



CITY OF GRAPEVINE, TEXAS  
REGULAR JOINT MEETING OF  
CITY COUNCIL AND PLANNING AND ZONING COMMISSION  
TUESDAY, JUNE 18, 2019

GRAPEVINE CITY HALL, SECOND FLOOR  
200 SOUTH MAIN STREET  
GRAPEVINE, TEXAS

- 
- 5:30 p.m. Dinner – City Council Conference Room  
6:00 p.m. Joint Workshop with P&Z Commission – City Council Chambers  
7:00 p.m. Call to Order of City Council Meeting – City Council Chambers  
7:00 p.m. Executive Session – City Council Conference Room  
7:30 p.m. Joint Regular Meeting – City Council Chambers
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**JOINT CITY COUNCIL AND PLANNING AND ZONING COMMISSION WORKSHOP**

6:00 P.M. – City Council Chambers

1. City Council and Planning and Zoning Commission to conduct a Joint Workshop to discuss the AM19-03 Dallas Road Transit District Parking Study.

**CALL TO ORDER: 7:00 p.m.** – City Council Chambers

**EXECUTIVE SESSION:**

2. City Council to recess to the City Council Conference Room to conduct a closed session relative to:
  - A. Consultation with and legal advice from the City Attorney regarding pending litigation (Muns, et al. v. Grapevine – Cause No. 348-303736-18), pursuant to Section 551.071, Texas Government Code.
  - B. Real property relative to deliberation to the purchase, exchange, lease, sale or value of real property (City facilities, Public Works, and the 185 acres) pursuant to Section 551.072, Texas Government Code.
  - C. Conference with City Manager and Staff to discuss and deliberate commercial and financial information received from business prospects the City seeks to have locate, stay, or expand in the City; deliberate the offer of a financial or other incentive; with which businesses the City is conducting economic development negotiations pursuant to Section 551.087, Texas Government Code.

City Council to reconvene in open session in the City Council Chambers and take any necessary action relative to items discussed in Executive Session.

**REGULAR MEETING: 7:30 p.m.** – City Council Chambers

3. Invocation and Pledge of Allegiance: Vice Chairman B.J. Wilson

**JOINT PUBLIC HEARINGS**

4. Zoning Change **Z19-03** (815 Ruth Wall Road) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by VPG Investments requesting to rezone 1.23 acres from “CN” Neighborhood Commercial District to “R-5.0” Zero-Lot-Line District for the development of four residential lots.
5. Conditional Use Permit **CU19-15** (Westgate Plaza) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Homeyer Engineering requesting a conditional use permit to amend the previously approved site plan of CU17-14 (Ordinance No. 2017-46) for a planned commercial center, specifically to allow for two medical offices totaling 11,705 square feet. The subject property is located at 2301 Westgate Plaza and is currently zoned “CC” Community Commercial District.
6. Conditional Use Permit **CU19-16** (Silver Lake Crossings) and **Final Plat** of Lots 2 and 3, Block 1, Silver Lake Crossings Addition – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Grapevine Equity Partners requesting to amend the previously approved site plan of CU18-26 SPRC CU17-05 (Ordinance No. 2017-23) for a master site development plan specifically to allow for a multi-brand hotel complex (Renaissance, Element, and A.C. Hotel) with on-premise alcohol beverage sales, outdoor dining, and outdoor speakers; minor site plan and elevation changes to the previously approved Hilton Garden Inn; and minor site plan and elevation changes to the previously approved office building. The subject property is located at 2200 Bass Pro Court, 2225 Bass Pro Court, 2250 Bass Pro Court and 1785 State Highway 26 and is currently zoned “CC” Community Commercial District.
7. Conditional Use Permit **CU19-17** (CJ’s Southern Kitchen) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by CJ’s Southern Kitchen requesting a conditional use permit to amend the previously approved site plan of CU99-06 (Ordinance No. 1999-34) for a planned commercial center to allow the possession, storage, retail sale and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages), specifically to revise the floor plan, and add outside dining and outdoor speakers. The subject property is located at 1449 West State Highway 114 and is currently zoned “CC” Community Commercial District.
8. Conditional Use Permit **CU19-19** (Mason & Dixie) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Mason & Dixie requesting a conditional use permit to amend the previously

approved site plan of CU18-17 (Ordinance No. 2018-062) to establish a restaurant in the Central Business District, specifically to allow the possession, storage, retail sales and on-premise consumption of alcoholic beverages (beer and wine only) and outside dining. The subject property is located at 603 South Main Street No. 303 and is currently zoned "CBD" Central Business District.

Planning and Zoning Commission to recess to Planning and Zoning Commission Conference Room, Second Floor, to consider published agenda items.

City Council to remain in session in the Council Chambers to consider published business.

### CITIZEN COMMENTS

9. Any person who is not scheduled on the agenda may address the City Council under Citizen Comments by completing a Citizen Appearance Request form with the City Secretary. In accordance with the Texas Open Meetings Act, the City Council is restricted in discussing or taking action during Citizen Comments.

### NEW BUSINESS

10. Consider **Ordinance No. 2019-031 (AM19-02)** amending the City Code of Ordinances, Chapter 7, Buildings and Construction regarding permit fees, and take any necessary action.

### CONSENT AGENDA

Consent items are deemed to need little Council deliberation and will be acted upon as one business item. Any member of the City Council or member of the audience may request that an item be withdrawn from the consent agenda and placed before the City Council for full discussion. Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations.

11. Consider **Ordinance No. 2019-032** reappointing Judge Alan Wayland as Municipal Court Judge for a two-year term. City Manager recommends approval.
12. City Council to consider an agreement to paint and stain the Convention and Visitors Bureau Headquarters exterior facades, windows, doors, columns, railing and decorative metalwork by Ware Painting. Convention and Visitors Director recommends approval.
13. Consider an interlocal agreement with Tarrant County Precinct Three Maintenance Department for the purchase of liquid asphalt. Chief Financial Officer recommends approval.

14. Consider **Ordinance No. 2019-033** abandoning a slope easement located on the south side of Dallas Road from Main Street to Jean Street. Public Works Director recommends approval.
15. Consider a design contract with Baird, Hampton & Brown for the design of water and natural gas line extensions at the Grapevine Golf Course and consider **Ordinance No. 2019-034** appropriating funds for engineering services. Public Works Director recommends approval.
16. Consider the minutes of the June 4, 2019 Regular City Council meeting. City Secretary recommends approval.

Pursuant to the Texas Open Meetings Act, Texas Government Code, Chapter 551.001 et seq, one or more of the above items may be considered in Executive Session closed to the public. Any decision held on such matter will be taken or conducted in open session following conclusion of the executive session.

#### PLANNING AND ZONING COMMISSION RECOMMENDATIONS

17. Zoning Change **Z19-03** (815 Ruth Wall Road) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2019-035**, if applicable, and take any necessary action.
18. Conditional Use Permit **CU19-15** (Westgate Plaza) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2019-036**, if applicable, and take any necessary action.
19. Conditional Use Permit **CU19-16** (Silver Lake Crossings) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2019-037**, if applicable, and take any necessary action.
20. **Final Plat** of Lots 2 and 3, Block 1, Silver Lake Crossings Addition – Consider the recommendation of the Planning and Zoning Commission and take any necessary action.
21. Conditional Use Permit **CU19-17** (CJ's Southern Kitchen) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2019-038**, if applicable, and take any necessary action.
22. Conditional Use Permit **CU19-19** (Mason & Dixie) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2019-039**, if applicable, and take any necessary action.

ADJOURNMENT

In accordance with the Open Meetings Law, Texas Government Code, Chapter 551, I hereby certify that the above agenda was posted on the official bulletin boards at Grapevine City Hall, 200 South Main Street and on the City's website on June 14, 2019 by 5:00 p.m.

*Tara Brooks*

Tara Brooks  
City Secretary



If you plan to attend this public meeting and you have a disability that requires special arrangements at the meeting, please contact the City Secretary's Office at 817.410.3182 at least 24 hours in advance of the meeting. Reasonable accommodations will be made to assist your needs.



CITY OF GRAPEVINE, TEXAS  
REGULAR PLANNING AND ZONING COMMISSION MEETING  
TUESDAY, JUNE 18, 2019

GRAPEVINE CITY HALL, SECOND FLOOR  
200 SOUTH MAIN STREET  
GRAPEVINE, TEXAS 76051

- 
- 5:30 p.m. Dinner - City Council Conference Room  
6:00 p.m. Joint Workshop with City Council - City Council Chambers  
7:00 p.m. Briefing Session - Planning and Zoning Commission Conference Room  
7:30 p.m. Joint Meeting with City Council - City Council Chambers  
7:30 p.m. Regular Session - Planning and Zoning Commission Conference Room
- 

**JOINT CITY COUNCIL AND PLANNING AND ZONING COMMISSION WORKSHOP**

6:00 P.M. – City Council Chambers

1. City Council and Planning and Zoning Commission to conduct a Joint Workshop to discuss the AM19-03 Dallas Road Transit District Parking Study.

**CALL TO ORDER: 7:00 p.m.** – Planning and Zoning Conference Room

**BRIEFING SESSION** – Planning and Zoning Conference Room

2. Planning and Zoning Commission to conduct a briefing session to discuss all items scheduled on tonight's agenda. No action will be taken. Each item will be considered during the Regular Session which immediately follows the Joint Public Hearings.

**JOINT MEETING WITH CITY COUNCIL: 7:30 p.m.** – City Council Chambers

3. Invocation and Pledge of Allegiance: Vice Chairman B.J. Wilson

**JOINT PUBLIC HEARINGS**

4. Zoning Change **Z19-03** (815 Ruth Wall Road) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by VPG Investments requesting to rezone 1.23 acres from “CN” Neighborhood Commercial District to “R-5.0” Zero-Lot-Line District for the development of four residential lots.
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Planning and Zoning Commission to recess to Planning and Zoning Commission Conference Room, Second Floor, to consider published agenda items.

**REGULAR SESSION: 7:30 p.m.** (Immediately following Joint Public Hearings) – Planning and Zoning Commission Conference Room

**NEW BUSINESS**

9. Zoning Change **Z19-03** (815 Ruth Wall Road) – Consider the application and make a recommendation to City Council.
10. Conditional Use Permit **CU19-15** (Westgate Plaza) – Consider the application and make a recommendation to City Council.
11. Conditional Use Permit **CU19-16** (Silver Lake Crossings) – Consider the application and make a recommendation to City Council.

12. **Final Plat** of Lots 2 and 3, Block 1, Silver Lake Crossings Addition – Consider the application and make a recommendation to City Council.
13. Conditional Use Permit **CU19-17** (CJ’s Southern Kitchen) – Consider the application and make a recommendation to City Council.
14. Conditional Use Permit **CU19-19** (Mason & Dixie) – Consider the application and make a recommendation to City Council.
15. Consider the minutes of the May 21, 2019 Regular Planning and Zoning Commission meeting.

NOTE: Following the adjournment of the Planning and Zoning Commission meeting, a representative will present the recommendations of the Planning and Zoning Commission to the City Council for consideration in the City Council Chambers.

ADJOURNMENT

In accordance with the Open Meetings Law, Texas Government Code, Chapter 551, I hereby certify that the above agenda was posted on the official bulletin boards at Grapevine City Hall, 200 South Main Street and on the City’s website on June 14, 2019 by 5:00 p.m.

*Tara Brooks*  
Tara Brooks  
City Secretary



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MEMO TO: HONORABLE MAYOR AND CITY COUNCIL MEMBERS AND  
MEMBERS OF THE PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: JUNE 18, 2019

SUBJECT: WORKSHOP - AM19-03 – TRANSIT DISTRICT PARKING STUDY  
SUMMARY

As a follow-up to the Dallas Road Transit District Design and Development Standards, the City of Grapevine authorized WGI Parking Planners to conduct a parking study for the Dallas Road Corridor, with a secondary goal of evaluating the parking conditions on Main Street and in the Central Business District.

### **Methodology**

WGI evaluated **existing parking conditions** in two ways:

- 1) They conducted on-site, visual observation of parking conditions along Dallas Road and in the Downtown and surrounding areas at three critical times; a weekday, a weekend evening, and during the Parade of Lights.
- 2) They calculated required parking based on the square footages of existing buildings, their uses, and Zoning Ordinance requirements.

WGI also analyzed **future parking needs** based on projected high density development along the Dallas Road Transit Corridor.

The results of these studies are discussed in detail in the main document, but some of the more significant observations and recommendations are listed below:

### **Observations/Recommendations: Transit District**

- 1) There is currently adequate parking along the Dallas Road Corridor, given the very low density development patterns that currently exist. The addition of the 552 space parking garage will add to the current surplus of available parking.
- 2) Future development will most likely double the current density, or more. This will of course create the need for significant additional parking. The Transit District Design and Development Standards currently require parking ratios

in accordance with the Zoning Ordinance. The Standards also ensure that parking is behind buildings, screened, and/or in architecturally appropriate parking structures. Therefore, the City could choose to simply require developers to meet current on-site parking requirements. However, this would limit optimum land use, and is not typical of parking strategies within a transit district.

Alternately, the City could consider one or more parking structures to allow developers to share parking areas. Based on analysis, and input from Council Members and stakeholders, WGI identified several potential locations for parking structures. The two most realistic locations for parking structures to serve future Transit Development would be all or a portion of the REC parking lot, and/or the City owned parking lot on the north side of Dallas Road, directly across from the former Police Building. The addition of parking structures and shared parking strategies would allow developers to best utilize their property, and just as importantly would contribute to the pedestrian nature of the Transit District that has been so important throughout its planning.

- 3) As the Transit District develops, the City could consider expanding its visitor shuttle service along Dallas Road. This was an important concept to several Council members and stakeholders in the initial meetings.
- 4) The City should explore assessment fees for developers who use city funded parking solutions such as shared parking facilities or shuttle service.

#### **Observations/Recommendations: Main Street/Central Business District**

- 1) Most of the available parking is in off-street, remote parking lots that are either not convenient or visitors are not aware of them. Visual observation showed available parking within the CBD area at all times. Calculations showed a parking deficit only when all uses are occupied simultaneously (i.e. churches, retail, restaurants, etc.). While there is adequate supply based on demand, that supply is not ideally located.
- 2) The City should investigate enhanced branding, marketing, and communicating locations of the parking lots. This could include website improvements and additional, more unique wayfinding signs.
- 3) The City should investigate mobile apps to communicate locations and availability of parking options. Mobile apps are available that can convey a tremendous amount of information to visitors regarding parking.
- 4) Along with identifying parking structure locations in the Transit District, WGI

also identified two locations in the CBD; the Foust parking lot at the corner of Franklin and Main Street, across from Willhoite's, and the parking lot across from the First Baptist Church at E. Wall Street and Jenkins Street. While the lot at Main/Franklin was deemed as the least practical location, its position in the heart of the Central Business District could add significant convenient parking spaces to Historic Main Street. Furthermore, a well-designed parking structure with historically appropriate architectural features would be a visual improvement from the current surface parking.

## INTRODUCTION

**The Grapevine Parking Study offers a comprehensive analysis and set of recommendations for the City of Grapevine’s parking operation and future parking projections. The City will use this document as a guide for future decision making, resource allocation, and parking investment choices. This study focuses on the assessment of current parking conditions, future parking projections and operational procedural enhancements within the study area.**

### OVERVIEW

In the fall of 2018, the City of Grapevine selected WGI to assess the City’s future parking needs for their newly designated Dallas Road Transit District, with a secondary task of evaluating parking conditions in the Downtown/CBD area and making recommendations for parking management in that area. The purpose of this effort was to develop a comprehensive parking study for the City of Grapevine focused on balancing the demand and availability of parking within the study area and transit corridor. The study will serve as a planning tool based on a proactive approach to future parking demands, while ensuring that visiting patrons have convenient access to parking spaces before, after, and during future development along Dallas Road, while also providing suggestions for parking solutions in the Downtown area.

Downtown Grapevine attracts many visitors on a daily basis with a year round event calendar tailored to everyone. Founded in 1844, Grapevine has evolved tremendously, but strives to keep true to its small town roots. Surrounded by attractions such as Great Wolf Lodge and Gaylord Texan, Downtown Grapevine has become a destination for business and pleasure.

With the recent expansion of the Trinity Metro commuter rail system at the south end of the core downtown area, the city has proactively taken action to plan for projected growth. Utilizing previous parking studies conducted, and in conjunction with the recent Mesa/ArchiTexas Transit District Overlay Document, our team was tasked to develop a plan for future parking needs based on the potential of much higher density growth along the Dallas Road Transit Corridor that currently exists, and assess the current state of parking in Downtown Grapevine using real-time data to project parking demands. Further, based on these projections we were tasked to provide parking and transportation solutions to aid in the continued growth of the city while also improving visitor experience.

### PROJECT APPROACH & METHODOLOGY

In general, Northwest Highway defines the project study boundary to the north, Vine Street to the south, Ball Street to the west and S. Dooley Street to the east.

WGI conducted extensive data collection on existing conditions, including three days of parking occupancy

counts. In addition to performing field observations and statistical analyses of existing conditions, our information gathering relied on outreach and direct communication with key staff and other downtown stakeholders. We conducted one-on-one meetings with City leadership, senior staff members, representatives of private sector employers and business owners to gain a broader understanding of the attitudes and perceptions of the community at large.

The primary focus area for this study was the Transit Corridor, as defined by the Mesa/ArchiTexas Transit District Corridor Study along Dallas Road and bisected by Main Street. However, our parking analysis also includes observations of private and public parking facilities and pedestrian activity patterns in Downtown Grapevine as well.

The first step in our process was to document the existing parking inventory. This inventory included marked and unmarked on-street parking supply and public and private off-street parking facilities. Once parking supply was confirmed, parking occupancy surveys were performed during three pre-determined times in an effort to document parking activity during normal daytime conditions, as well as downtown special events.

Using projected development patterns within the Transit District, building usage downtown and potential future garage locations suggested by City, the WGI team built a scenario matrix highlighting the pros and cons of potential garage locations. In addition to the locations provided by the city, our team also took into consideration other locations brought to our attention through stakeholder meetings and site tours.

Throughout the development of the project, we took into consideration User Comfort Factor as well. The User Comfort Factor (UCF) approach is applicable to a number of design considerations in parking including vehicular circulation, site dimensions, parking geometrics, flow capacity, and entry/exit design. Acceptable user comfort factors for parking, which are defined below, range from 1 to 4.

*UCF 1 – Poor: less than 50% of patrons will be satisfied*

*UCF 2 – Acceptable: 50% of patrons will be satisfied*

*UCF 3 – Good: 75% of patrons will be satisfied*

*UCF 4 – Excellent 90% of patrons will be satisfied*

Finally, using the information and feedback gathered, actionable and comprehensive recommendations will be presented to the City.

## CURRENT CONDITIONS

The first task in developing a comprehensive parking study is to assess the current parking conditions within the study boundary.

This Existing Parking Conditions Report provides a summary of parking conditions at the time of study. This first step will provide City of Grapevine with an understanding of their current parking supply and the utilization of the supply. This will serve as a benchmark for prioritizing parking future planning decisions.

### CURRENT PARKING INVENTORY

A parking inventory survey was conducted within the study area, including off-street parking and marked and unmarked on-street parking. This efforts goal was to create a baseline of the current state of parking. The table below provides a summary of the parking inventory for the entire study area. **Note that all numbers represent data within the Study Area as of October of 2018.**

Parking supply types are defined below:

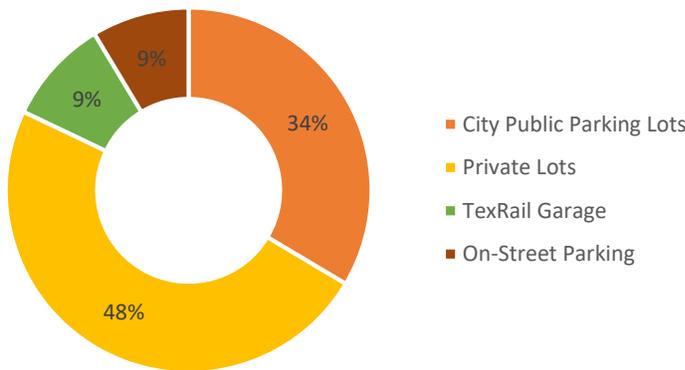
- **On-street Parking** – Marked striped public parking and unmarked public parking
- **Private Off-street Parking** – parking spaces available off street that are for private uses or facilities.
- **Public Off-street Parking** – parking spaces available off-street located in a lot or garage that are open and available for public parking for a fee.

There are an estimated 5,931 total parking spaces within the study area. This number includes all the supply types listed above. It does not include parking spaces associated with single-family driveways or garages.

In general in the study area there are:

<b>1,990</b>	City Public Surface Lots	<b>2,878</b>	Private Surface Lots	<b>552</b>	TexRail Garage
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## Overall Parking Inventory



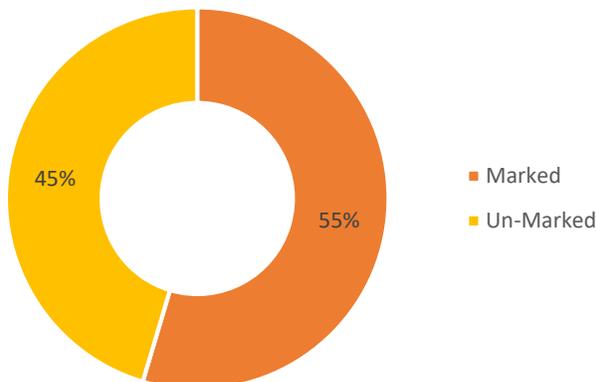
Overall Parking Inventory	Spaces
City Public Parking Lots	1,990
Private Lots	2,878
TexRail Garage	552
<i>Total Off Street Subtotal</i>	<i>5,420</i>
<i>Total On-Street Subtotal</i>	<i>511</i>
<b>TOTAL STUDY AREA</b>	<b>5,931</b>

The parking inventory within the Parking Study Boundary is heavily skewed with 91% off-street inventory representing the majority of the 5,931 parking spaces. While off-street inventory makes up most of the available inventory, there is a balance within the inventory between private and public parking. All of the on-street and off-street public parking surrounding Main Street and vicinity is currently free to the public and unrestricted by time limit.

## ON-STREET PARKING INVENTORY

On-street parking on Main Street consists of parallel parking and angled, head-in parking spaces. Based on the inventory counts, there were 511 on-street parking spaces within the parking study area. This was comprised of marked (public) and unmarked on-street parking. Unmarked parking refers to vehicles parking in “No Parking” zones or spaces unstriped, not marked. It should be noted that parking inventory in areas under construction during our data collection and field observations were not noted. For the purpose of this study, we focused on parking available as public parking. As shown in the table below, there are 279 public on-street parking spaces within the study focus area that are marked public parking.

### On-Street Parking



**511** On Street Spaces

On-Street Parking	Spaces
Marked	279
Un-Marked	232

## OFF-STREET PARKING INVENTORY

Off-street parking within the study boundary area includes public surface lots owned and controlled by the City of Grapevine and privately owned lots serving individual land uses and not controlled by the City. Additionally, the garage affiliated with the TexRail development will provide 552 parking spaces, of which 250 will be available for public parking.

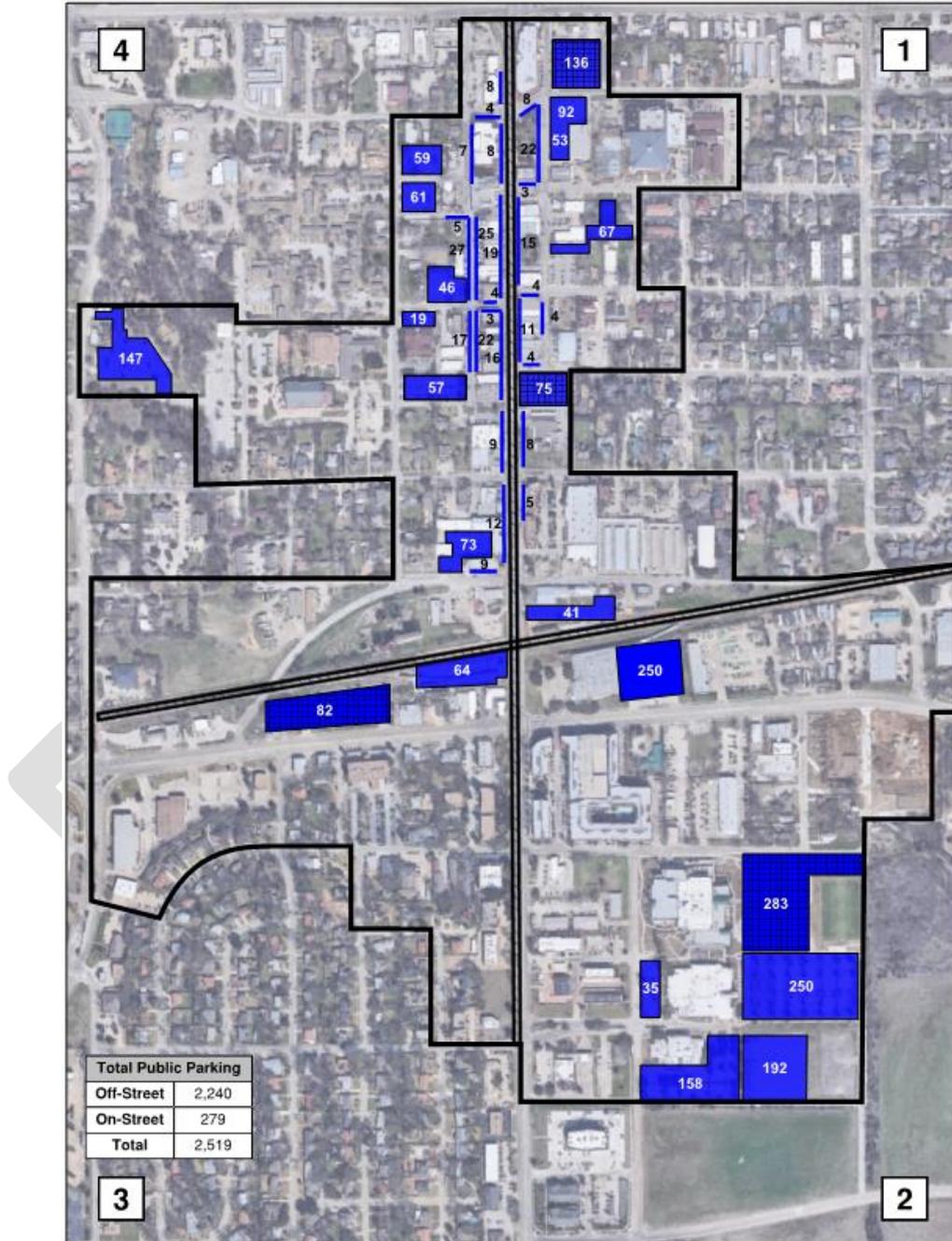
Based on our inventory counts, there were a total of 5,420 off-street parking spaces available within the parking study area. For the purpose of this study, we focused on public parking which we defined as those owned and controlled by the City. As shown below there are a total of **2,240** off-street public parking spaces in the study area.



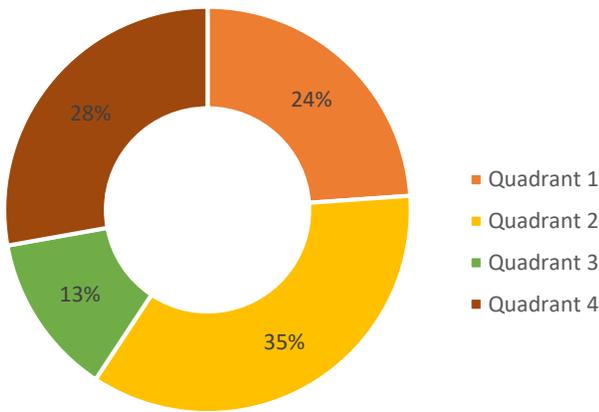
Moving forward we are only considering marked on-street parking and public off-street parking for our calculations and future parking projects as these are spaces within the control of the City of Grapevine and therefore part of the long-term inventory.

## STUDY BOUNDARY QUADRANTS

Given the study area is 4,403 feet north/south and 2,450 feet east/west the consultant team felt it was prudent to break the area into four quadrants as shown below. These quadrants allow for the analysis of the data to be organized and adequately determine parking generators and impacts to the inventory. In general, the study area was cut along Main Street north and south and Dallas Street east and west.



The breakdown of the parking inventory by quadrant is as follows:



Parking Inventory by Quadrant			
	Off-Street	On-Street	Total
<b>Public &amp; Private</b>	4,868	511	5,379
<b>Quadrant 1</b>	1,128	157	1,285
<b>Quadrant 2</b>	1,841	63	1,904
<b>Quadrant 3</b>	694	0	694
<b>Quadrant 4</b>	1,205	291	1,496

## WALKING DISTANCE ANALYSIS

Pedestrian comfort and safety factor is a critical factor in creating an area where people are willing to park away from demand generators. Walking distance is an industry standard that serves as a tool to aid in promoting walkability for parkers.

The goal of the walking distance analysis is to determine the number of parking spaces available within a reasonable walking distance from a demand generator. In other words, the number of parking spaces are available from a venue within a distance pedestrians are willing to walk.

The User Comfort Factor (UCF) approach is used in Walking Distance Analysis and is applicable to a number of design considerations in parking including vehicular circulation, site dimensions, parking geometrics, flow capacity, and entry/exit design. Acceptable user comfort factors for parking, which are defined below, range from 1 to 4.

*UCF 1 – Poor: less than 50% of patrons will be satisfied*

*UCF 2 – Acceptable: 50% of patrons will be satisfied*

*UCF 3 – Good: 75% of patrons will be satisfied*

*UCF 4 – Excellent 90% of patrons will be satisfied*

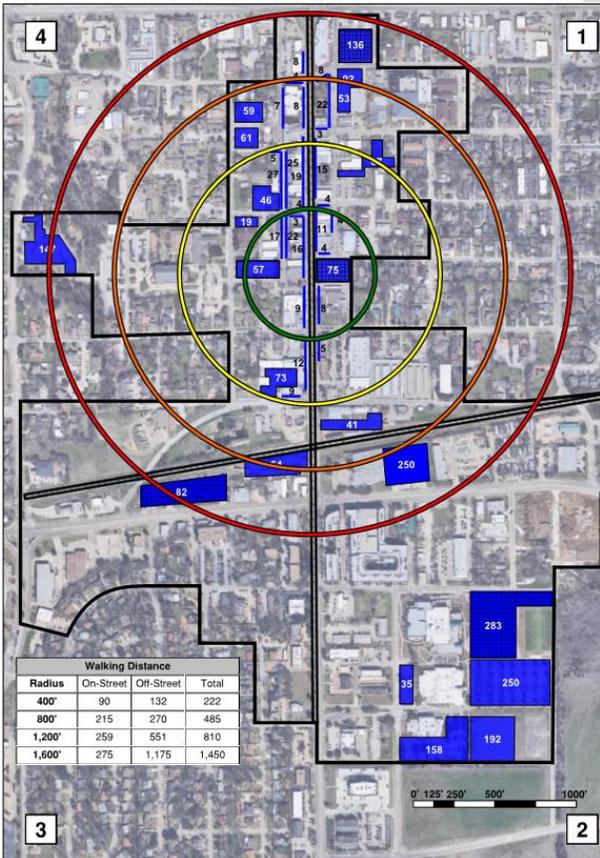
The distance defined by the UCF is governed by multiple parking facility variable available such as structured, surface lot or indoors/outdoors. When these factors are taken into consideration, it allows one parking space to serve multiple downtown destinations.

See chart below defining User Comfort Factor for walking distances:

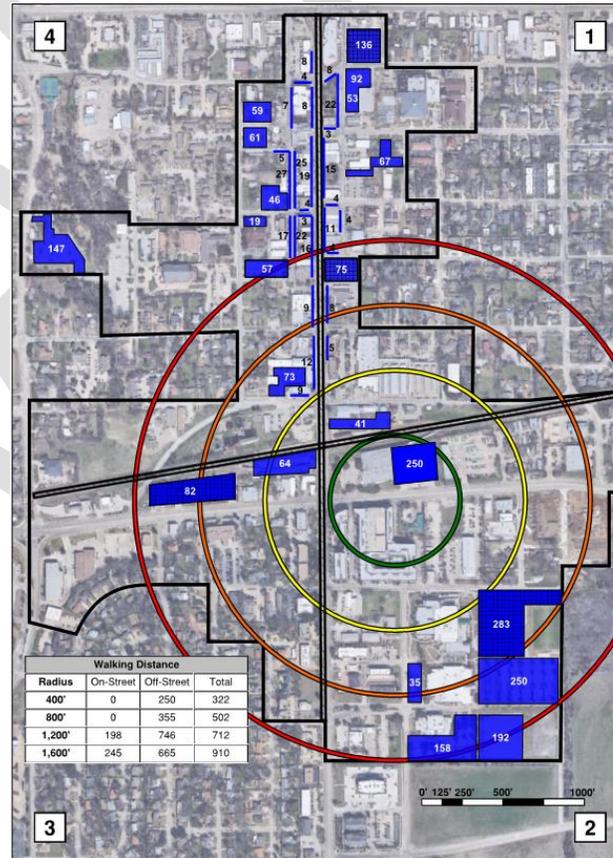
*UCF Walking Distance Design Standard*

Design Standard For:	UCF 1	UC F 2	UCF 3	UCF 4
<b>Nearest parking to destination</b>				
Climate controlled	5,200'	3,800'	2,400'	1,000'
Outdoors, covered	2,000'	1,500'	1,000'	500'
Outdoors, uncovered	1,600'	1,200'	800'	400'

WGI performed a walking distance analysis for two distinct parking generators The Main Street shopping area and Dallas Road Transit Corridor.



In the Main Street shopping area there are 810 parking spaces available; 259 on-street parking spaces and 551 off-street spaces within a comfortable walking radius.



In the Dallas Road Corridor area, there are 712 parking spaces available; 198 on-street parking spaces and 746 off-street spaces within a comfortable walking radius.

Focusing primarily on the walking distance along Main Street, the analysis shows limitation in the connectivity of Main Street and Dallas Road. However, taking into consideration the walking distance closer to intersection of Main Street and Dallas Road, there is an increase in user comfort throughout the entire transit corridor as well as a large portion of Main Street. This increase in user comfort would aid in the development of Dallas Road, while also ensuring that there is walkable connectivity to Main Street.

As development continues this connectivity and pedestrian access will be critical in user comfort and maintaining the walkability currently enjoyed by Main Street. This connectivity will not only benefit pedestrians but will also provide opportunities for vehicular circulation improvements. With this connectivity in place opportunities to begin a shared parking program could be further explored as pedestrians would be willing to park once and access the Dallas Road Transit and Main Street corridors from a centralized parking facility. Coupled with a parking wayfinding program, centralized parking facilities could increase access and help reduce parking congestion in general. This would allow City of Grapevine to better manage their parking assets and optimize parking operations. Further, this would reduce the dependence of off-street parking throughout the corridors.

## SUPPLY AND DEMAND FOR OVERALL STUDY AREA

In addition to the on-site visual observations discussed earlier, a parking supply and demand study was conducted for the study area. In general, a parking supply and demand study subtracts the projected number of spaces required within a defined area based on programmed use from the number of available parking supply to determine if a surplus or deficit exists. The parking ratios for the parking supply and demand study are based off the City of Grapevine's Zoning Ordinance Section 56, Off-Street Parking Requirements.

Off-street parking was the only parking supply considered as part of our supply and demand analysis. While on-street parking does provide supply, a parking space is shared for various uses for a specific period. These uses can vary based on regulation by City Engineering. In addition, the inventory of on-street parking varies widely and therefore is not part of the long-term parking supply.

WGI utilized the land use information provided by the City of Grapevine to determine square footages for the existing buildings within the project area. Any land use information not included was generated by use of a land use square footage take-off exercise performed by WGI. At this time of the study, the existing building program mix was as follows:

City of Grapevine Land Use Square Footages		
Building Use	Size	Units
Retail/Commercial	417,000	SF
Office	327,000	SF
Restaurant	23,000	SF
Church	2,306	Seats
Storage/Warehouse	32,000	SF
Senior Center	13,000	SF
Theatre	610	Seats
Funeral Home	13,000	SF
Museum	22,000	SF
Community Center	5,353	Seats

WGI utilized City of Grapevine’s parking ratio requirements to determine the parking demand per land use. Parking ratios are the number of parking spaces that should be supplied per unit of land use. The average parking ratios utilized were based on general land use or significant land use. For example, Office can apply to medical office, data center office, administration office, etc. All of these uses are office, but their parking ratio differs slightly.

Assumptions were made for building square footages as some land uses require an additional parking per building. To determine a more realistic parking demand number for these uses the following assumptions were made:

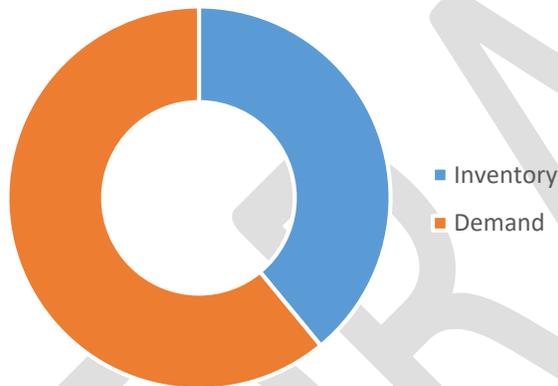
**Retail/Commercial:** 1,500 SF per building – this accounts for small boutique style retail centers which are currently part of the Main St. corridor and expected to be part of the future development of the Transit Corridor.

**Office:** 3,000 SF per building – average building size from available office leases in Grapevine, TX on Main St and Dallas St)

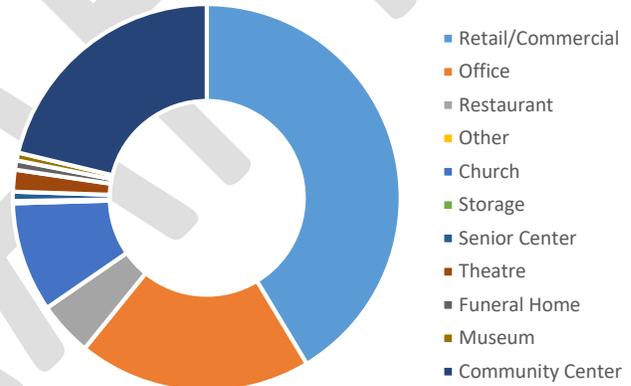
**Restaurant:** Code specifies 1 parking space per 3 seats, to determine seats based on square footage provided 20 SF per person was assumed for these uses – typically 15 SF is allowed, however this allows for required parking in back of house areas to be included.

Building Use	Size	Unit	Parking Req. Per Zoning Ord.	Inventory	Surplus / (Deficit)
Retail/Commercial	417,000	SF	3475		
Office	327,000	SF	1635		
Restaurant	23,000	SF	383		
Church	2,300	Seats	769		
Storage	32,000	SF	16		
Senior Center	13,000	SF	65		
Theatre	610	Seat	153		
Funeral Home	13,000	SF	65		
Museum	22,000	SF	55		
Community Center	5,353	Seats	1,784		
<b>Total Parking Required</b>			<b>8,400</b>	<b>5,379</b>	<b>-3,201</b>

Inventory vs Demand



Study Area Parking Demand



The inventory reflected on this chart does not reflect the parking spaces (552) that the TexRail Garage will provide. This is due to construction of the parking facility at the time of the study. Based on the minimum parking required per land use versus the inventory of parking spaces gathered by WGI, a deficit of 3,201 spaces is projected. Any changes to land use programming will require an update to the required parking calculations based on additional or removed buildings from the study area.

The projection of a 3,201 deficit is something that needs to be looked at with additional factors. This base calculation assumes that every single programmed land use in the study area is being 100% utilized, however typical parking operations state this is not accurate. The main categories that need to be taken into consideration are time weekday, time of day use and modal split.

**Parking Reduction Factors**

Weekday Use

For example, the supply and demand model above shows that Church and Community Center will require 769 and 1,784 spaces, respectively. These uses combined make up 30% of the overall parking demand

and do not operate during typical peak times or days for Office and Retail/Commercial uses. By removing the parking demand of these two land uses, a typical weekday demand can be projected to be 5,847, resulting in a 468 parking space deficit.

#### Time of Day

Now that we have addressed weekday use, we need to understand how parkers utilize the same parking space throughout the day and take part in utilizing different land uses. The most common land use relationship that is influenced by time of day is Office and Restaurant land uses. This is because an office typically operates from 8 AM to 5 PM, while a restaurant operates more heavily in the evening. This requires us to look at when these two uses overlap. The most common time that these two land uses overlap is from 11 AM to 2 PM. During this time, it is very common for someone who works in an office space to walk over to a restaurant for lunch, all while utilizing the same parking space. Essentially, this is a shared use scenario that is common when multiple land uses are in proximity of each other.

*This parking reduction requires a shared use model to accurately project the parking reduction calculated for time of day use.*

#### Modal Split

Modal split is the percentage of patrons that drive their own vehicle to a destination. With the growth of Transportation Network Companies (TNCs) the modal split has been decreasing slowly for specific uses. The most common observation of this is during evening restaurant use – leaving your car at home and taking an Uber/Lyft takes the responsibility off finding a parking space or paying to valet to park your car during peak operating times.

Aside from TNCs, multi-family residential developments attribute to parking reductions as well. Typically, these developments are centered within many amenities such as restaurants, office space, gyms, shops, etc. Since most residential developments provide their own parking availability for their patrons at a 100% rate – the need to move a parked car to travel to a destination within an acceptable walking distance can be reduced to almost none.

*This parking reduction requires a shared use model to accurately project the parking reduction calculated for modal split.*

Based on baseline supply and demand calculations comparing parking supply and land use parking requirements, there is not ample parking for each land use to operate at 100% occupancy at the same time. Based on Parking Reduction Factors a final projection cannot be determined, however the deficit of parking supply will certainly decrease or potentially be completely removed. A shared use model is recommended to be utilized for this area to more accurately understand how parking operations influence parking demand.

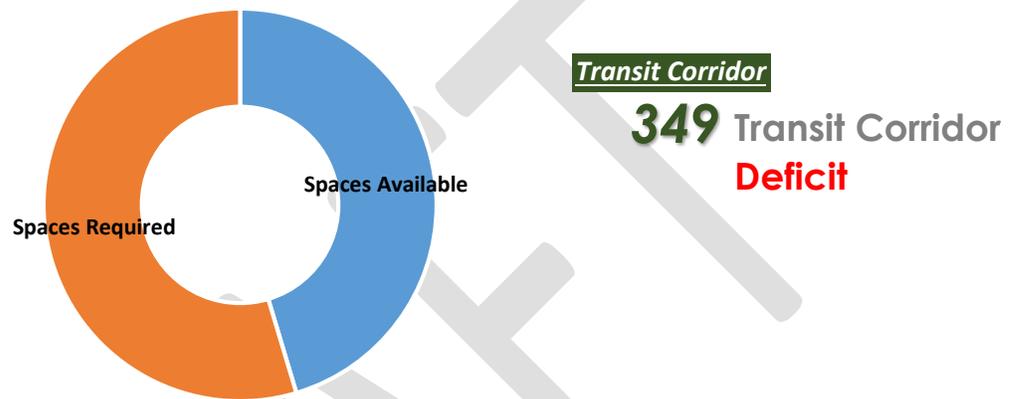
## **SUPPLY AND DEMAND FOR TRANSIT DISTRICT CORRIDOR**

As mentioned above, there are several factors that have to be taken into consideration to understand true parking demand based on weekday/time of day use and modal split. However, WGI has represented a breakdown of parking demand for the Transit District Corridor on Dallas Road. The Transit District Corridor on Dallas Road is that as defined by the Mesa Planning Project. This will aid in understanding the

current land use parking demand and the projections for future parking demand based on assumptions of increased land use programming.

**Current Parking Supply vs Demand**

The Transit District Corridor on Dallas Road is that as defined by the Mesa Planning Project. Based on current land use sizes within the Transit District Corridor and minimum parking requirement ratios, a 349 parking deficit is projected. That is when all program spaces experience maximum utilization a parking deficit of 349 parking spaces is expected.



Building Use	Size	Unit	Parking Req. Per Zoning Ord.	Inventory	Surplus/Deficit
Retail/Commercial	136,600	SF	1,138		
Office	182,000	SF	910		
Storage	32,000	SF	16		
<b>Total Parking Required</b>			<b>2,064</b>	<b>1,715</b>	<b>-349</b>

**Future Parking Supply vs Demand**

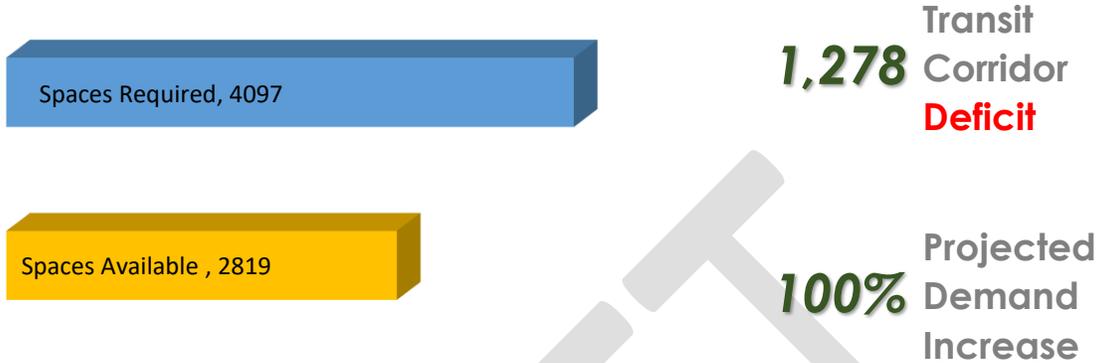
WGI utilized the existing land use program within the study area and made assumptions on future land use growth projections. For the parking demand projections, we assumed the following:

- 100% increase in retail/commercial development
- 100% increase in office development
- Parking inventory provided by TexRail garage – assumes fully operational

The assumptions above are based on the understanding that the current land uses available in the Transit District Corridor are expected to be demolished and replaced with multilevel Transit Oriented Developments which allows the opportunity for such growth in land use programming.

