; PROVIDING FOR THE TRANSFER OF THE FUNDS; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 10. Consider the renewal of annual contracts for tree maintenance services with Arbor Masters Tree Service as the primary vendor and Smith Lawn and Tree as the secondary vendor.

Parks and Recreation Director Kevin Mitchell recommended approval of the annual contracts for tree maintenance services for an annual estimated amount of \$400,000.

Motion was made to approve the consent agenda as presented.

Motion: Freed  
Second: Coy  
Ayes: Tate, Freed, Coy, O'Dell, Slechta and Leal

Nays: None  
Approved: 6-0

Item 11. Consider the renewal of an annual contract for fiber internet access and a digital protection system with Spectrum Enterprise.

Chief Technology Officer Tessa Allberg and Police Chief Hamlin recommended approval of the renewal of the annual contract for fiber internet access and a digital protection system for TV services and an internet circuit for the Public Safety Building an estimated amount of \$30,168.

Motion was made to approve the consent agenda as presented.

Motion: Freed  
Second: Coy  
Ayes: Tate, Freed, Coy, O'Dell, Slechta and Leal  
Nays: None  
Approved: 6-0

Item 12. Consider the purchase of a Nice® NRX telephone audio recorder from Motorola Solutions for the Public Safety Dispatch Center.

Police Chief Hamlin recommended approval of the purchase of a Nice® NRX telephone audio recorder for an amount not to exceed \$110,000. This phone system will be used to record 9-1-1 and administrative phone calls coming in and originating from the public safety dispatch center.

Motion was made to approve the consent agenda as presented.

Motion: Freed  
Second: Coy  
Ayes: Tate, Freed, Coy, O'Dell, Slechta and Leal  
Nays: None  
Approved: 6-0

Item 15. Consider **Ordinance No. 2019-044** amending the Grapevine Code of Ordinances, Chapter 23, Section 23-26, Speed Limits - Schedule for certain public streets and ways to amend the speed limit on streets within the Hidden Lake Subdivision.

Public Works Director Bryan Beck recommended approval of an ordinance to establish a 25 mph speed limit on streets within the Hidden Lake Subdivision.

Motion was made to approve the consent agenda as presented.

Motion: Freed  
Second: Coy  
Ayes: Tate, Freed, Coy, O'Dell, Slechta and Leal  
Nays: None  
Approved: 6-0

ORDINANCE NO. 2019-044

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS AMENDING THE GRAPEVINE CODE OF ORDINANCES, CHAPTER 23 TRAFFIC, SECTION 23-26; SPEED LIMITS - SCHEDULES FOR CERTAIN PUBLIC STREETS AND WAYS, ALTERING THE PRIMA FACIE SPEED LIMITS ESTABLISHED FOR VEHICLES UNDER THE TRANSPORTATION CODE CHAPTER 545, UPON THE BASIS OF AN ENGINEERING AND TRAFFIC INVESTIGATION UPON CERTAIN STREETS AND HIGHWAYS, OR PARTS THEREOF, WITHIN THE CORPORATE LIMITS OF THE CITY OF GRAPEVINE AS SET OUT IN THE ORDINANCE; AUTHORIZING THE ERECTION OF TRAFFIC REGULATION SIGNS; REPEALING CONFLICTING ORDINANCES; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO HUNDRED DOLLARS (\$200.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 16. Consider **Ordinance No. 2019-045** amending the Grapevine Code of Ordinances Chapter 23 Traffic, Section 23-26, Speed Limits – Schedule for certain public streets and ways, establishing a 35 mph speed limit on Fairway Drive between Dalton Drive to Treatment Trail.

Public Works Director Beck recommended approval of an ordinance establishing a 35 mph speed limit on Fairway Drive between Dalton Drive to Treatment Trail.

Motion was made to approve the consent agenda as presented.

Motion: Freed  
Second: Coy  
Ayes: Tate, Freed, Coy, O'Dell, Slechta and Leal  
Nays: None  
Approved: 6-0

ORDINANCE NO. 2019-045

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS AMENDING THE GRAPEVINE CODE OF ORDINANCES, CHAPTER 23 TRAFFIC, SECTION 23-26; SPEED LIMITS - SCHEDULES FOR CERTAIN PUBLIC STREETS AND WAYS, ALTERING THE PRIMA FACIE SPEED LIMITS ESTABLISHED FOR VEHICLES UNDER THE TRANSPORTATION CODE CHAPTER 545, UPON THE BASIS OF AN ENGINEERING AND TRAFFIC INVESTIGATION UPON CERTAIN STREETS AND HIGHWAYS, OR PARTS THEREOF, WITHIN THE

CORPORATE LIMITS OF THE CITY OF GRAPEVINE AS SET OUT IN THE ORDINANCE; AUTHORIZING THE ERECTION OF TRAFFIC REGULATION SIGNS; REPEALING CONFLICTING ORDINANCES; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO HUNDRED DOLLARS (\$200.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 19. Consider the approval and ratifying of the emergency purchase of flood clean up restoration services at the Peach Street water tower from Mooring USA.

Public Works Director Beck recommended approval of the emergency purchase of flood clean up restoration services in the amount of \$185,200. The floods resulted when a contractor broke the fire suppression system lines at the Peach Street water tower. The City expects full reimbursement from the contractor.

Motion was made to approve the consent agenda as presented.

Motion: Freed  
Second: Coy  
Ayes: Tate, Freed, Coy, O'Dell, Slechta and Leal  
Nays: None  
Approved: 6-0

Item 20. Consider the award of an informal request for quote for a storage building replacement from Morris General Construction, Inc.