Based on projected land use sizes within the Transit District Corridor and minimum parking requirement ratios, a 1,278 parking deficit is projected. The large increase in deficit is also attributed to parking supply remaining stagnant post opening the TexRail Garage.

Building Use	Size	Unit	Parking Req. Per Zoning Ord.	Inventory	Surplus/Deficit
Retail/Commercial	273,600	SF	2,277		
Office	364,000	SF	1,820		
<b>Total Parking Required</b>			<b>4,097</b>	<b>2,819</b>	<b>-1,278</b>



The Transit Corridor could potentially see a deficit of 1,278 spaces depending on the final proposed future programming. While developers could provide on-site parking for each development to accommodate this increase, this would result in less efficient land use and not be consistent with the type of development patterns typical of a successful transit district. This would encourage the City to look into the potential of additional parking inventory supply to meet parking demand. Specifically, the addition of parking supply could act as shared parking for future developments, allowing developers to reduce their on-site parking.

## SUPPLY AND DEMAND BY QUADRANTS

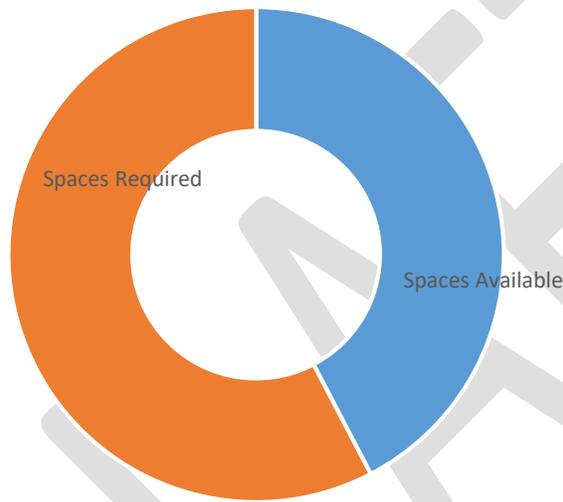
As mentioned previously, Walking Distance is a key variable when evaluating parking assets within a parking area. The question is not simply, “are there enough spaces”, but also “are they in the correct location?”

The overall study area demand model generated a deficit of 3,201 spaces. To understand how each quadrant was operating and to determine if there were pockets of parking deficits, the parking quadrants were evaluated individually. WGI utilized the same land use information from the overall study to determine supply and demand by quadrants and the Dallas Road Transit Corridor. As stated previously, there are several factors that have to be taken into consideration to understand true parking demand based on weekday/time of day use and modal split, the following calculations do not reflect these parking reduction factors.

**Quadrant 1**

Quadrant 1 is the northeast corner of the study area.

Building Use (estimated)	Size	Unit	Parking Req. Per Zoning Ord.	Inventory	Surplus/Deficit
Retail/Commercial	141,000	SF	1,175		
Office	62,000	SF	310		
Restaurant	12,000	SF	200		
Funeral Home	13,000	SF	65		
<b>Total Parking Required</b>			<b>1,750</b>	<b>1285</b>	<b>-465</b>

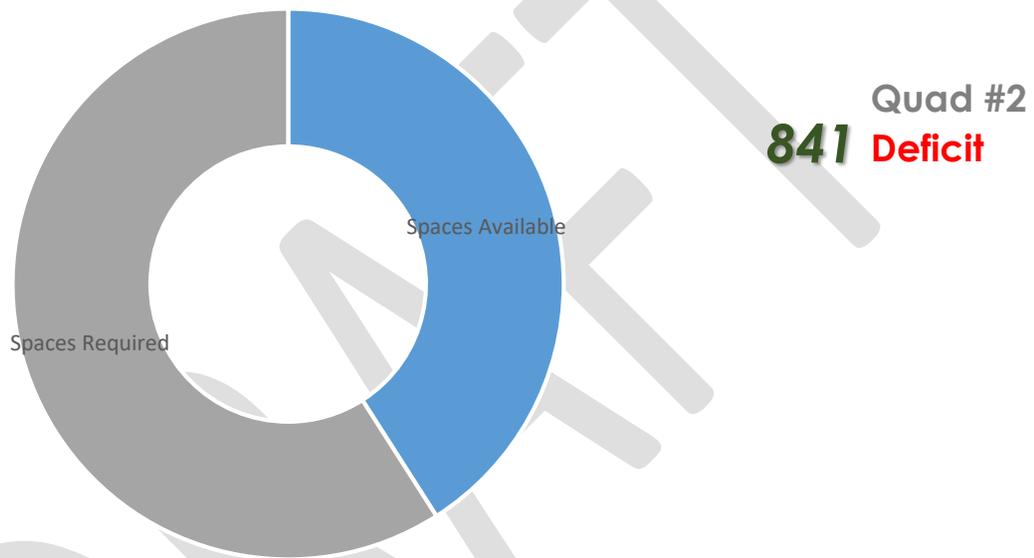


Quad #1  
**465 Deficit**

**Quadrant 2**

Quadrant 2 is the southeast corner of the study area.

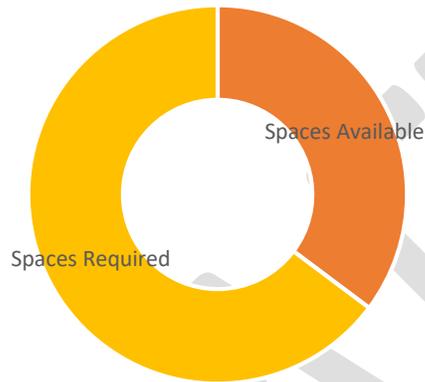
Building Use (estimated)	Size	Unit	Parking Req. Per Zoning Ord.	Inventory	Surplus/Deficit
Retail/Commercial	43,000	SF	359		
Office	104,000	SF	521		
Storage	32,000	SF	16		
Senior Center	13000	SF	65		
Community Center	5,353	Seats	1,784		
<b>Total Parking Required</b>			<b>2,745</b>	<b>1904</b>	<b>-841</b>



**Quadrant 3**

Quadrant 3 is the southwest corner of the study area.

Building Use (estimated)	Size	Unit	Parking Req. Per Zoning Ord.	Inventory	Surplus/Deficit
Retail/Commercial	93,500	SF	779		
Office	99,300	SF	497		
<b>Total Parking Required</b>			<b>1,276</b>	<b>694</b>	<b>-582</b>



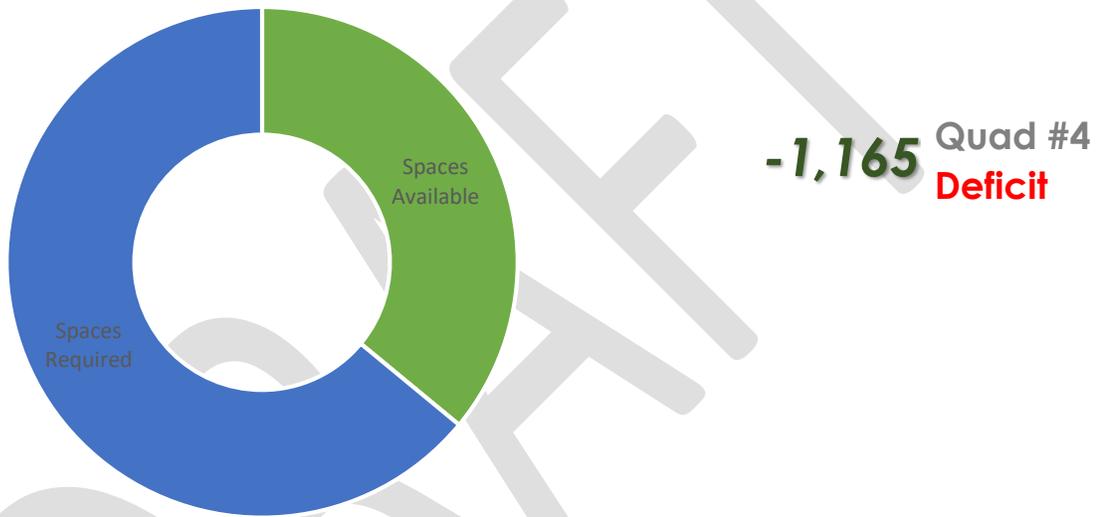
**582** Quad #3  
**Deficit**

DRAFT

**Quadrant 4**

Quadrant 4 is the northwest corner of the study area.

Building Use	Size	Unit	Parking Req. Per Zoning Ord.	Inventory	Surplus/Deficit
Retail/Commercial	141,000	SF	1,175		
Office	62,000	SF	310		
Restaurant	12,000	SF	200		
Church	2,300	Seats	769		
Theatre	610	Seat	153		
Museum	22,000	SF	55		
<b>Total Parking Required</b>			<b>2,661</b>	<b>1496</b>	<b>-1,165</b>



As mentioned previously, Parking Reduction Factors need to be taken into consideration to accurately determine parking demand based on parking operations. A supply and demand calculation assuming 100% occupancy for all uses in a downtown area such as this one, does not accurately represent parking patterns observed. A shared used model is recommended for this area to more accurately understand how parking operations influence parking demand.

## PARKING PLANNING

This section of the study explores the future parking conditions one could expect given the current conditions of the parking demand and applying the projected parking demand.

### FUTURE SUPPLY AND DEMAND PROJECTIONS

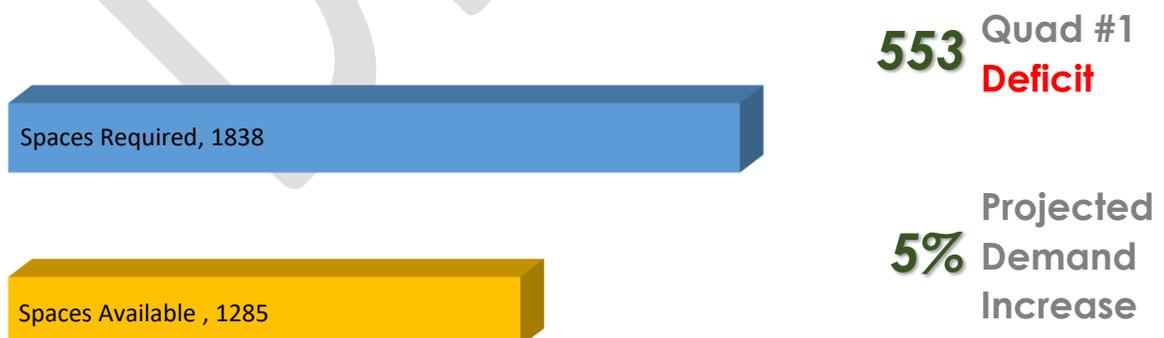
Part of our future parking planning exercise is to project the future demand within the parking study area.

WGI utilized the existing land use program within the study area and made assumptions on future land use growth projections. For the parking demand projections, we assumed the following:

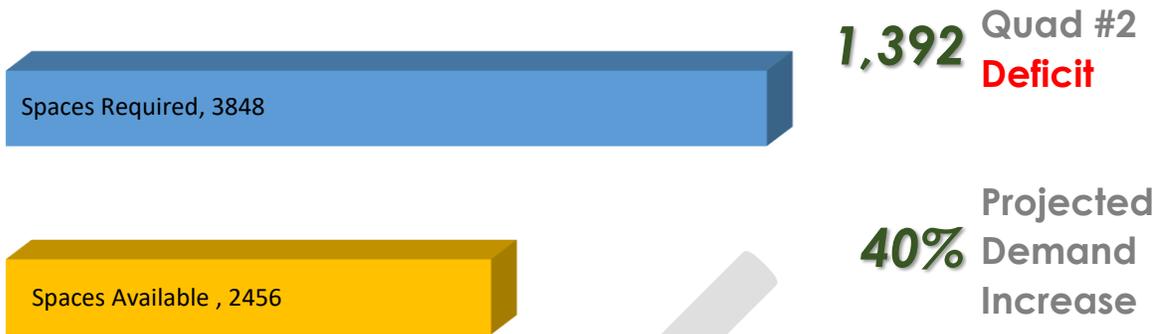
- Quadrant 1 & 4
  - 5% increase in development
  - Most land use is already optimized with little/no room for growth
- Quadrant 2 & 3
  - 100% increase for current land uses in Transit District Corridor
  - Assuming demolition of current program and redeveloping in multi-level land uses
    - Q3 will be the larger area of redevelopment based on newer developments in Q2

These increases are WGI's assumptions based on current development trends and information received from Mesa/ArchiTexas Transit District Overlay Document. The following data presents the potential impacts.

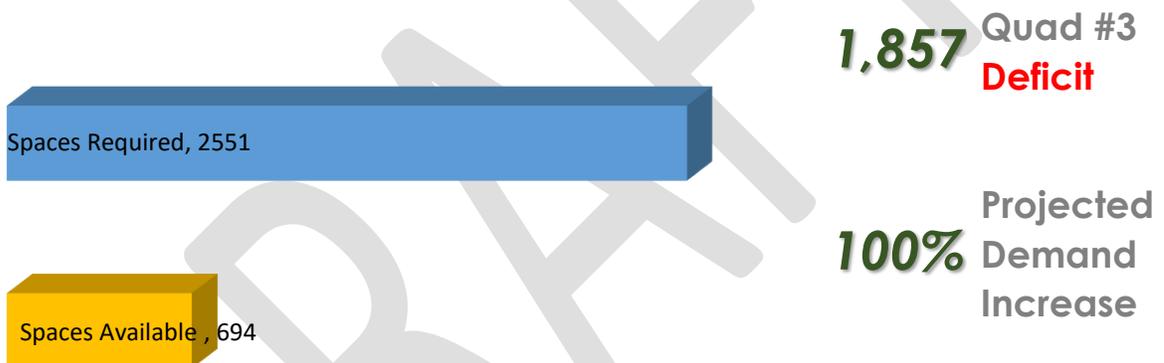
#### Quadrant #1



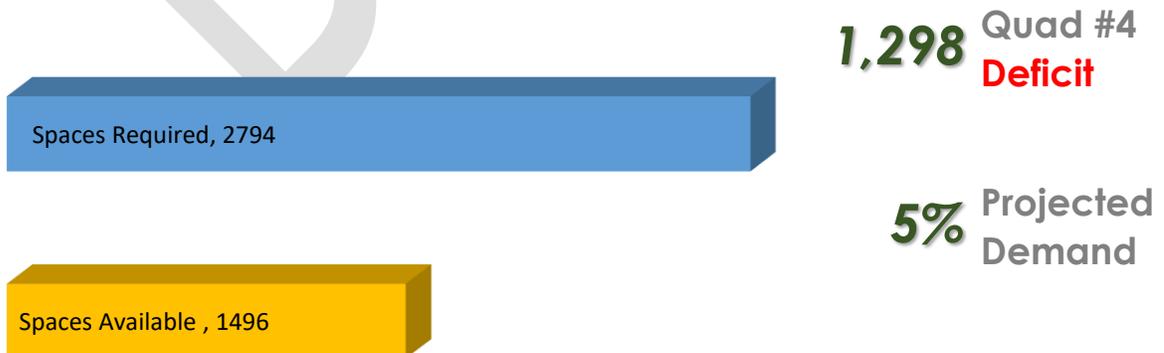
**Quadrant #2**



**Quadrant #3**



**Quadrant #4**



Based on our analysis of sub areas, all quadrants could expect pressure by parking demand in the near future based on pure minimum parking requirement calculations. As mentioned previously, Parking Reduction Factors need to be taken into consideration to accurately determine parking demand based on parking operations.

## PARKING SCENARIO PLANNING

Given the need for future parking demand, and given input from City officials and stakeholders, WGI analyzed four (4) areas for potential parking structure development.

Analyzed from a parking scenario-planning point of view for the purposes of this study, each site location requires further investigation, studies and surveys to determine the appropriateness of each site for Garage Development. The concepts and analysis within this study are for planning purposes only.

### Assumptions for each potential garage location

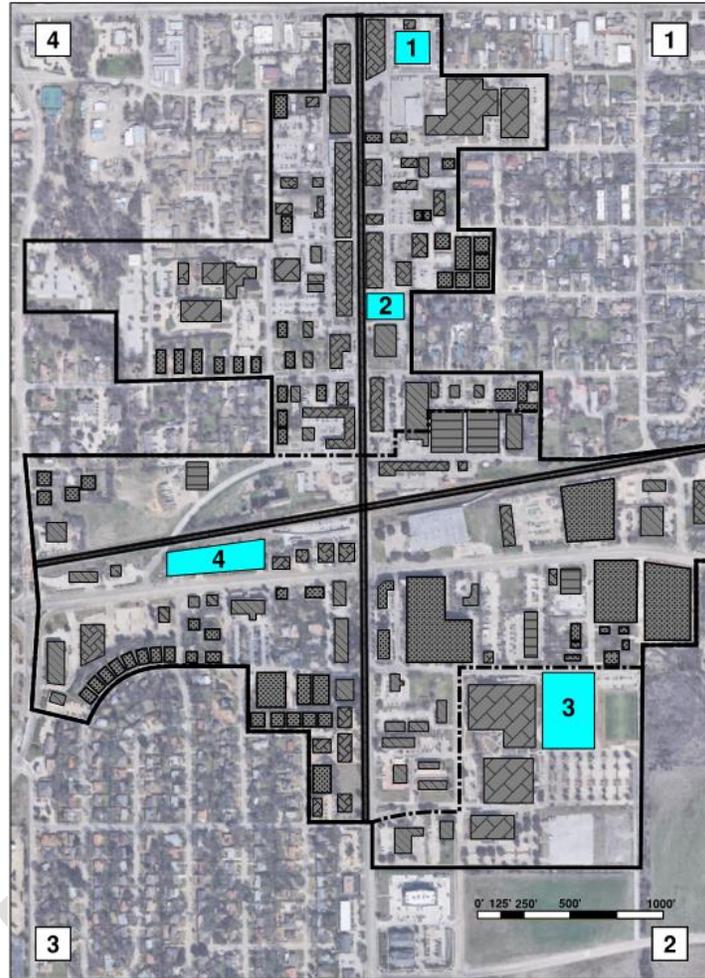
In general, structured parking facilities tend to provide less parking spaces per level than parking surface lots. This is due to the ramping system, building setbacks and other architectural factors that are not applicable to parking surface lots.

At this level of parking planning, it is necessary to apply general assumptions to move the study forward. These general assumptions apply to each potential Garage site for the purposes of this study:

- Site square footages based off scalable available mapping at the time of the study
- Maximum of six levels for the potential garage, while also aligning with the Mesa/ArchiTexas Transit District Overlay Document
- Average of 325 SF/car for the potential garage – parking industry standard

For our study of each potential Garage site, our focus was on variables of garage design criteria, pedestrian walkability, and user comfort factors. These variables included but were not limited to the following:

- Number of potential parking spaces
- Walking distances from major demand generators
- Garage efficiency
- Use of ground floor for occupied space/active utilization
- Location within Transit Corridor
- Number of garage levels



One of the first steps of potential garage site analysis is to determine the number of spaces each site can yield within six levels of structure, which is the maximum number of levels recommended by industry standards. For this study, we identified the number of target spaces for a potential garage, ranging from 300 parking spaces to 1,500 spaces, and compared those target spaces to the number of garage levels required. See chart below:

Potential Garages	Location #1	Location #2	Location #3	Location #4
<b>Target Spaces</b>	<b>Number of Levels Required</b>			
<b>300</b>	4	5	1	2
<b>500</b>	N/A	N/A	2	4
<b>750</b>	N/A	N/A	3	5
<b>1000</b>	N/A	N/A	4	N/A
<b>1250</b>	N/A	N/A	5	N/A
<b>1500</b>	N/A	N/A	5	N/A

With the analysis of the maximum number of potential parking spaces calculated, we then continued to investigate each site based on criteria below:

- Street frontage available – This is the potential amount of street frontage the site will allow. This frontage is available for occupied spaces (retail, offices) and promotion of ground level activity for each site. Frontage area typically does not include areas for ramping or garage access and relevant on the sites most likely utilized by pedestrians to access other adjacent demand generators.



- Located within Transit Corridor – We confirmed whether the potential site location was within the Transit Corridor, as identified within the concurrent (at time of the study) project managed by Mesa Planning. Location within the Transit Corridor suggests higher density future development and therefore a large need for parking supply. Garages in this area could potentially have higher utilization and serve a larger number of demand generators.
- User Comfort Factor – The User Comfort Factor (UCF) approach is applicable to a number of design considerations in parking including vehicular circulation, site dimensions, parking geometrics, flow capacity, and entry/exit design. Acceptable user comfort factors for parking, which are defined below, range from 1 to 4.

*UCF 1 – Poor: less than 50% of patrons will be satisfied*

*UCF 2 – Acceptable: 50% of patrons will be satisfied*

*UCF 3 – Good: 75% of patrons will be satisfied*

*UCF 4 – Excellent 90% of patrons will be satisfied*

Walking Distance UCF: Potential Garage Locations Parking Space Summary					
UCF	Radius	#1	#2	#3	#4
4	400'	322	132	283	82
3	800'	502	458	568	146
2	1,200'	712	745	1,168	234
1	1,600'	910	1,370	1,273	610

- Maximum Net Parking Spaces Gained – This is the maximum number of net parking spaces gained after a deducting the current number of spaces available on site.

- Opinion of Probable Cost – This is an opinion of probable cost based on garage pricing at time of analysis (February 2019). Costs are subject to vary widely based on time of year, garage dimensions, ground floor use and other construction related factors. Costs including hard and soft costs become more accurate as the design documents are advanced

Based on the above assumptions and variables we looked at each potential site. Below are charts summarizing our findings:

Garage Site Location	#1	#2	#3	#4	
<b>Variable Criteria</b>					<b>Units</b>
Avg. # of spaces per level	80	73	301	157	Spaces
Maximum spaces achievable	300	300	1500	750	Spaces
Street frontage length	159	119	238	348	Feet
Located within Transit Corridor	N	N	Y	Y	
Level of Service	C	D	A	B	
Max net parking spaces gained	220	227	1199	593	Spaces
Opinion cost per parking space	\$24,000	23,000	\$20,000	\$22,000	\$/spaces

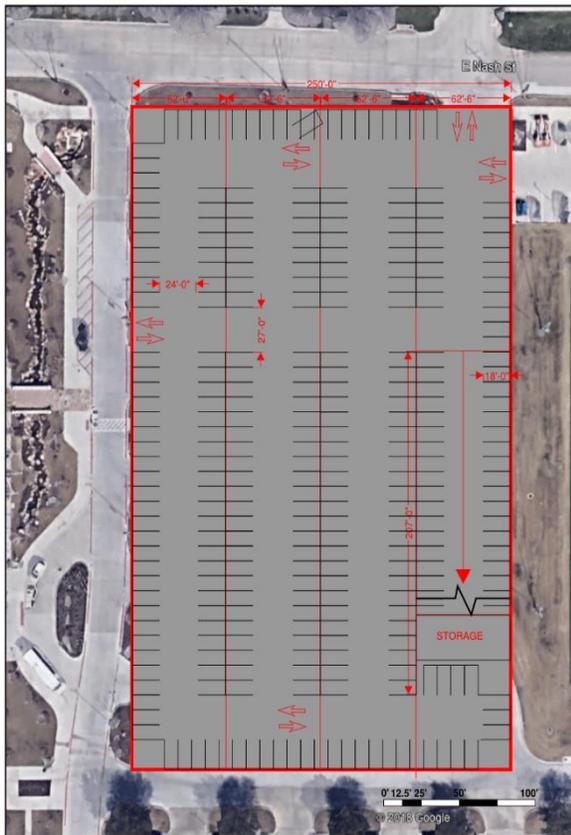
Based on our study analysis Location #3 ranked highest potential for successful garage development and utilization with Location #2 ranked lowest. See Chart below:

Garage Site	Site Ranking
Location #1	3
Location #2	4
Location #3	1
Location #4	2

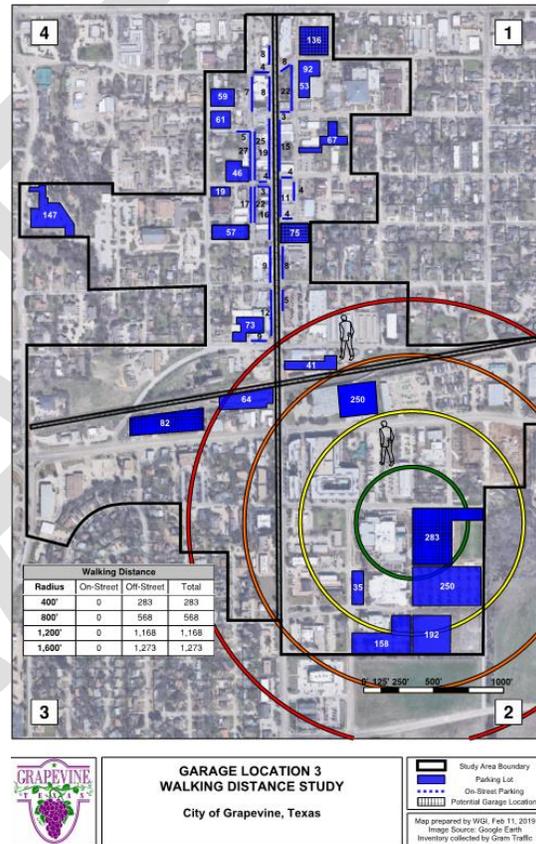
The location of Site #3 also falls within the Dallas Road Transit Corridor, therefore not only making it the highest ranked location, but also the location to provide the greatest impact to help support future development in the Transit District.

It should also be noted that while location 2 was ranked the lowest, its location makes it ideal for providing parking spaces in the heart of the Central Business District, adding much-needed convenient parking to the area. Furthermore, a well-designed, historically appropriate structure would be much more visually appealing than the current surface parking.

With Location #3 identified as the highest ranked site meeting our study criteria, we developed preliminary conceptual garage plans for the ground floor, typical floor and roof level. These conceptual drawings below are for planning purposes. Site survey required to confirm dimensions, building lines and easements, etc.



Location #3 Concept Garage Layout



Location #3 Walking Distance



The following are typical characteristics of a garage serving multiple developments within a municipality:

- Ground floor retail
- Easy pedestrian access and walkability
- Wayfinding signage consistent with City branding
- Wide spaces with ample turning radius
- Lighting levels exceeding code required standards
- Open staircases
- Minimized pedestrian/vehicular conflicts
- Park on slopes not exceeding 6.0%

## PARKING OCCUPANCY

As part of the study, WGI gathered occupancy data within the study boundary area. We completed this observation on three separate dates. Each of these dates were aimed to capture different parking scenarios to understand the parking trends and hotspots within the parking study area. As mentioned previously, only observations in marked on-street spaces and public off-street spaces were considered. Parking occupancy is the percentage of available spaces that are occupied or utilized at a specific time.

Parking Study Observation Event	<p><b>Observation Date and Event Type:</b> <i>Nov. 8, 2018 – Weekday</i></p> <p><b>Observation Characteristic:</b> Determines typical occupancy during regular business hours from 8 am to 5 pm.</p> <p>WGI gathered occupancy information every two hours during this exercise.</p>
	<p><b>Observation Date and Event Type:</b> <i>Nov. 10, 2018 – Weekend Evening</i></p> <p><b>Observation Characteristic:</b> Determines typical evening occupancy during weekend hours from 4 pm to 10 pm.</p> <p>WGI gathered occupancy information every two hours during this exercise.</p>
	<p><b>Observation Date and Event Type:</b> <i>Dec. 6, 2018 – Event (Grapevine Parade of Lights)</i></p> <p><b>Observation Characteristic:</b> Determines a worst-case scenario occupancy for the study area during a large event.</p> <p>Event occupancy data hours ranged from 3:30 pm – 10:30 pm.</p> <p>WGI gathered occupancy information every hour during this exercise.</p>

For this study, we applied the following occupancy parameters:

- 0%-24% Occupied – empty by parking industry standards
- 25%-49% Occupied – low occupancy by parking industry standards
- 50%-74% Occupied – medium/high occupancy by parking industry standards
- 75%-100% Occupied – high/fully occupied by parking industry standards

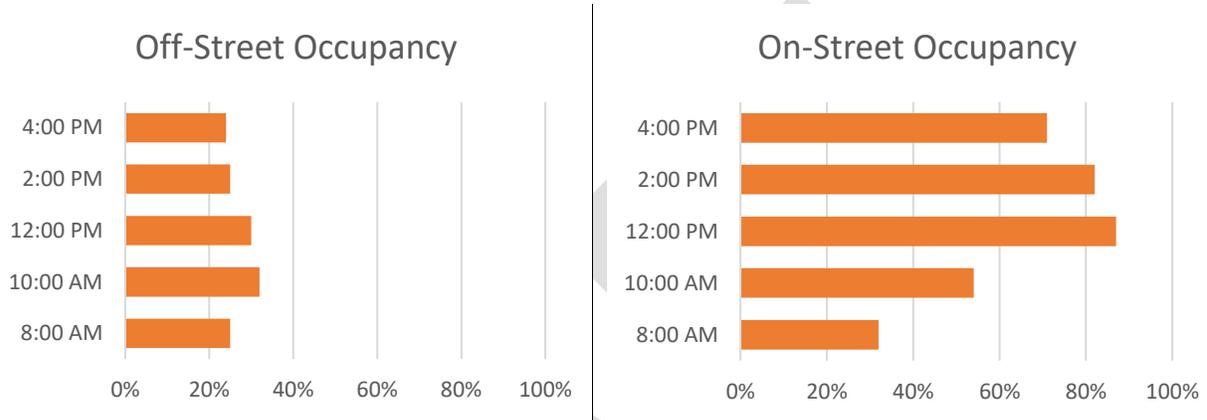
The parameters above are used to determine if parking related policies or practices need to be adjusted to manage the demand and balance availability throughout the study area.

As the following series of heat maps visually demonstrate, public parking demand is medium to low within parking study area at the time of our observation. Industry standards consider parking facilities effectively full when operating above 85% to 90% of true parking capacity. This is due to parker’s frustration in

circulating a facility looking for limited, remaining open spaces. Parking facilities are considered to be operating at maximum efficiency when peak demand remains at or below 85% of true capacity. This consideration is based on the parker’s perception of parking availability.

**Weekday May 31, 2018 Observation**

The consultant team collected parking occupancy on Thursday November 8, 2019. Occupancy data was collected every 2 hours between 8:00AM-5:00PM hours.

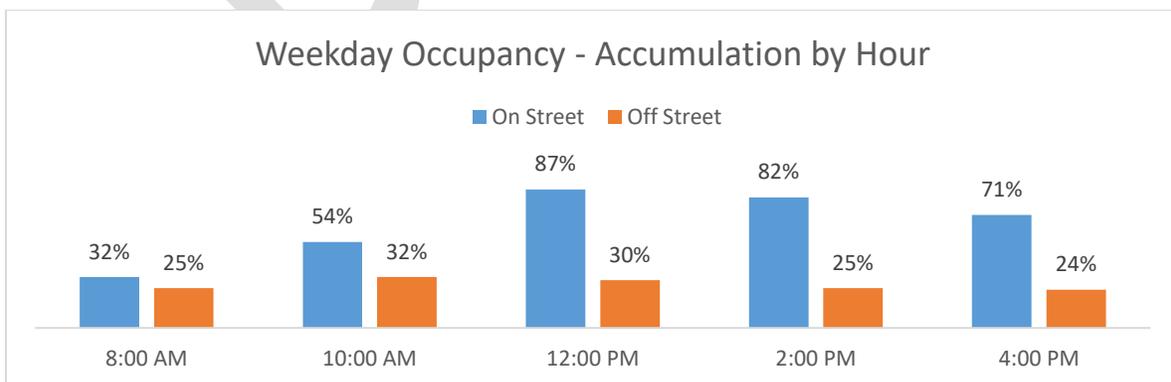


May 31st	8:00 AM	10:00 AM	12:00 PM	2:00 PM	4:00 PM
<b>On-Street</b>	32%	54%	87%	82%	71%
<b>Off-Street</b>	25%	32%	30%	25%	24%

**641 spaces**  
**32% Occupied**      Off street Peak @10 AM

**243 spaces**  
**87% Occupied**      On street Peak @12 PM

The table and chart below describe the accumulation of parking occupancy by hour for the times data was collected.

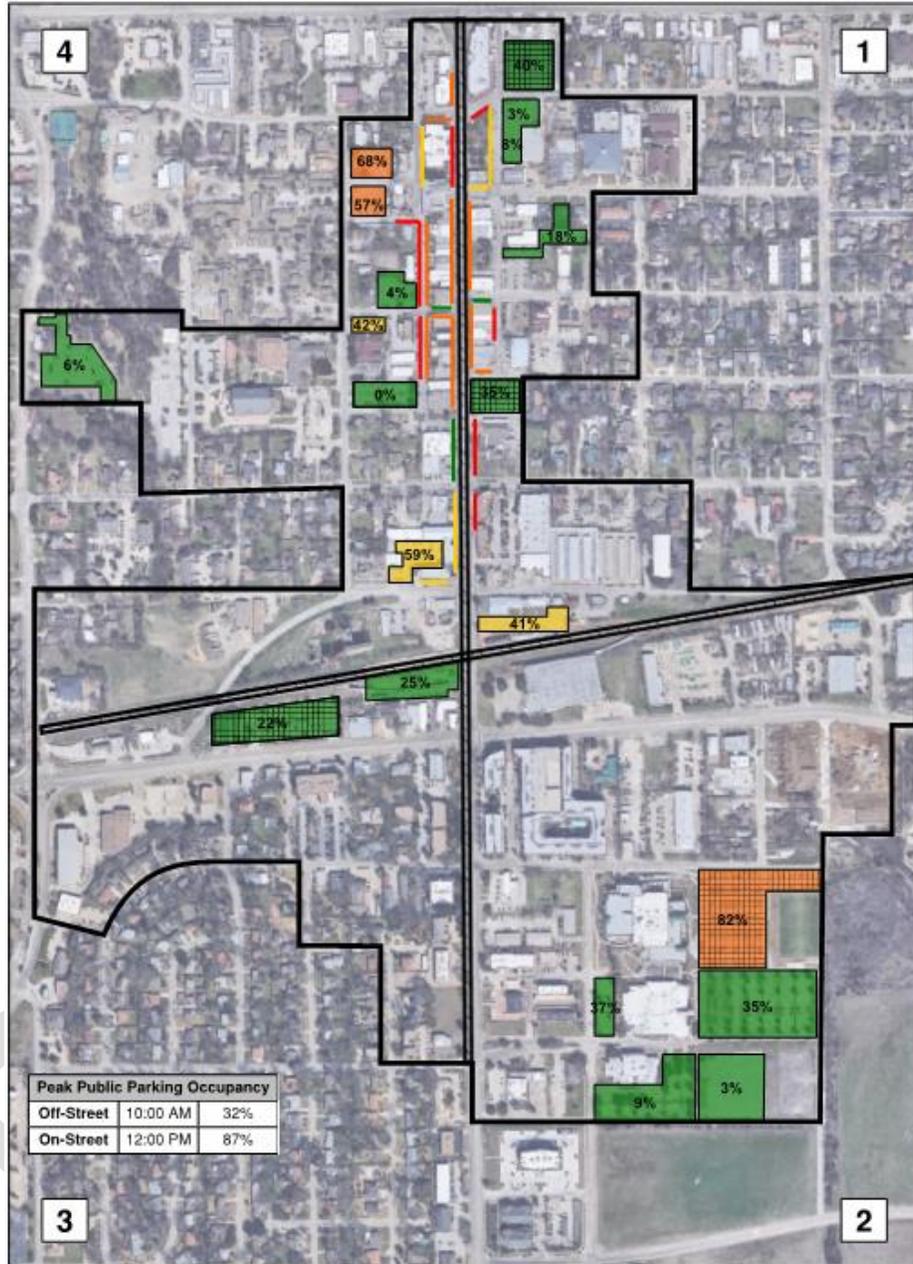


Based on the observation data, it can be determined that overall on-street parking demand is greater than off-street parking demand. The higher parking demand for on-street parking spaces is attributed to the following:

- The peak parking period was observed at Noon on Thursday November 8, 2018 and showed off-street parking within the parking study area effectively empty at 30% occupancy, with nearly all of the public on-street parking operating at 87% utilization.
- The off-street lots considered effectively full were the Grapevine REC lot and the parking lots located to the west of the Grapevine City Hall.
- Currently on-street parking spaces are not time restricted. This lack of time management decreases the amount of parking space turnover, thus increasing the occupancy of the on-street spaces as fewer vehicles have incentives to vacate the space.
- Although off-street spaces outnumber on-street spaces, their distance from parking demand generators is greater. There are more convenient on-street parking spaces than off-street parking spaces. Our study shows that the majority of off-street parking spaces are further than 1,200 feet from the demand generators. This distance equates to a User Comfort Factor (UCF) 2, which is not ideal.

Design Standard For:	UCF 1	UC F 2	UCF 3	UCF 4
<b>Maximum walking distance</b>				
Surface lot	1,400'	1,050'	700'	350'

- Parking wayfinding throughout the study area does not promote the use of off-street parking facilities. Patrons should be encouraged to utilize off-street parking spaces for long-term use and on-street parking for short-term use.



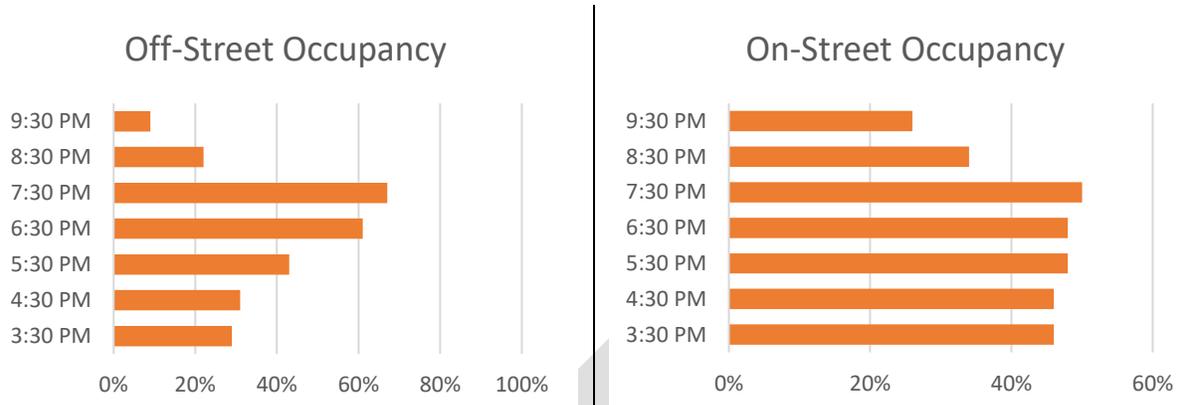
**PUBLIC PARKING WEEKDAY OCCUPANCY**  
**Peak Off-Street Occupancy: 10:00 AM**  
**Peak On-Street Occupancy: 12:00 PM**  
**City of Grapevine, Texas**  
**Collection Date: November 8, 2018 - Thursday**

Occupancy Ranges	
0-40%	
40-60%	
60-80%	
80-100%	

Map prepared by WGL, Feb 11, 2019  
 Image Source: Google Earth  
 Inventory collected by Gram Traffic

**Weekend Evening November 10 2018 Observation**

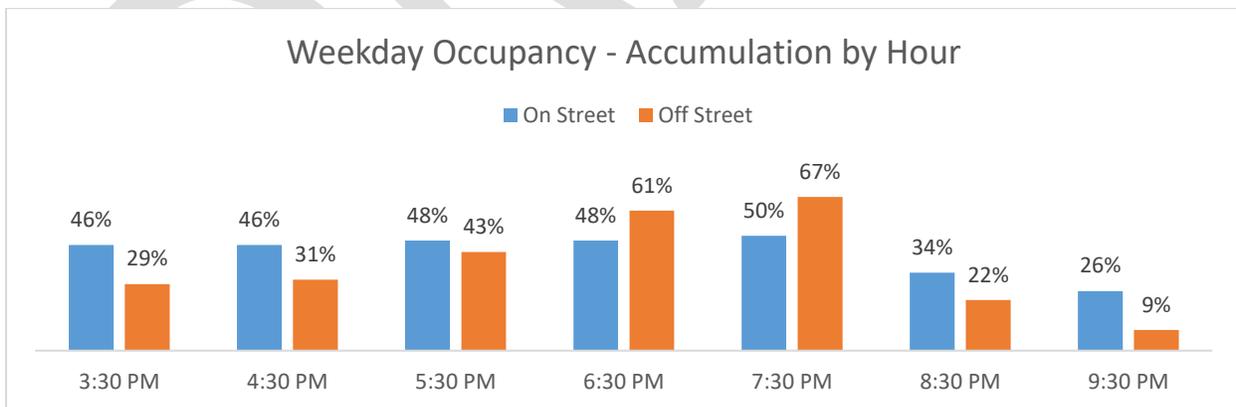
The consultant team collected parking occupancy on Saturday November 10, 2018. Occupancy data was collected every 2 hours between 4:00PM-10:00PM. The goal of this observation was to determine the effect of evening visitors on the parking system.



Weekend Evening	4:00 PM	6:00 PM	8:00 PM	10:00 PM
On-Street	85%	90%	92%	63%
Off-Street	30%	18%	20%	12%

**606 spaces**  
**30% Occupied** | Off street Peak @ 4 PM

**257 spaces**  
**92% Occupied** | On street Peak @ 8 PM

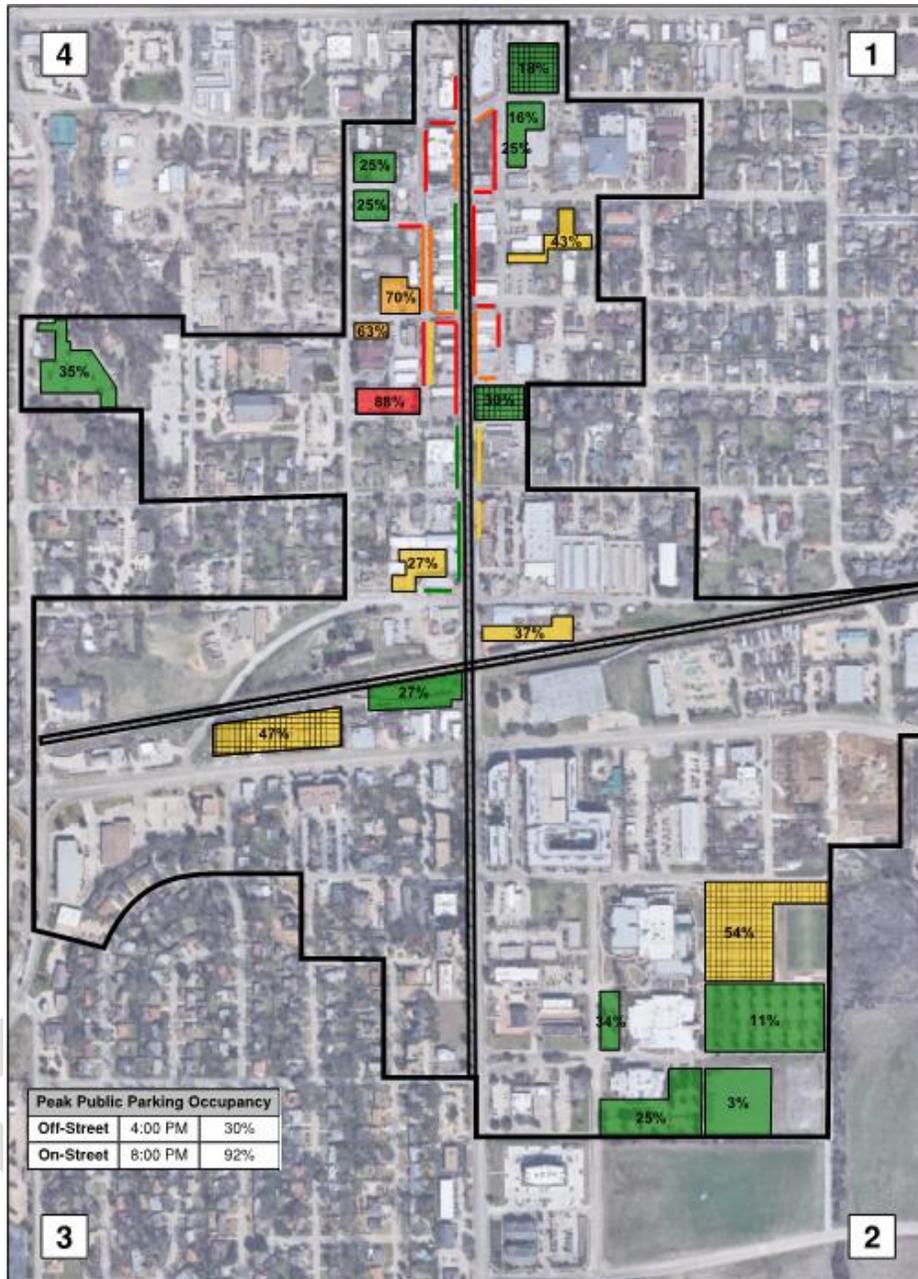


Based on the observation data, it can be determined that on-street parking demand is greater than off-street parking demand. The higher parking demand for on-street parking spaces may be a result of the following:

- The retail/commercial zone of the study, which includes restaurants, is located mainly along the Main Street corridor. This results in a higher demand for parking in the northern Main Street corridor versus the central and southern areas.
- There is off-street public parking available within a UCF 4 (400') walking distance from the Main Street Corridor, however the utilization observed was 70% and considered underutilized by industry standards. This may be due to certain establishments providing private parking to their patrons.