Public Works Director Beck recommended approval of the award of an informal request for quote for a storage building at the Wastewater Treatment Plant for an amount not to exceed \$33,520.

Motion was made to approve the consent agenda as presented.

Motion: Freed  
Second: Coy  
Ayes: Tate, Freed, Coy, O'Dell, Slechta and Leal  
Nays: None  
Approved: 6-0

Item 21. Consider the award of an informal request for quote for a rapid mixer and two flocculator replacements from NOV Process & Flow Technologies.

Public Works Director Beck recommended approval of the award of an informal request for quote for a rapid mixer and two flocculator replacements at the Water Plant for an amount not to exceed \$40,295.

Motion was made to approve the consent agenda as presented.

Motion: Freed  
Second: Coy  
Ayes: Tate, Freed, Coy, O'Dell, Slechta and Leal

Nays: None  
Approved: 6-0

Item 22. Consider approval for the award of an informal request for quote for electrical repair and installation from Precision Pump Systems.

Public Works Director Beck recommended approval of the award of an informal request for quote for electrical repair and installation for an amount not to exceed \$28,187.

Motion was made to approve the consent agenda as presented.

Motion: Freed  
Second: Coy  
Ayes: Tate, Freed, Coy, O'Dell, Slechta and Leal  
Nays: None  
Approved: 6-0

Item 23. Consider the renewal of annual contracts for equipment rental services to Fox Rental and RDO Equipment.

Public Works Director Beck recommended approval of the renewal of annual contracts for equipment rental services to be used on an as-needed basis for an estimated annual amount of \$30,000.

Motion was made to approve the consent agenda as presented.

Motion: Freed  
Second: Coy  
Ayes: Tate, Freed, Coy, O'Dell, Slechta and Leal  
Nays: None  
Approved: 6-0

Item 24. Consider the minutes of the July 16, 2019 Regular City Council meeting.

City Secretary Tara Brooks recommended approval of the minutes as provided.

Motion was made to approve the consent agenda as presented.

Motion: Freed  
Second: Coy  
Ayes: Tate, Freed, Coy, O'Dell, Slechta and Leal  
Nays: None  
Approved: 6-0

Council considered the items that were removed from the consent agenda next.

Item 13. Consider a Memorandum of Understanding with 121 Community Church of Grapevine for the use of church property and the cost of a part-time position for an after-school program in conjunction with the Community Outreach Center.

Police Chief Hamlin reported the agreement with 121 Community Church of Grapevine will provide space for the Valuable After School Time (VAST) program for middle school age children. The agreement will also provide funding for a part-time VAST Coordinator position.

Motion was made to approve the Memorandum of Understanding with 121 Community Church of Grapevine for use of church property and the cost of a part-time position for the VAST program.

Motion: Leal  
Second: O'Dell  
Ayes: Tate, Freed, Coy, O'Dell, Slechta and Leal  
Nays: None  
Approved: 6-0

Item 14. Consider **Ordinance No. 2019-043** amending the Grapevine Code of Ordinances Chapter 23 Traffic, Article II Operation of Vehicle, by adding Section 23-25.4 Same - Public Parks, relating to speed limits on park roads located on Army Corps of Engineers Property.

Traffic Engineer Richard Larkins presented this item to Council and described the studies that were completed and the methodology that was used to determine the speed limits. The proposed ordinance will establish speed limit of 25 mph on all Lake Park roads except the roadways within the Vineyards Campground and establish a speed limit of 15 mph on all Lake Park roadways in the Vineyards Campground.

Mr. Larkins answered questions from Council.

Council discussed this item.

Motion was made to approve Ordinance No. 2019-043 amending the Grapevine Code of Ordinances Chapter 23 Traffic, Article II Operation of Vehicle, establishing speed limits in the Lark Parks.

Motion: Coy  
Second: Slechta  
Ayes: Freed, Coy, O'Dell, Slechta and Leal  
Nays: Tate  
Approved: 5-1

#### ORDINANCE NO. 2019-043

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS AMENDING THE CODE OF ORDINANCES CHAPTER 23, TRAFFIC, SETTING A MAXIMUM SPEED REQUIREMENT FOR MOTOR VEHICLES IN PUBLIC PARKS; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF FIVE HUNDRED DOLLARS

(\$500); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 17. Consider **Ordinance No. 2019-046** amending the Grapevine Code of Ordinances Chapter 23, Traffic, Article V Parking, prohibiting stopping, standing, and parking restrictions on the south side of East Worth Street from Austin Street to Ruth Street, the east side of Austin Street from East Worth Street to East Franklin Street and the west side of Ruth Street from East Worth Street to 300 feet south of East Walnut Street.

Traffic Engineer Larkins presented this item to Council and reported that Faith Christian School was requesting the prohibition of stopping, standing and parking on the roadways along their property.

Mr. Larkins answered questions from Council.

Council discussed this item.

City Manager Rumbelow answered questions from Council and stated staff can bring this item back to council for consideration when Faith Christian Church will be available to answer questions.

Motion was made to table Ordinance No. 2019-046 amending the Grapevine Code of Ordinance Chapter 23, Traffic, Article V, Parking.

Motion: Coy  
Second: Freed  
Ayes: Tate, Freed, Coy, O'Dell, Slechta and Leal  
Nays: None  
Approved: 6-0

Item 18. Consider **Ordinance No. 2019-047** amending the Grapevine Code of Ordinances Chapter 23, Traffic, Article V Parking, prohibiting parking on the west side of Dogwood Drive from West Wall Street to 110 feet south of West Wall Street.

Traffic Engineer Larkins answered questions from Council.

Council discussed this item.

Assistant City Attorney Matthew Boyle answered questions from Council.

Motion was made to deny Ordinance No. 2019-047 amending the Grapevine Code of Ordinances, Chapter 23, Traffic, Article V Parking.

Motion: Freed  
Second: Slechta  
Ayes: Tate, Freed, Coy, O'Dell, Slechta and Leal  
Nays: None  
Approved: 6-0

ADJOURNMENT

Motion was made to adjourn the meeting at 8:37 p.m.

Motion: Slechta

Second: Coy

Ayes: Tate, Freed, Coy, O'Dell, Slechta and Leal

Nays: None

Approved: 6-0

Passed and approved by the City Council of the City of Grapevine, Texas on this the 20th day of August, 2019.

APPROVED:

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William D. Tate  
Mayor

ATTEST:

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Tara Brooks  
City Secretary

STATE OF TEXAS  
COUNTY OF TARRANT  
CITY OF GRAPEVINE

The City Council of the City of Grapevine, Texas met in a Special Meeting on this the 8th day of August, 2019 in the City Council Chambers, Second Floor, 200 South Main Street, with the following members present to-wit:

William D. Tate	Mayor
Darlene Freed	Mayor Pro Tem
Sharron Rogers	Council Member
Chris Coy	Council Member
Duff O'Dell	Council Member
Paul Slechta	Council Member
Leon Leal	Council Member

constituting a quorum, and the following members of the City Staff:

Bruno Rumbelow	City Manager
Jennifer Hibbs	Assistant City Manager
Tara Brooks	City Secretary
Greg Jordan	Chief Financial Officer

CALL TO ORDER

Mayor Tate called the workshop to order at 5:33 p.m.

Item 1. City Council to conduct a workshop relative to the Fiscal Year 2019-2020 budget.

Chief Financial Officer Greg Jordan presented the Fiscal Year 2019-2020 budget and reported the proposed budget recommends a half cent reduction to the property tax rate, with the proposed rate being \$0.284271.

Mr. Jordan described the budget priorities which include maintaining compensation at the 50th percentile and the transfers to the Crime Control and Prevention District fund, permanent capital programs, and vehicle replacement. The budget also accounts for unfunded State mandates including the revenue share for DFW Airport and loss of franchise revenue.

Compensation, landscape maintenance costs, hardware maintenance at the Public Safety Building, economic development incentives, and community distributions account for the main increases in expenditures.

The total proposed expenditures for all funds is \$179,846,631 or an increase of 3% over Fiscal Year 2019.

Mr. Jordan than went through proposed changes in each of the funds and answered questions from Council.

Human Resources Director Rachel Huitt, Public Works Director Bryan Beck, Golf Director Russell Pulley and City Manager Rumbelow answered questions from Council.

There was no formal action taken by the City Council.

ADJOURNMENT

Motion was made to adjourn the meeting at 6:34 p.m.

Motion: Slechta

Second: Coy

Ayes: Tate, Freed, Rogers, Coy, O'Dell, Slechta and Leal

Nays: None

Approved: 7-0

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of August, 2019.

APPROVED:

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William D. Tate  
Mayor

ATTEST:

---

Tara Brooks  
City Secretary

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,  
AND THE PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: AUGUST 20, 2019

SUBJECT: PRELIMINARY PLAT APPLICATION  
LOTS 2 AND 3, BLOCK A, FOXFIRE CROSSING

PLAT APPLICATION FILING DATE..... July 9, 2019

APPLICANT ..... Patrick Gray

REASON FOR APPLICATION..... To build two (2) homes

PROPERTY LOCATION ..... 250' east of Lonesome Dove Road along Foxfire Lane

ACREAGE..... 1.0

ZONING ..... R-20 Single Family Residential

NUMBER OF LOTS ..... 2

PREVIOUS PLATTING ..... No

CONCEPT PLAN ..... No

SITE PLAN..... No

OPEN SPACE REQUIREMENT..... Yes

AVIGATION RELEASE ..... Yes

PUBLIC HEARING REQUIRED ..... No

**PLAT INFORMATION SHEET  
PRELIMINARY PLAT APPLICATION  
LOTS 2 AND 3, BLOCK A, FOXFIRE CROSSING**

I. GENERAL:

- The applicant, Patrick Gray is platting this property to build two (2) single-family residential homes. The property is located 250 feet east of Lonesome Dove Road along Foxfire Lane.

II. STREET SYSTEM:

- The development has access to Foxfire Lane.
- Abutting roads:  on the City Thoroughfare Plan:  
 not on the City Thoroughfare Plan:

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 15.00 / LF		

Periphery Street Fees are not due:

III. STORM DRAINAGE SYSTEM:

- The site drains south.
- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for:
- Water and Wastewater Impact Fees are due prior to the issuance of building permits for: Lots 1 & 2, Block 1, Foxfire Crossing
  - Single Family Residential ( \$ 2,414/ Lot)
  - Multifamily ( \$ 1,134/ Unit)
  - Hotel ( \$ 43,632/ Acre)
  - Corporate Office ( \$ 20,523/ Acre)
  - Government ( \$ 4,414/ Acre)
  - Commercial / Industrial ( \$ 5,739 / Acre)
- Open Space Fees are not required for:
- Open Space Fees are due prior to the preconstruction meeting for public infrastructure improvements for: Lots 1 & 2, Block 1, Foxfire Crossing
  - R-5.0, R-TH, Zero Lot District ( \$ 1,416.00 / Lot)
  - R-7.5, Single Family District ( \$ 1,146.00 / Lot)
  - R-12.5, Single Family District ( \$ 1,071.00 / Lot)
  - R-20.0, Single Family District ( \$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
  - Front building line
  - Allowing a setback of 3 feet for the rear property line for an accessory building
  - Lot width & depth
  - Max. Impervious Area
  - Landscaping Regulations, allowing no landscape buffer between the edge of the parking area and the adjacent property line.
- The following items associated with this plat are not in accordance with the current subdivision standards:
  - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
  - Length of cul-de-sac street exceeds the 600-foot limit:
  - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
- The right-of-way provides for future widening of public streets that will serve the development of this site.
  - The onsite utility easements provide for a utility network to serve the development of this site.
  - The onsite drainage easements provide for a drainage network to serve the development of this site.
  - The onsite access easements provide cross access capabilities to this site and surrounding property.