Design Standard For:	UCF 1	UC F 2	UCF 3	UCF 4
<b>Maximum walking distance</b>				
Surface lot	1,400'	1,050'	700'	350'

- The overall peak parking period was observed at 4 pm on Saturday November 10, 2018 and showed that off-street parking within the parking study area was effectively empty at 30% occupied, with nearly all of the public on-street parking operating at 85% utilization.
- Off-street lots considered effectively full were the parking lot on the northeast corner of the West Franklin Street and Church Street (Wilhoite's) intersection.
- On-street parking spaces are not regulated by time constraints. The lack of time management decreases the amount of parking space turnover, thus increasing the occupancy of the on-street spaces as fewer vehicles have incentives to vacate the space.
- Although off-street spaces outnumber on-street spaces, their distance from parking demand generators is greater. This assumes that there is more convenient on-street parking spaces than off-street parking spaces. Our study shows that the majority of off-street parking spaces are further than 1,200 feet from demand generators. This distance equates to a User Comfort Factor (UCF) 2, which is less than ideal.
- Parking wayfinding throughout the study area does not promote the use of off-street parking facilities. Patrons should be encouraged to utilize off-street parking spaces for long-term use and on-street parking for short-term use.



**PUBLIC PARKING EVENING OCCUPANCY**  
**Peak Off-Street Occupancy: 4:00 PM**  
**Peak On-Street Occupancy: 8:00 PM**  
 City of Grapevine, Texas  
 Collection Date: November 10, 2018 - Saturday

Study Area Boundary	0-40%
Parking Lot	40-60%
	60-80%
	85-100%

Map prepared by WGL Feb 11, 2019  
 Image Source: Google Earth  
 Inventory collected by Gram Traffic

**December 5, 2019 Observation**

The WGI team attended the Parade of Lights event held on December 5, 2018. The event was scheduled at 7:30pm. Despite inclement and cold weather, the event began as scheduled and was well attended. Along several areas of Main Street there were approximately five rows of people standing at curbside watching the parade.



Prior to the parade event, temporary “No Parking” signs were installed along the parade route, Main Street, and the adjacent cross streets. Street barricades including oversized trucks and fire apparatus vehicles were stationed at intersections one block east and west of Main Street. In addition to the physical street barriers, Department of Public Works and police staff were also placed at each street closure.



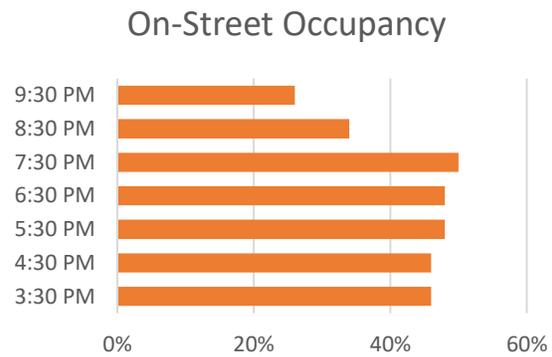
Available close-in surface parking lots near Main Street were well utilized by the public. The remote city owned surface lots for the Library, Conference and Civic Center, Fitness Center, and Arboretum were underutilized.



The city owned surface parking lot at the intersection of East Wall and Jenkins was used temporarily to store school buses for parade participants. Approximately half of the surface lot was being utilized for this bus staging area.



The city owned surface parking lot at the intersection of East Wall and Jenkins was used temporarily to store school buses for parade participants. Approximately half of the surface lot was being utilized for this bus staging area.



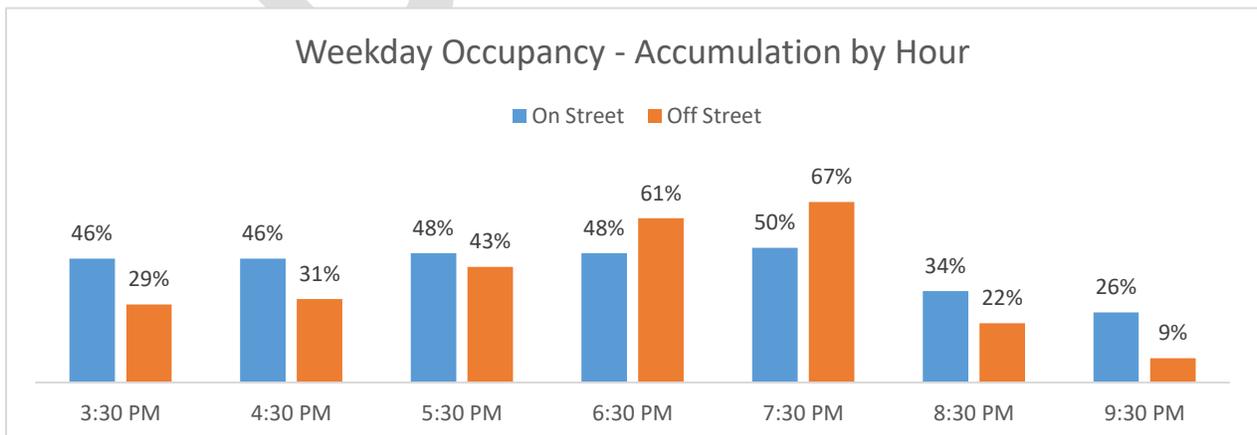
Parade Of Lights	3:30 PM	4:30 PM	5:30 PM	6:30 PM	7:30 PM	8:30 PM	9:30 PM
On-Street	46%	46%	48%	48%	50%	34%	26%
Off-Street	29%	31%	43%	61%	67%	22%	9%

**1,327 spaces**  
**67% Occupied**

Off street  
Peak  
@7:30 PM

**140 spaces**  
**50% Occupied**

On street  
Peak  
@7:30 PM

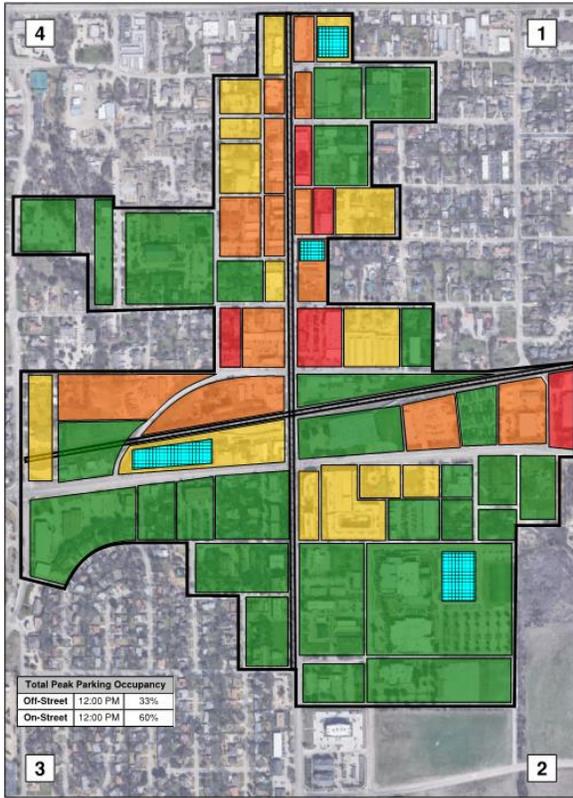


The results from this final occupancy data gathering show a closer relationship between the occupancy of on-street and off-street public parking. Given the event conditions, a medium to high occupancy was observed in the study area. The higher parking demand for off-street parking spaces could be contributed to the following:

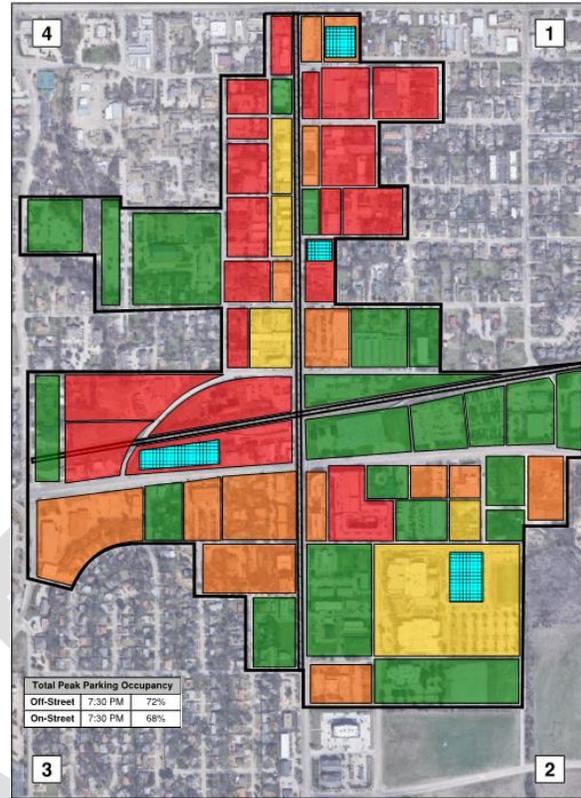
- Christmas parade route is along Main Street, making public on-street parking unavailable and parkers to utilize off-street lots.
- Utilizing public parking lots, unmarked on-street parking several blocks away, and private parking lots during this event.
- The overall peak parking period was observed at 7:30 pm on Thursday December 6, 2018 showed that off-street parking within the parking study area was operating at 61% occupancy, with nearly all of the public on-street parking operating at 48% utilization.
- Off-street lots considered to be effectively full were located closer to the Main Street corridor on the northern and central zone of the parking study. The Lone Star Hi-Railers Model Train Association parking lot was the southernmost parking lot that 100% utilized and actually over parked based on the occupancy being over 100%.
- On-street parking spaces are not regulated by time constraints. This lack of time management decreases the amount of parking space turnover, thus increasing the occupancy of the on-street spaces as fewer vehicles have incentives to vacate the space.

### Overall Parking Occupancy

To holistically understand parking occupancy throughout the entire parking system (on-street and off-street), a series of heat maps were created. The purpose of these maps was to show the parking occupancy generated during the same weekday and event observations by block throughout the parking system. These heat maps combine the occupancy of the on-street and off-street available parking. For example, the occupancy of off-street parking and on-street parking were averaged and combined to represent an occupancy for the entire block.



**TOTAL WEEKDAY OCCUPANCY**  
Peak Off/On-Street Occupancy 12:00 PM  
City of Grapevine, Texas  
Collection Date: November 8, 2018 - Thursday



**TOTAL EVENT OCCUPANCY**  
Peak Off/On-Street Occupancy 7:30 PM  
City of Grapevine, Texas  
Collection Date: December 6, 2018 - Thursday

Peak Weekday occupancy occurred at Noon. Off-street parking was 33% occupied and On-street parking was 60% utilized.

Peak Event occupancy occurred at 7:30 PM. Off-street parking was 72% occupied and On-street parking was 68% utilized.

**Summary of Parking Occupancy**

We conducted three days of occupancy counts to measure the parking demand and determine if the supply is adequate to meet the parking demand on the specific observation dates. The occupancy counts indicate that there was not an area where overall parking demand exceeded supply. The City of Grapevine should explore enhancing parking focused wayfinding through the downtown study area to direct patrons to available parking facilities.

Designing a parking system to ensure that every space is occupied during peak hours will result in perception that the parking supply is inadequate. Many argue that on 85<sup>th</sup> percentile of occupancy should be achieved, but this does not take into consideration search times of a taxed parking system.

When making pro-active policy decisions, the most important factor is having good data on which to base those decisions. While the Downtown core/CBD is very close or at full development, as the Transit Corridor continues to develop, it is likely that a portion of the existing parking facilities will be utilized for

buildings and uses other than parking. In developing these lots, there will be an accelerated increase in parking demand. An example of this can be outlined as follows:

1. First, there is the loss of parking spaces on the lot
2. Second, there is an increase in parking demand from the new development.

As future development occurs, the City of Grapevine should continue to monitor parking supply and demand to determine when the City reaches a point of needing to create additional parking.

DRAFT

## RECOMMENDATIONS

The following recommendations are broken down into Short-term, Mid-term, and Long-term recommendations in order of priority, with the understanding that some issues overlap. A number of the recommendations will require the cooperation of both public and private organizations and individuals. In particular, we believe the short-term recommendations articulated below can help improve existing parking resources until such time that structured parking capacity is feasible.

### *Specific Short-Term Recommendations*

## 1 *TexRail Coordination*

The City should continue to monitor TexRail ridership reports, specifically taking into consideration those traveling to downtown Grapevine. This data will provide information and allow the city to take into consideration those traveling to Grapevine using other means of transportation than an automobile, and could help in parking planning as development of the Transit District progresses.

## 2 *Marketing & Communication*

Create a branding and marketing program for the public parking system. The city makes a wonderful effort in communicating with the public currently. It is recommended to take this one-step further to include parking by creating of a more informative web-based and hard copy-parking map. These efforts should extend to include private parking lots that offer parking to the public. In addition to a dedicated web-landing page, leveraging social media outlets has proven to be successful for many parking organizations. An effective marketing plan will foster customer credibility and confidence in the parking system.

Below are examples of successful parking branding and marketing links in Texas:

<http://www.houstontx.gov/parking/>

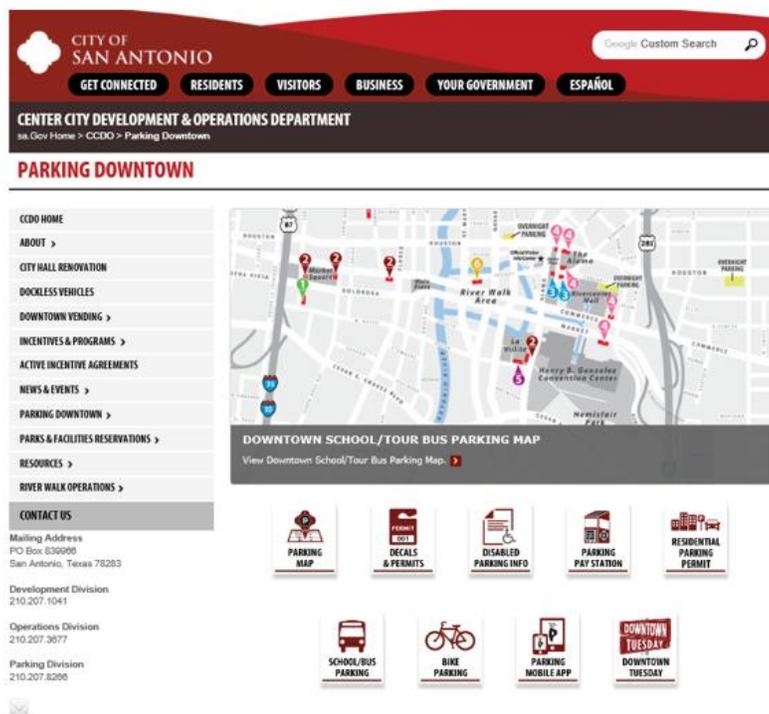
<https://www.fortworthparking.com/>

<https://www.sanantonio.gov/ccdo/parking>



It is recommended to develop a parking management plan detailing the parking goals both operationally and functionally for future planned developments. The plan should include all items that include parking to ensure that the city is proactive and aligned across all departments-Mayor, City Council, Planning, Visitors Bureau, etc. This plan would encompass all of the above recommendations and be used as a tool to ensure that communications and planning are consistent. In addition, this plan should also serve as a tool to measure the success of the city's parking planning and initiatives.

The City of San Antonio website is a great example of how to communicate with parkers on a day to day basis and event related parkings. It provides all relevant parking and transportation resources in one location, with easy identifiable buttons.



← Interactive parking map for visitors

← Links to parking tools for residents

# 3 Circulator Expansion

The city currently does a great job in marketing the visitor shuttle, making the expansion of the current system simple. The city should further explore the feasibility and cost of providing a shuttle circulator to gain increased walkability and utilization of parking along Dallas Road and other outlying areas. Utilizing the shuttle at a higher capacity will decrease traffic congestion during high volume events. In addition, this will allow parkers to consider more remote spaces while also giving them the option of transportation options within downtown. The development of a Grapevine Shuttle mobile app could also be very beneficial and put parking information in the hands of visitors.

The screenshot shows the website for Grapevine Visitors Shuttle. At the top, there is a blue 'SHUTTLE SERVICE ALERT' box with a 'CLOSE' button. Below it is a dark navigation bar with the 'GRAPEVINE' logo and menu items: THINGS TO DO, EVENTS, HOTELS, SHOP WINE & DINE, PLAN, and TICKETS. A green arrow points to the 'PLAN' link with the text 'Add: Getting Around Grapevine'. The main content area features a 'PLAN' button, a 'Blog' section with a 'Map Routes' annotation and arrow pointing to the 'Grapevine Visitors Shuttle Schedules & Routes' link, and a large heading 'Grapevine Visitors Shuttle Schedule & Routes'. The page content includes introductory text, a detailed description of the shuttle service, and a list of routes.

# 4 *Parking Wayfinding Program*



The City should plan, develop and implement a parking wayfinding project aimed at informing and directing patrons to available parking facilities. Throughout our occupancy data observations it was noted that at times on-street parking was full while off-street parking had ample capacity. In addition to marketing, the City could also aid in managing this situation by providing signage that directs patrons to available parking. This would help alleviate the traffic circulation and reduce search times for parking. This wayfinding should be implemented throughout the study area and applied to both on-street and off-street parking. To be a citywide solution, wayfinding signage should also align with landmark and place making signage. Consistent wayfinding will enhance the downtown experience.



## 5 *Develop Shared Parking Policy*

The City of Grapevine could require developers to provide on-site parking in accordance with current Zoning Ordinance requirements, while still having an attractive and functional Transit District. The Dallas Road Transit District Standards have very effective parking lot design standards to ensure that parking would be behind buildings, screened, and/or located in architecturally compatible parking structures. However, this would prevent the most efficient land use, which is vital to any successful transit district. Furthermore, the Dallas Road Transit District Standards heavily encourage pedestrian amenities and accommodations. The creation of shared public parking locations/structures would further encourage and benefit pedestrian activity in the Transit District, and could provide much needed relief in the form of conveniently located parking in the Central Business District.

Allowing a reduction in on-site parking for projects within the Transit District, and allowing a further reduction of parking if there are shared parking facilities within a reasonable distance of a given development would be consistent with the practices of other cities with highly successful transit oriented developments. Typically, a reduction of 10-15% of zoning required parking is achievable. To fully explore and implement the reductions a parking district should be created whose role is to manage and track parking inventory assets within the district. This will ensure a checks and balance approach to ensure there is adequate parking available. The parking district's goal would also be to inform City when additional parking facilities will need to be constructed.

# 6 Leverage Parking Technology

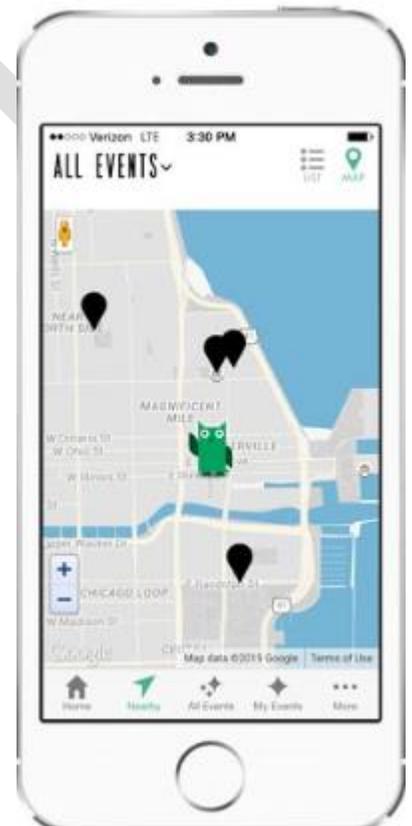
Explore parking technology such as mobile apps that allow visitors to navigate their trip to Downtown Grapevine from a device. Technology can improve the communication with day-to-day visitors and event attendees. This allows visitors to preplan their trip to Downtown Grapevine, making the most of their time downtown.



App based parking availability



Dynamic Wayfinding Kiosk



Event Parking App

# 7 *Parking Ordinance Updates*

Ordinances related to city planning, such as parking and zoning should be considered living documents and reviewed on a regular basis to ensure that current city practice is being reflected. A revision to the current ordinances to incorporate any changes that are made as a result of this study, such as shared parking, parking assessment fees, and/or reduction of parking requirements in the Transit District. In addition, a scheduled of ongoing reviews may be helpful for ongoing changes.

## Specific Mid-Term Recommendations

### 1 *Expand Residential Parking Program*

Expand and formalize the Residential Parking Permit Program currently offered on Worth Street and offer to downtown residents impacted by parkers utilizing neighborhood on-street parking.

### 2 *Future Parking Concepts*

Begin efforts for site selection analysis and preliminary design concept plans for a public parking structure(s). Finalize ordinance updates and modifications to reflect the city's current and future goals within the Transit District and downtown. Right sizing future parking and placing it in the most cost effective and strategic location possible will maximize investment and optimize rate of returns.

The City should also consider the opportunities for Public / Private Partnerships to add parking to downtown when development opportunities arise. This will allow the city to partner with developers to ensure that parking is incorporated to potentially benefit the city and the development, while not over compensating for the perception of a lack of inventory.

## 3 *Parking Assessment Fees*

Explore the feasibility of an assessment fee in regards to shared parking and implementation process for downtown businesses and/or Transit District Corridor development.

The supply and demand study results shown in this study are based on significant land uses located by themselves in an area with little or no transit and weak pedestrian connections. For a downtown area supply and demand study, this is not typical and can skew the study results. Additional considerations need to be taken into account when analyzing an urban downtown area. These considerations are known as parking reduction factors:

- **Modal Split** – the percentage of persons arriving at a destination in different modes of transportation. Examples include riding transit, drop-offs and walking from residential areas.
- **Mixed-Use Split** – the percentage of parkers at a land use or district who are not already counted as being parked at another land use or programmed space. An example would be parking in a space for work (office space) and walking over to a restaurant during lunch. The parker would be included in the office space demand not the restaurant space.
- **Seasonal/Time of Day** – the percentage of parkers that are present at a specific season/month/time of day. Examples include a movie theatre during the day on a Wednesday (low percentage) versus during a Friday night (high percentage).

### *Specific Long-Term Recommendations*

## 1 *Implement Structured Parking*

It would be wise to finalize a location where a parking structure(s) will be located and work to keep those options available if needed. Finalize design documents and construct public parking garage, preferably as a public/private partnership as part of a mixed-use development project or part of a large parking generator development.

## 2 *Active Parking Management*

Continue to monitor the parking system over time to ensure that parking strategies are effective for existing conditions, and are adequate to support future development.

DRAFT



TOMORROW'S INFRASTRUCTURE SOLUTIONS TODAY



Every year, WGI publishes a forecast of parking structure construction costs to help our clients make better informed decisions about their building and facility investments. It is based on a statistical analysis of

indicates that the media construction cost for a new parking structure is \$21,500 per space and \$64.77 per square foot, increasing 5.1% from March 2018 when the media cost was \$20,450 per space based on our

historical project data, completed projects, and other industry forecasts. WGI's national median cost can be re-adjusted to reflect a median construction cost in almost every city in America. As of March 2019, our statistical data

historical database. The table below lists the 2019 median parking structure construction costs in various U.S. cities with the lowest in Miami, the highest in New York City, and Portland, Oregon closest to the national average.

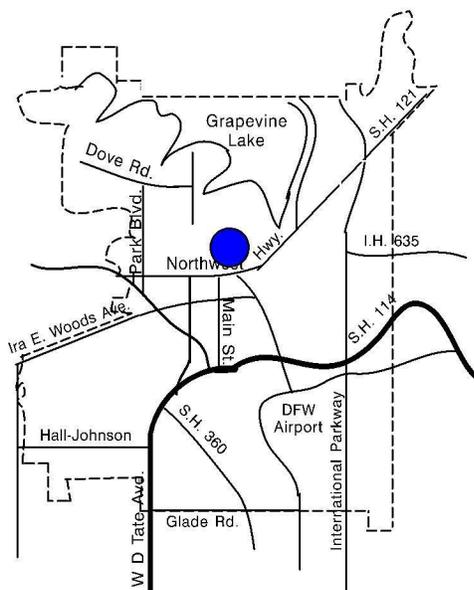
2019		▲ 5%	
CONSTRUCTION COST		FROM 2018	
CITY	INDEX	COST/SPACE	COST/SF
Atlanta	89.0	\$19,133	\$57.65
Baltimore	94.2	\$20,251	\$61.02
Boston	113.9	\$24,486	\$73.78
Charlotte	84.3	\$18,122	\$54.60
Chicago	120.7	\$25,947	\$78.18
Cleveland	95.9	\$20,616	\$62.12
Denver	90.0	\$19,348	\$58.30
Dallas	85.6	\$18,402	\$55.45
Detroit	101.4	\$21,798	\$65.68
Houston	86.6	\$18,617	\$56.09
Indianapolis	92.0	\$19,778	\$59.59
Kansas City, MO	100.5	\$21,605	\$65.10
Los Angeles	112.3	\$24,142	\$72.74
Miami - Lowest	83.7	\$17,993	\$54.21
Minneapolis	106.9	\$22,981	\$69.24
Nashville	86.7	\$18,638	\$56.16
New York - Highest	132.1	\$28,398	\$85.56
Philadelphia	115.2	\$24,765	\$74.62
Phoenix	88.4	\$19,004	\$57.26
Pittsburgh	100.9	\$21,691	\$65.36
Portland, OR - Average	100.3	\$21,562	\$64.97
Richmond	88.9	\$19,111	\$57.58
St. Louis	102.3	\$21,992	\$66.26
San Diego	108.7	\$23,368	\$70.41
San Francisco	128.5	\$27,624	\$83.23
Seattle	106.6	\$22,916	\$69.05
Washington, D.C.	95.3	\$20,487	\$61.73
<b>National Average</b>	<b>100</b>	<b>\$21,500</b>	<b>\$64.77</b>

TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE  
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*  
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: JUNE 18, 2019

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF ZONE  
CHANGE APPLICATION Z19-03, 815 RUTH WALL ROAD



APPLICANT: Patrick Gray

PROPERTY LOCATION AND SIZE:

The subject property is located at 815 Ruth Wall Road, and is currently unplatted. The property contains 1.231 acres, and has approximately 402 feet of frontage along Wildwood Lane and 227 feet of frontage along Ruth Wall Road.

REQUESTED ZONE CHANGE AND COMMENTS:

The applicant is requesting a zoning change to rezone approximately 1.231 acres from “CN” Neighborhood Commercial District to “R-5.0” Zero Lot Line District for the development of four, single-family residential lots.

The subject property is a 1.231-acre vacant, unplatted parcel of land located at the northwest corner of Ruth Wall Road and Wildwood Lane. It is the applicant’s intent to subdivide the property into four residential lots, all with access from Wildwood Lane. The smallest lot proposed is 7,974 s.f. and the largest is 19,588 s.f. The largest lot, located at the immediate northwest corner of Ruth Wall Road and Wildwood Lane is compromised by an Oncor overhead electrical transmission line easement, however, the proposed lot’s size and the location of the easement will allow for a suitable pad site to be developed.

PRESENT ZONING AND USE:

The property is currently zoned "CN" Neighborhood Commercial District, and is vacant.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject and surrounding properties to the north and west were rezoned from "R-1" Single Family District to "CN" Neighborhood Commercial District, "GU" Governmental Use District and "R-7.5" Single Family District during the 1984 City Rezoning. The property to the east was rezoned from "C-2" Community Business District to "PCD" Planned Commerce Development District during the 1984 City Rezoning. The property to the south was rezoned from "R-3" Multiple Family District to "R-MF-1" Multifamily District, "R-MF-2" Multifamily District, and "PRD-12" Planned Residential Development District during the 1984 City Rezoning. At an October 6, 1998 meeting, the property to the south was rezoned (Z98-21) from "PRD-12" Planned Residential Development District to "R-MF-1" Multifamily District for the development of a 278-unit multifamily complex.

SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH: "GU" Governmental Use District—Corps of Engineer property
- SOUTH: "R-MF-1" Multi-Family District—existing multifamily development
- EAST: "PCD" Planned Commerce Development District—undeveloped property; former Wagon Wheel Ranch
- WEST: "GU" Governmental Use District—Corps of Engineer property

AIRPORT IMPACT:

The subject tract is located within "Zone A" zone of minimal effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map. Few activities will be affected by aircraft sounds in Zone A, except for sound sensitive activities such as auditoriums, churches, schools, hospitals, and theaters. The applicant's proposal is an appropriate use in this noise zone.

MASTER PLAN APPLICATION:

The Master Plan designates the subject property as a Commercial land use. The applicant's proposal is not in compliance with the Master Plan.

THOROUGHFARE PLAN APPLICATION:

Ruth Wall Road is designated as a Type "F" Collector with a minimum of 60 feet of right-of-

way developed as two lanes. Wildwood Lane is not designated as a thoroughfare as shown on the Thoroughfare Plan.

CC ITEM # 4, 17  
PZ ITEM # 4, 9

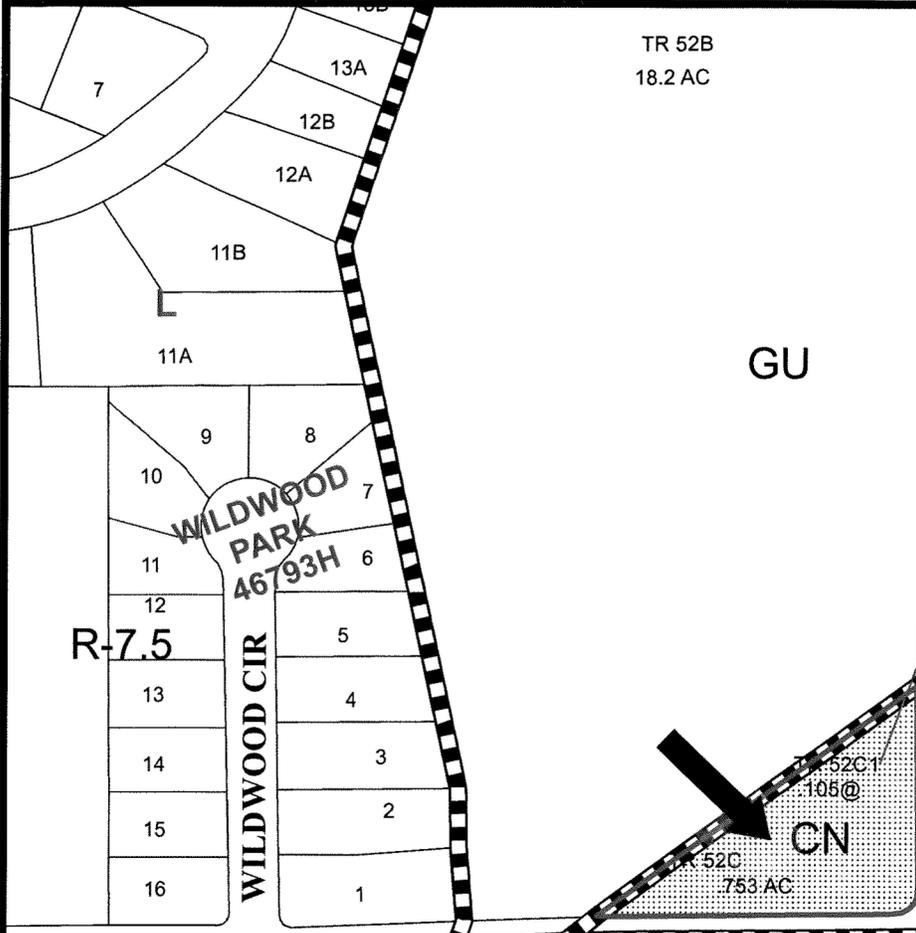
TR 52B  
18.2 AC

GU

TR 2C  
3.356 @

TR 1  
1.69 @

PCD



R-7.5

WILDWOOD PARK  
46793H

WILDWOOD CIR

TR 52C  
105@  
CN

753 AC

WILDWOOD LN

WOOD  
EK  
DN  
786

1

1  
14.576 @

R-MF-1

DOVE LOOP RD

0 100 200 300 400 Feet



Z19-03  
815 Ruth Wall Road

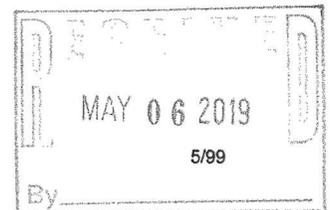
Date Prepared: 6/5/2019

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

219-03

CITY OF GRAPEVINE  
ZONE CHANGE APPLICATION

1. Applicant/Agent Name PATRICK GRAY  
 Company Name VPG INVESTMENTS  
 Address 901 VINTNERS COURT  
 City GRAPEVINE State TX Zip 76051  
 Phone # 817-992-4950 Fax # \_\_\_\_\_  
 Email [REDACTED] Mobile # 817-992-4950
2. Applicant's interest in subject property BUILD/SELL SINGLE FAMILY HOMES
3. Property owner(s) name VPG INVESTMENTS  
 Address POB 92481  
 City SOUTHPLAKE State TX Zip 76092  
 Phone # 817-992-4950 Fax # \_\_\_\_\_
4. Address of subject property 815 RUTH WALL  
LEONARD, ARCHIBALD E SURVEY ABSTRACT 946  
 Legal Description: Lot \_\_\_\_\_ Block \_\_\_\_\_ Addition TRACT 52C  
 Size of subject property 1.23 acres \_\_\_\_\_ square foot  
 Metes & Bounds must be described on 8 1/2" x 11" sheet
5. Present Zoning Classification CM NEIGHBORHOOD COMMERCIAL
6. Present Use of Property VACANT LAND
7. Requested Zoning District RS.0
8. The applicant understands the master plan designation and the most restrictive zone that would allow the proposed use is RS.0
9. Minimum/Maximum District size for requested zoning RS.0



10. Describe the proposed use FOUR SINGLE FAMILY RESIDENCES

*All Zone Change Requests are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.*

*All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.*

*Any changes to a concept plan approved with a zone change request can only be approved by city council through the public hearing process.*

*I have read and understand all of the requirements as set forth by the application for zone change request and acknowledge that all requirements of this application have been met at the time of submittal.*

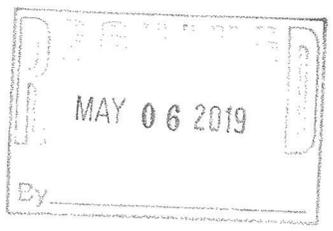
11. Signature to authorize a zone change request and place a zone change request sign on the subject property.

Applicant (print): PATRICK LOOY

Applicant signature: [Signature]

Property Owner (print): VPC INVESTMENTS

Property Owner signature: [Signature]



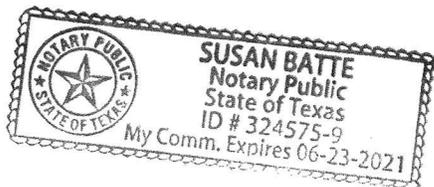
The State of Texas

County of Tarrant

Before me Susan Batte on this day personally appeared Patrick Gray known to me (or proved to me on the oath of drivers license (description of identity card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this 30<sup>th</sup> day of April, A.D. 2019.

SEAL



Susan Batte  
Notary Signature

The State of \_\_\_\_\_

County of \_\_\_\_\_

Before me \_\_\_\_\_ on this day personally appeared \_\_\_\_\_ known to me (or proved to me on the oath of \_\_\_\_\_ or through \_\_\_\_\_ (description of identity card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, A.D. \_\_\_\_\_.

SEAL

\_\_\_\_\_  
Notary Signature



**ACKNOWLEDGEMENT**

**All Zone Change Request are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.**

**All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.**

**I have read and understand all of the requirements as set forth by the application for zone change request and acknowledge that all requirements of this application have been met at the time of submittal.**

Signature of Applicant \_\_\_\_\_ 

Date: 4/30/19

Signature of Owner \_\_\_\_\_ 

Date: 4/30/19



LEGAL DESCRIPTION:

CC ITEM # 4, 17  
FZ ITEM # 4, 9  
219:03

BEING a 1.231 acre tract of land in the A.F. Leonard Survey, Abstract No. 946, in the City of Grapevine, Tarrant County, Texas and being a portion of that land and described in deed to Mark Edward Walther and Diane Elaine Walther Bernstein as recorded in Instrument No. D21371327 Official Property Records of Tarrant County, Texas and being more particularly described as follows:



BEGINNING at a 1/2" iron rod found and said point being by deed call the most northerly northwest corner clip corner of Ruth Wall Road and Wildwood Lane according to the condemnation records granted to the City of Grapevine, by Condemnation in Cause Number 01-5119-2 in the County Court of Law No. 2, Tarrant County, Texas,

THENCE S 45°39'29" W leaving said Ruth Wall Road and to the north right-of-way line of Wildwood Lane a distance of 20.31 feet to a 1/2" iron rod set with a "TQ Burks #5509" cap,

THENCE S 89°17'00" W along said north right-of-way line a distance of 401.98 feet to a 1/2" iron rod set with a "TQ Burks #5509" cap and said point being in the eastern boundary line of that certain tract of land as described as Tract A-20, in deed to the United States of America Corps of Engineers as recorded in Volume 2397, Page 121 Deed Records of Tarrant County, Texas,

THENCE N 58°14'02" E leaving said north right-of-way and along said USA property a distance of 483.94 feet to a 1/2" iron rod set with a "TQ Burks #5509" cap in the west line of said Ruth Wall Road,

THENCE S 63°28'45" E along said west right-of-way line a distance of 21.32 feet to a 1/2" iron rod set with a "TQ Burks #5509" cap and said point being the Point of Curvature of a curve to the right having a Radius of 965.00 feet, a Central Angle of 02°37'56", a Chord Bearing of S 05°52'05" W and a Chord Distance of 44.33 feet,

THENCE along said curve and right-of-way in a southerly direction a distance of 44.33 feet to a 1/2" iron rod set with a "TQ Burks #5509" cap and said point being the Point of Reverse Curvature of a curve to the left having a Radius of 1,035.00 feet, a Central Angle of 05°55'45", a Chord Bearing of S 04°13'10" W and a Chord Distance of 107.06 feet,

THENCE along said curve and right-of-way in a southerly direction a distance of 107.11 feet to a 1/2" iron rod set with a "TQ Burks #5509" cap,

THENCE S 01°15'16" W along said right-of-way a distance of 75.18 feet to the Point of Beginning and containing in all 53,636 square feet or 1.231 acres of land.

ORDINANCE NO. 2019-035

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, GRANTING ZONING CHANGE Z19-03 ON A TRACT OF LAND OUT OF THE A. F. LEONARD SURVEY, ABSTRACT NO. 946, DESCRIBED AS BEING A TRACT OF LAND LYING AND BEING SITUATED IN THE CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS MORE FULLY AND COMPLETELY DESCRIBED IN THE BODY OF THIS ORDINANCE; ORDERING A CHANGE IN THE USE OF SAID PROPERTY FROM "CN" NEIGHBORHOOD COMMERCIAL DISTRICT TO "R-5.0" ZERO LOT LINE DISTRICT; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND A ZONING CHANGE AND AMENDMENT THEREIN MADE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, applications were made to amend the Official Zoning Map, City of Grapevine, Texas by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas as required by State statutes and the zoning ordinances of the City of Grapevine, Texas and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas at a public hearing called by the City Council did consider the following factors in making a determination as to whether these requested changes should be granted or denied; safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control, protection of adjacent property from flood or water damages, noise producing elements and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood, location, lighting and types of signs and relation of signs to traffic control and adjacent property, street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood, adequacy of parking as determined by requirements of this ordinance for off-street parking facilities, location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust, effect on the

promotion of health and the general welfare, effect on light and air, the effect on the transportation, water sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas at a public hearing called by the City Council of the City of Grapevine, Texas did consider the following factors in making a determination as to whether this requested change should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, the effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, the City Council further considered among other things the character of the district and its peculiar suitability for particular uses and with the view to conserve the value of buildings, encourage the most appropriate use of land throughout this city; and

WHEREAS, the City Council of the City of Grapevine, Texas does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and does find that the change in zoning lessens the congestion in the streets, helps secure safety from fire, panic and other dangers; promotes health and the general welfare; provides adequate light and air; prevents the overcrowding of land; avoids undue concentration of population; facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas has determined that there is a necessity and need for this change in zoning and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified; and, therefore, feels that a change in zoning classification for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas and helps promote the general health, safety, and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City of Grapevine Ordinance No. 82-73, being the Comprehensive Zoning Ordinance of the City of Grapevine, Texas same being also known as Appendix "D" of the City Code of Grapevine, Texas, be, and the same is hereby amended and changed by Zoning Application Z19-03 to rezone the following described property to-wit: being a 1.231 acre tract of land out of A.F. Leonard Survey, Abstract No. 946, Tarrant County, Texas (815 Ruth Street), more fully and completely described in Exhibit "A", attached hereto and made a part hereof, which was previously zoned "CN"

Neighborhood Commercial District is hereby changed to “R-5.0” Zero Lot Line District, all in accordance with Comprehensive Zoning Ordinance No. 82-73, as amended.

Section 2. The City Manager is hereby directed to correct the official zoning map of the City of Grapevine, Texas to reflect the herein change in zoning.

Section 3. That in all other respects, the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinances and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future, to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed two thousand dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF  
GRAPEVINE, TEXAS on this the 18th day of June, 2019.

APPROVED:

---

William D. Tate  
Mayor

ATTEST:

---

Tara Brooks  
City Secretary

APPROVED AS TO FORM:

---

City Attorney

**CONCEPT PLAN**

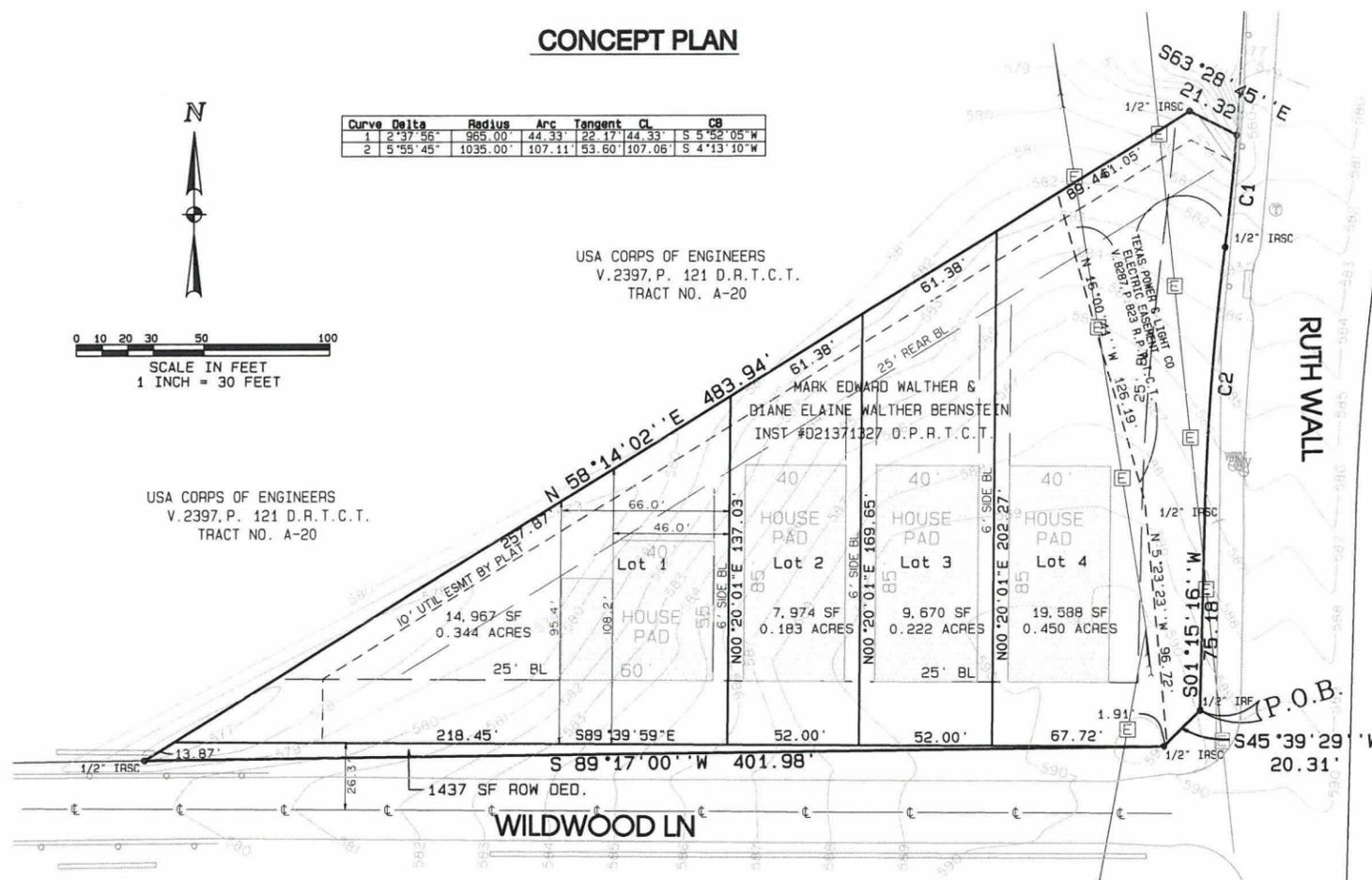
Curve	Delta	Radius	Arc	Tangent	Ch	CB
1	2°37'56"	965.00'	44.33'	22.17'	44.33'	S 5°52'05" W
2	5°55'45"	1035.00'	107.11'	53.60'	107.06'	S 4°13'10" W



SCALE IN FEET  
1 INCH = 30 FEET

USA CORPS OF ENGINEERS  
V.2397, P. 121 D.R.T.C.T.  
TRACT NO. A-20

USA CORPS OF ENGINEERS  
V.2397, P. 121 D.R.T.C.T.  
TRACT NO. A-20



**LEGAL DESCRIPTION:**

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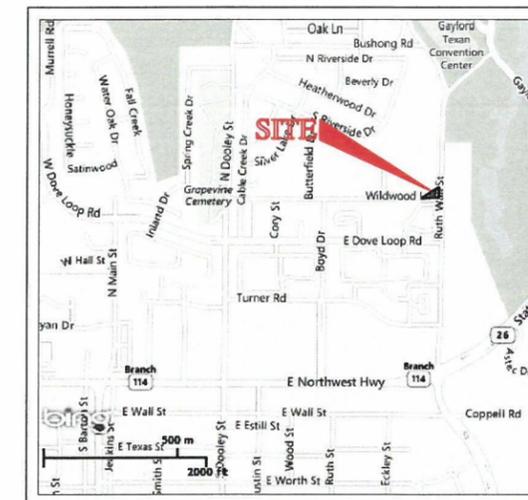
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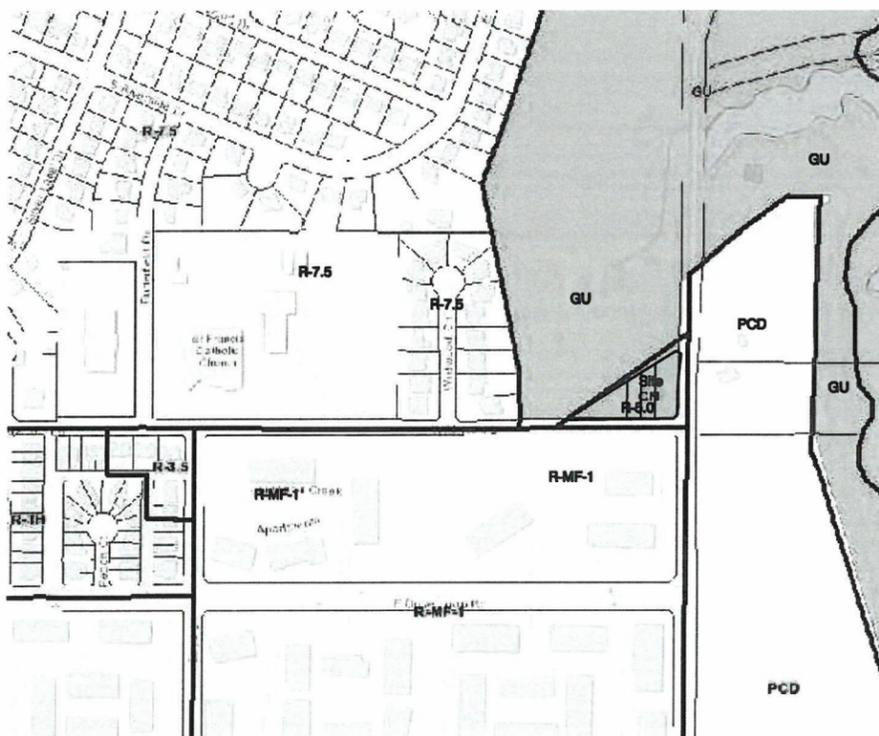
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**VICINITY MAP**



**ZONING MAP**



Zone Change Request Z19-03 is a request to rezone 1.231 acres from "CN" Neighborhood Commercial District to "R-5.0" Zero Lot Line District for the development of four single family residential lots.