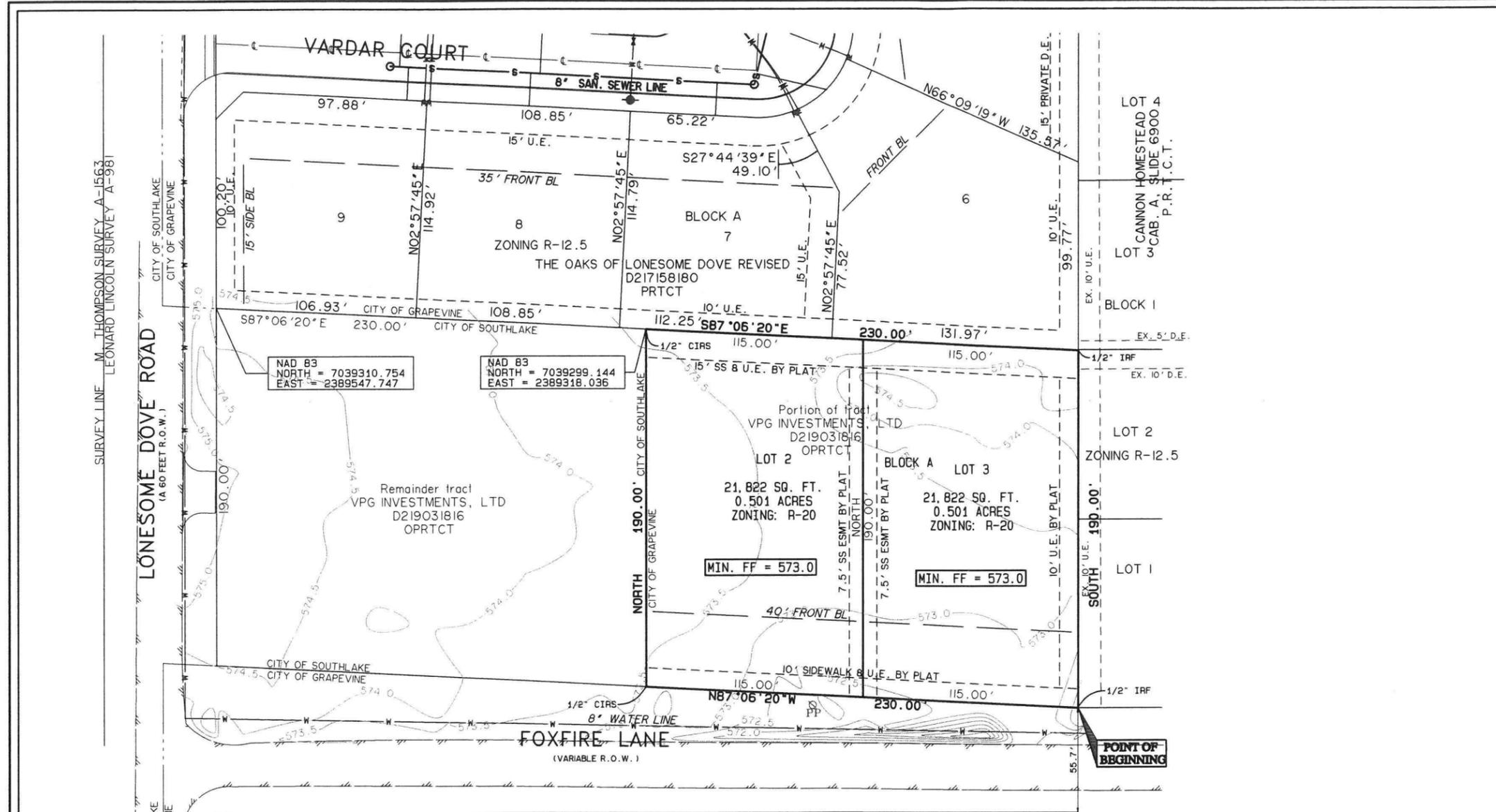
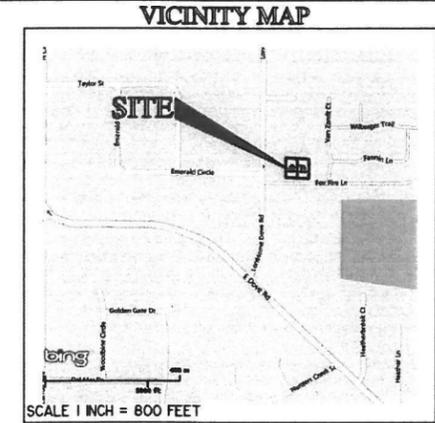
- The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:

- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
- The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
- The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
- The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
- The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
- All of the dedications benefit the development to at least the extent of the impact of such on the development.

#### VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Preliminary Plat of Lots 2 & 3, Block A, Foxfire Crossing."



**LEGAL DESCRIPTION**

VPG INVESTMENTS, LTD is the owner of a 1.002 acre parcel of land in the Leonard Lincoln Survey, Abstract 981, situated in the City of Grapevine, Tarrant County, Texas and being a portion of the 2.004 acre tract of land described in deed as recorded in Document No. D219031816, Official Public Records of Tarrant County, Texas (D.R.T.C.T.), and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found in the north line of Foxfire Lane and also being by plat call the southwest corner of Cannon Homestead, an addition to the City of Grapevine, as recorded in Cabinet A, Slide 6900, Plat Records of Tarrant County, Texas,

THENCE North 87°06'20" West along the north right-of-way line of Foxfire Lane a distance of 230.00 feet to a 1/2" iron rod set with a "TQ Burks #5509" cap set for corner,

THENCE departing said right-of-way line North a distance of 190.00 feet to point for corner with a 1/2" iron rod set with a "TQ Burks #5509" for corner, said point being on the South line of Lot 7, Block A, The Oaks of Lonesome Dove Revised, an addition to the City of Grapevine as recorded in Document No. D217158180, Official Public Records of Tarrant County, Texas,

THENCE South 87°06'20" East along the south line of said Oaks of Lonesome Dove Revised a distance of 230.00 feet to a 1/2" iron rod found at the southeast corner of Lot 6, Block A, The Oaks of Lonesome Dove Revised and said corner also being by plat call the common corner of Lots 2 and 3, Block 1, of said Cannon Homestead,

THENCE SOUTH along the west line of said Cannon Homestead a distance of 190.00 feet returning to the Point of Beginning and containing 43,644 square feet or 1.002 acres of land.

**RECEIVED**  
AUG 15 2019  
BY: .....

**PRELIMINARY PLAT  
LOTS 2 and 3, BLOCK A  
FOXFIRE CROSSING**

1.002 Acres  
2 Lots  
SITUATED IN THE  
**LEONARD LINCOLN SURVEY, ABSTRACT NO. 981  
CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS**  
Zoning: R-20  
August 12, 2019

PLANNING AND ZONING COMMISSION:

DATE APPROVED: \_\_\_\_\_  
CHAIRMAN \_\_\_\_\_  
SECRETARY \_\_\_\_\_

GRAPEVINE CITY COUNCIL

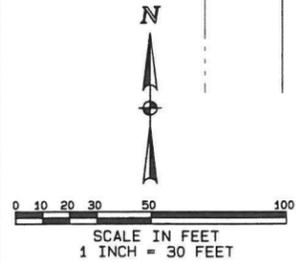
DATE APPROVED: \_\_\_\_\_  
MAYOR \_\_\_\_\_  
CITY SECRETARY \_\_\_\_\_

Owner:  
VPG INVESTMENTS, LTD  
Attn. V. Patrick Gray  
901 Vintners Court  
Grapevine, TX 76051  
Tel: 817.992.4950  
Email: vpgray@gmail.com

NOTE:  
ACCORDING TO FLOOD INSURANCE RATE MAP,  
MAP REVISED DATED SEPTEMBER 25, 2009,  
TARRANT COUNTY, TEXAS,  
MAP NO. 48439C0085 K  
THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA.  
(PROPERTY IS IN ZONE X)

NOTE:  
PROPOSED UNIT DENSITY IS 2 UNITS/ ACRE.

TOTAL PLATTED AREA	43,644 SF
NET PLATTED AREA	43,644 SF
RIGHT OF WAY DEDICATION	0 SF
EASEMENT DEDICATION	7,400 SF



MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,  
AND THE PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: AUGUST 20, 2019

SUBJECT: FINAL PLAT APPLICATION  
LOTS 2 AND 3, BLOCK A, FOXFIRE CROSSING

PLAT APPLICATION FILING DATE..... July 9, 2019  
APPLICANT ..... Patrick Gray  
REASON FOR APPLICATION..... To build two (2) homes  
PROPERTY LOCATION ..... 250' east of Lonesome Dove Road along Foxfire Lane  
ACREAGE..... 1.0  
ZONING ..... R-20 Single Family Residential  
NUMBER OF LOTS ..... 2  
PREVIOUS PLATTING ..... No  
CONCEPT PLAN ..... No  
SITE PLAN..... No  
OPEN SPACE REQUIREMENT..... Yes  
AVIGATION RELEASE ..... Yes  
PUBLIC HEARING REQUIRED ..... No

**PLAT INFORMATION SHEET  
FINAL PLAT APPLICATION  
LOTS 2 AND 3, BLOCK A, FOXFIRE CROSSING**

I. GENERAL:

- The applicant, Patrick Gray is platting this property to build two (2) single family residential homes. The property is located 250 feet east of Lonesome Dove Road along Foxfire Lane.

II. STREET SYSTEM:

- The development has access to Foxfire Lane.
- Abutting roads:  on the City Thoroughfare Plan:  
 not on the City Thoroughfare Plan:

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 15.00 / LF		

Periphery Street Fees are not due:

III. STORM DRAINAGE SYSTEM:

- The site drains south.
- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for:
- Water and Wastewater Impact Fees are due prior to the issuance of building permits for: Lots 1 & 2, Block 1, Foxfire Crossing
  - Single Family Residential ( \$ 2,414/ Lot)
  - Multifamily ( \$ 1,134/ Unit)
  - Hotel ( \$ 43,632/ Acre)
  - Corporate Office ( \$ 20,523/ Acre)
  - Government ( \$ 4,414/ Acre)
  - Commercial / Industrial ( \$ 5,739 / Acre)
- Open Space Fees are not required for:
- Open Space Fees are due prior to the preconstruction meeting for public infrastructure improvements for: Lots 1 & 2, Block 1, Foxfire Crossing
  - R-5.0, R-TH, Zero Lot District ( \$ 1,416.00 / Lot)
  - R-7.5, Single Family District ( \$ 1,146.00 / Lot)
  - R-12.5, Single Family District ( \$ 1,071.00 / Lot)
  - R-20.0, Single Family District ( \$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
  - Front building line
  - Allowing a setback of 3 feet for the rear property line for an accessory building
  - Lot width & depth
  - Max. Impervious Area
  - Landscaping Regulations, allowing no landscape buffer between the edge of the parking area and the adjacent property line.
- The following items associated with this plat are not in accordance with the current subdivision standards:
  - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
  - Length of cul-de-sac street exceeds the 600-foot limit:
  - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
- The right-of-way provides for future widening of public streets that will serve the development of this site.
  - The onsite utility easements provide for a utility network to serve the development of this site.
  - The onsite drainage easements provide for a drainage network to serve the development of this site.
  - The onsite access easements provide cross access capabilities to this site and surrounding property.