- Notes:
- All lots will access from Wildwood Lane only.
  - A 6 feet wide sidewalk will be installed along Wildwood Lane.

**PREPARED BY:**

**K**  
**KELLIE**  
ENGINEERING, INC.  
Edward T. Kelle, PE  
P.O. BOX 471898  
FORT WORTH, TX 76147  
TEL: 817.455.1396  
FIRM NO: 7585

**ZONE CHANGE REQUEST  
815 RUTH WALL ROAD**

**Z19-03**

Current Zoning: CN. Neighborhood Commercial  
Proposed Zoning: R5.0. Residential

1.231 Acre Tract  
City of Grapevine, Tarrant County  
Texas

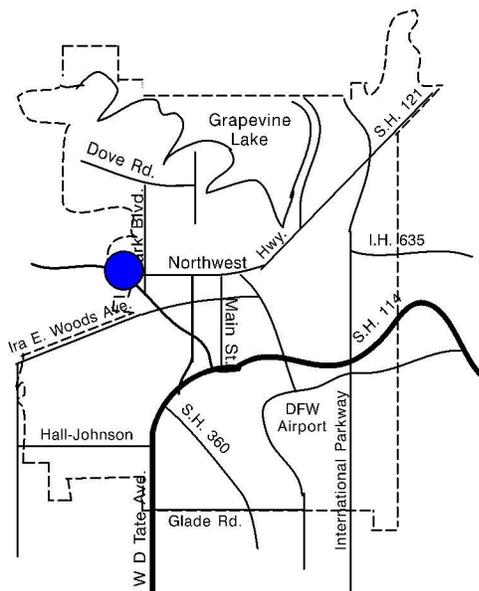
June 6, 2019

TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE  
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: JUNE 18, 2019

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF  
CONDITIONAL USE APPLICATION CU19-15, WESTGATE PLAZA



APPLICANT: Steven Homeyer

PROPERTY LOCATION AND SIZE:

The subject property is addressed as 2301 Westgate Plaza and is platted as Block 3, Westgate Plaza. The property contains approximately 2.305 acres and has approximately 294 feet of frontage along State Highway 114.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to amend the previously approved site plan of CU17-14 (Ord. 2017-46) for a planned commercial center, specifically to allow for the development of two medical office buildings.

The applicant intends to develop two, single story medical office buildings on the subject site; the southernmost structure will be 6,635 square feet in size and the second structure to the north will be 5,070 square feet in size. Access to both structures is provided by a mutual access easement (Westgate Plaza). Required parking for the proposed use is 83-spaces; 83-spaces are provided.

City Council approved at their April 15, 2003 meeting a conditional use permit to establish a planned commercial center on the subject property. The subject site is the final remaining undeveloped portion of Westgate Plaza.

#### PRESENT ZONING AND USE:

The property is currently zoned “CC” Community Commercial District with a Planned Commercial Center Designation and is undeveloped.

#### HISTORY OF TRACT AND SURROUNDING AREA:

The subject property was zoned “R-2” Two Family Residential prior to the 1984 City Rezoning. During the City Rezoning the subject site was rezoned to “R-3.5” Two Family District. At a January 16, 1990 meeting, Council approved a rezoning (Z89-17) of the subject site to “CC” Community Commercial District and the property has remained vacant. The Grapevine Plaza Shopping Center to the east was rezoned from “C-2” Community Business District to “CN” Neighborhood Commercial District during the 1984 City Rezoning. It was later rezoned (Z85-10) to “SP” Site Plan District to allow the development of a shopping center with a grocery store with off-premise alcohol beverage sales. At the April 15, 2003 meeting, Council approved a conditional use permit (CU03-10) for a planned commercial center for a future retail/office complex. At the August 15, 2006 meeting a conditional use permit (CU06-31) was approved on the subject site to allow the development of a medical office building. A zone change request (Z06-12) and a planned development overlay (PD06-08) was approved by council at their October 17, 2006 meeting rezoning the property immediately to the north of the subject site which was part of the original planned commercial center, from “CC” Community Commercial District to “R-TH” Townhouse District with a planned development overlay to allow for reduced setbacks, and private streets. At the April 17, 2007 meeting Conditional Use Request CU07-04 (Ord. 2007-17) was approved on the adjacent site to the east to allow for the development of a veterinary hospital. A zone change request Z09-02 (Ord. 2009-23) was approved at the June 16, 2009 meeting rezoning the property immediately to the south, which was part of a larger 18.22 acres of a boundary adjustment with the City of Southlake, from “R-20” Single Family District to “CC” Community Commercial District. A planned development overlay (PD10-03) was approved at the May 18, 2010 meeting for the property immediately to the north of the subject site to allow 22 detached townhomes. City Council at the October 16, 2012 meeting approved Conditional Use Request CU12-39 (Ord. 2012-56) on the adjacent site to the east to allow a multi-phase expansion of the veterinary use. City Council at the July 18, 2017 meeting approved Conditional Use Request CU17-14 (Ord. 2017-46) on the adjacent site to the east to allow a veterinary office addition and additional parking.

#### SURROUNDING ZONING AND EXISTING LAND USE:

NORTH: “R-TH” Townhouse District - Westgate Townhomes

SOUTH: State Highway 114, City of Southlake

EAST: “R-5.0” Zero-Lot-Line District and “CN” Neighborhood Commercial District – Oakwood Meadows and Grapevine Plaza Shopping Center

WEST: "R-20" Single Family District - undeveloped

AIRPORT IMPACT:

The subject tract is located within "Zone A" Zone of Minimal Effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" Map. Few activities will be affected by aircraft sounds in "Zone A" except for sound sensitive activities such as auditoriums, churches, schools, hospitals, and theaters. The applicant's proposal is an appropriate use in this noise zone

MASTER PLAN APPLICATION:

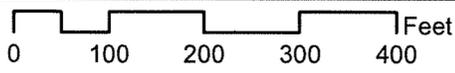
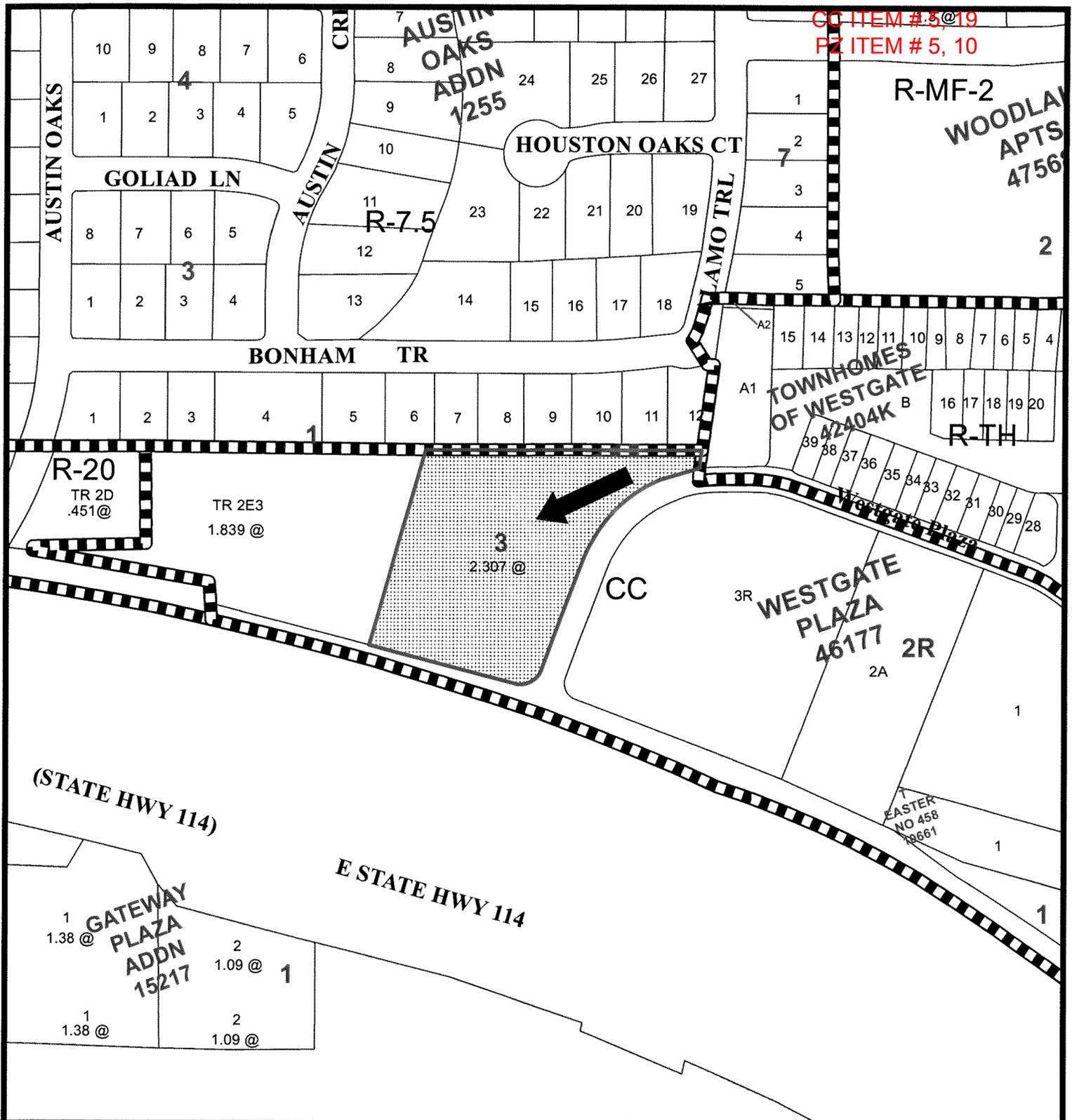
The Master Plan designates the subject property as a Commercial land use. The applicant's proposal is in compliance with the Master Plan.

THOROUGHFARE PLAN APPLICATION:

The frontage road of State Highway 114 East is not a designated thoroughfare.

/at

CC ITEM # 3 @ 19  
P2 ITEM # 5, 10



# CU19-15 Westgate Plaza

Date Prepared: 6/3/2019

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.



# CITY OF GRAPEVINE

## CONDITIONAL USE APPLICATION

### Form "A"

#### PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact

Homeyer Engineering, Inc / Steven Homeyer

Street address of applicant / agent:

PO Box 294527

City / State / Zip Code of applicant / agent:

Lewisville, Texas 75029

Telephone number of applicant / agent:

972-906-9985

Fax number of applicant/agent

972-906-9987

Email address of applicant/agent

[REDACTED]

Mobile phone number of applicant/agent

#### PART 2. PROPERTY INFORMATION

Street address of subject property

2301 Westgate Plaza

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot                      Block    3                      Addition    Westgate Plaza

Size of subject property

2.31                      Acres

100,445                      Square footage

Present zoning classification:

CC - Community Commercial

Proposed use of the property:

Medical Office

Circle yes or no, if applies to this application

Outdoor speakers    Yes     No

Minimum / maximum district size for conditional use request:

Zoning ordinance provision requiring a conditional use:

Master Site Plan

#### PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:

Highway 114 Prospect, Ltd.

Street address of property owner:

PO Box 50690

City / State / Zip Code of property owner:

Midland, Texas 79710

Telephone number of property owner:

432-570-6515

Fax number of property owner:

432-520-9700

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.

- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

**PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY**

Steven Homeyer

Print Applicant's Name:

  
Applicant's Signature:

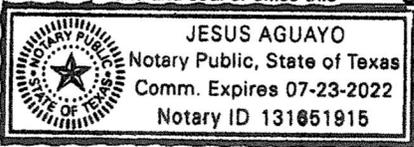
The State of TEXAS

County Of DENTON

Before Me JESUS AGUAYO (notary) on this day personally appeared STEVEN HOMEYER (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 28 day of May, A.D. 2019.



  
Notary In And For State Of Texas

Highway 114 Prospect, Ltd.

Print Property Owners Name:

  
Property Owner's Signature:

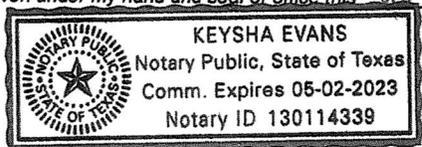
The State Of Texas

County Of Midland

Before Me Keysha Evans (notary) on this day personally appeared L. Ashley Stewart (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 20<sup>th</sup> day of May, A.D. 2019.



  
Notary In And For State Of Texas

**ACKNOWLEDGEMENT**

**All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.**

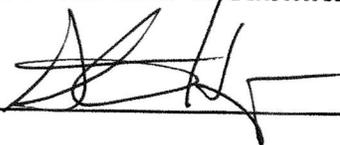
**All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.**

**Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.**

**Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.**

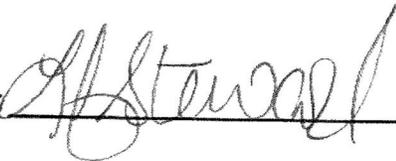
**I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.**

Signature of Applicant



Date: 5-6-19

Signature of Owner



Date: 4/30/19





**HOMEYER**  
ENGINEERING, INC.  
CIVIL ENGINEERING • PLATTING  
SITE & LAND PLANNING

May 6, 2019

City of Grapevine  
City Council & Planning and Zoning Commission  
200 S. Main Street  
Grapevine, Texas 76051

**RE: Special Use Application - Letter of Intent**  
**Lot 1, Block 3, Westgate Plaza**

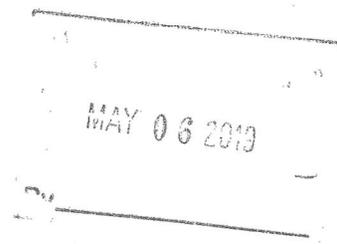
Homeyer Engineering, Inc., on behalf of our client, is submitting this special use request for 2301 Westgate Plaza. The subject property is currently zoned Community Commercial. The future development consists of two medical offices, totaling 11,705 square feet and proposed parking lot to serve the proposed development. These medical offices coincide with the uses of the adjacent properties. The proposed special use application is to amend the existing master site plan for the Westgate Plaza Addition.

If you have any questions regarding this request, please feel free to contact me at 972-906-9985 or [REDACTED]

Sincerely,

HOMEYER ENGINEERING, INC.  
TBPE Firm Registration No. F-8440

Steven R. Homeyer P.E.  
President



ORDINANCE NO. 2019-036

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ISSUING CONDITIONAL USE PERMIT CU19-15 TO AMEND THE PREVIOUSLY APPROVED SITE PLAN CU17-14 (ORDINANCE NO. 2017-46) FOR A PLANNED COMMERCIAL CENTER AT BLOCK 3, WESTGATE PLAZA (2301 WESTGATE PLAZA) TO ALLOW TWO MEDICAL OFFICES IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on

the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit No. CU19-15 to amend Site Plan CU17-14 (Ordinance No. 2017-46) for a planned commercial center, specifically to allow two medical offices (Westgate Plaza) in a district zoned "CC" Community Commercial District Regulations within the following described property: Block 3, Westgate Plaza (2301 Westgate Plaza) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safely from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 18th day of June, 2019.

APPROVED:

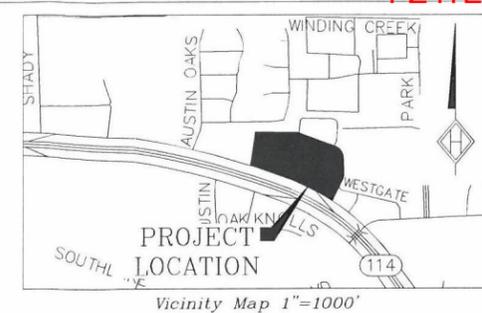
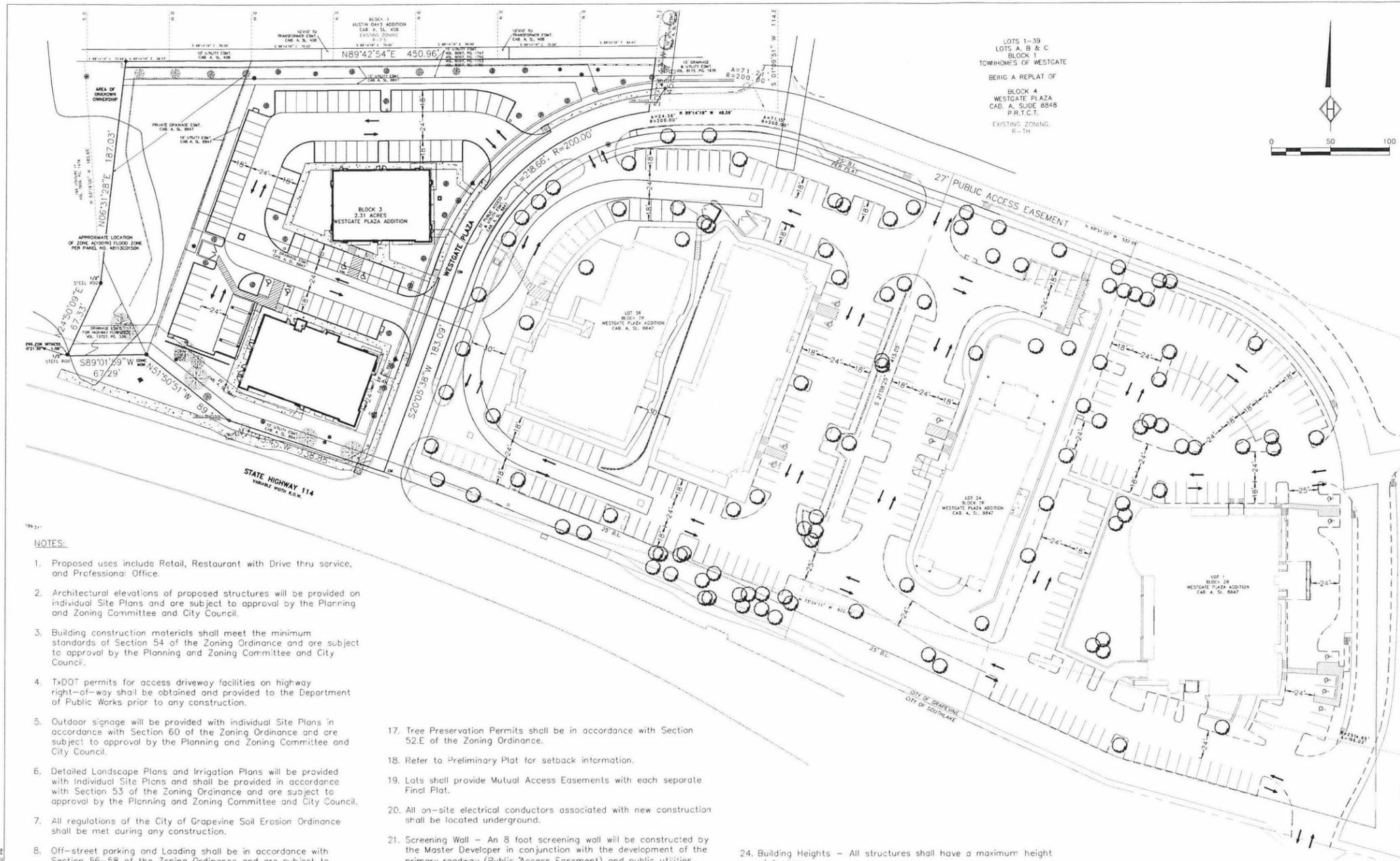
\_\_\_\_\_  
William D. Tate  
Mayor

ATTEST:

\_\_\_\_\_  
Tara Brooks  
City Secretary

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney



BLOCK 3	
LOT 1	2.305 AC. (100,445 SF)
TOTAL FLOOR AREA	11,705 SF.
FLOOR AREA RATIO	1:0.12
LOT COVERAGE	12% (BLDG.)
	47% (BLDG. & PAVING)
OPEN SPACE	53%

BLOCK 2R	
LOT 1*	3.018 AC. (131,464 SF)
TOTAL FLOOR AREA	17,724 SF.
FLOOR AREA RATIO	1:0.13
LOT COVERAGE	14% (BLDG.)
	73% (BLDG. & PAVING)
OPEN SPACE	27%
LOT 2A**	1.594 AC. (69,451 SF)
TOTAL FLOOR AREA	8,325 SF.
FLOOR AREA RATIO	1:0.12
LOT COVERAGE	12% (BLDG.)
	54% (BLDG. & PAVING)
OPEN SPACE	46%
LOT 3R***	3.153 AC. (137,323 SF)
TOTAL FLOOR AREA	27,545 SF.
FLOOR AREA RATIO	1:0.20
LOT COVERAGE	20% (BLDG.)
	76% (BLDG. & PAVING)
OPEN SPACE	24%

\* CU06-31/007-04 \*\* CU13-32 \*\*\* CU17-14

NOTES:

- Proposed uses include Retail, Restaurant with Drive thru service, and Professional Office.
- Architectural elevations of proposed structures will be provided on individual Site Plans and are subject to approval by the Planning and Zoning Committee and City Council.
- Building construction materials shall meet the minimum standards of Section 54 of the Zoning Ordinance and are subject to approval by the Planning and Zoning Committee and City Council.
- TxDOT permits for access driveway facilities on highway right-of-way shall be obtained and provided to the Department of Public Works prior to any construction.
- Outdoor signage will be provided with individual Site Plans in accordance with Section 60 of the Zoning Ordinance and are subject to approval by the Planning and Zoning Committee and City Council.
- Detailed Landscape Plans and Irrigation Plans will be provided with Individual Site Plans and shall be provided in accordance with Section 53 of the Zoning Ordinance and are subject to approval by the Planning and Zoning Committee and City Council.
- All regulations of the City of Grapevine Soil Erosion Ordinance shall be met during any construction.
- Off-street parking and Loading shall be in accordance with Section 56-58 of the Zoning Ordinance and are subject to approval by the Planning and Zoning Committee and City Council.
- All refuse storage areas shall be screened and landscaped in accordance with Section 50.b.3 of the Zoning Ordinance and are subject to approval by the Planning and Zoning Committee and City Council.
- All utilities shall be designed and constructed in accordance with the standards of the Department of Public Works.
- Building heights shall not exceed 30 feet.
- Mechanical and electrical equipment shall create minimum noise and be completely screened from public view.
- Detailed lighting plans will be provided with Individual Site Plans and shall be designed to reflect away from adjacent property and are subject to approval by the Planning and Zoning Committee and City Council.
- Buffer yard shall comply with Sections 53 and 25.M.4 of the Zoning Ordinance.
- Density:
  - Lot Size - 30,000 min.
  - Min. Open Space - 20% min.
  - Bldg. Coverage - 60% min.
  - Impervious Material - 80% min.
- Area Regulations:
  - Lot Width - 120' min.
  - Lot Depth - 120' min.
  - Front Building Line - 25'
  - Side Building Line - 10'
  - Rear Building Line - 25'
 Parking within setbacks shall be in accordance with the approved Concept Plan.
- Tree Preservation Permits shall be in accordance with Section 52.E of the Zoning Ordinance.
- Refer to Preliminary Plat for setback information.
- Lots shall provide Mutual Access Easements with each separate Final Plat.
- All on-site electrical conductors associated with new construction shall be located underground.
- Screening Wall - An 8 foot screening wall will be constructed by the Master Developer in conjunction with the development of the primary roadway (Public Access Easement) and public utilities.
 

The wall will be constructed of double-sided, split-faced concrete block with a limestone white color. A continuous concrete footing will be constructed and weep holes will allow for normal drainage. Screening wall construction plans will be approved by the City of Grapevine prior to any construction.

The Screening wall will be constructed 5 feet inside the existing property line in Zone "A". A 5 foot " Wall Maintenance Easement" will be provided between the wall and the residential property line to allow for construction and maintenance of the wall.

Master developer will construct the extensions of existing residential within the 5 feet Wall Maintenance Easement to the Screening Wall.
- Landscape Buffer - Open Space buffers will be provided adjacent to all residential uses in Zone "A" and Zone "E". Within Zone "A" the buffer will vary in depth between 30 and 90 feet as per the Concept Plan. Within Zone "B" a 20 foot depth will be provided.
 

Within Zone "A" landscaping will provided adjacent to the wall. Upon completion of the screening wall, the Master Developer will install Live Oak trees with a minimum size of 3 caliper inches at 30 feet on center. Trees will be maintained by the Master Developer for a period of 2 years or until ultimate landscaping is installed by individual lot developers. Trees will not be planted as to interfere with existing trees. Ultimate landscaping will include a continuous evergreen hedge and an underground irrigation system. All dead plant material will be removed and replaced per the City of Grapevine regulations and approved Concept Plan.
- Public Right-of-Way Dedication - A right-of-way dedication of 10 feet will be provided at the southeast corner of Bonham Trail and Alamo Trail. Placement of the screening will be along the east line of the proposed dedication.

- Building Heights - All structures shall have a maximum height of 1 story.
- Restricted Uses - Lots 7-11 will be restricted to "CN" Neighborhood Commercial District uses (Retail, Professional Office, etc.). Restaurants or Restaurants with drive-thru service are excluded from these uses.
- Restaurants with Drive-Thru Windows - Drive-thru restaurants will not allow outdoor dining or outside auditory speakers. Drive-up windows will be placed away from residential uses.
- Outdoor Dining - Outdoor dining on restaurants will be structurally covered and located away from residential uses.
- Lighting - Westgate Plaza lighting shall be designed to provide light levels acceptable by the City of Grapevine. They shall be low level, directed downward, and pointed away from residential uses. Light poles within Zone "C" are not to exceed 10' in height. Lighted signs on building facades shall not be visible from single family homes and shall be turned off at closing.
- Signs - All signs on site (Grapevine or Southlake) must be turned off at closing. Signposts shall not exceed 40' in height as measured from ground to the top of the sign.
- Dumpsters - Trash receptacles, as constructed by future lot development, shall be setback a minimum of 120' from any single family property line and shall be fenced and gated on all sides, and landscaped on three sides. Landscaping shall consist of evergreen shrubs.
- Grease Traps and Kitchen Vents - Traps and vents items shall be located away from residential uses. Maintenance shall occur during daytime hours.
- Truck Traffic - Westgate Plaza supply deliveries and trash pick-up shall occur during the hours of 7:00 AM to 6:00 PM. Sunday truck traffic shall be prohibited.
- Construction Traffic - Traffic associated with any construction activities shall be prohibited through any residential uses. All construction activities and deliveries shall be limited to 8:00 AM - 5:00 PM, Mon.-Sat.
- AC and Electrical Units - These units and other noise generating units shall be screened from view whether roof mounted or ground level. Ground level units shall be located away from all residential uses and surrounded with screening fence and/or evergreen hedge material.
- Conditional Use Request CU19-15 is a request to amend the previously approved site plan of CU17-14 (Ord. 2017-46) for a planned commercial center, specifically to allow for two medical offices totaling 11,705 square feet.
- The proposed revisions to the Master Site Plan conform to the previously approved Master Site Plan.

JUN 13 2019



CASE NAME: 2301 WESTGATE PLAZA  
CASE NUMBER: CU19-15  
LOCATION: 2301 WESTGATE PLAZA

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: 1 OF 16

APPROVAL DOES NOT AUTH-ORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.  
DEPARTMENT OF DEVELOPMENT SERVICES

**HOMMEYER ENGINEERING, INC.**  
TYPE FIRM REGISTRATION NO. F-8440  
P.O. BOX 296555 • DALLAS, TEXAS • 75229  
PHONE • 972-906-9987 FAX  
WWW.HEI.US.COM



WESTGATE PLAZA  
BLOCKS 2R & 3, LOTS 1, 2A, 3R & 1  
WESTGATE PLAZA  
10.07 ACRES  
CITY OF GRAPEVINE  
TARRANT COUNTY, TEXAS

MASTER SITE PLAN  
FOR  
WESTGATE PLAZA

DRAWN: JAA  
DATE: 04/16/2019  
HEI #: 19-1014  
SHEET NO: C1

**HOMEYER**  
ENGINEERING, INC.  
TBE FIRM REGISTRATION NO. FB-440  
P.O. BOX 294527 • LEWISVILLE, TEXAS • 75029  
972-906-9985 PHONE • 972-906-9987 FAX  
WWW.HEI.US.COM

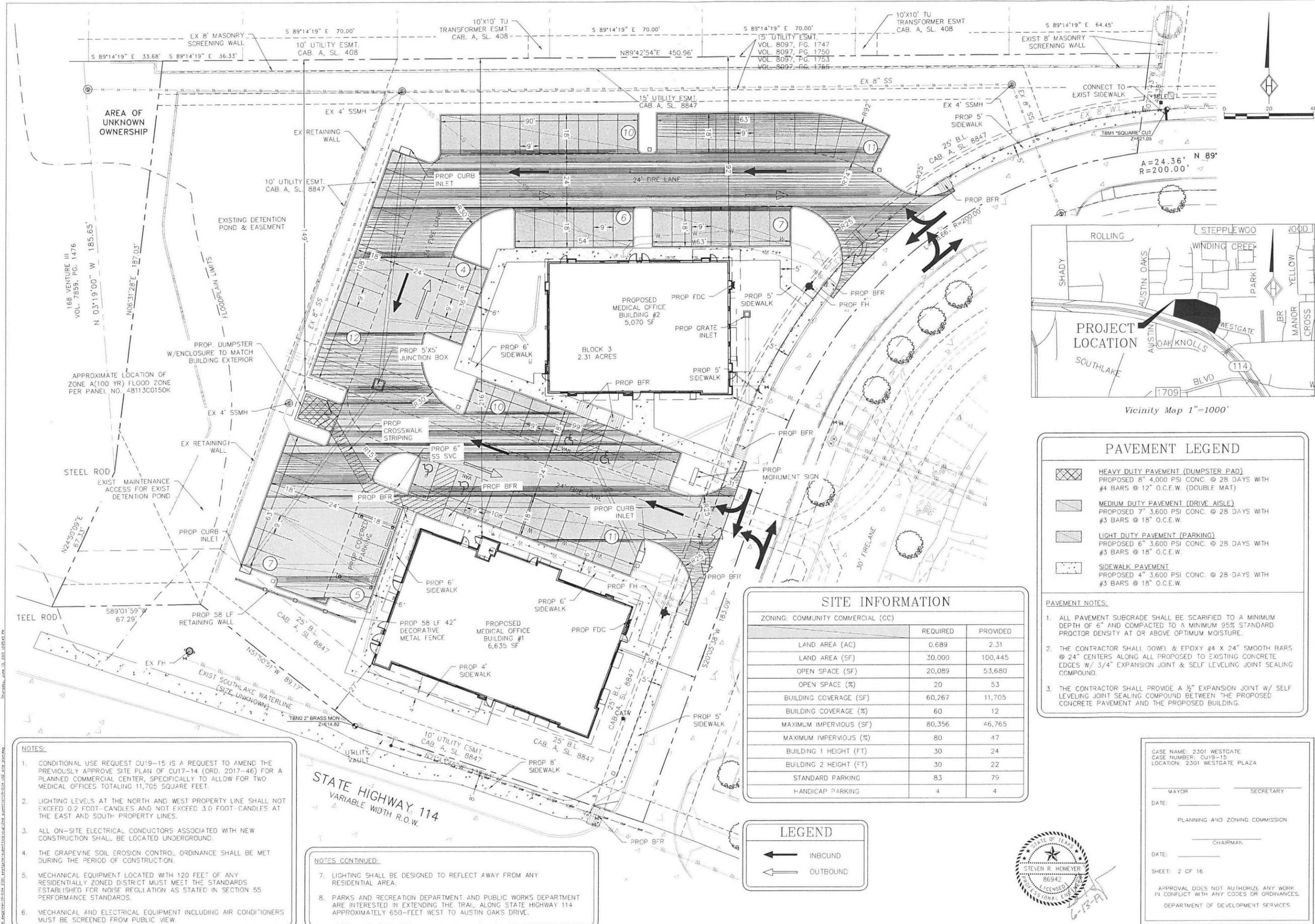


2301 WESTGATE PLAZA  
BLOCK 3, LOT 1  
WESTGATE PLAZA  
2.31 ACRES  
CITY OF GRAPEVINE  
TARRANT COUNTY, TEXAS

DIMENSIONAL  
CONTROL  
SITE PLAN

DRAWN: JAA  
DATE: 04/16/2019  
HEI #: 19-0104

SHEET NO:  
C2



### PAVEMENT LEGEND

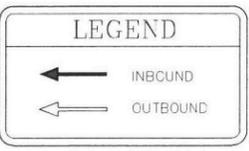
	<b>HEAVY DUTY PAVEMENT (DUMPSTER PAD)</b> PROPOSED 8" 4,000 PSI CONC. @ 28 DAYS WITH #4 BARS @ 12" O.C.E.W. (DOUBLE MAT)
	<b>MEDIUM DUTY PAVEMENT (DRIVE AISLE)</b> PROPOSED 7" 3,600 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.
	<b>LIGHT DUTY PAVEMENT (PARKING)</b> PROPOSED 6" 3,600 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.
	<b>SIDEWALK PAVEMENT</b> PROPOSED 4" 3,600 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.

- PAVEMENT NOTES:**
- ALL PAVEMENT SUBGRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 6" AND COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY AT OR ABOVE OPTIMUM MOISTURE.
  - THE CONTRACTOR SHALL DOWEL & EPOXY #4 X 24" SMOOTH BARS @ 24" CENTERS ALONG ALL PROPOSED TO EXISTING CONCRETE EDGES W/ 3/4" EXPANSION JOINT & SELF LEVELING JOINT SEALING COMPOUND.
  - THE CONTRACTOR SHALL PROVIDE A 1/2" EXPANSION JOINT W/ SELF LEVELING JOINT SEALING COMPOUND BETWEEN THE PROPOSED CONCRETE PAVEMENT AND THE PROPOSED BUILDING.

### SITE INFORMATION

ZONING: COMMUNITY COMMERCIAL (CC)

	REQUIRED	PROVIDED
LAND AREA (AC)	0.689	2.31
LAND AREA (SF)	30,000	100,445
OPEN SPACE (SF)	20,089	53,680
OPEN SPACE (%)	20	53
BUILDING COVERAGE (SF)	60,267	11,705
BUILDING COVERAGE (%)	60	12
MAXIMUM IMPERVIOUS (SF)	80,356	46,765
MAXIMUM IMPERVIOUS (%)	80	47
BUILDING 1 HEIGHT (FT)	30	24
BUILDING 2 HEIGHT (FT)	30	22
STANDARD PARKING	83	79
HANDICAP PARKING	4	4



- ### NOTES:
- CONDITIONAL USE REQUEST CU19-15 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVE SITE PLAN OF CU17-14 (ORD. 2017-46) FOR A PLANNED COMMERCIAL CENTER, SPECIFICALLY TO ALLOW FOR TWO MEDICAL OFFICES TOTALING 11,705 SQUARE FEET.
  - LIGHTING LEVELS AT THE NORTH AND WEST PROPERTY LINE SHALL NOT EXCEED 0.2 FOOT-CANDLES AND NOT EXCEED 3.0 FOOT-CANDLES AT THE EAST AND SOUTH PROPERTY LINES.
  - ALL ON-SITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.
  - THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.
  - MECHANICAL EQUIPMENT LOCATED WITH 120 FEET OF ANY RESIDENTIALLY ZONED DISTRICT MUST MEET THE STANDARDS ESTABLISHED FOR NOISE REGULATION AS STATED IN SECTION 55 PERFORMANCE STANDARDS.
  - MECHANICAL AND ELECTRICAL EQUIPMENT INCLUDING AIR CONDITIONERS MUST BE SCREENED FROM PUBLIC VIEW.

- ### NOTES CONTINUED:
- LIGHTING SHALL BE DESIGNED TO REFLECT AWAY FROM ANY RESIDENTIAL AREA.
  - PARKS AND RECREATION DEPARTMENT AND PUBLIC WORKS DEPARTMENT ARE INTERESTED IN EXTENDING THE TRAIL ALONG STATE HIGHWAY 114 APPROXIMATELY 650-FEET WEST TO AUSTIN OAKS DRIVE.



CASE NAME: 2301 WESTGATE  
CASE NUMBER: CU19-15  
LOCATION: 2301 WESTGATE PLAZA

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 2 OF 16

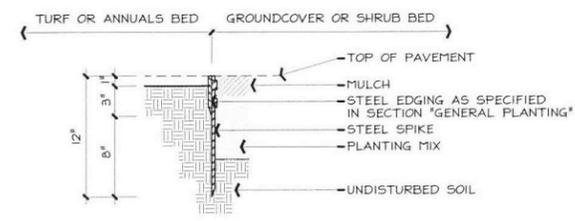
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.  
DEPARTMENT OF DEVELOPMENT SERVICES



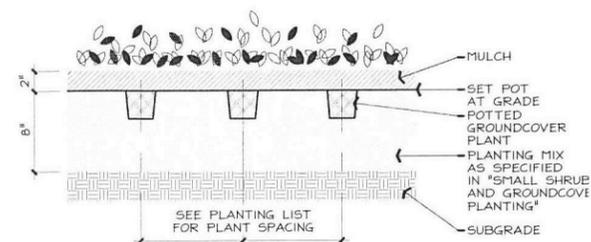


**B PREPARATION GENERAL NOTES**

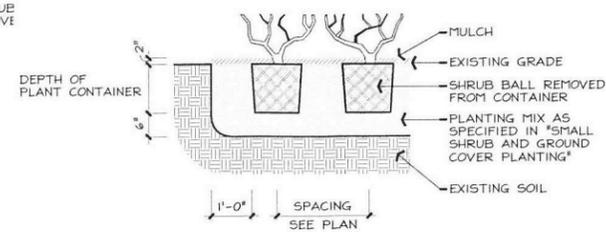
1. PLAN PREPARED BY:  
MICHAEL S. KENDALL  
KENDALL + LANDSCAPE ARCHITECTURE  
6976 SANTA BARBARA  
DALLAS, TEXAS 75214  
PHONE: (214) 739-3226  
E-MAIL: MIKE@KENDALL7.COM  
TEXAS LANDSCAPE ARCHITECT LICENSE NO. 1127
2. ALL AREAS SHALL BE IRRIGATED BY A LICENCED IRRIGATOR WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM PROVIDING 100% COVERAGE.
3. ALL REQUIRED TREES FROM THE CITY APPROVED LISTING.



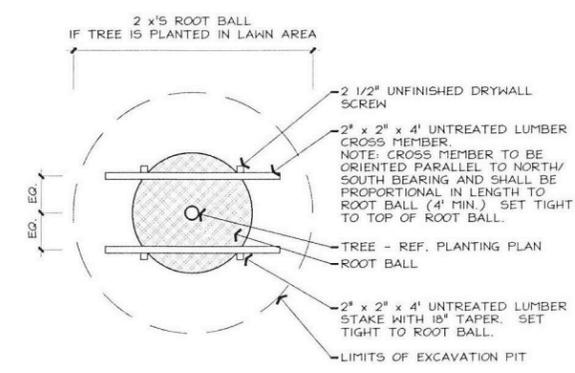
**F STEEL EDGING - SECTION**



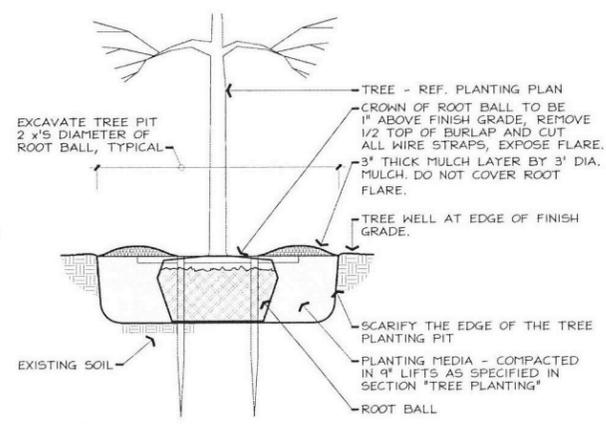
**G GROUNDCOVER PLANTING - SECTION**



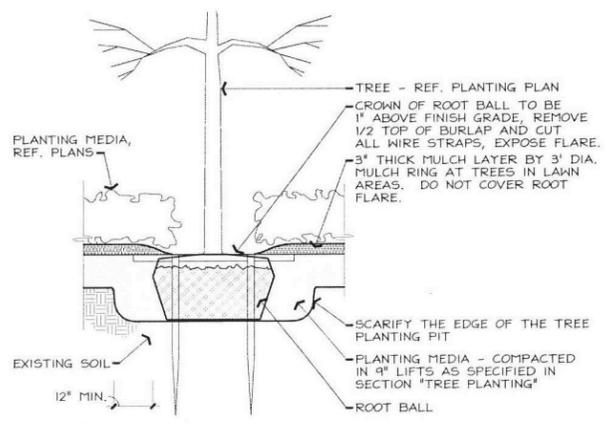
**H SHRUB PLANTING - SECTION**



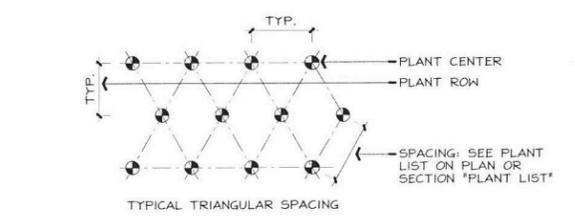
**B TYPICAL TREE STAKING - PLAN**



**C TREE PLANTING IN LAWN - SECTION**



**D TREE PLANTING IN PLANTER - SECTION**



**E PLANT SPACING - PLAN**

WESTGATE PLAZA  
GRAPEVINE, TEXAS



Case Name: 2301 WESTGATE  
Case Number: CU19-15  
Location: 2301 WESTGATE PLAZA

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 4 OF 16

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.  
DEPARTMENT OF DEVELOPMENT SERVICES

Revisions

Issue Date: 27 MAY 2019

Sheet Name: LANDSCAPE DETAILS

Sheet Number: 4 of 16



T. 214. 741. 5556  
F. 214. 741. 5557  
8330 LYNDON B. JOHNSON FWY.  
SUITE B840  
DALLAS, TEXAS 75243



MAY 28, 2019

PROJECT NAME

**2301 WESTGATE**  
2301 Westgate Plaza.  
Grapevine, Texas 76051

MECHANICAL/ELECTRICAL/PLUMBING

AOS Engineering  
Consulting Engineers  
5020 Terryson Parkway  
Plano, Texas 75024  
P: 214. 432. 3030  
F: 214. 618. 8191



ISSUES/REVISIONS

No.	Date	Description
01	MAY 6, 2019	CITY SITE PLAN APPLICATION
02	MAY 28, 2019	CITY SITE PLAN APPLICATION

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECTS OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OF FABRICATING ANY WORK. DO NOT SCALE OFF DRAWINGS.