- The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

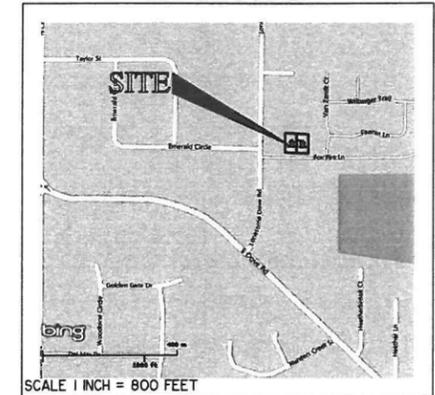
B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:

- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
- The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
- The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
- The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
- The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
- All of the dedications benefit the development to at least the extent of the impact of such on the development.

#### VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Final Plat of Lots 2 & 3, Block 1, Foxfire Crossing."

VICINITY MAP



AVIGATION RELEASE  
STATE OF TEXAS  
COUNTY OF TARRANT

WHEREAS, VPG INVESTMENTS, LTD hereinafter called "Owner" (whether one or more) is the owner of that certain parcel of land situated in the City of Grapevine, Tarrant County, Texas, being said property as described as shown on this plat. NOW THEREFORE, in consideration of the sum of ONE AND 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confessed, Owner does hereby waive, release, remise and quitclaim to the City of Grapevine, Tarrant County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas, Texas and Fort Worth, Texas, their successors and assigns, hereinafter called "Cities", for the use and benefit of the public and its agencies, any and all claims for damages of any kind to persons or property that Owner may suffer by reason of the passage and flight of all aircraft in the air space above Owner's property above the height restriction as presently established by Ordinance No. 73-50 for the City of Grapevine, known as the Airport Zoning Ordinance of the Dallas-Fort Worth International Airport, to an infinite height above same, whether such damage shall originate from noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft, landing at, or taking off from, or operating at or on the Dallas-Fort Worth International Airport. This instrument does not release the owners or operators of aircraft from liability for damage to person or property caused by falling aircraft or falling physical objects from aircraft, except as stated herein with respect to noise, fumes, dust, fuel, and lubricant particles. It is agreed that this Release shall be binding upon said owner and his heirs and assigns, and successors in interest to said property, and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of the county or counties in which the property is situated.

EXECUTED at Grapevine, Tarrant County, Texas,  
this \_\_\_ day of \_\_\_\_\_, 2019.

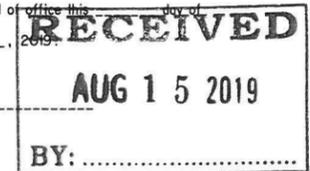
V. PATRICK GRAY, Officer

The State of Texas  
County of Tarrant

Before me \_\_\_\_\_ on this

day personally appeared V. Patrick Gray, known to me to be the person whose name is subscribed to the foregoing instruments and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2019.



Notary Signature

BY: \_\_\_\_\_

FINAL PLAT  
LOTS 2 and 3, BLOCK A  
FOXFIRE CROSSING

1.002 Acres  
2 Lots  
SITUATED IN THE

LEONARD LINCOLN SURVEY, ABSTRACT NO. 981  
CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS

Zoning: R-20  
August 12, 2019

OWNER'S CERTIFICATE  
STATE OF TEXAS  
COUNTY OF TARRANT

WHEREAS, VPG INVESTMENTS, LTD is the owner of a 1.002 acre parcel of land in the Leonard Lincoln Survey, Abstract 981, situated in the City of Grapevine, Tarrant County, Texas and being a portion of the 2.004 acre tract of land described in deed as recorded in Document No. D219031816, Official Public Records of Tarrant County, Texas (I.D.R.T.C.T.), and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found in the north line of Foxfire Lane and also being by plat call the southwest corner of Cannon Homestead, an addition to the City of Grapevine, as recorded in Cabinet A, Slide 6900, Plat Records of Tarrant County, Texas,

THENCE North 87°06'20" West along the north right-of-way line of Foxfire Lane a distance of 230.00 feet to a 1/2" iron rod set with a "TQ Burks #5509" cap set for corner,

THENCE departing said right-of-way line North a distance of 190.00 feet to point for corner with a 1/2" iron rod set with a "TQ Burks #5509" for corner, said point being on the South line of Lot 7, Block A, The Oaks of Lonesome Dove Revised, an addition to the City of Grapevine as recorded in Document No. D217158180, Official Public Records of Tarrant County, Texas,

THENCE South 87°06'20" East along the south line of said Oaks of Lonesome Dove Revised a distance of 230.00 feet to a 1/2" iron rod found at the southeast corner of Lot 6, Block A, The Oaks of Lonesome Dove Revised and said corner also being by plat call the common corner of Lots 2 and 3, Block 1, of said Cannon Homestead,

THENCE SOUTH along the west line of said Cannon Homestead a distance of 190.00 feet returning to the Point of Beginning and containing 43,644 square feet or 1.002 acres of land.