Sheet Name

Building 1:  
Exterior North &  
East Elevations

Date: MAY 28, 2019

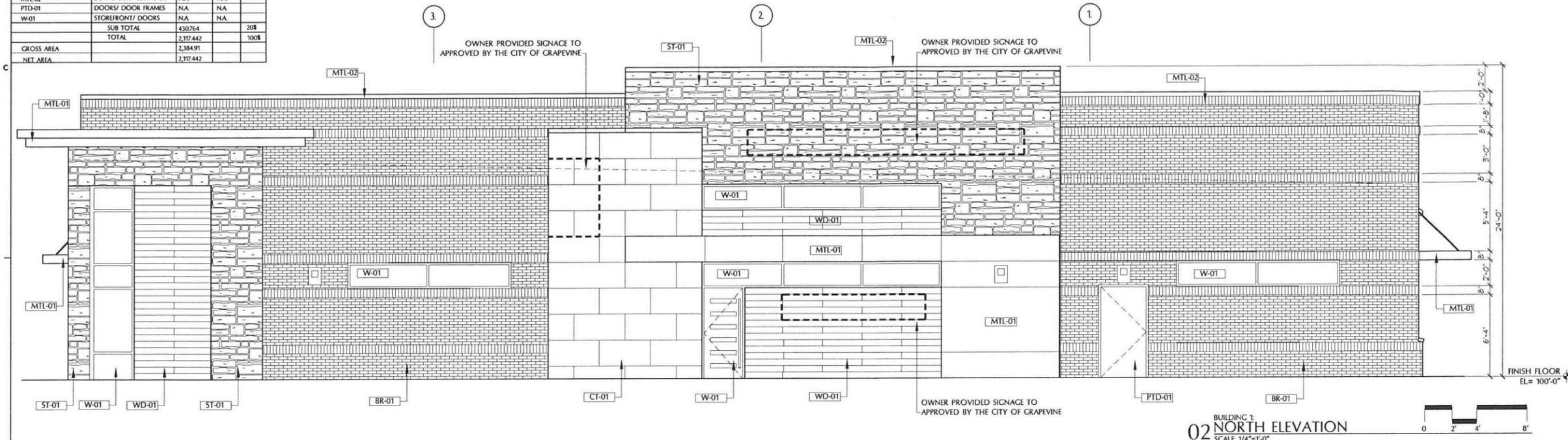
Job No. \_\_\_\_\_ Sheet No. \_\_\_\_\_

2019-21 | 5 of 16

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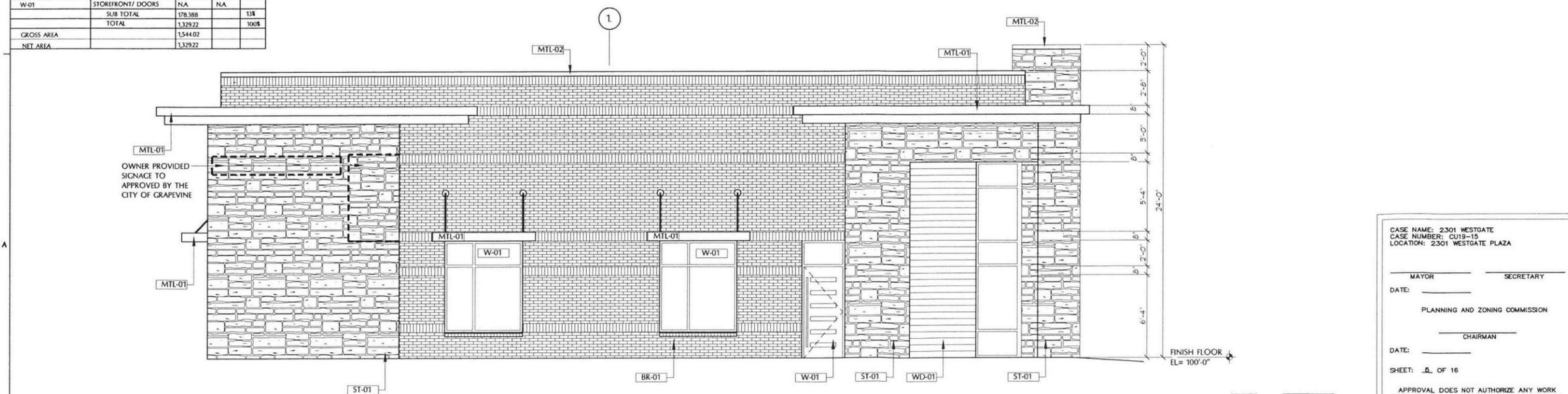
REFERENCE	MATERIAL SF/ OVERALL SF	REQUIRED MATERIAL %
01/B OF 17 EAST ELEVATION	1,150 SF/ 1,327 SF= 87%	87% (EIGHTY SEVEN PERCENT)
02/B OF 17 NORTH ELEVATION	1,686 SF/ 2,117 SF= 80%	80% (EIGHTY PERCENT)
01/9 OF 17 WEST ELEVATION	1,440 SF/ 1,446 SF= 100%	100% (ONE HUNDRED PERCENT)
02/9 OF 17 SOUTH ELEVATION	1,759 SF/ 2,128 SF= 83%	83% (EIGHTY THREE PERCENT)
ELEVATION AVERAGE		87% (EIGHTY SEVEN PERCENT)

NORTH ELEVATION BUILDING MATERIAL CALCULATION			
DESCRIPTION		SQ. FT.	% ELEVATION
<b>PRIMARY MATERIAL</b>			
BR-01	FACE BRICK	1,046,789	49%
ST-01	SYNTHETIC STONE	435,888	21%
EFS-01	EFS/ STUCCO	0	0%
CT-01	CERAMIC TILE	204	10%
	<b>SUB TOTAL</b>	<b>1,686,68</b>	<b>80%</b>
<b>SECONDARY MATERIAL</b>			
WD-01	WOOD PANELS	230,764	11%
MTL-01	METAL PANELS/ CANOPY	200	9%
MTL-02	DOWNPOUTS/ CORNING CAP	N/A	N/A
PTD-01	DOORS/ DOOR FRAMES	N/A	N/A
W-01	STOREFRONT/ DOORS	N/A	N/A
	<b>SUB TOTAL</b>	<b>430,764</b>	<b>20%</b>
	<b>TOTAL</b>	<b>2,117,442</b>	<b>100%</b>
GROSS AREA		2,384,91	
NET AREA		2,117,442	



**02 NORTH ELEVATION**  
SCALE 1/4"=1'-0"

EAST ELEVATION BUILDING MATERIAL CALCULATION			
DESCRIPTION		SQ. FT.	% ELEVATION
<b>PRIMARY MATERIAL</b>			
BR-01	FACE BRICK	687,077	52%
ST-01	SYNTHETIC STONE	463,756	35%
EFS-01	EFS/ STUCCO	0	0%
CT-01	CERAMIC TILE	0	0%
	<b>SUB TOTAL</b>	<b>1,150,83</b>	<b>87%</b>
<b>SECONDARY MATERIAL</b>			
WD-01	WOOD PANELS	775	6%
MTL-01	METAL PANELS/ CANOPY	100,888	8%
MTL-02	DOWNPOUTS/ CORNING CAP	N/A	N/A
PTD-01	DOORS/ DOOR FRAMES	N/A	N/A
W-01	STOREFRONT/ DOORS	N/A	N/A
	<b>SUB TOTAL</b>	<b>178,388</b>	<b>13%</b>
	<b>TOTAL</b>	<b>1,329,22</b>	<b>100%</b>
GROSS AREA		1,544,02	
NET AREA		1,329,22	



**01 EAST ELEVATION**  
SCALE 1/4"=1'-0"

CASE NAME: 2301 WESTGATE  
CASE NUMBER: CU19-15  
LOCATION: 2301 WESTGATE PLAZA

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 5 OF 16

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DEPARTMENT OF DEVELOPMENT SERVICES

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T. 214. 741. 5556  
F. 214. 741. 5557  
8330 LYNDON B. JOHNSON FWY.  
SUITE 8840  
DALLAS, TEXAS 75243



MAY 28, 2019

PROJECT NAME

**2301 WESTGATE**  
2301 Westgate Plaza,  
Grapevine, Texas 76051

MECHANICAL/ELECTRICAL/PLUMBING

AOS Engineering  
Consulting Engineers  
5020 Terryson Parkway  
Plano, Texas 75024  
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ISSUES/REVISIONS

No.	Date	Description
01	MAY 6, 2019	CITY SITE PLAN APPLICATION
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Sheet Name

Building 2  
Exterior North &  
East Elevations

Date MAY 28, 2019

Job No.

Sheet No.

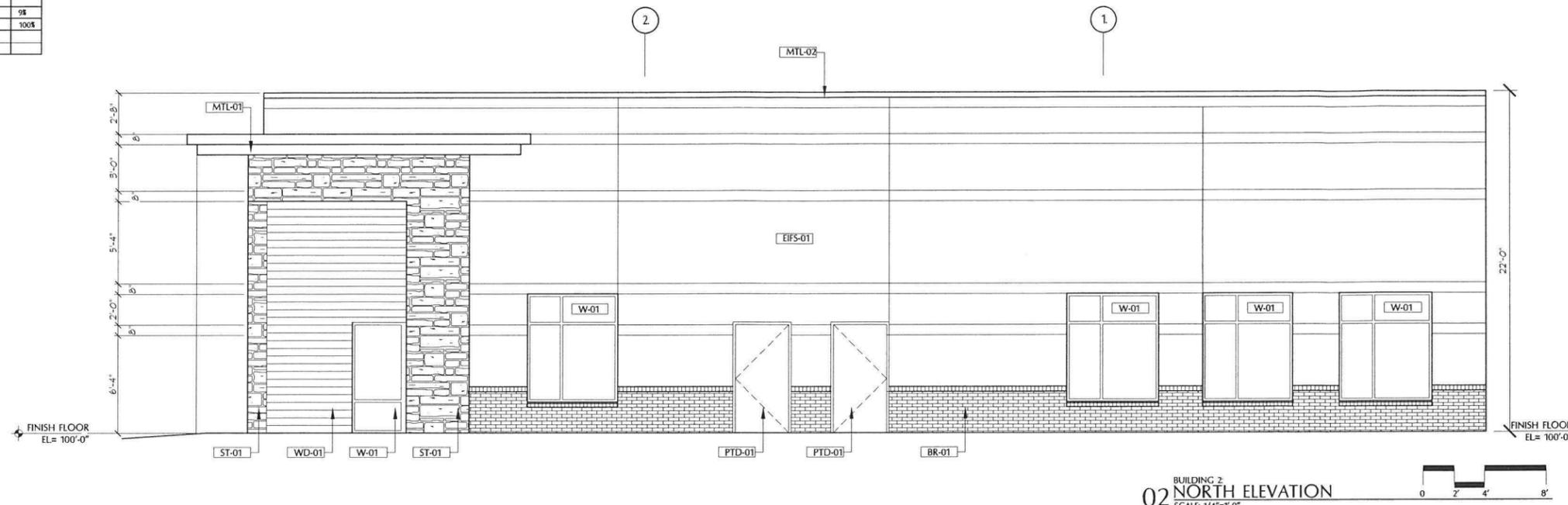
2019-21 7 of 16

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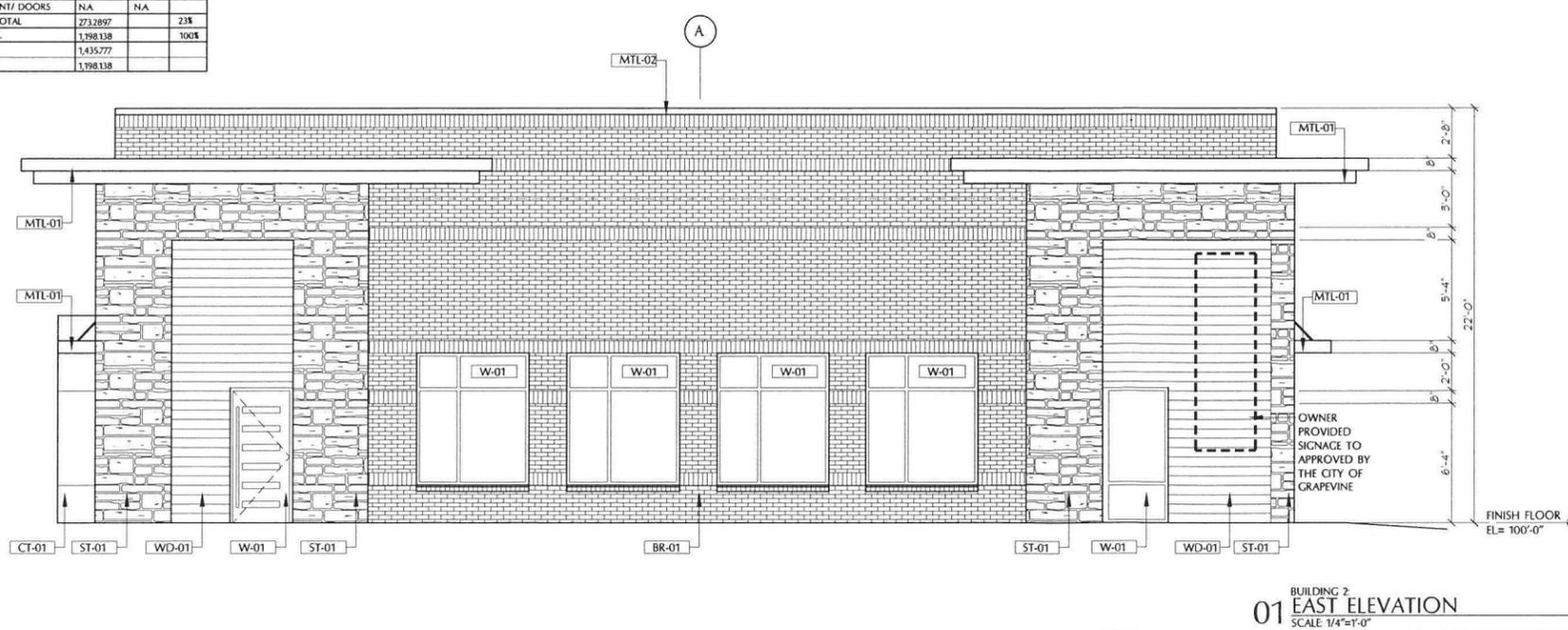
REFERENCE	MATERIAL SF/ OVERALL SF	REQUIRED MATERIAL %
01/11 OF 17 EAST ELEVATION	924 SF / 1,988 SF= 47%	77% (SEVENTY SEVEN PERCENT)
02/11 OF 17 NORTH ELEVATION	1,369 SF / 1,509 SF= 91%	91% (NINETY ONE PERCENT)
01/12 OF 17 WEST ELEVATION	1,078 SF / 1,145 SF= 94%	94% (NINETY FOUR PERCENT)
02/12 OF 17 SOUTH ELEVATION	1,251 SF / 1,539.52 SF= 81%	81% (EIGHTY ONE PERCENT)
ELEVATION AVERAGE		86% (EIGHTY SIX PERCENT)

DESCRIPTION	SQ. FT.	% ELEVATION
<b>PRIMARY MATERIAL</b>		
BR-01 FACE BRICK	15272	10%
ST-01 SYNTHETIC STONE	123875	8%
EFS-01 EFS/ STUCCO	1,093.32	7%
CT-01 CERAMIC TILE	0	0%
SUB TOTAL	1,369.91	91%
<b>SECONDARY MATERIAL</b>		
WD-01 WOOD PANELS	110.542	7%
MTL-01 METAL PANELS/ CANOPY	28.9993	2%
MTL-02 DOWNSPOUTS/ CORNING CAP	N.A.	N.A.
PTD-01 DOORS/ DOOR FRAMES	N.A.	N.A.
W-01 STOREFRONT/ DOORS	N.A.	N.A.
SUB TOTAL	139.541	9%
TOTAL	1,509.45	100%
GROSS AREA	1,784.22	
NET AREA	1,509.45	

DESCRIPTION	SQ. FT.	% ELEVATION
<b>PRIMARY MATERIAL</b>		
BR-01 FACE BRICK	634,333	53%
ST-01 SYNTHETIC STONE	269,848	23%
EFS-01 EFS/ STUCCO	0	0%
CT-01 CERAMIC TILE	20,666	2%
SUB TOTAL	924,847	77%
<b>SECONDARY MATERIAL</b>		
WD-01 WOOD PANELS	182,523	15%
MTL-01 METAL PANELS/ CANOPY	90,774	8%
MTL-02 DOWNSPOUTS/ CORNING CAP	N.A.	N.A.
PTD-01 DOORS/ DOOR FRAMES	N.A.	N.A.
W-01 STOREFRONT/ DOORS	N.A.	N.A.
SUB TOTAL	273,297	23%
TOTAL	1,198,138	100%
GROSS AREA	1,435,777	
NET AREA	1,198,138	



BUILDING 2  
**02 NORTH ELEVATION**  
SCALE 1/4"=1'-0"



BUILDING 2  
**01 EAST ELEVATION**  
SCALE 1/4"=1'-0"

CASE NAME: 2301 WESTGATE  
CASE NUMBER: CU19-15  
LOCATION: 2301 WESTGATE PLAZA

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 7 OF 16

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MAY 28, 2019

PROJECT NAME

**2301 WESTGATE**  
2301 Westgate Plaza  
Grapevine, Texas 76051

MECHANICAL/ELECTRICAL/PLUMBING

AOS Engineering  
Consulting Engineers  
5020 Tension Parkway  
Plano, Texas 75024  
P. 214. 432. 3030  
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No.	Date	Description
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Sheet Name

Building 2:  
Exterior South &  
West Elevations

Date: MAY 28, 2019

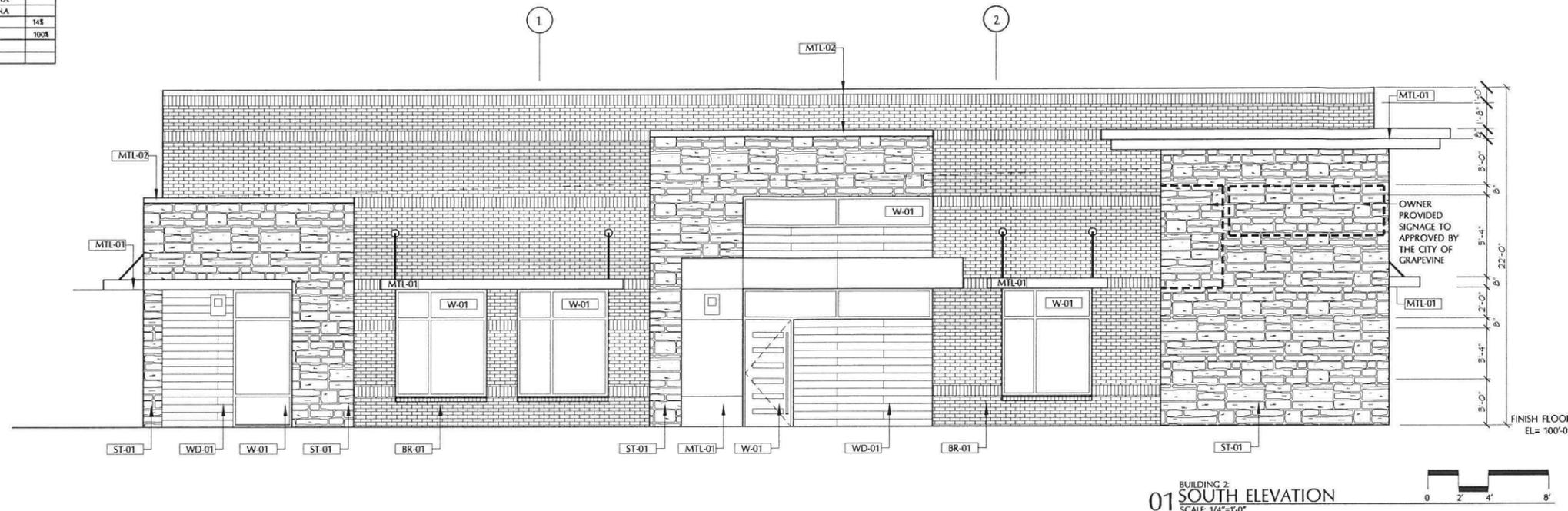
Job No. Sheet No.

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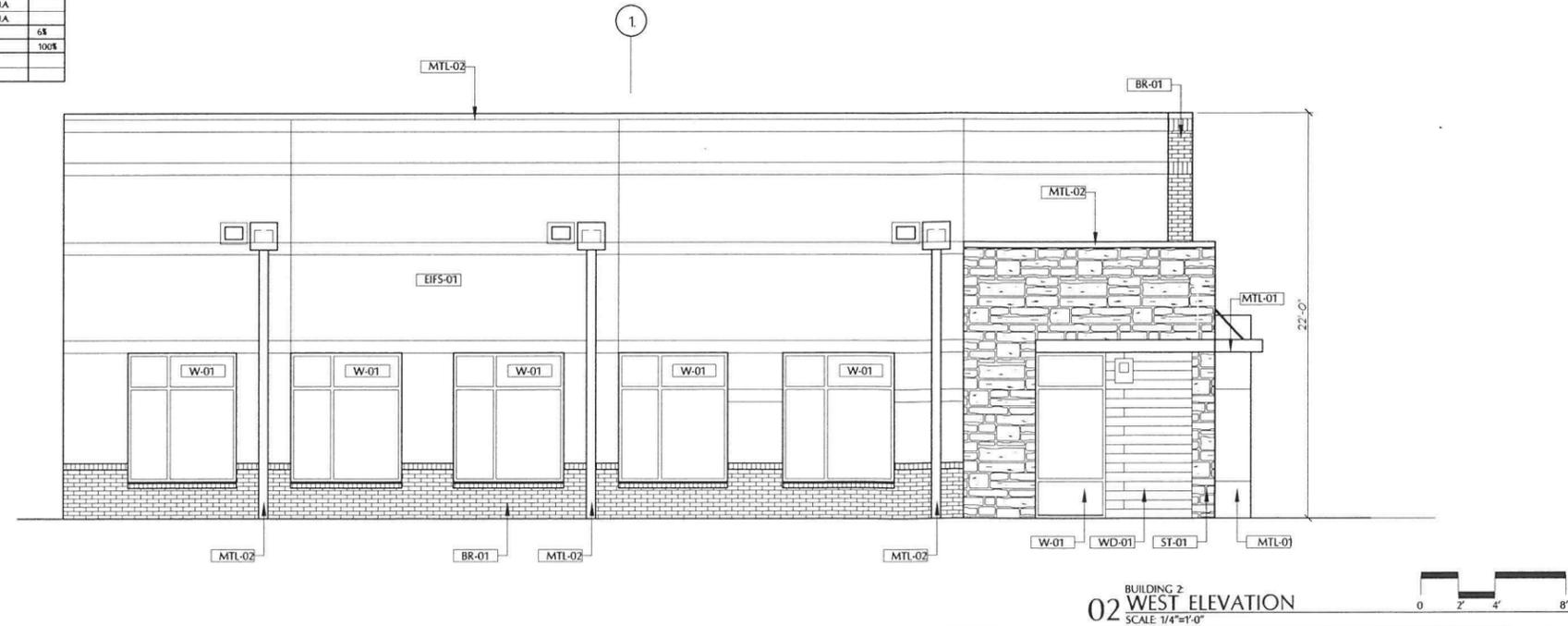
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REFERENCE	MATERIAL SF/ OVERALL SF	REQUIRED MATERIAL %
01/11 OF 17 EAST ELEVATION	924 SF/ 1,198 SF= 77%	77% (SEVENTY SEVEN PERCENT)
02/11 OF 17 NORTH ELEVATION	1,369 SF/ 1,509 SF= 91%	91% (NINETY ONE PERCENT)
01/12 OF 17 WEST ELEVATION	1,078 SF/ 1,145 SF= 94%	94% (NINETY FOUR PERCENT)
02/12 OF 17 SOUTH ELEVATION	1,251 SF/ 1,539.52 SF= 81%	81% (EIGHTY ONE PERCENT)
ELEVATION AVERAGE		86% (EIGHTY SIX PERCENT)

SOUTH ELEVATION BUILDING MATERIAL CALCULATION			
DESCRIPTION		SQ. FT.	% ELEVATION
<b>PRIMARY MATERIAL</b>			
BR-01	FACE BRICK	770.352	50%
ST-01	SYNTHETIC STONE	481.4583	31%
BFS-01	BFS/ STUCCO	0	0%
CT-01	CERAMIC TILE	73.5499	5%
	<b>SUB TOTAL</b>	<b>1,251.81</b>	<b>86%</b>
<b>SECONDARY MATERIAL</b>			
WD-01	WOOD PANELS	131.6832	9%
MTL-01	METAL PANELS/ CANOPY	82.4739	5%
MTL-02	DOWNPOUTS/ CORNING CAP	N/A	N/A
PTD-01	DOORS/ DOOR FRAMES	N/A	N/A
W-01	STOREFRONT/ DOORS	N/A	N/A
	<b>SUB TOTAL</b>	<b>287.207</b>	<b>14%</b>
	<b>TOTAL</b>	<b>1,539.517</b>	<b>100%</b>
<b>CROSS AREA</b>			
	<b>NET AREA</b>	<b>1,799.966</b>	
	<b>NET AREA</b>	<b>1,539.517</b>	



WEST ELEVATION BUILDING MATERIAL CALCULATION			
DESCRIPTION		SQ. FT.	% ELEVATION
<b>PRIMARY MATERIAL</b>			
BR-01	FACE BRICK	126.327	11%
ST-01	SYNTHETIC STONE	199.27	18%
BFS-01	BFS/ STUCCO	812.249	71%
CT-01	CERAMIC TILE	20.8664	2%
	<b>SUB TOTAL</b>	<b>1,078.51</b>	<b>94%</b>
<b>SECONDARY MATERIAL</b>			
WD-01	WOOD PANELS	42.5165	4%
MTL-01	METAL PANELS/ CANOPY	24.58	2%
MTL-02	DOWNPOUTS/ CORNING CAP	N/A	N/A
PTD-01	DOORS/ DOOR FRAMES	N/A	N/A
W-01	STOREFRONT/ DOORS	N/A	N/A
	<b>SUB TOTAL</b>	<b>67.0956</b>	<b>6%</b>
	<b>TOTAL</b>	<b>1,145.61</b>	<b>100%</b>
<b>CROSS AREA</b>			
	<b>NET AREA</b>	<b>1,399.08</b>	
	<b>NET AREA</b>	<b>1,145.61</b>	



CASE NAME: 2301 WESTGATE  
CASE NUMBER: CU19-15  
LOCATION: 2301 WESTGATE PLAZA

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: .8. OF 16

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DEPARTMENT OF DEVELOPMENT SERVICES



MAY 28, 2019

PROJECT NAME

**2301 WESTGATE**  
2301 Westgate Plaza,  
Grapevine, Texas 76051

MECHANICAL/ELECTRICAL/PLUMBING

AOS Engineering  
Consulting Engineers  
5020 Tennyson Parkway  
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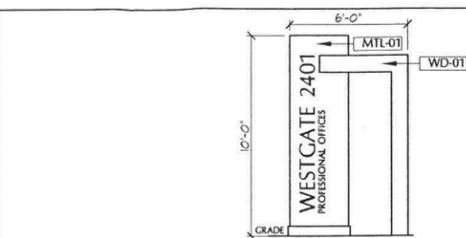
Sheet Name  
Dumpster & Monument Elevations  
Sign Elevations  
Building 1 Section  
Building 2 Section  
Floor Plan @ Vehicle Canopy  
Elevations @ Vehicle Canopy

Date: MAY 28, 2019

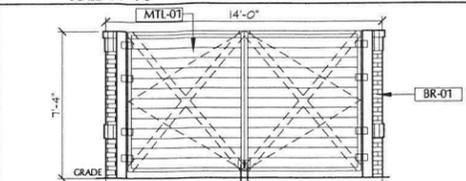
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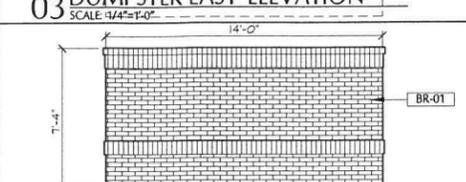
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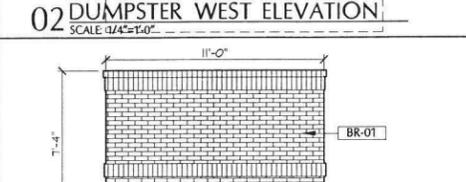
04 MONUMENT SIGNS (if used)  
SCALE 1/4"=1'-0"



03 DUMPSTER EAST ELEVATION  
SCALE 1/4"=1'-0"

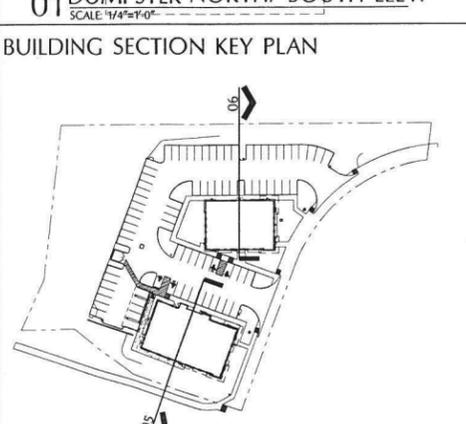


02 DUMPSTER WEST ELEVATION  
SCALE 1/4"=1'-0"



01 DUMPSTER NORTH/ SOUTH ELEV.  
SCALE 1/4"=1'-0"

BUILDING SECTION KEY PLAN

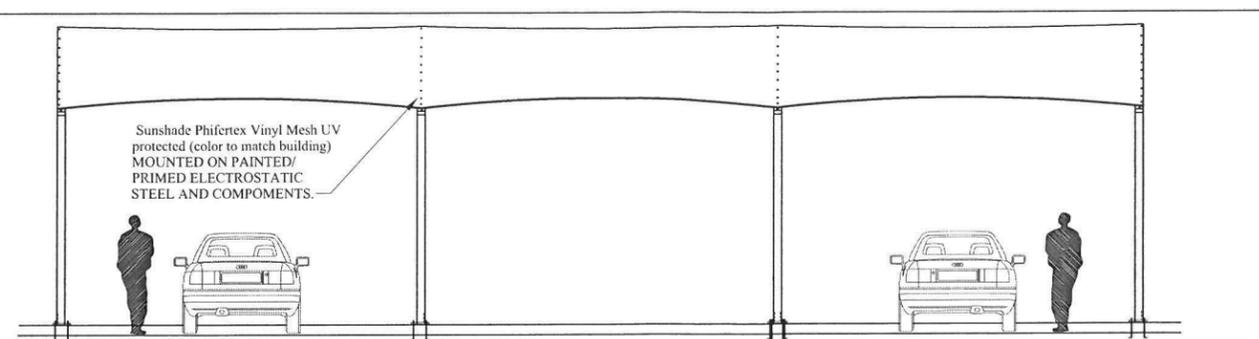


CASE NAME: 2301 WESTGATE  
CASE NUMBER: CU19-15  
LOCATION: 2301 WESTGATE PLAZA

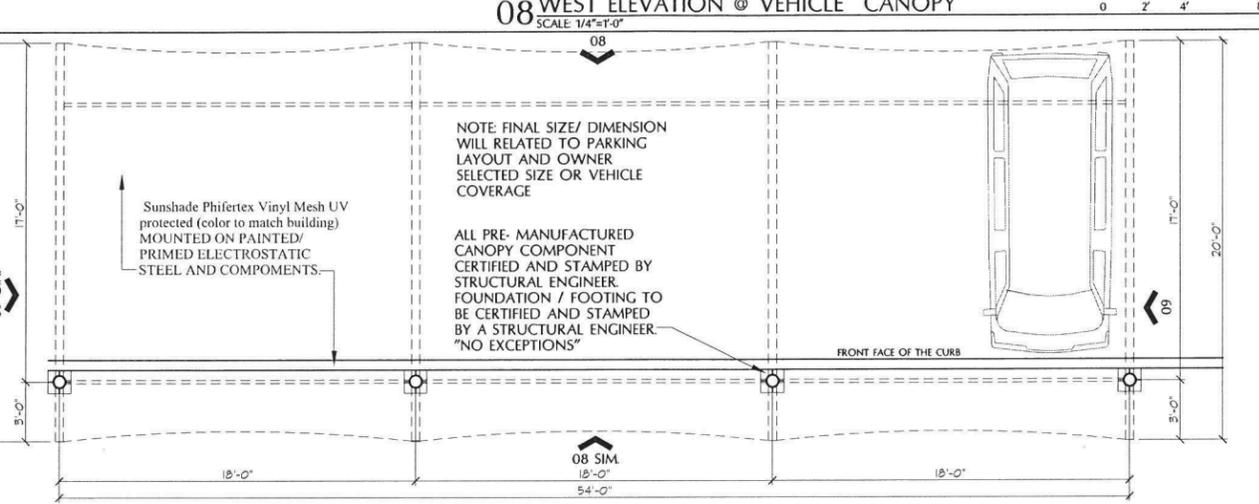
MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 9 OF 16

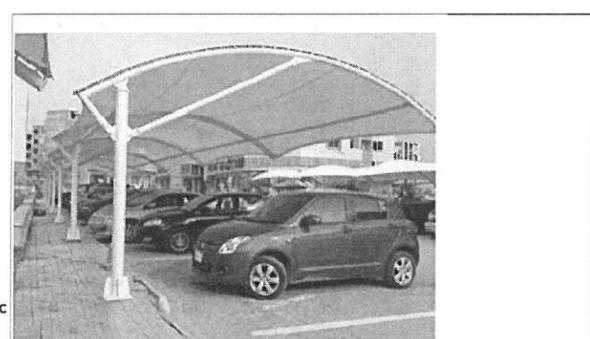
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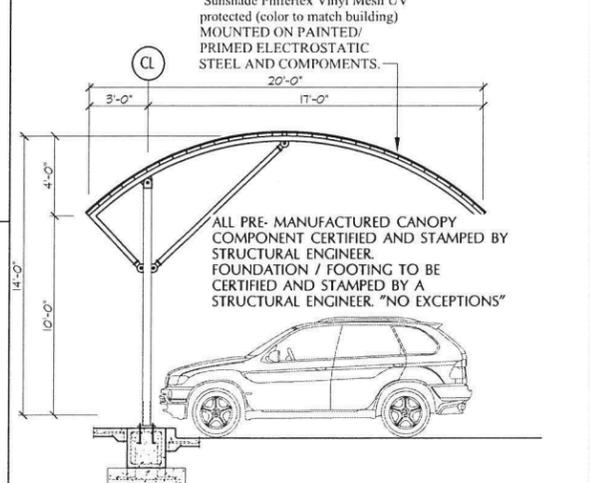
08 WEST ELEVATION @ VEHICLE CANOPY  
SCALE 1/4"=1'-0"



07 FLOOR PLAN @ VEHICLE CANOPY  
SCALE 1/4"=1'-0"



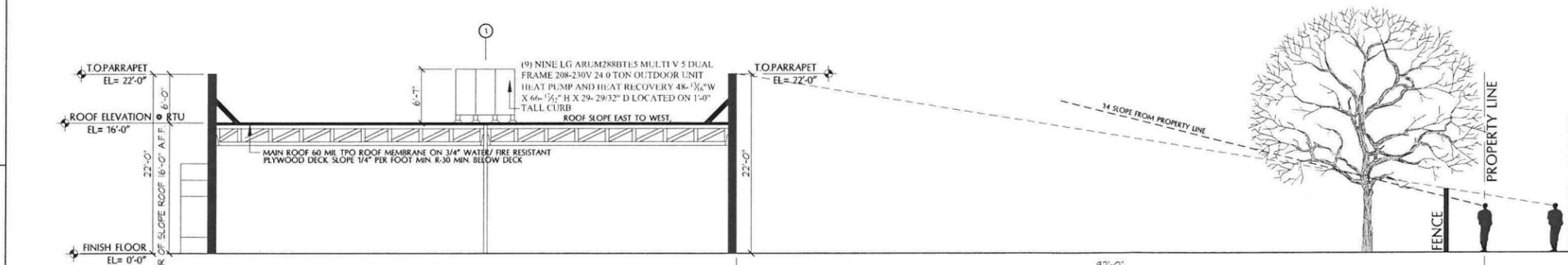
09 VEHICLE CANOPY SCALE 1/4"=1'-0"



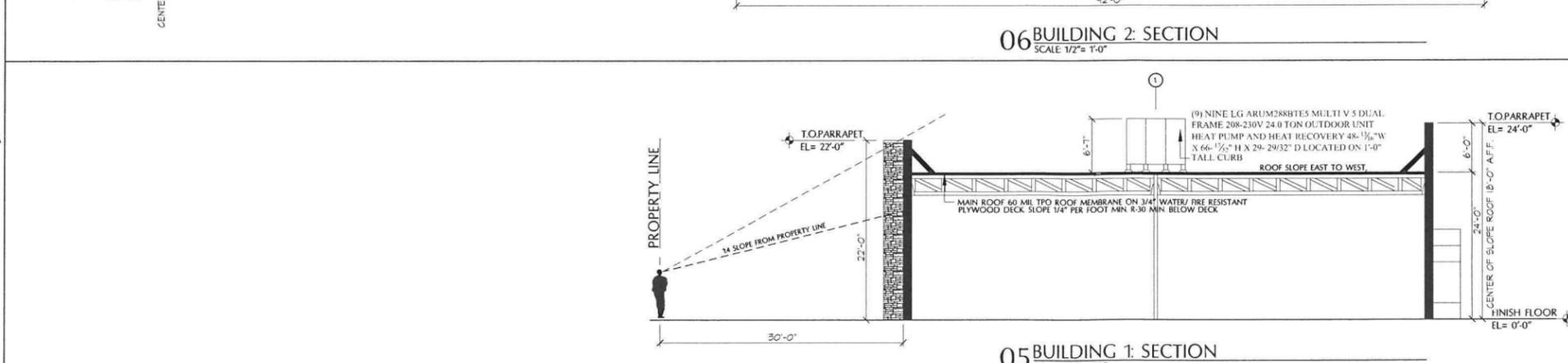
09 VEHICLE CANOPY NORTH/SOUTH ELEVATION @  
SCALE 1/4"=1'-0"

08 WEST ELEVATION @ VEHICLE CANOPY SCALE 1/4"=1'-0"

07 FLOOR PLAN @ VEHICLE CANOPY SCALE 1/4"=1'-0"

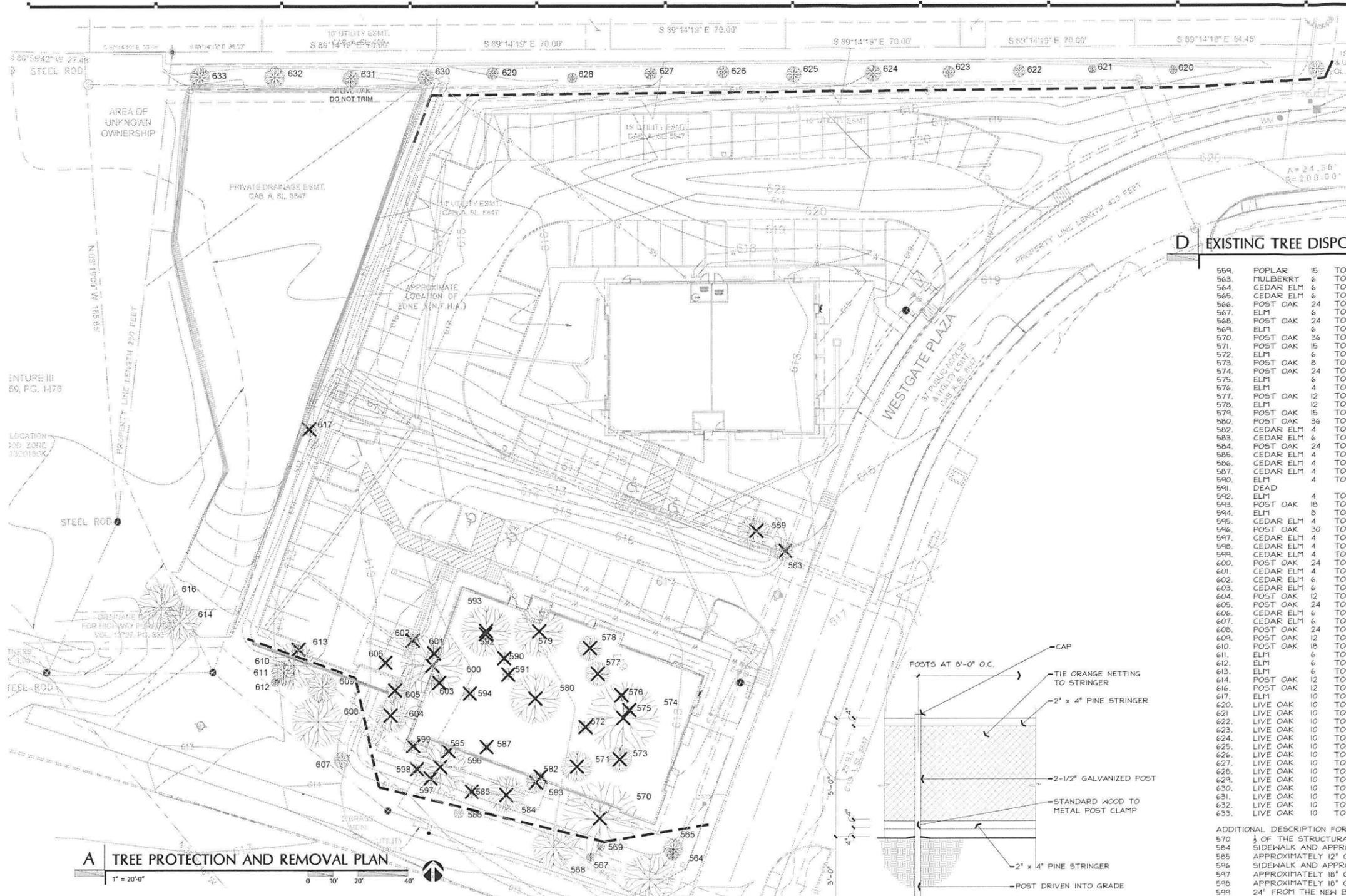


06 BUILDING 2: SECTION  
SCALE 1/2"=1'-0"



05 BUILDING 1: SECTION  
SCALE 1/2"=1'-0"

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**D EXISTING TREE DISPOSITION**

559.	POPLAR	15	TO BE REMOVED - UNDER BUILDING
563.	MULBERRY	6	TO BE REMOVED - UNDER BUILDING
564.	CEDAR ELM	6	TO REMAIN AND PROTECT
565.	CEDAR ELM	6	TO REMAIN AND PROTECT
566.	POST OAK	24	TO REMAIN AND PROTECT
567.	ELM	6	TO REMAIN AND PROTECT
568.	POST OAK	24	TO REMAIN AND PROTECT
569.	ELM	6	TO REMAIN AND PROTECT
570.	POST OAK	36	TO BE REMOVED - UNDER BUILDING
571.	POST OAK	15	TO BE REMOVED - UNDER BUILDING
572.	ELM	6	TO BE REMOVED - UNDER BUILDING
573.	POST OAK	8	TO BE REMOVED - UNDER BUILDING
574.	POST OAK	24	TO BE REMOVED - UNDER BUILDING
575.	ELM	6	TO BE REMOVED - UNDER BUILDING
576.	ELM	4	TO BE REMOVED - UNDER BUILDING
577.	POST OAK	12	TO BE REMOVED - UNDER BUILDING
578.	ELM	12	TO BE REMOVED - UNDER BUILDING
579.	POST OAK	15	TO BE REMOVED - UNDER BUILDING
580.	POST OAK	36	TO BE REMOVED - UNDER BUILDING
582.	CEDAR ELM	36	TO BE REMOVED - UNDER BUILDING
583.	CEDAR ELM	6	TO BE REMOVED - UNDER BUILDING
584.	POST OAK	24	TO BE REMOVED - UNDER SIDEWALK AND GRADING
585.	CEDAR ELM	4	TO BE REMOVED - UNDER SIDEWALK AND GRADING
586.	CEDAR ELM	4	TO REMAIN AND PROTECT
587.	CEDAR ELM	4	TO BE REMOVED - UNDER BUILDING
590.	ELM	4	TO BE REMOVED - UNDER BUILDING
591.	DEAD		
592.	ELM	4	TO BE REMOVED - UNDER BUILDING
593.	POST OAK	18	TO BE REMOVED - UNDER BUILDING
594.	ELM	8	TO BE REMOVED - UNDER BUILDING
595.	CEDAR ELM	4	TO BE REMOVED - UNDER BUILDING
596.	POST OAK	30	TO BE REMOVED - UNDER SIDEWALK
597.	CEDAR ELM	4	TO BE REMOVED - UNDER SIDEWALK
598.	CEDAR ELM	4	TO BE REMOVED - UNDER SIDEWALK
599.	CEDAR ELM	4	TO BE REMOVED - UNDER BUILDING
600.	POST OAK	24	TO BE REMOVED - UNDER BUILDING
601.	CEDAR ELM	4	TO BE REMOVED - UNDER BUILDING
602.	CEDAR ELM	6	TO BE REMOVED - UNDER BUILDING
603.	CEDAR ELM	6	TO BE REMOVED - UNDER BUILDING
604.	POST OAK	12	TO BE REMOVED - UNDER BUILDING
605.	POST OAK	24	TO BE REMOVED - UNDER BUILDING
606.	CEDAR ELM	6	TO BE REMOVED - UNDER BUILDING
607.	CEDAR ELM	6	TO REMAIN AND PROTECT
608.	POST OAK	24	TO REMAIN AND PROTECT
609.	POST OAK	12	TO REMAIN AND PROTECT
610.	POST OAK	18	TO REMAIN AND PROTECT
611.	ELM	6	TO REMAIN AND PROTECT
612.	ELM	6	TO REMAIN AND PROTECT
613.	ELM	6	TO BE REMOVED - UNDER PAVING
614.	POST OAK	12	TO REMAIN AND PROTECT
616.	POST OAK	12	TO REMAIN AND PROTECT
617.	ELM	10	TO BE REMOVED - UNDER BUILDING
620.	LIVE OAK	10	TO REMAIN AND PROTECT
621.	LIVE OAK	10	TO REMAIN AND PROTECT
622.	LIVE OAK	10	TO REMAIN AND PROTECT
623.	LIVE OAK	10	TO REMAIN AND PROTECT
624.	LIVE OAK	10	TO REMAIN AND PROTECT
625.	LIVE OAK	10	TO REMAIN AND PROTECT
626.	LIVE OAK	10	TO REMAIN AND PROTECT
627.	LIVE OAK	10	TO REMAIN AND PROTECT
628.	LIVE OAK	10	TO REMAIN AND PROTECT
629.	LIVE OAK	10	TO REMAIN AND PROTECT
630.	LIVE OAK	10	TO REMAIN AND PROTECT
631.	LIVE OAK	10	TO REMAIN AND PROTECT
632.	LIVE OAK	10	TO REMAIN AND PROTECT
633.	LIVE OAK	10	TO REMAIN AND PROTECT

ADDITIONAL DESCRIPTION FOR REMOVAL  
 570 1/2 OF THE STRUCTURAL ROOTS WILL BE REMOVED AND THEREFORE UNSAFE  
 584 SIDEWALK AND APPROXIMATELY 30' OF FILL  
 585 APPROXIMATELY 12' OF FILL  
 596 SIDEWALK AND APPROXIMATELY 30' OF FILL  
 597 APPROXIMATELY 18' OF FILL  
 598 APPROXIMATELY 18' OF FILL  
 599 24' FROM THE NEW BUILDING.

**A TREE PROTECTION AND REMOVAL PLAN**

1" = 20'-0"

**D TREE PRESERVATION NOTES**

- CONTRACTOR SHALL ADHERE TO THE FOLLOWING TREE PROTECTION MEASURES:
1. THE CONTRACTOR SHALL ERECT A PLASTIC MESH FENCE A MINIMUM OF FOUR (4') FEET IN HEIGHT AROUND EACH TREE OR GROUP OF TREES TO PREVENT THE PLACEMENT OF DEBRIS OR FILL WITHIN THE DRIP LINE.
  2. DURING THE CONSTRUCTION PHASE OF DEVELOPMENT, THE CONTRACTOR SHALL PROHIBIT CLEANING, PARKING OR STORAGE OF EQUIPMENT OR MATERIALS UNDER THE CANOPY OF ANY TREE OR GROUP OF TREES BEING PRESERVED. THE CONTRACTOR SHALL NOT ALLOW THE DISPOSAL OF ANY WASTE MATERIAL SUCH AS, BUT NOT LIMITED TO, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, ETC. IN THE CANOPY AREA.
  3. NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
  4. NO FILL OR EXCAVATION MAY OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED.

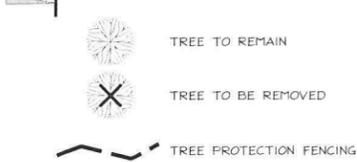
**C PREPARATION GENERAL NOTES**

1. PLAN PREPARED BY:  
 MICHAEL S. KENDALL  
 KENDALL + LANDSCAPE ARCHITECTURE  
 6976 SANTA BARBARA  
 DALLAS, TEXAS 75214  
 PHONE: (214) 739-3226  
 E-MAIL: MIKE@KENDALL7.COM  
 TEXAS LANDSCAPE ARCHITECT LICENSE NO. 1127
2. ALL AREAS SHALL BE IRRIGATED BY A LICENSSES IRRIGATOR WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM PROVIDING 100% COVERAGE.
3. ALL REQUIRED TREES FROM THE CITY APPROVED LISTING.

**E TREE PROTECTION FENCE - ELEVATION**

1/2" = 1'-0"

**B LEGEND**



**WESTGATE PLAZA**  
**GRAPEVINE, TEXAS**



CASE NAME: 2301 WESTGATE  
 CASE NUMBER: CU-15  
 LOCATION: 2301 WESTGATE PLAZA

DATE: \_\_\_\_\_ MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION

DATE: \_\_\_\_\_ CHAIRMAN \_\_\_\_\_

SHEET: 10 OF 16

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.  
 DEPARTMENT OF DEVELOPMENT SERVICES

Revisions

05.31.2019	CITY COMMENTS
06.12.2019	CITY COMMENTS

Issue Date  
**27 MAY 2019**

Sheet Name  
**TREE PROTECTION AND REMOVAL PLAN**

Sheet Number  
**10 of 16**

**BBK**  
ARCHITECTS

T. 214.741.5556  
F. 214.741.5557  
8330 LYNDON B. JOHNSON FWY.  
SUITE 8840  
DALLAS, TEXAS 75243



PROJECT NAME

**2301 WESTGATE**  
2301 Westgate Plaza  
Grapevine, Texas 76051

Mechanical/Electrical/Plumbing

AOS Engineering  
Consulting Engineers  
5020 Tompson Parkway  
Plano, Texas 75024  
P. 214.432.3030  
F. 214.618.8191



ISSUE/REVISIONS

No.	Date	Description
01	MAY 6, 2019	CITY SITE PLAN APPLICATION
02	MAY 28, 2019	CITY SITE PLAN APPLICATION

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECTS OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OF FABRICATING ANY WORK. DO NOT SCALE OFF DRAWINGS.

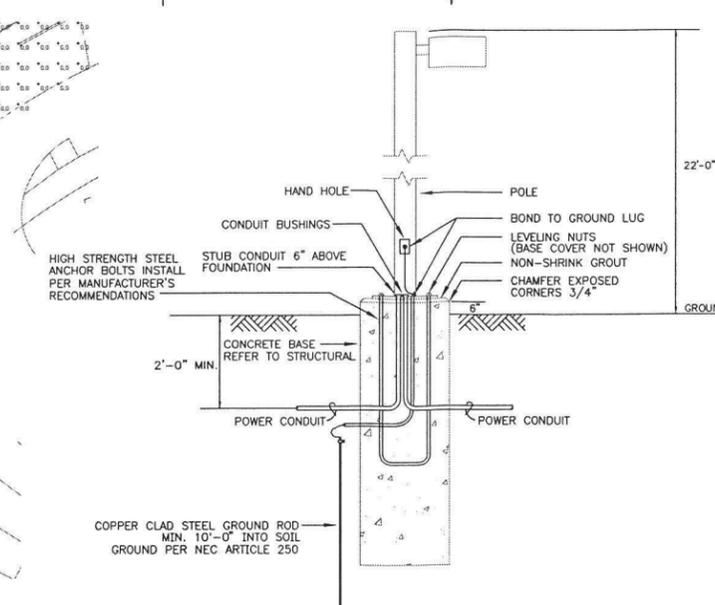
Sheet Name  
**ELECTRICAL  
PHOTOMETRICS  
PLAN**

Date: MAY 6, 2019

Job No. | Sheet No.

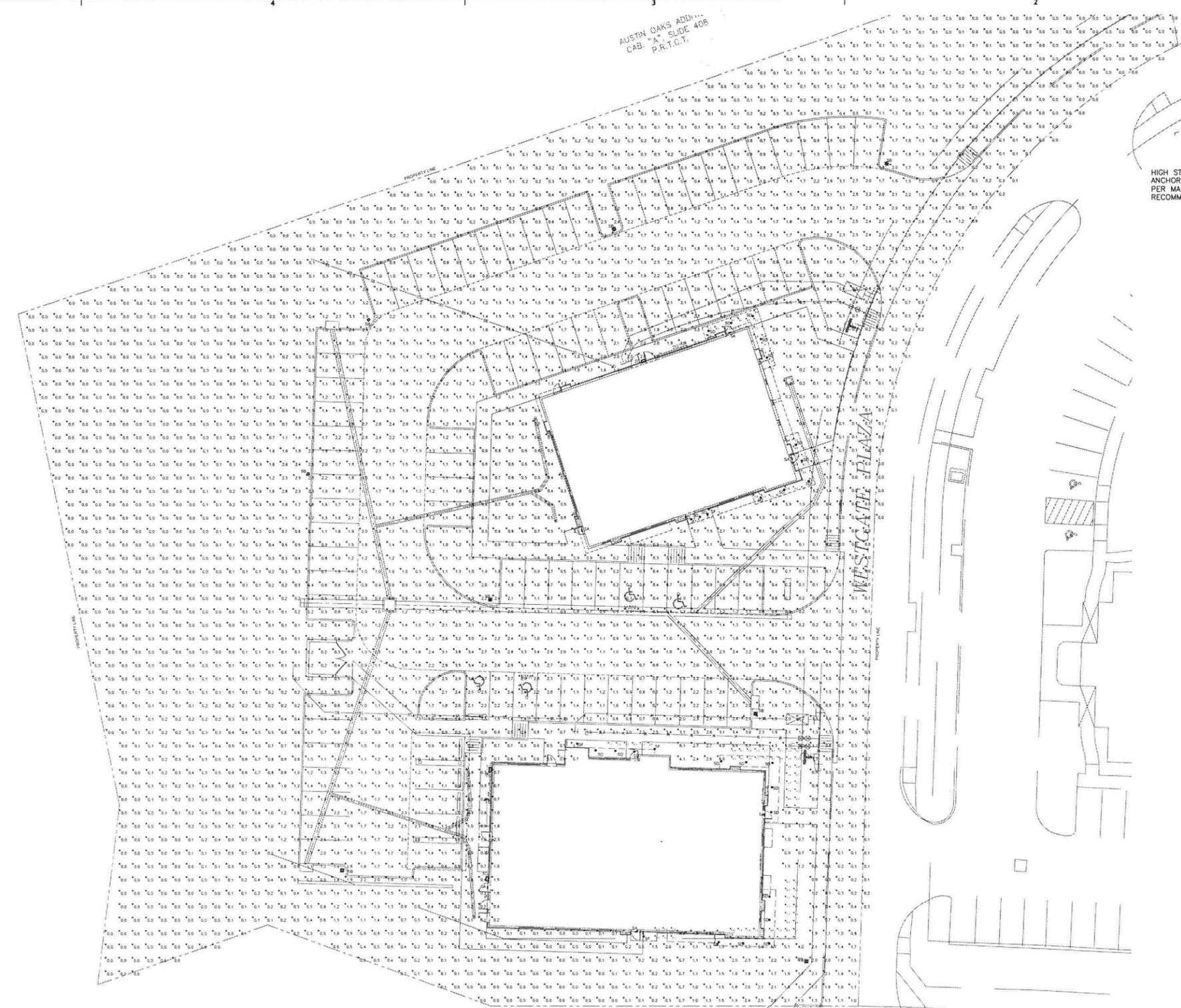
2019-21 | PH-1

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NOTE:  
1. CONTRACTOR SHALL VERIFY ALL STRUCTURAL ELEMENTS WITH LICENSED STRUCTURAL ENGINEER PRIOR TO INSTALLATION.

**2 SITE LIGHTING POLE BASE DETAIL**  
SCALE NONE



**1 PHOTOMETRICS PLAN**  
SCALE 1" = 20'-0"

TYPE	DESCRIPTION	VOLTAGE	LAMP		MOUNTING	MANUFACTURER / MODEL #	MANUFACTURER / MODEL #	MANUFACTURER / MODEL #
			QTY.	TYPE				
SA	SURFACE MOUNT LED OUTDOOR EXPRESS WITH REMOTE POWER SUPPLY	120/277V	---	LED	WALL	MULE LIGHTING EUC-88-10-20-W	SIGNITEX MAC-88-10-20-W	CELP OOL-10W-M-DM-XX-XX
SB	ONE-PIECE, DIE-FORMED ALUMINUM LED AREA LIGHT	120/277	---	LED	POLE	LSI INDUSTRIES SLM-LED-AL-SL-FT-UNV-DM-40-800RE-8RZ	EATON OLEM-N-xx-LED-E1-xx-8Z	LITHONIA OSV2 LED-PX-XX-XX-INVOLT-SPA-008KD
SC	25\"/>							

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
CALC ZONE #1	+	0.8fc	9.1fc	0.0fc	N/A	N/A
PUBLIC WAY SOUTH BUILDING	+	8.4fc	17.0 fc	4.2fc	4.0:1	2.0:1
PUBLIC WAY NORTH BUILDING	+	7.3fc	10.9 fc	4.2fc	2.6:1	1.7:1

CASE NAME: 2301 WESTGATE  
CASE NUMBER: SUP19-  
LOCATION: 2301 WESTGATE PLAZA

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_  
SHEET: 12 OF 18

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DEPARTMENT OF DEVELOPMENT SERVICES

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P.O. BOX 294527 • LEWISVILLE, TEXAS • 75029  
972-906-9955 • MOBILE • 972-906-9987 FAX  
WWW.HEI.US.COM



2301 WESTGATE PLAZA  
BLOCK 3, LOT 1  
WESTGATE PLAZA  
2.31 ACRES  
CITY OF GRAPEVINE  
TARRANT COUNTY, TEXAS

GRADING PLAN

**GRADING LEGEND**

I.R.F.	IRON ROD FOUND
S.I.R.	SET IRON ROD
"X"	CUT X IN CONCRETE
F.C.P.	FENCE CORNER POST
///	ASPHALT
⊙	TELEPHONE MANHOLE
⊙	POWER POLE
⊙	LIGHT POLE
⊙	WATER VALVE
⊙ SSMH	SANITARY SEWER MANHOLE
⊙	FIRE HYDRANT
⊙ WM	WATER METER
TC	TOP OF CURB
G	GUTTER
TP	TOP OF PAVEMENT
FG	FINISHED GRADE
TW	TOP OF WALL
BW	BOTTOM OF WALL
TR	TOP OF RAMP
BR	BOTTOM OF RAMP
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
▲	HIGH POINT

**City Benchmark**  
Monument No.5 (Cannon Elementary School)  
Date Established: 1991 Date Recovered: October 2002  
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Y COORDINATE 2401310.229  
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**BENCHMARK INFORMATION**  
TBM #1: ELEV = 621.05  
"SQUARE" CUT FOUND IN NORTHWEST CORNER OF SIDEWALK APPROXIMATELY 25 LF SOUTH AND 8 LF EAST OF THE NORTHEAST PROPERTY CORNER.  
TBM #2: ELEV = 614.82  
2" BRASS MON FOUND APPROXIMATELY 132 LF WEST AND 44 LF NORTH OF THE SOUTHEAST PROPERTY CORNER.

**NOTE:**  
THE BOTTOM OF WALL ELEVATIONS IDENTIFIED ARE TO TOP OF PROPOSED GROUND AND DO NOT INCLUDE ANY REQUIRED FOOTINGS. THE DEPTH OF FOOTING SHALL BE DETERMINED BY THE STRUCTURAL ENGINEER DESIGNING THE WALL. THE CONSTRUCTION OF THE RETAINING WALL WILL REQUIRE A SEPARATE PERMIT.



THE CONTRACTOR SHALL CONTACT DIG-TESS AT 1-800-344-8377 A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES



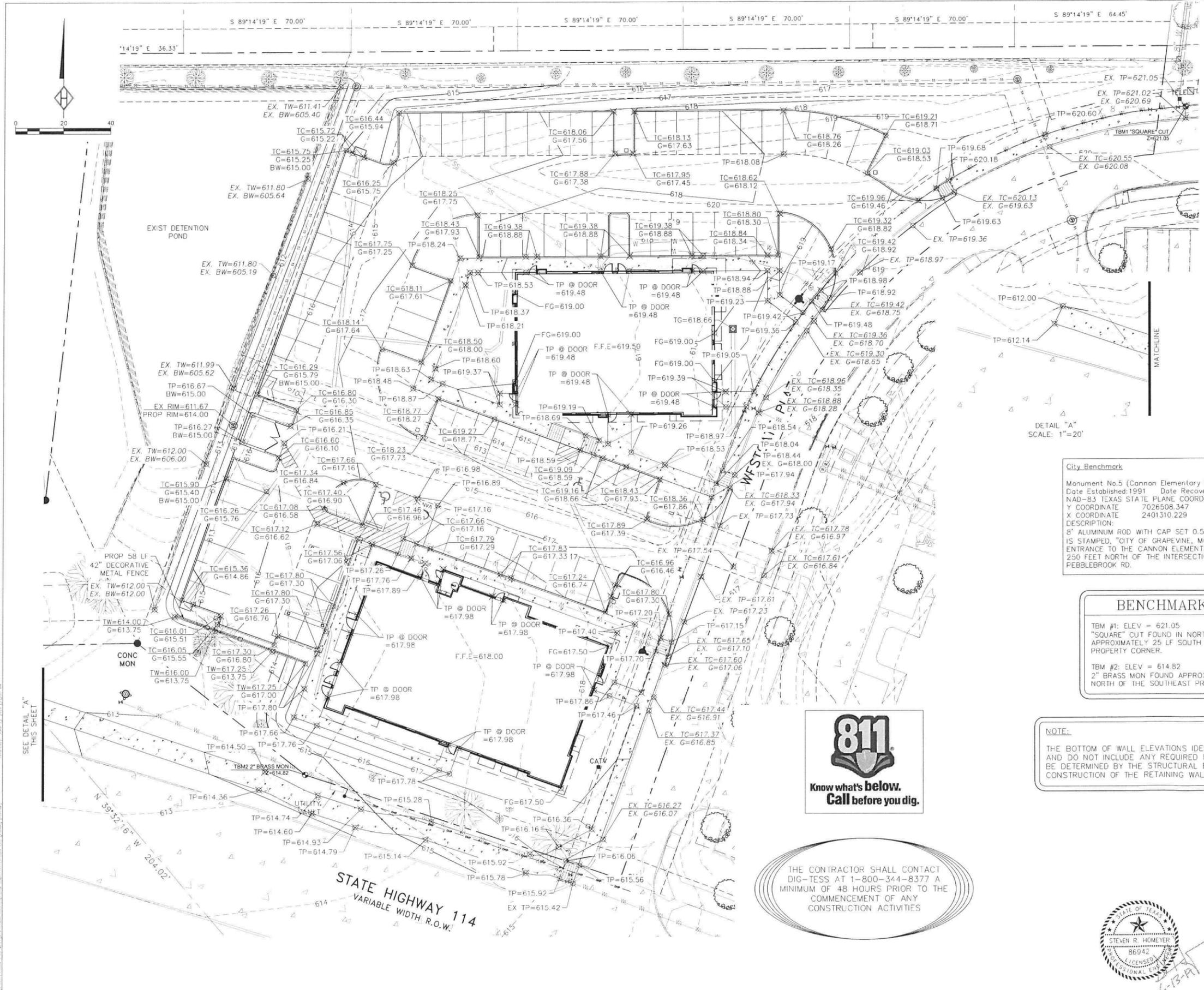
CASE NAME: 2301 WESTGATE  
CASE NUMBER: CU19-15  
LOCATION: 2301 WESTGATE PLAZA

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 12 OF 16

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DEPARTMENT OF DEVELOPMENT SERVICES

DRAWN: JAA  
DATE: 04/16/2019  
HEET #: 19-0104  
SHEET NO:  
C3



SEE DETAIL "A" THIS SHEET

DETAIL "A" SCALE: 1"=20'

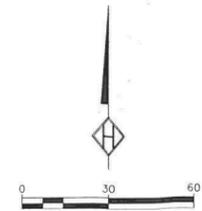
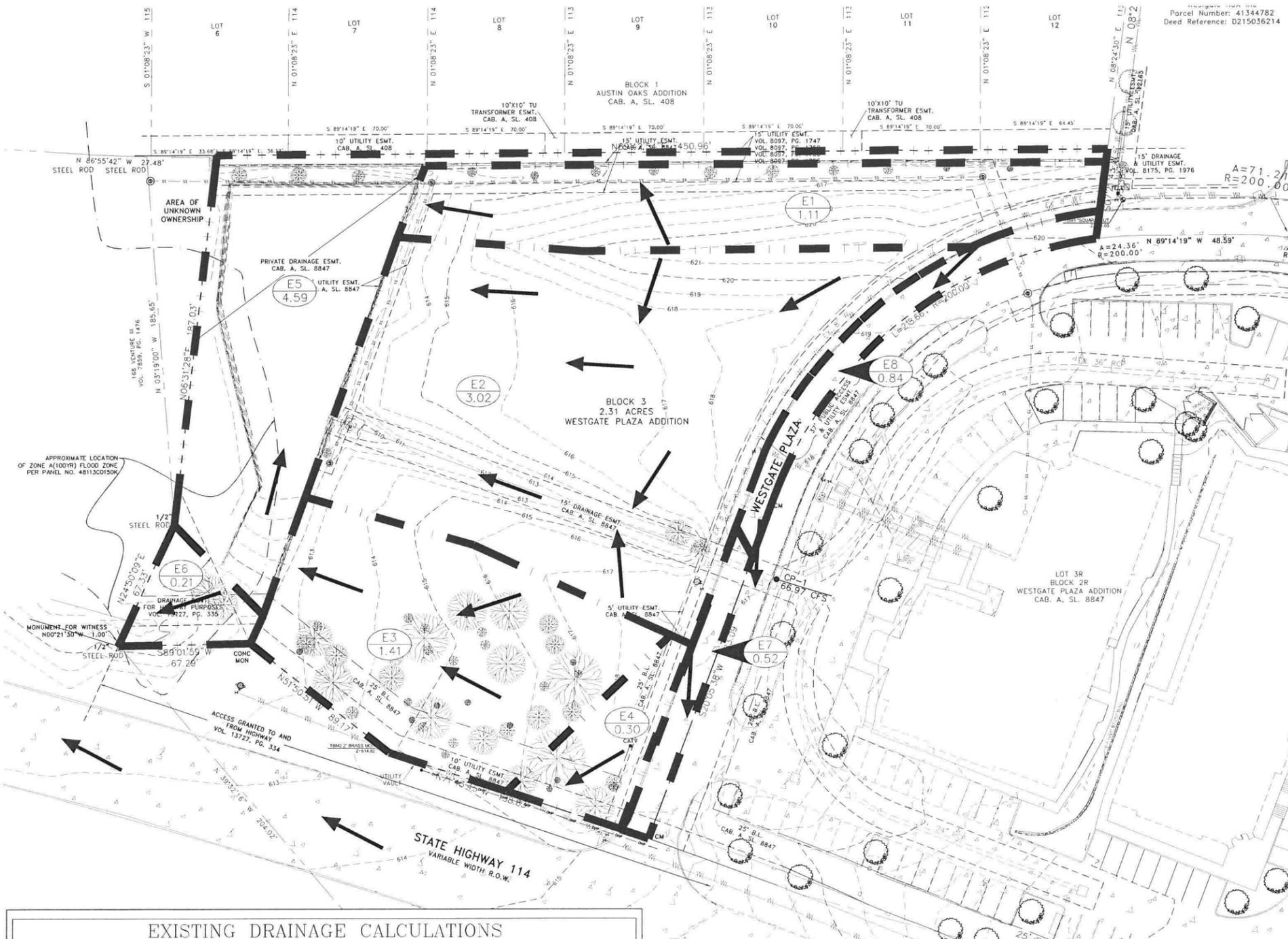
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2301 WESTGATE PLAZA  
BLOCK 3, LOT 1  
WESTGATE PLAZA  
2.31 ACRES  
CITY OF GRAPEVINE  
TARRANT COUNTY, TEXAS

EXISTING  
DRAINAGE  
AREA MAP

DRAWN: JAA  
DATE: 04/16/2019  
HEI #: 19-0104  
SHEET NO:  
C4



**LEGEND**

- DRAINAGE AREA NUMBER Q100
- DRAINAGE AREA LIMITS
- EXISTING CONTOURS
- DIRECTION OF STORMWATER FLOW

**BENCHMARK INFORMATION**

TBM #1: ELEV = 621.05  
"SQUARE" CUT FOUND IN NORTHWEST CORNER OF SIDEWALK APPROXIMATELY 25 LF SOUTH AND 8 LF EAST OF THE NORTHEAST PROPERTY CORNER.

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2" BRASS MON FOUND APPROXIMATELY 132 LF WEST AND 44 LF NORTH OF THE SOUTHEAST PROPERTY CORNER.

**City Benchmark**

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**EXISTING DRAINAGE CALCULATIONS**

DRAINAGE AREA	ACRES	"c"	Tc (min)	I <sub>s</sub> (in/hr)	Q <sub>5</sub> (cfs)	I <sub>100</sub> (in/hr)	Q <sub>100</sub> (cfs)	COMMENTS
E1	0.32	0.30	10	6.90	0.66	11.60	1.11	DRAINS TO EXIST DETENTION POND
E2	0.87	0.30	10	6.90	1.80	11.60	3.02	DRAINS TO EXIST 4'x4' "Y" INLET
E3	0.41	0.30	10	6.90	0.84	11.60	1.41	DRAINS TO EXIST DETENTION POND
E4	0.09	0.30	10	6.90	0.18	11.60	0.30	DRAINS TO STATE HIGHWAY 114
E5	0.44	0.90	10	6.90	2.73	11.60	4.59	EX DETENTION POND
E6	0.06	0.30	10	6.90	0.12	11.60	0.21	DRAINS TO OFF-SITE CREEK
E7	0.05	0.90	10	6.90	0.31	11.60	0.52	DRAINS TO STATE HIGHWAY 114
E8	0.08	0.90	10	6.90	0.50	11.60	0.84	DRAINS TO EXIST 15' CURB INLET
<b>TOTAL</b>	<b>2.31</b>				<b>7.14</b>		<b>12.00</b>	



CASE NAME: 2301 WESTGATE  
CASE NUMBER: CU19-15  
LOCATION: 2301 WESTGATE PLAZA

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_  
SHEET: 13 OF 16

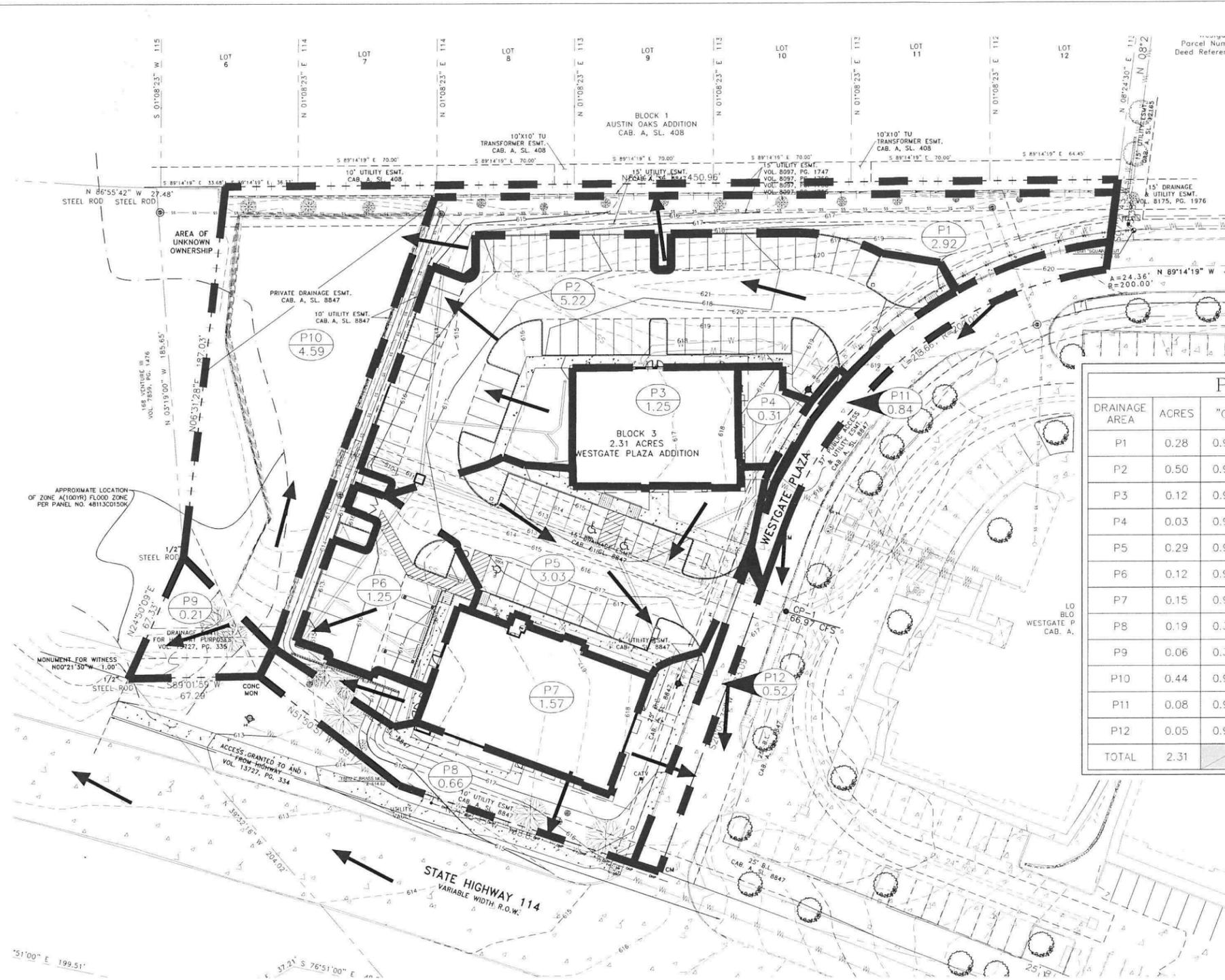
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DEPARTMENT OF DEVELOPMENT SERVICES

**HOMEYER ENGINEERING, INC.**  
 ENGINEERING FIRM REGISTRATION NO. F-84440  
 T.B.P.E. BOX 294527 • LEWISVILLE, TEXAS • 75039  
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 WWW.HEI.US.COM



2301 WESTGATE PLAZA  
 BLOCK 3, LOT 1  
 WESTGATE PLAZA  
 2.31 ACRES  
 CITY OF GRAPEVINE  
 TARRANT COUNTY, TEXAS

PROPOSED DRAINAGE AREA MAP



PROPOSED DRAINAGE CALCULATIONS								COMMENTS
DRAINAGE AREA	ACRES	"c"	Tc (min)	I <sub>s</sub> (in/hr)	Q <sub>s</sub> (cfs)	I <sub>100</sub> (in/hr)	Q <sub>100</sub> (cfs)	
P1	0.28	0.90	10	6.90	1.74	11.60	2.92	DRAINS TO EXIST DETENTION POND
P2	0.50	0.90	10	6.90	3.11	11.60	5.22	DRAINS TO PROP 5' CURB INLET
P3	0.12	0.90	10	6.90	0.75	11.60	1.25	DRAINS TO ROOF DRAINS
P4	0.03	0.90	10	6.90	0.19	11.60	0.31	DRAINS TO PROP 2'X2' DROP INLET
P5	0.29	0.90	10	6.90	1.80	11.60	3.03	DRAINS TO PROP 5' CURB INLET
P6	0.12	0.90	10	6.90	0.75	11.60	1.25	DRAINS TO PROP 5' CURB INLET
P7	0.15	0.90	10	6.90	0.93	11.60	1.57	DRAINS TO ROOF DRAINS
P8	0.19	0.30	10	6.90	0.39	11.60	0.66	DRAINS TO STATE HIGHWAY 114
P9	0.06	0.30	10	6.90	0.12	11.60	0.21	DRAINS TO OFF-SITE CREEK
P10	0.44	0.90	10	6.90	2.73	11.60	4.59	EX DETENTION POND
P11	0.08	0.90	10	6.90	0.50	11.60	0.84	DRAINS TO EXIST 10' CURB INLET
P12	0.05	0.90	10	6.90	0.31	11.60	0.52	DRAINS TO STATE HIGHWAY 114
TOTAL	2.31				13.31		22.37	

**LEGEND**

- DRAINAGE AREA NUMBER
- Q100
- DRAINAGE AREA LIMITS
- EXISTING CONTOURS
- PROPOSED CONTOURS
- DIRECTION OF STORMWATER FLOW

**BENCHMARK INFORMATION**

TBM #1: ELEV = 621.05  
 "SQUARE" CUT FOUND IN NORTHWEST CORNER OF SIDEWALK APPROXIMATELY 25 LF SOUTH AND 8 LF EAST OF THE NORTHEAST PROPERTY CORNER.

TBM #2: ELEV = 614.82  
 2" BRASS MON FOUND APPROXIMATELY 132 LF WEST AND 44 LF NORTH OF THE SOUTHEAST PROPERTY CORNER.

**City Benchmark**

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CASE NAME: 2301 WESTGATE  
 CASE NUMBER: CU19-15  
 LOCATION: 2301 WESTGATE PLAZA

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: 14 OF 16

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 DEPARTMENT OF DEVELOPMENT SERVICES



DRAWN: JAA  
 DATE: 04/16/2019  
 HEI #: 19-0104  
 SHEET NO:  
 C5

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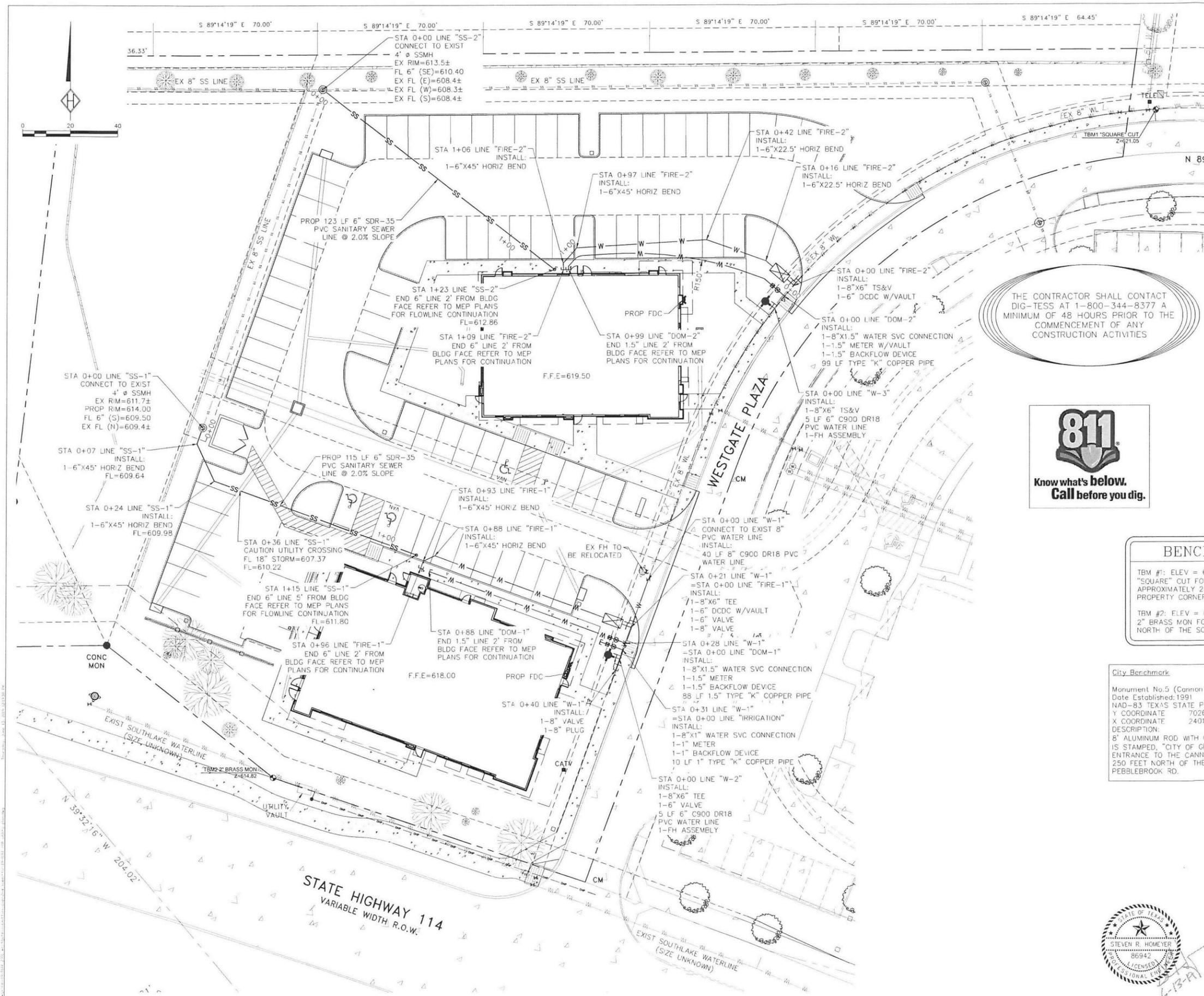


2301 WESTGATE PLAZA  
BLOCK 3, LOT 1  
WESTGATE PLAZA  
2.31 ACRES  
CITY OF GRAPEVINE  
TARRANT COUNTY, TEXAS

UTILITY PLAN

DRAWN: JAA  
DATE: 04/16/2019  
HEI #: 19-0104

SHEET NO:  
C6



### GRADING LEGEND

IR.F.	IRON ROD FOUND
S.I.R.	SET IRON ROD
X	CUT X IN CONCRETE
F.C.P.	FENCE CORNER POST
ASPH	ASPHALT
⊙	TELEPHONE MANHOLE
⊙	POWER POLE
⊙	LIGHT POLE
⊙	WATER VALVE
⊙ SSMH	SANITARY SEWER MANHOLE
⊙	FIRE HYDRANT
⊙ WM	WATER METER
TC	TOP OF CURB
G	GUTTER
TP	TOP OF PAVEMENT
FG	FINISHED GRADE
TW	TOP OF WALL
BW	BOTTOM OF WALL
TR	TOP OF RAMP
BR	BOTTOM OF RAMP
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
---	HIGH POINT

THE CONTRACTOR SHALL CONTACT DIG-TESS AT 1-800-344-8377 A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES



### BENCHMARK INFORMATION

TBM #1: ELEV = 621.05
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CASE NAME: 2301 WESTGATE  
CASE NUMBER: CU19-15  
LOCATION: 2301 WESTGATE PLAZA

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_  
SHEET: 15 OF 16

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DEPARTMENT OF DEVELOPMENT SERVICES

**HOMEYER**  
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TBE FIRM REGISTRATION NO. TEXAS 75029  
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2301 WESTGATE PLAZA  
BLOCK 3, LOT 1  
WESTGATE PLAZA  
2.31 ACRES  
CITY OF GRAPEVINE  
TARRANT COUNTY, TEXAS

STORM DRAIN  
PLAN

**GRADING LEGEND**

I.R.F.	IRON ROD FOUND
S.I.R.	SET IRON ROD
"X"	CUT X IN CONCRETE
F.C.P.	FENCE CORNER POST
///	ASPHALT
⊙	TELEPHONE MANHOLE
⊙	POWER POLE
⊙	LIGHT POLE
⊙	WATER VALVE
⊙ SSMH	SANITARY SEWER MANHOLE
⊙	FIRE HYDRANT
⊙ WM	WATER METER
TC	TOP OF CURB
G	GUTTER
TP	TOP OF PAVEMENT
FG	FINISHED GRADE
TW	TOP OF WALL
BW	BOTTOM OF WALL
TR	TOP OF RAMP
BR	BOTTOM OF RAMP
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
---	HIGH POINT

**BENCHMARK INFORMATION**

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**City Benchmark**

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ENTRANCE TO THE CANNON ELEMENTARY SCHOOL PARKING LOT APPROXIMATELY  
250 FEET NORTH OF THE INTERSECTION OF WEST COLLEGE ST. AND  
PEBBLEBROOK RD.



THE CONTRACTOR SHALL CONTACT  
DIG-TESS AT 1-800-344-8377 A  
MINIMUM OF 48 HOURS PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION ACTIVITIES

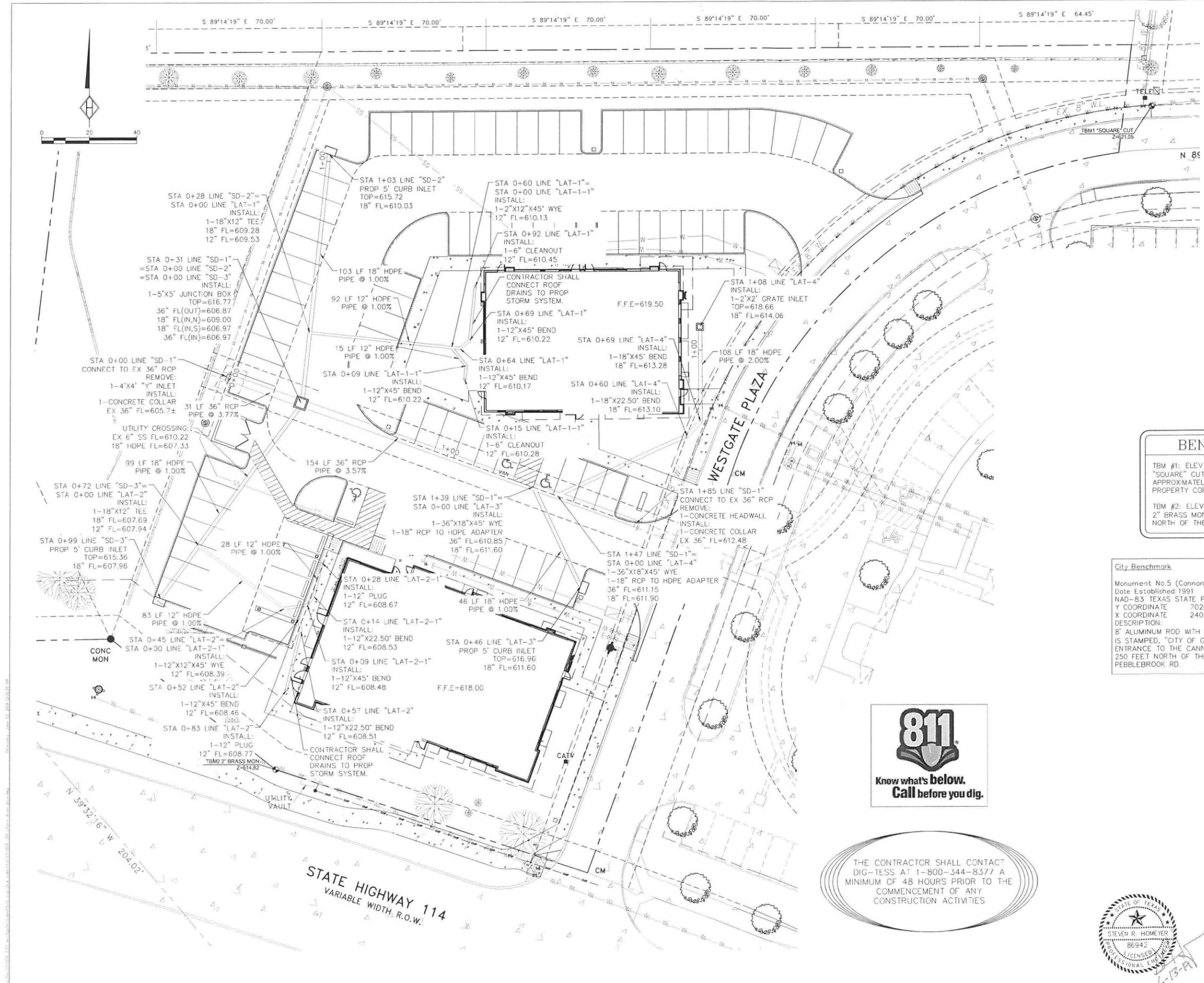


CASE NAME: 2301 WESTGATE  
CASE NUMBER: CU19-15  
LOCATION: 2301 WESTGATE PLAZA

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 16 OF 16

APPROVAL DOES NOT AUTHORIZE ANY WORK  
IN CONFLICT WITH ANY CODES OR ORDINANCES.  
DEPARTMENT OF DEVELOPMENT SERVICES

DRAWN: JAA  
DATE: 04/16/2019  
HEI #: 19-0104  
SHEET NO:  
C7

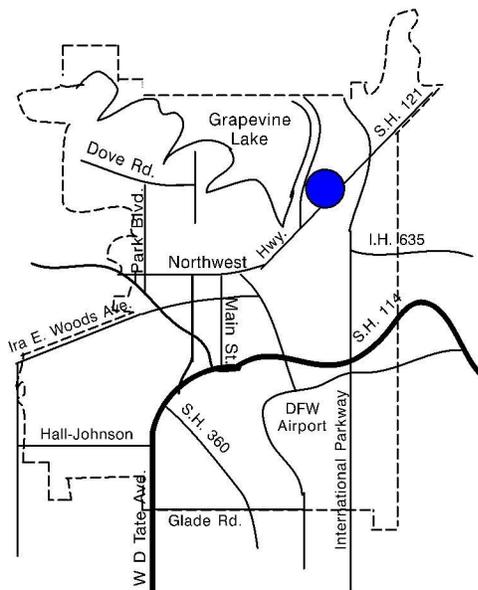


TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE  
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: JUNE 18, 2019

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT  
CONDITIONAL USE APPLICATION CU19-16 SILVERLAKE  
CROSSINGS



APPLICANT: Mike Patel

PROPERTY LOCATION AND SIZE:

The subject property is located at 2200, 2225, 2250 Bass Pro Court and 1701, 1775, 1785 State Highway 26 and is proposed to be platted as Lots 1, and 2, Block 1, Silver Lake Crossings and Lots 1A1, 1A2, 1A3, and 2A, Block 1, The Bluffs at Grapevine. The property contains approximately 51.74 acres and has 523 feet of frontage along Bass Pro Court and 1,263 feet of frontage along State Highway 26.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to amend the previously approved site plan of CU17-05 (Ord. 17-23) for a master site development plan specifically to allow for a multi-brand hotel complex (Renaissance, Element, and A.C. Hotel) with on-premise alcohol beverage sales (beer, wine, and mixed beverages), outdoor dining, and outdoor speakers, minor site plan and elevation changes to the previously approved Hilton Garden Inn, and minor site plan and elevation changes to the previously approved office building.