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS, THAT VPG INVESTMENTS, LTD does hereby adopt this plat of Lots 2 and 3, Block A, FOXFIRE CROSSING, and hereby dedicate to the public use forever the right-of-way and easements shown hereon. The easements shown hereon are hereby reserved for the purposes as indicated. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of paving on the easements is the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed, or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using, or desiring to use same. Any City or franchised utility shall have the full right to remove and keep removed all or parts of any fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all City or franchised utilities shall at all times have the full right of ingress and egress to and from upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone.

"I have reviewed the City's findings concerning dedications and I do agree that the statements are true and correct."

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

Witness my hand this the \_\_\_\_\_ day of \_\_\_\_\_, 2019.

V. Patrick Gray, Officer

The State of Texas  
County of Tarrant

Before me \_\_\_\_\_ on this

day personally appeared V. Patrick Gray, known to me to be the person whose name is subscribed to the foregoing instruments and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

Notary Signature

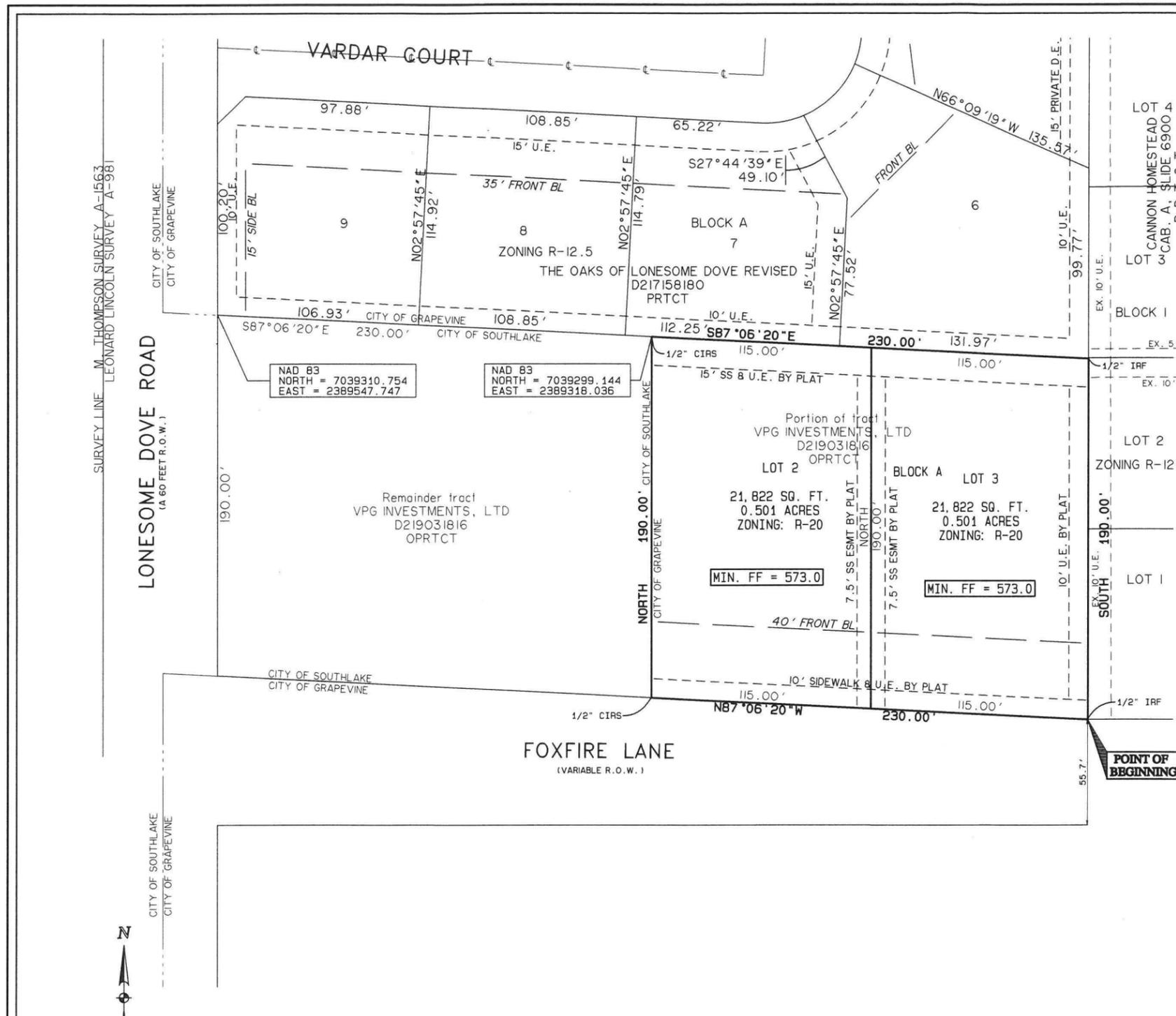
PLANNING AND ZONING COMMISSION:

DATE APPROVED: \_\_\_\_\_  
CHAIRMAN \_\_\_\_\_  
SECRETARY \_\_\_\_\_

GRAPEVINE CITY COUNCIL

DATE APPROVED: \_\_\_\_\_  
MAYOR \_\_\_\_\_  
CITY SECRETARY \_\_\_\_\_

THIS PLAT FILED IN OFFICIAL PUBLIC RECORDS TARRANT COUNTY, DATE \_\_\_\_\_, DOCUMENT # D \_\_\_\_\_



NAD 83  
NORTH = 7039310.754  
EAST = 2389547.747

NAD 83  
NORTH = 7039299.144  
EAST = 2389318.036

MIN. FF = 573.0

MIN. FF = 573.0

Remainder tract  
VPG INVESTMENTS, LTD  
D219031816  
OPRTCT

FOXFIRE LANE  
(VARIABLE R.O.W.)