The subject 52-acre site referred to as Silver Lake Crossings received a conditional use permit from the City Council at an April 18, 2017 meeting which approved a master site development plan to allow for the development of a 371-unit multi-family complex and a

three-story, 55,500 s.f. multi-tenant office building along with the inclusion of the previously approved 300-room Marriott Renaissance and the existing co-branded hotel (Marriott Courtyard and TownePlace Suites) and the 150 room Hilton Garden Inn expansion. At an October 3, 2018 meeting the Site Plan Review Committee approved a conditional use request (CU18-23) on the subject site, adding a fourth floor to the previously approved office structure, increasing the height from 54 feet to 62.5 feet and increasing the size of the structure from approximately 55,500 square feet to 82,787 square feet.

With this request, the applicant intends to revise the previously approved master site development plan relative to three specific areas of the site referred to as the Multi-Brand Hotel, Hotel Expansion, and the Office Building.

### **Multi-Brand Hotel:**

This area, previously the site of the Marriott Renaissance and parking garage, will now contain three hotels (Marriott Renaissance, Element, and A.C. Hotel) and a parking garage increased in size to accommodate the additional rooms which is relocated at the western edge of the lot. These three hotels, totaling 556 guest rooms (Renaissance-300 rooms and six, separate “Villa” spaces, Element-120 rooms, A.C. Hotel-130 rooms) along with 20,425 s.f. of conference center space will be contained within one structure with a maximum height of 112 feet (nine stories). The meeting and conference center space will be below grade; no guest rooms will be on this level. Parking will be provided primarily by a parking structure that is 60 feet in height—six levels above grade and two below grade for a total of 727 spaces along with an additional 41 surface spaces (total-468 spaces).

The lake is intended to be platted and separated from the hotel property and will be given to the City. The lake will be improved to include various amenities, camp sites, trails etc. with access to the lake from various points throughout the site and from the hike/bike trail along State Highway 26.

### **Hotel Expansion:**

The applicant intends to make minor elevation and building footprint changes to the previously approved 150-room Hilton Garden Inn expansion that was initially approved as part of the master site development plan approved in April, 2017. With this revision the Hilton Garden Inn will have an increase of two rooms for a total of 152 rooms and a reduction of 4,105 s.f. in meeting space. When completed, a total of 452 rooms will be available along with 14,105 s.f. of meeting space. A total of 344 surface parking spaces will be provided on-site and 150 will be provided in the parking garage located on the Multi-Brand site. Due to the delay in the construction process between the Multi-Brand concepts and the parking garage, the applicant intends to construct 135 temporary parking spaces on the lot immediately adjacent to the east (Lot 2R, Block 1, The Bluffs at Grapevine) of the Hilton Garden Inn to provide parking for the hotel that will be displaced during the construction process and while awaiting the completion of the parking garage. It is

anticipated that this temporary parking will be needed for no longer than two years post completion of the Hilton Garden Inn.

**Office Building:**

Initially approved as a three story, 55,500 s.f. multi-tenant office building, the Site Plan Review Committee approved a revision to the structure in October, 2018 which added a fourth floor to the building and increasing the size of the structure to 82,787 s.f. With this request the applicant has updated the exterior design and façade material locations and reallocated window coverage. The building length was slightly shortened resulting in a reduced total building size to 82,450 s.f. Parking for the revised structure is 239 spaces; the applicant intends to provide 181 surface spaces on site with the stipulation that 17,439 s.f. of the structure will remain unoccupied until such time that the adjacent lot to the west (Lot 1A2, Block 1, The Bluffs at Grapevine) is developed. Based on the parking study that was submitted as part of the previous approved site plan for the office building, 58 parking spaces on this adjacent lot will be shared with the office structure, given the different peak period parking needs of the office structure relative to the retail orientation of the adjacent lot.

**PRESENT ZONING AND USE:**

The property is currently zoned “CC” Community Commercial District with a master site development plan designation and is partially developed with one existing co-branded hotel (Marriott Courtyard and TownePlace Suites) and a 371-unit multifamily complex nearing completion.

**HISTORY OF TRACT AND SURROUNDING AREA:**

The subject and surrounding property was zoned “SP” Specific Use Permit Zoning and “I-1” Light Industrial District prior to the 1984 City Rezoning. Portions of the subject property were once part of the Austin Ranch which received approval from Council (Z77-18 and Z81-44) for on-premise consumption of alcoholic beverages. At Council’s September 21, 1999 meeting the subject and surrounding property (52.8 acres) was rezoned from “PID” Planned Industrial Development District to “CC” Community Commercial District (Z99-13) for a mixture of uses to include retail, hotel, and restaurant development. At the May 15, 2001 meeting Council approved a conditional use permit (CU01-22) for a restaurant with on-premise alcohol beverages sales and consumption and outside dining however the restaurant was never developed. At Council’s August 1, 2009 meeting, a zone change (Z09-04) rezoning 21.2 acres of the subject and surrounding properties from “CC” Community Commercial District to “MXU” Mixed Use District along with three conditional use requests (CU09-21, CU09-22, and CU09-23) to allow for three hotels, a multifamily complex and a stand-alone parking garage was considered and later withdrawn by the applicant. The following month at the September 15, 2009 meeting, Council approved a conditional use request (CU09-32) to allow for a 300 room hotel with increased height and on-premise alcohol beverage sales in conjunction with a restaurant and a pole sign; the

hotel was never developed. At the January 17, 2012 meeting, a conditional use request was approved (CU11-34) for a six story, 300 room hotel (Marriott Courtyard and TownePlace Suites) on the subject site. At a December 17, 2013 meeting the Council approved a conditional use permit on the subject property to establish a planned commercial center on the subject site and allow for a 20-foot pylon sign for the TownePlace Suites/Marriott Courtyard hotel complex at the southeast corner of Bass Pro Court and State Highway 26. At the September 17, 2016 meeting, two conditional use permits (CU16-22, CU16-23) and two planned development overlays (PD16-07, PD16-08) were approved on the subject property expanding the size of the planned commercial center and allowing for a new nine story, 300 room Renaissance Hotel with reduced parking and a 150 room expansion (Hilton Garden Inn) to the existing 300 room co-branded hotel (Marriott Courtyard, TownePlace Suites) also with reduced parking along with a shared parking garage on the Renaissance property. Also on the subject property a zone change request (Z16-07), conditional use permit (CU16-24), and planned development overlay (PD16-09) tabled from the September 17, 2016 meeting were all reconsidered at the October 18, 2016 meeting for a 13.58-acre tract to be rezoned from “CC” Community Commercial District to “R-MF” Multi-Family District for a 359 unit multi-family project which was subsequently denied by the Council.

At an April 18, 2017 meeting, the Council considered an approved a conditional use permit (CU17-05) on the subject property which allowed for the creation of a master site development plan to include but not be limited to a multi-story, 371 unit multi-family complex, a three story, 55,500 square foot multi-tenant office building, and the inclusion of two previously approved hotel projects i.e. the 300 room Marriott Renaissance and the addition of the 150 room Hilton Garden Inn to the existing dual branded hotel. The Site Plan Review Committee at their October 3, 2018 meeting approved a conditional use request (CU18-23) on the subject site adding a fourth floor to the previously approved office structure increasing the height from 54 feet to 62.5 feet and increasing the size of the structure from approximately 55,500 s.f. to 82,787 s.f. Along with this request the applicant agreed to not occupy 23,430 s.f. of the building until such time that the adjacent lot to the west is developed in which 79 parking spaces on this adjacent lot will be shared with the office structure given the different peak period parking needs of the office structure relative to the retail orientation of the adjacent lot based on a parking demand study. At a November 7, 2018 meeting the Site Plan Review Committee approved a conditional use permit (CU18-26) that allowed for minor elevation and footprint changes to the previously approved Hilton Garden Inn and allowed for temporary off-site parking to the north during the construction process.

#### SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH: “CC” Community Commercial District, “HCO” Hotel and Corporate Office District—undeveloped vacant property, D/FW Hilton Hotel
- SOUTH: “GU” Governmental Use District—D/FW International Airport

EAST: "CC" Community Commercial District—undeveloped vacant property

WEST: "GU" Governmental Use District—Corps of Engineers/Grapevine Lake, Cowboy's golf course

AIRPORT IMPACT:

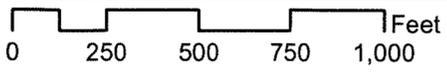
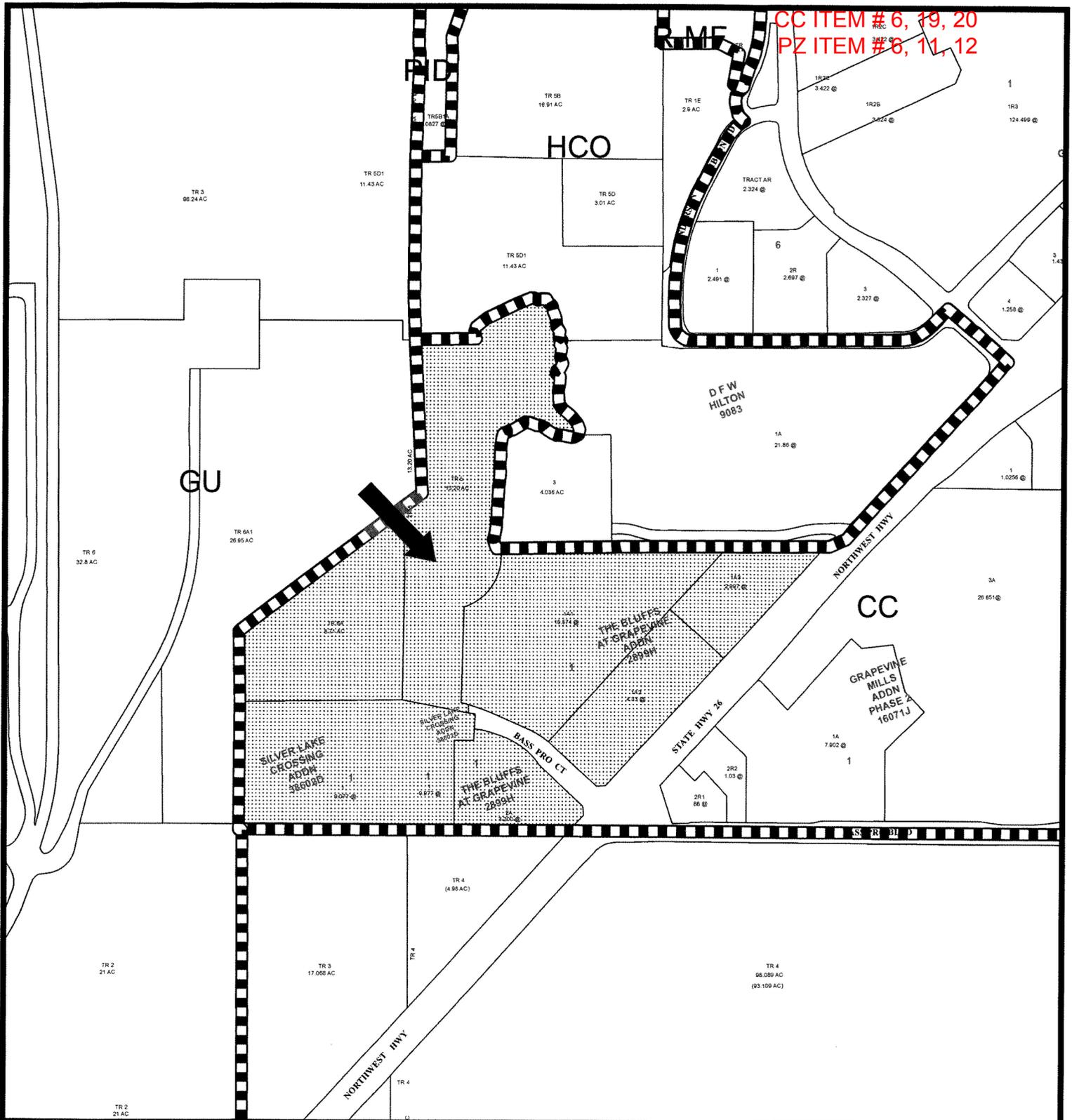
The subject tract is located within "Zone C" Zone of Greatest Effect, as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map. In "Zone C," industrial and commercial uses that can tolerate a high level of sound exposure are acceptable. With appropriate sound attenuation for the project, the applicant's proposal is an appropriate use in these noise zones.

MASTER PLAN APPLICATION:

The Master Plan designates the subject property as a Commercial/Mixed Use Land Use. The applicant's proposal is in compliance with the Master Plan.

/rs

CC ITEM # 6, 19, 20  
PZ ITEM # 8, 11, 12



# CU19-16 Silver Lake Crossings

Date Prepared: 6/4/2019

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

CU19-16



# CITY OF GRAPEVINE

## CONDITIONAL USE APPLICATION

Form "A"

### PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact

Grapevine Equity Partners, LLC

Street address of applicant / agent:

700 State Hwy 121, Suite 175

City / State / Zip Code of applicant / agent:

Lewisville, Tx 75067

Telephone number of applicant / agent:

214-744-4650

Fax number of applicant/agent

214-988-9006

Email address of applicant/agent

Mobile phone number of applicant/agent

N/A

### PART 2. PROPERTY INFORMATION

Street address of subject property

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot 1 Block 1 Addition Silver Lake Crossings Addition

Size of subject property

52.99 Acres 2,308,244.4 Square footage

Present zoning classification:

CC

Proposed use of the property:

Hotel, Convention Center, office

Circle yes or no, if applies to this application

Outdoor speakers Yes  No

Minimum / maximum district size for conditional use request:

N/A

Zoning ordinance provision requiring a conditional use:

Section 29: Conditional Uses

### PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:

Grapevine Equity Partners, LLC

Street address of property owner:

700 State Hwy 121, Suite 175

City / State / Zip Code of property owner:

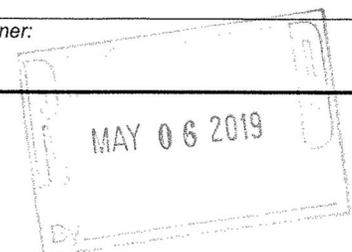
Lewisville, Tx 75067

Telephone number of property owner:

214-744-4650

Fax number of property owner:

214-988-9006



CU19-16

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

**PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY**

MITAL PATEL  
Print Applicant's Name:

[Signature]  
Applicant's Signature:

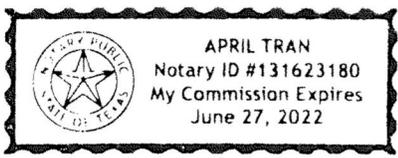
The State of TEXAS

County Of DALLAS

Before Me APRIL TRAN on this day personally appeared MITAL PATEL  
(notary) (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 26<sup>th</sup> day of MARCH, A.D. 2019.



[Signature]  
Notary In And For State Of Texas

MITAL PATEL  
Print Property Owners Name:

[Signature]  
Property Owner's Signature:

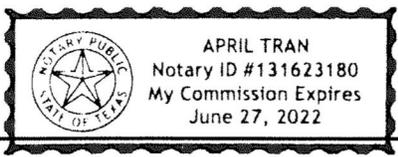
The State Of TEXAS

County Of DALLAS

Before Me APRIL TRAN on this day personally appeared MITAL PATEL  
(notary) (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 26<sup>th</sup> day of MARCH, A.D. 2019.



[Signature]  
Notary In And For State Of Texas

MAY 06 2019

**ACKNOWLEDGEMENT**

**All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.**

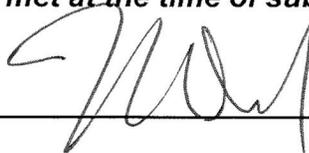
**All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.**

**Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.**

**Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.**

**I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.**

Signature of Applicant \_\_\_\_\_

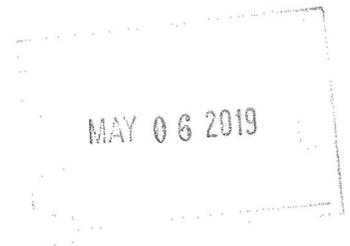


Date: 03/26/2019

Signature of Owner \_\_\_\_\_

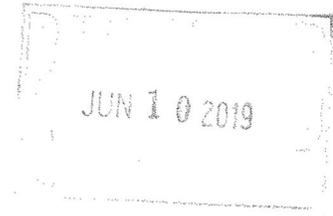


Date: 03/26/2019



June 10, 2019

City of Grapevine  
Development Services  
Planning Division  
P.O. Box 95104  
Grapevine, TX 76099



**Reference: Silver Lake Crossings –Multi-brand hotel, Hotel Expansion & Office Building  
Grapevine, TX**

Mr. Stombaugh,

This letter documents the changes to previously approved site plans for Silver Lake Crossings. The changes are as follows:

### **Multi-brand hotel**

Changes to the building and site plan have occurred since Conditional Use Permit CU16-22.

This project was previously approved in 10/2016 as a Renaissance hotel. It comprised of a 300-room hotel and conference center with detached garage. Since then, we have added another tower with a 250-room dual brand hotel. We have also updated the footprint so that the towers join to the shared conference facility that overlooks the lake. We have moved the location of the garage to the west end so that it's at the back of the site. We have also increased the hotel tower heights to 9 stories and the garage to 6 stories (above grade). We have created a more dense footprint, so that we can donate more of our site to Parks & Recreation. The exterior design elements are still sleek and modern but in different proportions due to the density changes. In addition, three 6,000 SF Villa structures have been added north of the hotel. Each of these villas will be 2-stories in height and have two bedrooms each. Parking previously approved at a 1:1 parking ratio per previously approved CU16-22.

Design process will approximately take 6 months, and we plan to submit for building permit in November 2019. We plan to start construction by January 2020 with construction of the parking garage following right after. We anticipate construction to be complete by September 2021

### **HGI Expansion**

Changes to both the building and site plan have occurred since Conditional Use Permit CU18-26 approved late 2018 and PD16-08 approved in late 2016. A summary of changes are as follows:

1. Ground floor: We are maintaining the existing porte cochere at the conference center in lieu of a new porte cochere and expanded breakout room per the previous submittal. The meeting room square footage has been reduced to 4,105. There have been minor changes to the building footprint.
2. Floors 2-6: There have been minor changes to the building footprint. We have increased the number of guestrooms to 152.
3. Exterior elevations: The elevations were updated to coordinate with the minor changes to the building footprint. EIFS is indicated in lieu of stucco. A percentage of stone has been added. The profile for the highest parapet, Parapet C, was modified per the current Hilton prototype. The hotel porte cochere shifted to the west.

4. Site Plan adjustments:

- a. Addition of off-site temporary asphalt parking for 135 spaces has moved from Lot 2, Block 1 to Lot 2-R, Block 1. This is a reduction from the previously approved 158 parking spots as part of CU18-26. These spots were added to due to the adjustment of the building footprint and site plan adjustments to meet code. The original request contemplated the renaissance project and associated garage occurring at the same time, due to additional approvals of the brand the Renaissance Hotel will lag slightly behind the Hilton Garden Inn Project. City Council previously approved the temporary parking to be valid only 1 year post completion of construction of the Hilton Garden Inn.
- b. Building length adjusted, which required property line adjustments to meet open space.
- c. Parking Layout adjustments to accommodate new building.
- d. Adjustment of main eastern driveway into hotel parking lot. Driveway located to the west to improve traffic circulation
- e. Modify parking/drive due to hotel porte cochere adjustment

With the design process near completion, we plan to start construction by July 2019 and anticipate construction to be complete by December 2020.

**Office**

Changes to the building elevations have occurred since Conditional Use Permit CU18-26 approved late 2018.

This project was previously submitted in September 2018 and approved as 82,787 SF office building. Since then, we have updated the exterior design, reallocating window area and revising some exterior material locations. The basic footprint is nearly unchanged, but the building length was shortened slightly and some exterior terrace on Level 3 was changed back to interior leasable space, resulting in the revised building gross area of 82,450 SF and a reduction of the building net area to 70,239 SF. The large shading structure over the previous design entry court has been eliminated and the design incorporates horizontal sunshades on the ends of the building. Outdoor seating areas with planters have been added to enhance the pedestrian experience at the entry façade. With the reduction in building net area, the onsite parking spots remain unchanged at 181 spaces but reduces the off-site shared parking on the adjacent lot west (Lot 1A2, Block 1) that will be shared with the office structure to 58 spaces. The building plans have been approved by the city, and the building permit is ready. We anticipate starting construction by end of June.

With the design process near completion, we plan to start construction by July 2019 and anticipate construction to be complete by August 2020.

Please let us know if you need any additional information or have any further questions regarding the adjustments to the site plan.

Sincerely,  
Huitt-Zollars



Kimberly R. Cole, P.E.

HUITT ZOLLARS

HUITT-ZOLLARS, INC. | 500 West 7th St. | Suite 300 | Mail Unit 23 | Fort Worth, TX 76102-4773 | 817.335.3000 phone | 817.335.1025 fax | huilt-zollars.com

September 25, 2018

Ron Stombaugh  
City of Grapevine  
Development Services  
200 S. Main Street  
Grapevine, TX 76051

Reference: **Silverlake Crossings Office Building CUP Application**

Dear Ron:

Please find this letter as a clarification to the CUP Application recently submitted to the City of Grapevine for the Silverlake Crossing Office Building on September 4<sup>th</sup>, 2018.

The CUP application was made given minor adjustments to the proposed office building, which added a floor level going from three to four stories. This adjustment to the building adjusted the original site plan and landscape plan.

With the increase office square footage, the parking requirement within the site is not in compliance with Grapevine parking requirements. Shared parking from adjacent future retail lot will be provided. Currently the retail project is not being permitted or constructed. The office developer has agreed to not occupy 23,430 square feet of the office building, until such time the retail project is completed, or a sufficient parking is provided within the Lot 1A2 Block 1 tract.

Included with this letter you will find the parking study analysis preformed for the development. To meet the required parking, off-site shared parking is being proposed at Lot 1A2, Block 1 (the future retail site). In Table 3 of the report, the peak parking occupancy rate of the office building will be 100% between 8am – 5pm Monday through Friday. With Lot 1A2, Block 1 intending to be a retail space moving forward in the master site plan development, the additional uses shown on Table 3 do not peak during the standard work week hours (8am – 5pm), making shared parking feasible on this adjacent property. Given the results of the parking study, we request the City approve the parking variance within the office site and allow an off-site parking agreement between the properties for the office project.

Please feel free to contact me with any questions at [REDACTED]

Sincerely,

HUITT-ZOLLARS



Jordan V. Marlia, E.I.T.

**Table 3 Parking Occupancy Rates**

Uses	M-F	M-F	M-F	Sat. & Sun.	Sat. & Sun.	Sat. & Sun.
	6am-5pm	6pm-12am	12am-6am	8am-5pm	6pm-12am	12am-6am
Residential	60%	100%	100%	80%	100%	100%
Office/ Warehouse /Industrial	100%	20%	5%	5%	5%	5%
Commercial	90%	80%	5%	100%	70%	5%
Hotel	70%	100%	100%	70%	100%	100%
Restaurant	70%	100%	10%	70%	100%	20%
Movie Theater	40%	80%	10%	80%	100%	10%
Entertainment	40%	100%	10%	80%	100%	50%
Conference/Convention	100%	100%	5%	100%	100%	5%
Institutional (non-church)	100%	20%	5%	10%	10%	5%
Institutional (church)	10%	5%	5%	100%	50%	5%

This table defines the percent of the basic minimum needed during each time period for shared parking. (M-F = Monday to Friday)

Project Data	
<b>SECTION 1</b>	
4 LVL Office	74,100 Net s.f. <small>(Req. 1 sp/300 s.f.)</small>
Total Required Parking:	247 sps
Provided Parking:	
Surface Parking:	148 sps
On-Street Parking:	24 sps
Total Provided Parking:	172 sps
<b>Increased Office Area Required Shared Parking Approved by City</b>	
<b>SECTION 2</b>	
1 LVL Restaurant A	11,900s.f. <small>(Req. 1 sp/100 s.f.)</small>
Required Parking:	119 sps
1 LVL Restaurant B	11,500s.f. <small>(Req. 1 sp/100s.f.)</small>
Required Parking:	115 sps
Total Required Parking:	234 sps
Provided Parking:	
Surface Parking:	181 sps
On-Street Parking:	53 sps
Total Provided Parking:	234 sps
<b>SECTION 3</b>	
1 LVL Restaurant	6,200 s.f. <small>(Req. 1 sp/100 s.f.)</small>
Total Required Parking:	62 sps
Provided Parking:	
Surface Parking:	62 sps
Total Provided Parking:	62 sps

Mon-Fri 8am-5pm	
Office	100%
Required Parking:	247 sps
Resturant	70%
Required Parking:	164 sps
Total Required Parking:	411 sps
Total Provided Parking:	406 sps

Mon-Fri 6pm-12am	
Office	20%
Required Parking:	50 sps
Resturant	100%
Required Parking:	234 sps
Total Required Parking:	284 sps
Total Provided Parking:	406 sps

**Table 2 Acceptable Walking Distances (Parking Evaluation)**

Adjacent (Less than 100 ft)	Short (less than 800 ft)	Medium (less than 1,200 ft)	Long (less than 1,600 ft)
People with disabilities Deliveries and loading Emergency services Convenience store	Grocery stores Professional services Medical clinics Residents	General retail Restaurant Employees Entertainment center Religious institution	Airport parking Major sport or cultural event Overflow parking

This table indicates maximum acceptable walking distance from parking to destinations for various activities and users. It assumes good pedestrian conditions (sidewalks, crosswalks, level terrain) that are outdoors and uncovered, with a mild climate.

**Table 3 Parking Occupancy Rates**

Uses	M-F	M-F	M-F	Sat. & Sun.	Sat. & Sun.	Sat. & Sun.
	8am-5pm	6pm-12am	12am-6am	8am-5pm	6pm-12am	12am-6am
Residential	60%	100%	100%	80%	100%	100%
Office/ Warehouse /Industrial	100%	20%	5%	5%	5%	5%
Commercial	90%	80%	5%	100%	70%	5%
Hotel	70%	100%	100%	70%	100%	100%
Restaurant	70%	100%	10%	70%	100%	20%
Movie Theater	40%	80%	10%	80%	100%	10%
Entertainment	40%	100%	10%	80%	100%	50%
Conference/Convention	100%	100%	5%	100%	100%	5%
Institutional (non-church)	100%	20%	5%	10%	10%	5%
Institutional (church)	10%	5%	5%	100%	50%	5%

*This table defines the percent of the basic minimum needed during each time period for shared parking. (M-F = Monday to Friday)*

**Table 2 Acceptable Walking Distances (Parking Evaluation)**

Adjacent (Less than 100 ft)	Short (less than 800 ft)	Medium (less than 1,200 ft)	Long (less than 1,600 ft)
People with disabilities Deliveries and loading Emergency services Convenience store	Grocery stores Professional services Medical clinics Residents	General retail Restaurant Employees Entertainment center Religious institution	Airport parking Major sport or cultural event Overflow parking

*This table indicates maximum acceptable walking distance from parking to destinations for various activities and users. It assumes good pedestrian conditions (sidewalks, crosswalks, level terrain) that are outdoors and uncovered, with a mild climate.*

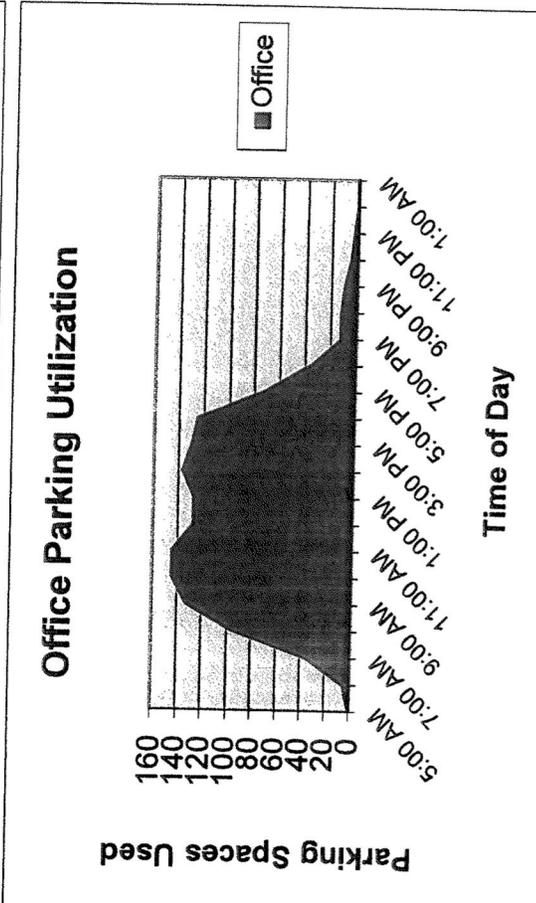
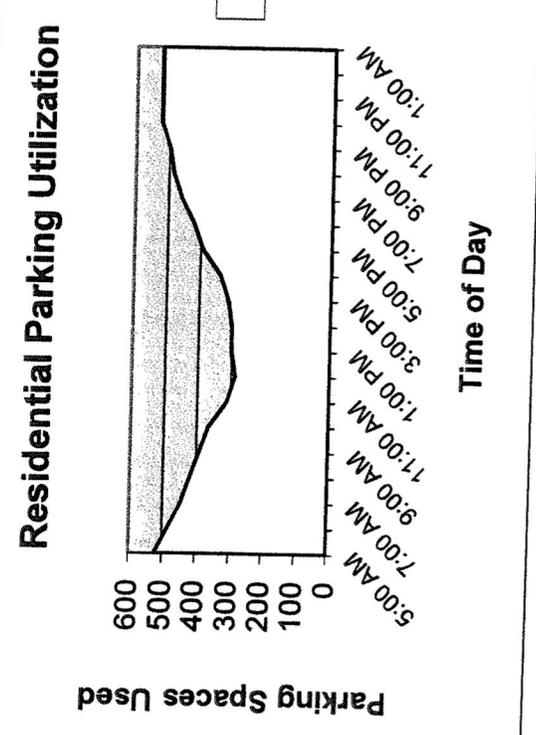
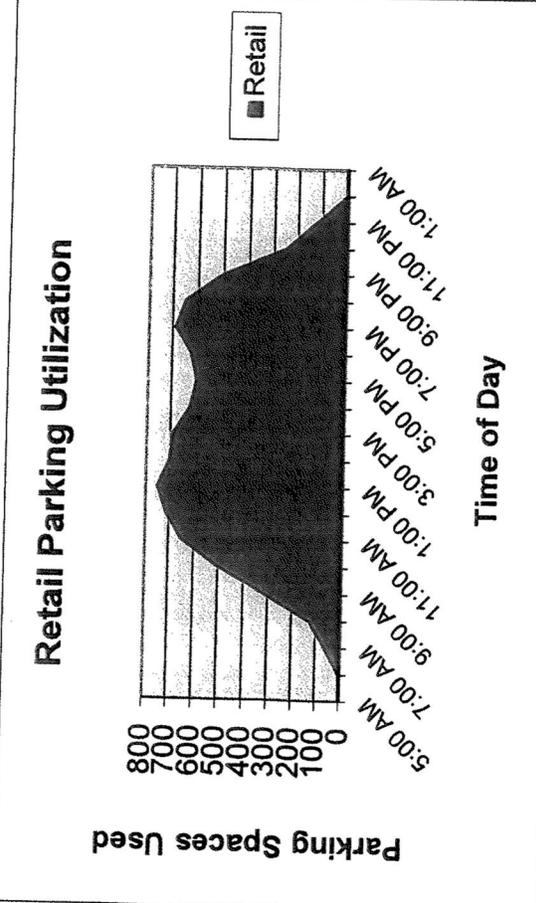
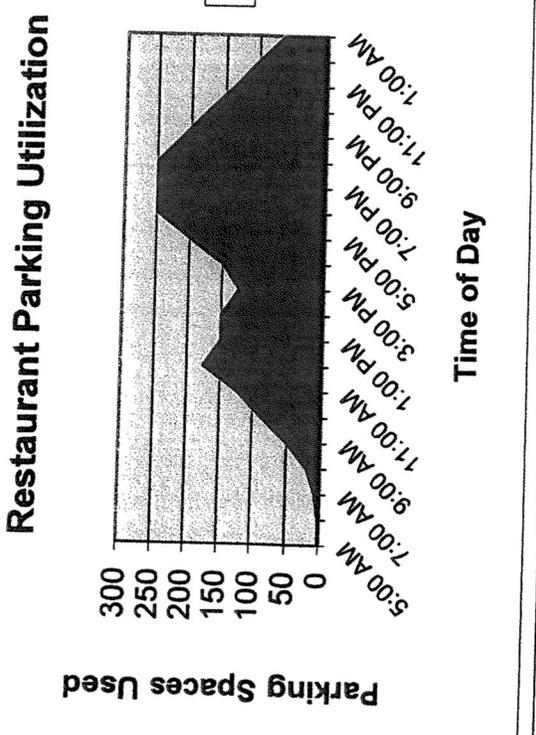
**Table 1 Peak Parking Demand**

Weekday Peaks	Evening Peaks	Weekend Peaks
Banks Schools Distribution facilities Factories Medical clinics Offices Professional services	Auditoriums Bars and dance halls Meeting halls Restaurants Theaters	Religious institutions Parks Shops and malls

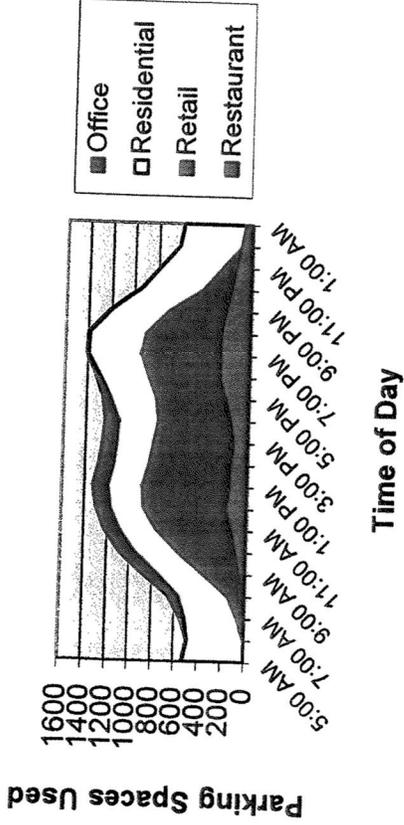
*This table indicates peak parking demand for different land use types. Parking can be shared efficiently by land uses with different peaks.*

“Sharing Parking Facilities Among Multiple Users.” Online TDM Encyclopedia - Shared Parking, Victoria Transport Policy Institute, 21 Dec. 2015, [www.vtpi.org/tm/tm89.htm](http://www.vtpi.org/tm/tm89.htm).

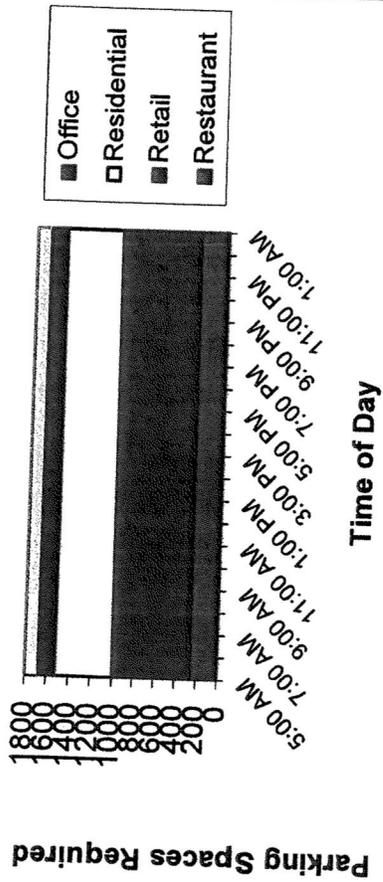
### How and When Each Use Type Utilizes Required Parking



### Shared Parking Utilization



### Required Minimum Parking



CC ITEM # 6, 19, 20

PZ ITEM # 6, 11, 12

CUI9-16

MARCH 29, 2019



# SILVERLAKE TRAFFIC IMPACT ANALYSIS

GRAPEVINE, TEXAS

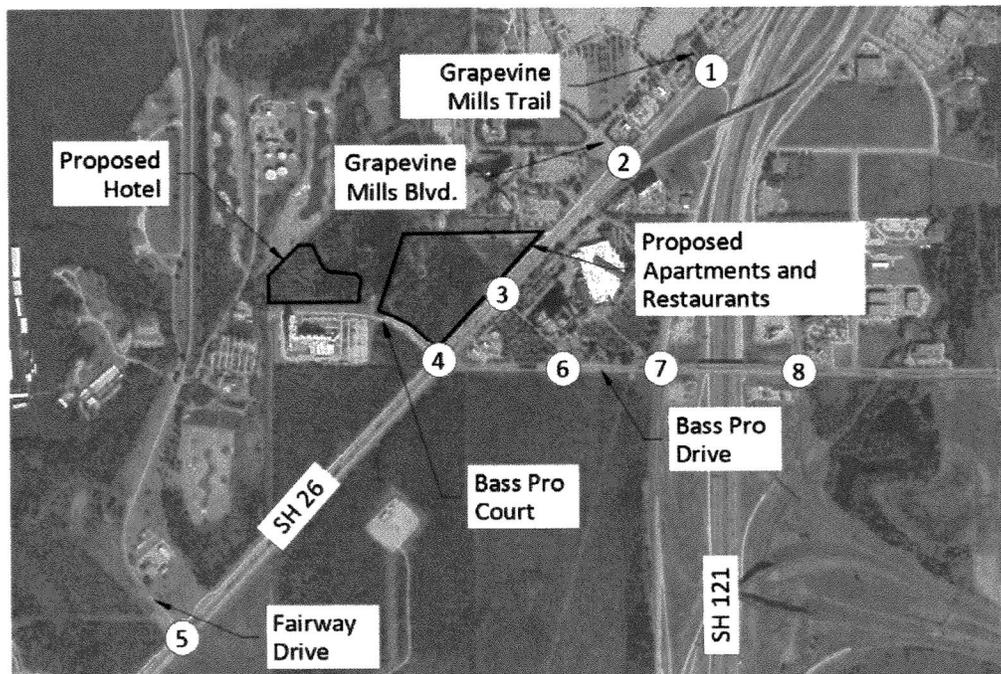
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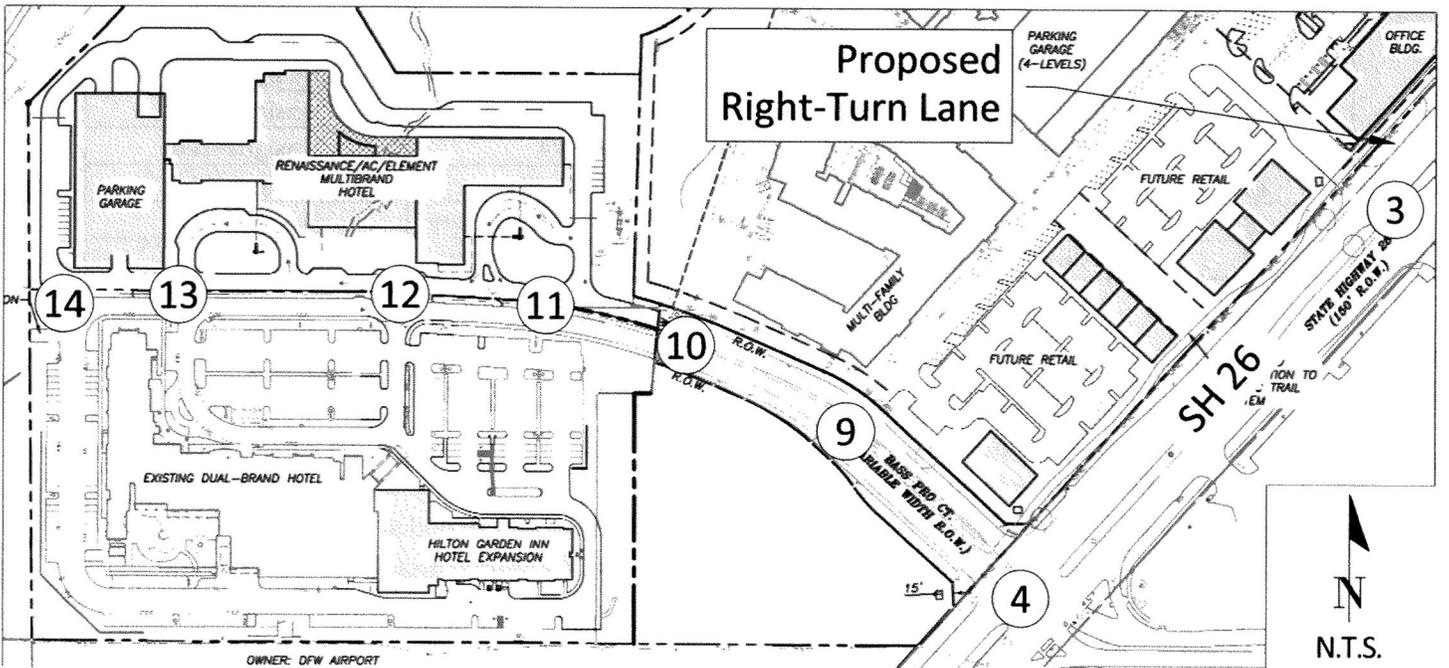
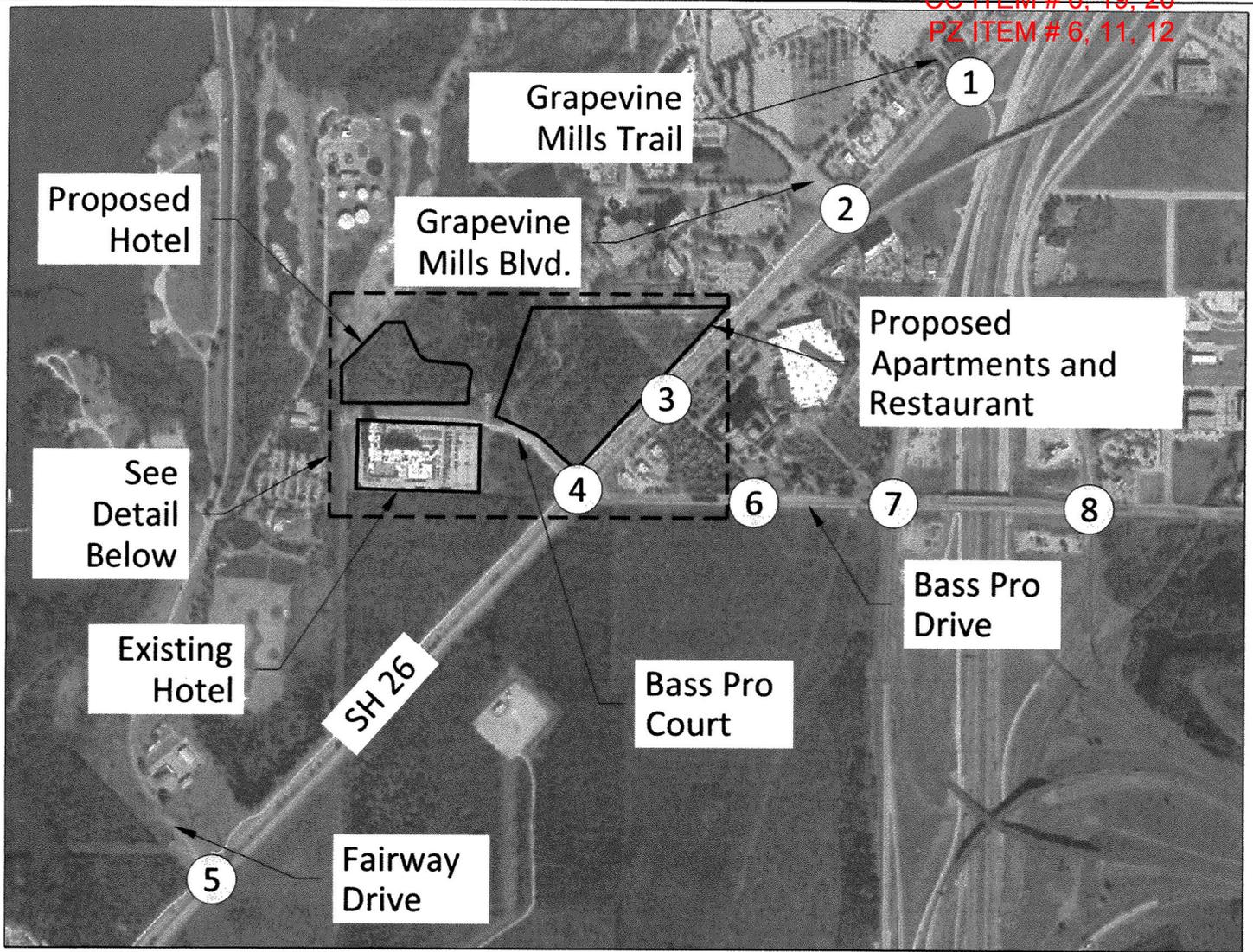
**Introduction**

This study investigates the traffic impacts for the proposed hotel, mid-rise apartments, and restaurants that are part of the Silverlake development that occupies the northern corner of SH 26 and Bass Pro Court in Grapevine, TX. The proposed hotel will be on the north side of Bass Pro Court across the street from the existing Courtyard Marriot. In addition, an expansion of the existing Courtyard Marriot will be analyzed as part of this report. The proposed apartments and restaurants will be located adjacent to Bass Pro Court and SH 26. Also part of this project, a reconstruction of Bass Pro Court and an additional right turn lane into the project site was analyzed to serve the proposed developments. Currently, the site of the proposed development is vacant. **Exhibits 1 and 2** identify the project area.