SURVEYORS CERTIFICATE

I, Tommy G. Burks, of Burks Land Surveying, a Registered Professional Land Surveyor of the State of Texas, do hereby declare that I prepared this plat from an actual and accurate survey on the land and that the corner monuments shown thereon were properly placed under my supervision in accordance with the platting rules and regulations of the State of Texas and the City of Grapevine.

Tommy G. Burks, TX RPLS No. 5509  
Registered Professional Land Surveyor No. 5509  
Burks Land Surveying Company  
223 CR 1260  
Decatur, TX 76234  
817-228-5577  
btsurvey98@yahoo.com



NOTE:

ACCORDING TO FLOOD INSURANCE RATE MAP, MAP REVISED DATED SEPTEMBER 25, 2009, TARRANT COUNTY, TEXAS, MAP NO. 48439C0085 K THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA. (PROPERTY IS IN ZONE X)

NOTE:  
TOTAL PLATTED AREA 43,644 SF  
NET PLATTED AREA 43,644 SF  
RIGHT OF WAY DEDICATION 0 SF  
EASEMENT DEDICATION 7,400 SF

SCALE IN FEET  
1 INCH = 30 FEET

STATE OF TEXAS  
COUNTY OF TARRANT  
CITY OF GRAPEVINE

The Planning and Zoning Commission of the City of Grapevine, Texas met in Regular Session on this the 16<sup>th</sup> day of July 2019 in the Planning and Zoning Conference Room, 200 South Main Street, 2nd Floor, Grapevine, Texas with the following members present-to-wit:

Larry Oliver	Chairman
B J Wilson	Vice-Chairman
Monica Hotelling	Member
Gary Martin	Member
Jimmy Fechter	Member
Dennis Luers	Member
David Hallberg	Alternate

constituting a quorum with Beth Tiggelaar and Traci Hutton absent and the following City Staff:

Ron Stombaugh	Development Services Assistant Director
Scott Dyer	Deputy Director of Public Works
Albert L. Triplett, Jr.	Planner II
Shawna Barnes	Assistant City Secretary

#### CALL TO ORDER

Chairman Oliver called the meeting to order at 7:00 p.m.

#### **BRIEFING SESSION**

Chairman Oliver announced the Planning and Zoning Commission would conduct a work session relative to the following cases:

#### ITEM 1. OATH OF OFFICE

Oath of office was given to new and returning Planning and Zoning Commissioners, Monica Hotelling and David Hallberg

ITEM 2. ELECTION OF OFFICERS

The Commission considered the Election of Officers for the Planning and Zoning Commission.

Dennis Luers moved to elect Larry Oliver as Chairman by acclamation. Jimmy Fechter seconded the motion, which prevailed by the following vote:

Ayes: Wilson, Hotelling, Fechter, Martin, Luers and Hallberg  
Nays: None  
Abstain: Oliver

Jimmy Fechter moved to elect B J Wilson as Vice-Chairman by acclamation. Gary Martin seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Hotelling, Fechter, Martin, Luers and Hallberg  
Nays: None  
Abstain: Wilson

ITEM 3.

Chairman Oliver announced the Planning and Zoning Commission would conduct a work session relative to the following cases:

CU18-17 MASON & DIXIE

FINAL PLAT – AIRPORT CROSSING JV WELLS

Chairman Oliver closed the Briefing Session at 7:10 p.m.

**JOINT PUBLIC HEARINGS**

Mayor Tate called the meeting to order at 7:30 p.m. in the City Council Chambers. Items 4-5 of the Joint Public Hearings were held in the City Council Chambers. The Planning and Zoning Commission recessed to the Planning and Zoning Conference Room, Second Floor to consider published agenda items.

**PLANNING AND ZONING COMMISSION REGULAR SESSION**

CALL TO ORDER

Chairman Oliver called the Planning and Zoning Commission deliberation session to order at 7:35 p.m.

ITEM 6. FINAL PLAT. LOT 1R, BLOCK 1 AND LOTS 1 AND 2, BLOCK 2, AIRPORT CROSSING JV WELLS

First for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Final Plat Application of Lot 1R, Block 1, and Lots 1 and 2, Block 2, Airport Crossing JV Wells. The applicant was final platting 41.02 acres for future development.

In the Commission's deliberation session, Monica Hotelling moved to approve the Statement of Findings Lot 1R, Block 1, and Lots 1 and 2, Block 2, Airport Crossing JV Wells. Dennis Luers seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Fechter, Martin, Luers and Hallberg  
Nays: None

ITEM 7. CONSIDERATION OF MINUTES

Next for the Commission to consider were the minutes of the June 18, 2019, Planning and Zoning Public Hearing.

Dennis Luers moved to approve the June 18, 2019 Planning and Zoning Public Hearing minutes as written. Gary Martin seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Martin and Luers  
Nays: None  
Abstain: Fechter and Hallberg

ADJOURNMENT

With no further business to discuss, Jimmy Fechter moved to adjourn the meeting at 7:38 p.m. Monica Hotelling seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Fechter, Hotelling, Martin, Luers and Hallberg  
Nays: None

PASSED AND APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE  
CITY OF GRAPEVINE, TEXAS ON THIS THE 20<sup>TH</sup> DAY OF AUGUST 2019.

APPROVED:

\_\_\_\_\_  
CHAIRMAN

ATTEST:

\_\_\_\_\_  
PLANNING TECHNICIAN