**Exhibit 1 – Project Location Map**



The proposed hotel will consist of 570 rooms, 19,687 square feet of meeting space, and a parking garage with an expected capacity of 767 spaces and minimal surface parking. The expansion of the Courtyard Marriot will include a 150 room wing built on the existing site of the hotel. Proposed apartments at the development consist of nine, two to three story buildings containing a total of 360 units. The proposed restaurants are arranged in two separate areas on the site, one 10,000 square feet and the other 12,000 square feet. Bass Pro Court is proposed to be reconstructed with a lane arrangement of four lanes (two lanes in each direction). At Intersection 3, a proposed 540 foot right turn lane will be off of southbound SH 26 into the driveway on the north side of SH 26. In addition, the northbound left turn lane at Intersection 3 is increased by approximately 50 feet. **Exhibit 2** shows the proposed site plan in addition to the access points into the proposed development. The **Driveway Concept Plan** in the **Appendix** shows the proposed geometry for the driveway and deceleration lane off of SH 26.



The proposed development is near existing hotels, restaurants, a Bass Pro Shop, approximately a mile away from Grapevine Mills Mall, and approximately five miles from Dallas/Fort Worth (DFW) International Airport. The development will be adjacent to SH 26 and about two miles away from SH 121 by way of Bass Pro Drive. SH 26 is a major arterial that provides direct access to the city of Grapevine west of the proposed development and many communities further east. SH 121 is a major state highway that leads to DFW Airport to the south and several communities to the north and east. Traffic to and from the proposed development and DFW Airport is expected to utilize Bass Pro Drive and SH 121.

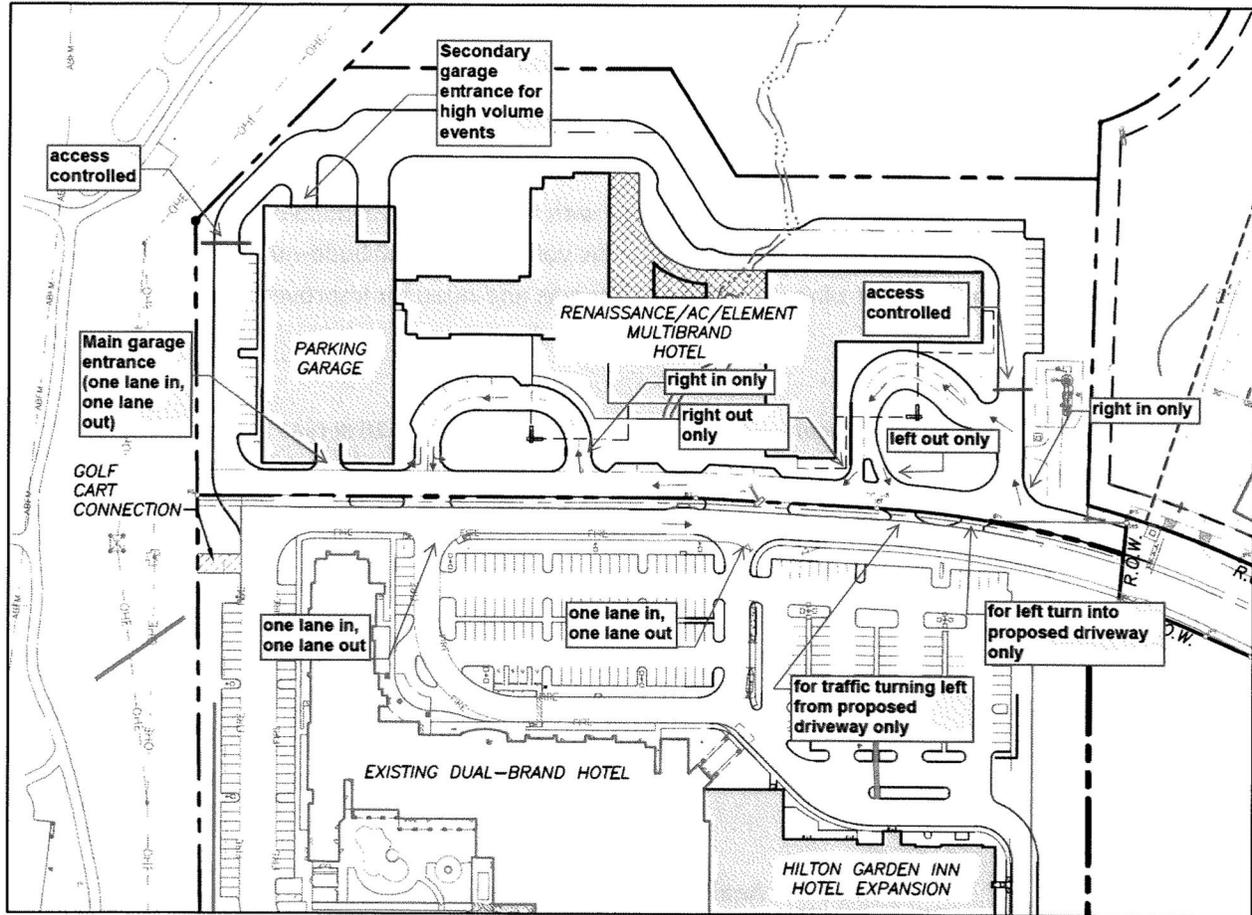
The City of Grapevine's Traffic Engineering Department was consulted regarding the study area and intersections to include in the study. From this consultation, it was determined that the study area would include the intersection shown in **Table 1**. **Table 1** also includes the intersection numbering convention used in this report as well as the intersection control type. **Exhibits 1 and 2** show the proposed development in relation to the study area intersections.

**Table 1 – Intersection Numbering and Control Type**

Intersection Numbering	Location	Control Type
1	SH 26 and Grapevine Mills Trail	Signalized
2	SH 26 and Grapevine Mills Blvd.	Signalized
3	Proposed Driveway #1	Unsignalized
4	SH 26 and Bass Pro Drive	Signalized
5	SH 26 and Fairway Drive	Signalized
6	Bass Pro Drive and Big Bucks Drive	Signalized
7	Bass Pro Drive and SH 121 SB	Signalized
8	Bass Pro Drive and SH 121 NB	Signalized
9	Bass Pro Court and Proposed Driveway #2	Unsignalized
10	Bass Pro Court and Proposed Driveway #3	Unsignalized
11	Bass Pro Court and Proposed Driveway #4	Unsignalized
12	Bass Pro Court and Existing Driveway	Unsignalized
13	Bass Pro Court and Proposed Driveway #5/Existing Driveway	Unsignalized
14	Bass Pro Court and Proposed Driveway #6/Existing Driveway	Unsignalized

Intersections 3, 9, 10, 11, and 14 are proposed intersections and currently do not exist. Intersections 3, 9, and 10 will serve the proposed restaurant and apartments. Intersections 11, 12, 13, and 14 will serve the existing and proposed hotels. The driveways at intersections 3, 9 and 10 are one lane in – one lane out. The lane configuration for the driveways of Intersections 11 through 14 is shown in Exhibit 3. The parking garage has a main entrance/exit on Bass Pro Court that will be opened at all times. It also has a secondary garage entrance/exit in the back of the parking garage. Traffic in and out of this secondary garage entrance is controlled and will only be allowed during high volume events.

Exhibit 3 – Traffic Access, Intersections 11 through 14



With City approval, the following scenarios were analyzed to fully determine the traffic impacts of the proposed development. The scenarios include:

1. Existing conditions (2016)
2. Full build-out year (2017)
3. 5 years after full build-out (2022)

It is estimated that the full build out year will be 2017 with the 5 year post-build out being 2022. The 2022 scenario represents the highest background traffic volumes and full build-out traffic from the project and will be used to determine the extent of impacts and need for improvements.

### Traffic Circulation

The proposed development is adjacent to SH 26 and Bass Pro Court. SH 26 serves as a main route to and from the City of Grapevine as well as the nearby Grapevine Mills Mall, restaurants, and other large retail areas. Bass Pro Court transitions to Bass Pro Drive east of SH 26, which in turn provides access to SH 121 and DFW Airport.

Access to the proposed hotel will be off of Bass Pro Court only while the proposed apartments and restaurants will be able to be accessed from either Bass Pro Court or SH 26. An existing median cut at the driveway off of SH 26 (Intersection 3) will allow traffic to directly access the proposed apartments and restaurants directly from both north and southbound SH 26. The exact locations of these access points are shown in **Exhibit 2**. The characteristics of the roadways analyzed in this study are shown in **Table 2**.

**Table 2 – Analyzed Roadway Characteristics**

Roadway	Number of Lanes	Classification	Speed Limit
SH 26	6	Principal Arterial	55
Bass Pro Drive	4	Minor Collector	40
Fairway Drive	2	Minor Collector	30
Bass Pro Court	4-2	Minor Collector	30
Big Bucks Drive	2	Private Road	15
Grapevine Mills Blvd.	4	Minor Collector	30
Grapevine Mills Blvd.	4	Minor Collector	30
SH 121 SB	2	Frontage Road	40
SH 121 NB	2	Frontage Road	40

### Existing Conditions and Volumes

Intersection 1 is a signalized four-leg intersection at SH 26 and Grapevine Mills Trail. Southbound SH 26 is a four lane approach with a dedicated left turn lane, two through lanes, and a shared through-right turn lane. The left turns at this approach are treated as leading protected. Northbound SH 26 is a four lane approach with a dedicated left turn lane, two through lanes, and a dedicated right turn lane. Left turns at this approach are lagging protected movement. The eastbound approach to Grapevine Mills Trail has a dedicated left, through, and right turn lane. Left turns at this approach are treated as permitted. Westbound Grapevine Mills Trails consists of a dedicated left turn lane and a shared through-right turn lane. Protected-permitted left turns are allowed at this approach.

Intersection 2 is a signalized four-leg intersection at SH 26 and Grapevine Mills Boulevard. Southbound SH 26 consists of a dedicated left turn lane, two trough lanes, and a shared through-right lane. The left turns at this approach are lagging protected. Northbound SH 26 consists of two dedicated left turn lanes, three through lanes, and a dedicated right turn lane. Northbound left turns are leading protected. The eastbound approach of Grapevine Mills Boulevard consists of a dedicated left, through, and right turn lanes. This approach is treated as a split phase due to the east leg of the intersection being an on-ramp for SH 121 and does not have any westbound traffic.

Intersection 3 is a proposed un-signalized intersection that will serve the proposed apartments and restaurants. The approaches from the proposed development and Bass Pro Shop are stop controlled. The north and southbound approaches of SH 26 both have three through lanes and a dedicated left turn lane, but the northbound approach also has a right turn lane that serves the Bass Pro Shop. Through coordination with Texas Department of Transportation (TxDOT) traffic engineers, an increase of 50 feet to the northbound left turn lane is proposed. Under input from TxDOT, it was determined that the additional length will aid in serving turning vehicles into the development. A 540 foot right turn lane is proposed for the southbound approach of SH 26. The right turn lane will aid traffic turning into the proposed development by safely separating turning traffic from through traffic. The 540 foot distance was determined based off of estimated right turn volumes, design guidelines from the TxDOT Roadway Design Manual, and coordination with local TxDOT traffic engineers. Storage length calculations are shown in the **Appendix**.

Intersection 4 is the four-leg signalized intersection of SH 26 and Bass Pro Drive/Court. The north and southbound lane arrangements on SH 26 both consist of a dedicated left turn lane and three through lanes, but southbound SH 26 has a dedicated right turn lane while northbound has a shared through-right lane. Northbound left turns are leading protected and southbound are lagging protected. Westbound Bass Pro Drive consists of two dedicated left turn lanes and a shared through-right turn lane. Left turns at this approach are lagging protected. Eastbound Bass Pro Court consists of a dedicated left, through, and right turn lane. Left turns at this approach are lagging protected as well.

Intersection 5 is a three leg intersection of SH 26 and Fairway Drive. Southbound SH 26 consists of two through lanes and a shared through-right lane. Northbound SH 26 has three through lanes and a

dedicated left turn lane with a lagging-protected treatment. The Fairway Drive approach consists of two dedicated right turn lanes and a dedicated left turn lane.

Intersection 6 is a three leg intersection of Bass Pro Drive and Big Bucks Drive. Eastbound Big Bucks consists of a dedicated left turn lane and two through lanes while westbound consists of two through lanes and a dedicated right turn lane. The left turn phase turning into Big Bucks Drive operates as lagging protected-permitted. Big Bucks Drive is the southbound approach and consists of a dedicated left and right turn lane.

Intersections 7 and 8 are the SH 121 south and north frontage road intersections with Bass Pro Drive, respectively. The southbound approach consists of a dedicated left turn lane, dedicated through lane, and shared through-right lane. Eastbound Bass Pro Drive at intersection 7 consists of two through lanes and a dedicated right turn lane. The westbound lane arrangement of Bass Pro Drive at Intersection 7 consists of two dedicated through lanes and a dedicated left turn lane. Westbound left turns at intersection 7 are protected permitted while southbound operates as a split phase with the northbound bound frontage road approach at intersection 8. At intersection 8, eastbound Bass Pro Drive has a dedicated left turn lane and two through lanes. Westbound Bass Pro Drive consists of a through lane and shared through-right lane. The northbound SH 121 frontage road lane arrangement includes through lane and shared through-right. Bass Pro Drive eastbound left turns at intersection 8 are protected-permitted.

Intersections 12 and 13 currently serve the existing hotel off of Bass Pro Court. They both have northbound approaches and are arranged as one lane in, one lane out driveways. In addition, both intersections may be accessed from both east and west bound Bass Pro Court.

The City of Grapevine provided intersection turning movement counts for Intersection 4 that were collected on April 7, 2016 and deemed acceptable for use in this study by the City. Existing turning movement counts and field observations for all other project intersections were obtained during the AM and PM peak hours on July 23, 2016. The data was collected between the hours of 7:00 AM to 9:00 AM and 4:00 PM to 6:00 PM. Turning movement count data is included in the **Appendix**. Although existing turning movement counts were not collected at intersections 12 and 13, estimates at these intersections were gained from the data collected at the Bass Pro Court approach for Intersection 4. The only traffic coming or going at this approach is related to the existing hotel and is utilizing the driveways at Intersections 12 and 13. The estimated turning movement counts at these intersections for the AM and PM peak periods may be observed in **Figure 2**.

Traffic volumes were analyzed to determine the AM and PM peak hour volumes (PHV) and peak hour factors (PHF). PHVs were calculated by taking the highest four-consecutive 15-minute volumes for each turning movement at each approach over the two hour data collection period. Using this calculated peak hour, corresponding peak hour factors were calculated for each turning movement. **Figures 1 and 2**, shows the peak hour turning movement counts for the AM and PM periods.

Peak hour factors are a traffic parameter used to describe the relationship between the peak 15-minute flow rate within the peak hour and the total peak hour volume. A high PHF (closer to 1) indicates that traffic is spread out relatively evenly throughout the peak hour. A low PHF (closer to 0) indicates that traffic is concentrated within the peak 15 minutes.

By using this method, the PHVs and PHFs can show the “worst case scenario” for each turning movement. High traffic generators, such the shopping centers near the development, can have effects on left and right turn intersection movements that do not necessarily align with the highest through movement volumes. Calculating PHVs and PHFs by this method account for these differences and better show the impacts of high turning volumes. Complete PHV and PHF calculations may be found in the **Appendix**. Intersection 4 is expected to experience the greatest volume change from the proposed development and the PHV and PHF calculations for this intersection is shown below in **Table 3**

**Table 3 – Peak Hour Turning Movements for Intersection 4**

Int. #4 - SH 26 & Bass Pro Drive/Court	Bass Pro Court Westbound			SH 26 Northbound			Bass Pro Drive Eastbound			SH 26 Southbound		
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right
AM PH Start	7:15 AM	7:15 AM	8:00 AM	7:15 AM	7:30 AM	7:15 AM	7:15 AM	7:00 AM	8:00 AM	7:15 AM	7:45 AM	7:15 AM
AM Volume	233	27	142	10	827	997	16	29	21	137	465	15
AM phf	0.86	0.68	0.83	0.63	0.89	0.80	0.57	0.66	0.88	0.73	0.85	0.75
PM PH Start	4:45 PM	4:30 PM	5:00 PM	5:00 PM	4:30 PM	4:30 PM	4:45 PM	4:45 PM	5:00 PM	4:00 PM	4:30 PM	5:00 PM
PM Volume	699	15	359	16	1122	327	18	24	18	145	592	15
PM phf	0.83	0.63	0.89	0.80	0.93	0.85	0.64	0.67	0.90	0.82	0.94	0.75

From **Table 3**, it is observed that AM peak hours at Intersection 4 varied from 7:15 AM to 8:00 AM, with the most common peak hours occurring at 7:15. PHFs during the AM period range from 0.57 to 0.89. The highest PHFs were in the northbound through, southbound through, westbound left, westbound right, and eastbound right movements indicating spread out traffic during the peak hour. The rest of the movements have PHFs less than 0.75, indicating more concentrated traffic during the highest 15 minute interval for their respective peak hours.

During the PM period for Intersection 4, the movement peak hours occurred from 4:00 PM to 5:00 PM with the most common peak hour at 4:30 PM and 5:00 PM. PHFs at this intersection range from 0.63 to 0.94. The movements with the most concentrated traffic volumes were westbound through, eastbound left, and eastbound through. The movements with the most dispersed volumes over the peak hour included westbound right, northbound through, eastbound right, and southbound through.

**Intersection Analysis**

Traffic circulation is commonly evaluated with intersection Level of Service (LOS). LOS is a measure of driving conditions and vehicle delay. It is calculated using principles in the *Highway Capacity Manual*, published by the Transportation Research Board. LOS allows discussion and comparison of traffic operations on roadway facilities. It ranges from A (best) to F (poorest). LOS of A, B, and C indicate conditions where traffic can move freely. LOS of D describes conditions where delay is noticeable. LOS E and F indicate conditions where traffic volumes are close to capacity or beyond capacity, experiencing

significant delays, slow speeds, stop-and-go conditions, and queuing. Roadway LOS was not analyzed for this project. The intersection LOS was used for evaluation since the intersections will be the limiting factor for capacity. **Table 4**, lists the LOS definitions for signalized and un-signalized intersections as defined in the *Highway Capacity Manual 2010*.

**Table 4 – Level of Service**

LOS	Delay (s/veh) at Signalized Intersection	Delay (s/veh) at Unsignalized Intersection	Traffic Flow Characteristics
A	≤10 sec.	≤10 sec.	Virtually free flow, completely unimpeded
B	>10-20 sec.	>10-15 sec.	Stable Flow with slight delays, less freedom to maneuver
C	>20-35 sec.	>15-25 sec.	Stable Flow with delays, less freedom to maneuver
D	>35-55 sec.	>25-35 sec.	High density, but stable flow
E	>55-80 sec.	>35-50 sec.	Operating conditions at or near capacity, unstable flow
F	>80 sec.	>50 sec.	Forced flow, breakdown conditions

Intersection delay is calculated by taking a weighted average of the total delays for each intersection lane group. Total delay includes queue delay and delay from stopping. Using this intersection delay, a LOS value may be assigned to the intersection.

The volume to capacity (v/c) ratio indicates the amount of congestion for each lane group. Any v/c ratio greater than or equal to one indicates that the approach is operating at or above capacity. The intersection v/c ratio is the maximum ratio from all the lane groups.

The LOS, delay, and volume-capacity ratios for the existing conditions were calculated using Synchro and summarized in **Table 5** for both AM and PM peak hours. Detailed results are included in the **Appendix**.

Table 5 – Existing Condition (2016) Operational Measures

Intersection Number	Location	AM Peak Hour			PM Peak Hour		
		Delay	LOS	V/C	Delay	LOS	V/C
1	SH 26 and Grapevine Mills Trail	33.7	C	0.67	35.3	D	0.79
2	SH 26 and Grapevine Mills Blvd.	16.7	B	0.73	22.8	C	0.85
3	Proposed Driveway #1	N/A	N/A	N/A	N/A	N/A	N/A
4	SH 26 and Bass Pro Drive	23.8	C	0.80	31.3	C	0.85
5	SH 26 and Fairway Drive	13.2	B	0.68	15.7	B	0.8
6	Bass Pro Drive and Big Bucks Drive	4.6	A	0.52	5.3	A	0.61
7	Bass Pro Drive and SH 121 SB	27.4	C	0.96	45.7	D	1.07
8	Bass Pro Drive and SH 121 NB	38.7	D	0.96	60.5	E	1.07
12	Bass Pro Court and Existing Driveway	3.7	A	0.04	3.7	A	0.03
13	Bass Pro Court and Existing Driveway	6.4	A	0.03	6.9	A	0.03

### Trip Generation

The estimated number of trips generated for the proposed development were calculated using the *ITE Trip Generation Manual, 9<sup>th</sup> Edition*. The average trip rates for the peak hour of the adjacent street traffic were used for this study. These trips represent the highest peak hour vehicle trip ends generated by the development for the peak hour between 7 to 9 AM and the peak hour between 4 to 6 PM. The generated trips for the proposed hotel, apartments, and restaurant space are shown in **Table 6**. All trips are considered to be vehicular.

Table 6 – Proposed Development Generated Trips

Type of Development	Number of Units	Proposed SQ FT	Generated Trips	
			AM Peak	PM Peak
Residential	360		135	162
Restaurant #1		10000	109	99
Restaurant #2		12000	130	119
Hotel	720		382	432
<b>TOTAL</b>			<b>756</b>	<b>812</b>
		Total In:	399	445
		Total Out:	357	367

### Trip Distribution

Traffic generated by the proposed development had to be distributed and assigned to the study area intersections so that impacts can be analyzed. The generated trips were assigned to signalized intersections and driveways considering such factors such as connectivity, capacity, and congestion. Engineering judgment was applied to these factors when developing assumptions for the analysis. The following factors affected the trip distribution:

1. A large amount of hotel trips are expected to and from DFW Airport.
2. Residential and restaurant trips are expected to follow existing traffic volume patterns.
3. Bass Pro Court will be the only access point for hotel traffic while apartment and restaurant traffic will utilize Bass Pro Court and SH 26.
4. A typical day was considered for the traffic distributions; therefore, it was assumed that drivers in route to the proposed hotel would only use the parking garage and the parking garage entrance on Bass Pro Court.

Considering the factors stated above, the trip distributions turning movements were assigned for all the land uses and illustrated in **Figures 3-10**.

Using the trip distributions from **Figures 3-10**, generated trips were developed for all the land uses and summarized in **Figure 11 and 12**.

### Background Growth

Regardless of proposed developments, the study area population and corresponding traffic volume will continue to grow. The rate of traffic volume growth, or growth rate (*GR*), is expressed as a percentage of growth over a year. The City of Grapevine was consulted for this growth rate and provided a rate of 3% per year.

Using the provided growth rate, future background traffic forecasts for the full build-out year (2017) and 5 years after full build-out (2022) may be determined. In Synchro traffic modeling software, future

traffic forecasts are determined using a growth factor (*GF*). This growth factor is calculated using the equation  $GF = (1 + GR)^n$ , where *n* is time in years. The calculated growth factors are shown in **Table 7**.

**Table 7 – Traffic Volume Growth Factors**

GF (2017)	GF (2022)
1.030	1.194

The existing turning movements in the study area are then multiplied by the respective growth factors to determine the forecasted background turning movements for 2017 and 2022.

**Future Conditions with and Without Development**

The opening year scenario was analyzed by creating Synchro models using the background 2017 traffic volumes with and without the proposed development. Model analysis provided the delay, LOS, and volume to capacity ratios and are shown in **Table 8**.

**Table 8 – Operational Measures for Opening Year (2017)**

Intersection Number	Location		AM Peak Hour			PM Peak Hour		
			Delay	LOS	V/C	Delay	LOS	V/C
1	SH 26 and Grapevine Mills Trail	Background	34.3	C	0.68	35.5	D	0.79
		With Project	36.3	D	0.73	37.1	D	0.83
2	SH 26 and Grapevine Mills Blvd.	Background	16.4	B	0.74	22.8	C	0.86
		With Project	14.7	B	0.75	23.0	C	0.86
3	SH 26 and Proposed Driveway #1	Background	N/A	N/A	N/A	N/A	N/A	N/A
		With Project	0.5	A	.24	0.4	A	0.35
4	SH 26 and Bass Pro Drive	Background	24.8	C	0.83	32.2	C	0.88
		With Project	73.0	E	1.56	103.6	F	3.23
5	SH 26 and Fairway Drive	Background	13.4	B	0.68	16.0	B	0.81
		With Project	14.4	B	0.68	16.1	B	0.81
6	Bass Pro Drive and Big Bucks Drive	Background	4.7	A	0.53	5.4	A	0.62
		With Project	5.7	A	0.53	4.8	A	0.62
7	Bass Pro Drive and SH 121 SB	Background	29.2	C	0.97	48.9	D	1.10
		With Project	34.5	C	1.13	55.8	E	1.12
8	Bass Pro Drive and SH 121 NB	Background	39.6	D	0.97	67.6	E	1.10
		With Project	71.0	E	1.13	80.6	F	1.12
9	Bass Pro Court and Proposed Driveway #2	Background	N/A	N/A	N/A	N/A	N/A	N/A
		With Project	1.9	A	0.21	1.6	A	0.17
10	Bass Pro Court and Proposed Driveway #3	Background	N/A	N/A	N/A	N/A	N/A	N/A
		With Project	0.8	A	0.12	0.5	A	0.12
11	Bass Pro Court and Proposed Driveway #4	Background	N/A	N/A	N/A	N/A	N/A	N/A
		With Project	1.8	A	0.10	1.4	A	0.11
12	Bass Pro Court and Existing Driveway	Background	3.8	A	0.04	3.7	A	0.03
		With Project	2.1	A	0.10	2.2	A	0.09

Table 8 – Operational Measures for Opening Year (2017) Cont.

Intersection Number	Location		AM Peak Hour			PM Peak Hour		
			Delay	LOS	V/C	Delay	LOS	V/C
13	Bass Pro Court and Proposed Driveway #5/Existing Driveway	Background	6.4	A	0.03	6.9	A	0.03
		With Project	3.8	A	0.08	3.6	A	0.06
14	Bass Pro Court and Proposed Driveway #6/Existing Driveway	Background	N/A	N/A	N/A	N/A	N/A	N/A
		With Project	4.3	A	0.12	4.9	A	0.16

From the data analysis shown in **Table 8**, it's observed that intersections 4 and 8 experienced significant added delays with the proposed development. At Intersection 4, the delay increased 48.2 seconds in the AM peak hour 71.4 seconds in the PM peak hour. Delays at Intersection 8 in the AM peak hour increased by 31.4 seconds and 13 seconds in the PM peak hour. The increase in delays at intersection 4 is observed to be caused by the large jump in traffic volume that is expected enter and exit the development from the west leg of this intersection. At intersection 8, delays increase the greatest in the northbound left movement.

The 2022, 5 years after opening scenario, was analyzed and considered for mitigation measures because it represents the worst case scenario for the traffic study. Synchro models were created for 2022 with and without the proposed development. **Figures 13-16** show the turning movement counts for 2022 background growth and 2022 background with the development, respectively. **Table 9** compares the delay, LOS, and volume to capacity ratios for the study intersections for the existing conditions, 2022 background, and 2022 with development.

Table 9 – Operational Measures for 5 Years After Opening Year (2022)

Intersection Number	Location		AM Peak Hour			PM Peak Hour		
			Delay	LOS	V/C	Delay	LOS	V/C
1	SH 26 and Grapevine Mills Trail	Background	35.9	D	0.71	36.9	D	0.82
		With Project	38.5	D	0.79	40.7	D	0.87
2	SH 26 and Grapevine Mills Blvd.	Background	16.6	B	0.77	24.0	C	0.88
		With Project	15.1	B	0.77	23.5	C	0.88
3	Proposed Driveway #1	Background	N/A	N/A	N/A	N/A	N/A	N/A
		With Project	0.5	A	0.25	0.4	A	0.37
4	SH 26 and Bass Pro Drive	Background	38.9	D	1.00	43.3	D	1.23
		With Project	107.2	F	1.82	128.3	F	3.51
5	SH 26 and Fairway Drive	Background	15.1	B	0.70	18.3	B	0.85
		With Project	15.7	B	0.70	19.1	B	0.85
6	Bass Pro Drive and Big Bucks Drive	Background	5.3	A	0.56	5.5	A	0.66
		With Project	6.5	A	0.56	5.1	A	0.66
7	Bass Pro Drive and SH 121 SB	Background	42.6	D	1.16	79.6	E	1.31
		With Project	55.3	E	1.29	95.0	F	1.33
8	Bass Pro Drive and SH 121 NB	Background	76.1	E	1.16	119.1	F	1.31
		With Project	111.3	F	1.29	135.2	F	1.33
9	Bass Pro Court and Proposed Driveway #2	Background	N/A	N/A	N/A	N/A	N/A	N/A
		With Project	2.0	A	0.22	1.6	A	0.18
10	Bass Pro Court and Proposed Driveway #3	Background	N/A	N/A	N/A	N/A	N/A	N/A
		With Project	0.7	A	0.13	0.5	A	0.12
11	Bass Pro Court and Proposed Driveway #4	Background	N/A	N/A	N/A	N/A	N/A	N/A
		With Project	1.8	A	0.11	1.4	A	0.11
12	Bass Pro Court and Existing Driveway	Background	3.8	A	0.05	4.4	A	0.04
		With Project	2.1	A	0.10	2.0	A	0.09
13	Bass Pro Court and Proposed Driveway #5/Existing Driveway	Background	6.4	A	0.03	7.0	A	0.03
		With Project	3.9	A	0.07	3.6	A	0.07
14	Bass Pro Court and Proposed Driveway #6/Existing Driveway	Background	N/A	N/A	N/A	N/A	N/A	N/A
		With Project	4.3	A	0.12	4.9	A	0.16

From the data analysis shown in **Table 9**, it's observed that Intersections 4, 7, and 8 experienced added delays causing the LOS to deteriorate. During the AM peak hour at Intersection 4, the delay increase 68.3 seconds while the PM peak hour saw an increase of 85 seconds. These increases are a result of the large jump in turning movements in and out of the proposed development. Intersection 7 experienced delay increases of 12.7 seconds in the AM peak and 15.4 seconds in the PM peak. The delay deterioration is attributed to the expected increase in eastbound right turn movements and westbound through movements due to the development. At Intersection 8, the added delays of 35.2 seconds in the

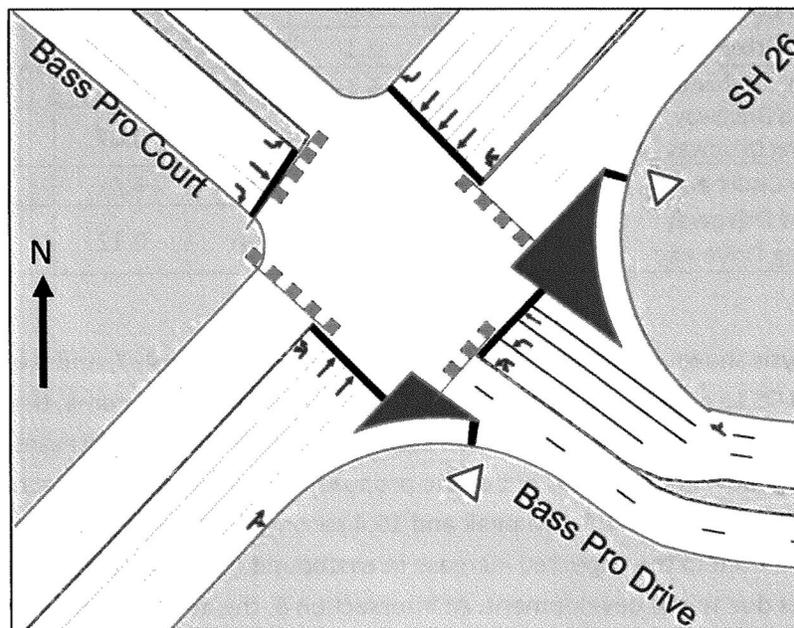
AM period and 16.1 seconds in the PM period are a result of the large amount of trips making the northbound left turn movement.

In an effort to return traffic operations at Intersections 4, 7, and 8 to levels analyzed in the 2022 Background scenario without the proposed development, mitigation measures were further analyzed to improve traffic operations.

### Mitigations

To address the added delays at Intersection 4, improvements to the traffic signal operation to consider the extra turning movements into and out of Bass Pro Court were analyzed. From traffic model analysis, it was determined that utilizing flashing yellow arrow left turns on the east and westbound approaches, adding an additional westbound through lane, and adjusting split and offset times were able to return the intersection LOS for both the AM and PM peak periods back to 2022 Background conditions at Intersection 4. With these changes, the traffic signal was able to manage the added development trips and the existing high number of background turning movements more efficiently than using protected left turns on Bass Pro Court/Drive. For the implementation of the flashing yellow arrow signals at the westbound approach, it is recommended that the dual left turn lanes be offset by at least four feet towards the median to improve sight distance for drivers performing permitted left turns from the dual left lanes. Sight distance may also be improved by shifting the eastbound left turn lane a similar distance into the median. The percent financial responsibility by the developer for the phasing changes and split adjustments at Intersection 4 is expected to be 15% based on the proposed Development's generated traffic and 2022 Background scenario traffic volumes at the Intersection. A Synchro representation of the mitigation lane arrangement is shown in **Exhibit 4**.

**Exhibit 4 – Intersection 4 Mitigation Lane Arrangement**



After analyzing several options, adjusting the split times at Intersections 7 and 8 proved to mitigate the LOS to that of 2022 Background levels. The adjustments made were able to improve delays at turning movements significantly affected by the proposed development while not compromising operations at the other turning movements. Based on the proposed development's generated traffic and the 2022 Background scenario traffic volumes at Intersections 7 and 8, the Developer's expected financial responsibility of for the mitigation measures at Intersections 7 and 8 is 4%.

In addition to the mitigation efforts at Intersections 4, 7, and 8, the splits and offsets at all the other project intersections were updated for optimum traffic operations. Results of the mitigation measures for all the project intersections is shown in **Table 10**.

**Table 10 – Operational Measures for 5 Years After Opening Year (2022) with Mitigation Measures**

Intersection Number	Location		AM Peak Hour			PM Peak Hour		
			Delay	LOS	V/C	Delay	LOS	V/C
1	SH 26 and Grapevine Mills Trail	Background	35.9	D	0.71	36.9	D	0.82
		With Project	38.5	D	0.79	40.7	D	0.87
		Mitigation	29.8	C	0.67	27.9	C	0.74
2	SH 26 and Grapevine Mills Blvd.	Background	16.6	B	0.77	24.0	C	0.88
		With Project	15.1	B	0.77	23.5	C	0.88
		Mitigation	17.5	B	0.77	21.2	C	0.88
3	Proposed Driveway #1	Background	N/A	N/A	N/A	N/A	N/A	N/A
		With Project	0.5	A	0.25	0.4	A	0.37
		Mitigation	0.5	A	0.25	0.4	A	0.37
4	SH 26 and Bass Pro Drive	Background	38.9	D	1.00	43.3	D	1.23
		With Project	107.2	F	1.82	128.5	F	3.51
		Mitigation	48.8	D	1.06	52.5	D	1.14
5	SH 26 and Fairway Drive	Background	15.1	B	0.70	18.3	B	0.85
		With Project	15.7	B	0.70	19.1	B	0.85
		Mitigation	16.8	B	0.72	16.9	B	0.88
6	Bass Pro Drive and Big Bucks Drive	Background	5.3	A	0.56	5.5	A	0.66
		With Project	6.5	A	0.56	5.1	A	0.66
		Mitigation	4.0	A	0.56	6.5	A	0.66
7	Bass Pro Drive and SH 121 SB	Background	42.6	D	1.16	79.6	E	1.31
		With Project	55.3	E	1.29	95.0	F	1.33
		Mitigation	53.0	D	1.19	78.6	E	1.44
8	Bass Pro Drive and SH 121 NB	Background	76.1	E	1.16	119.1	F	1.31
		With Project	111.3	F	1.29	135.2	F	1.33
		Mitigation	68.6	E	1.19	126.3	F	1.44
9	Bass Pro Court and Proposed Driveway #2	Background	N/A	N/A	N/A	N/A	N/A	N/A
		With Project	2.0	A	0.22	1.6	A	0.18
		Mitigation	1.6	A	0.18	1.6	A	0.18

**Table 10 – Operational Measures for 5 Years After Opening Year (2022)  
with Mitigation Measures (Cont.)**

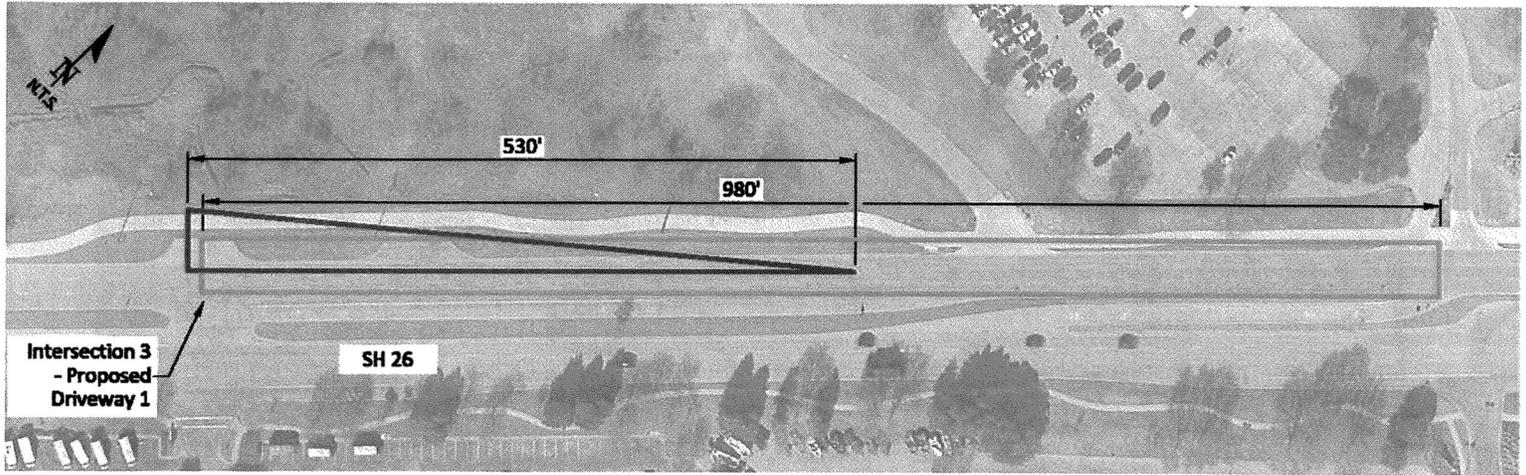
Intersection Number	Location		AM Peak Hour			PM Peak Hour		
10	Bass Pro Court and Proposed Driveway #3	Background	N/A	N/A	N/A	N/A	N/A	N/A
		With Project	0.7	A	0.13	0.5	A	0.12
		Mitigation	0.5	A	0.12	0.5	A	0.12
11	Bass Pro Court and Proposed Driveway #4	Background	N/A	N/A	N/A	N/A	N/A	N/A
		With Project	1.8	A	0.11	1.4	A	0.11
		Mitigation	1.4	A	0.11	1.4	A	0.11
12	Bass Pro Court and Existing Driveway	Background	3.8	A	0.05	4.4	A	0.04
		With Project	2.1	A	0.10	2.0	A	0.09
		Mitigation	2.3	A	0.10	2.3	A	0.10
13	Bass Pro Court and Proposed Driveway #5/Existing Driveway	Background	6.4	A	0.03	7.0	A	0.03
		With Project	3.9	A	0.07	3.6	A	0.07
		Mitigation	3.6	A	0.07	3.6	A	0.07
14	Bass Pro Court and Proposed Driveway #6/Existing Driveway	Background	N/A	N/A	N/A	N/A	N/A	N/A
		With Project	4.3	A	0.12	4.9	A	0.16
		Mitigation	4.9	A	0.16	4.9	A	0.16

From **Table 10**, it can be observed how the mitigations maintained the LOS of the 2022 Background scenario for Intersections 4, 7, and 8. It can also be observed that the delay increases at all other project intersections are minimal and in some cases reduced with the optimized mitigation timing.

#### Decision Sight Distance and Intersection Sight Distance

Decision sight distance and intersection sight distance were considered for analysis at Intersection 3, particularly for the eastbound right turn movements turning onto SH 26. Using design criteria from the American Association of State Highway Transportation Officials (AASHTO) – A Policy on Geometric Design of Highways and Streets (6<sup>th</sup> Ed.), decision sight distance on level terrain for a design speed of 55 mph and avoidance maneuvers on suburban roads is 980'. In addition, intersection sight distance for right turns from a stop on level terrain at a design speed of 55 mph is 530'. These distances in relation to Intersection 3 are shown in **Exhibit 5**. Level terrain and no obstructions within these distances were observed. From this analysis it is determined that southbound drivers on SH 26 will have adequate decision sight distance to stop or maneuver the vehicle to avoid collisions with vehicles entering SH 26 from Intersection 3. Drivers entering SH 26 will also have satisfactory intersection sight distance to safely assess time gaps and enter SH 26.

Exhibit 5 – Intersection 3 Decision and Intersection Sight Distance



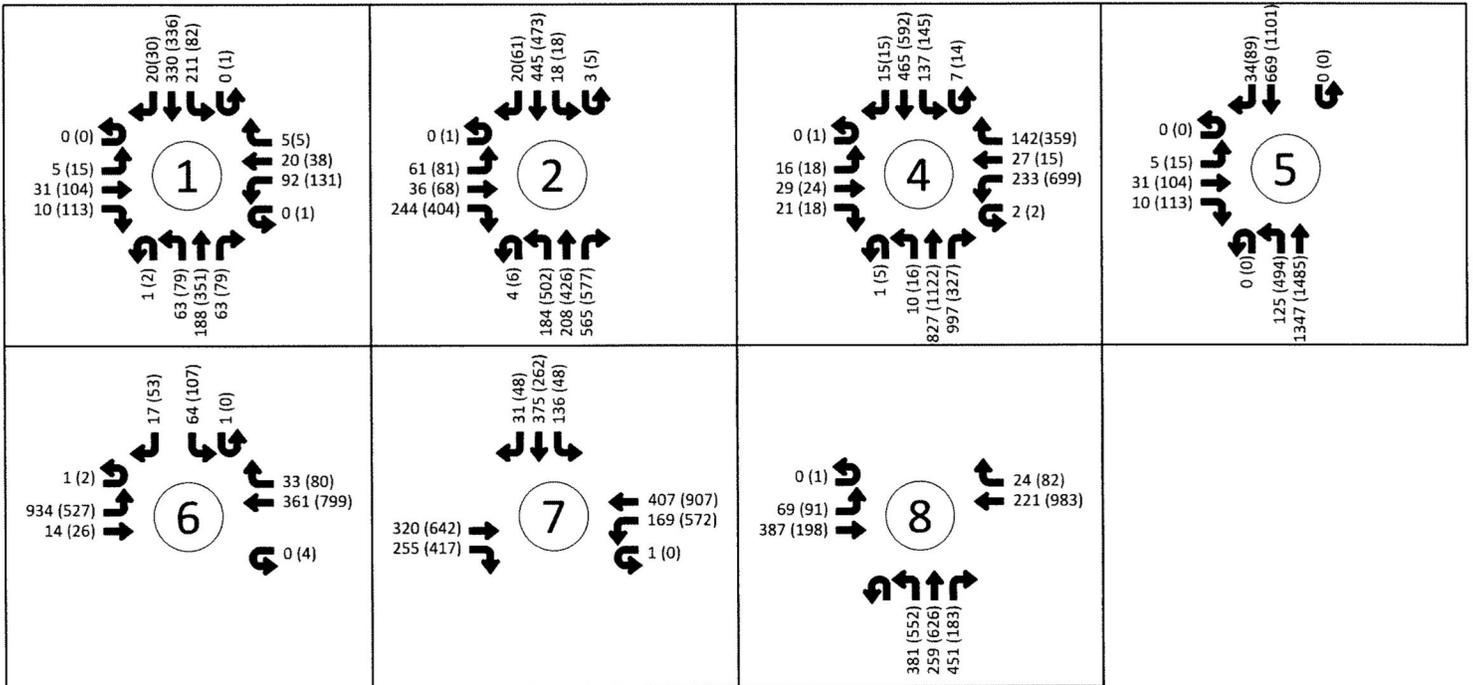
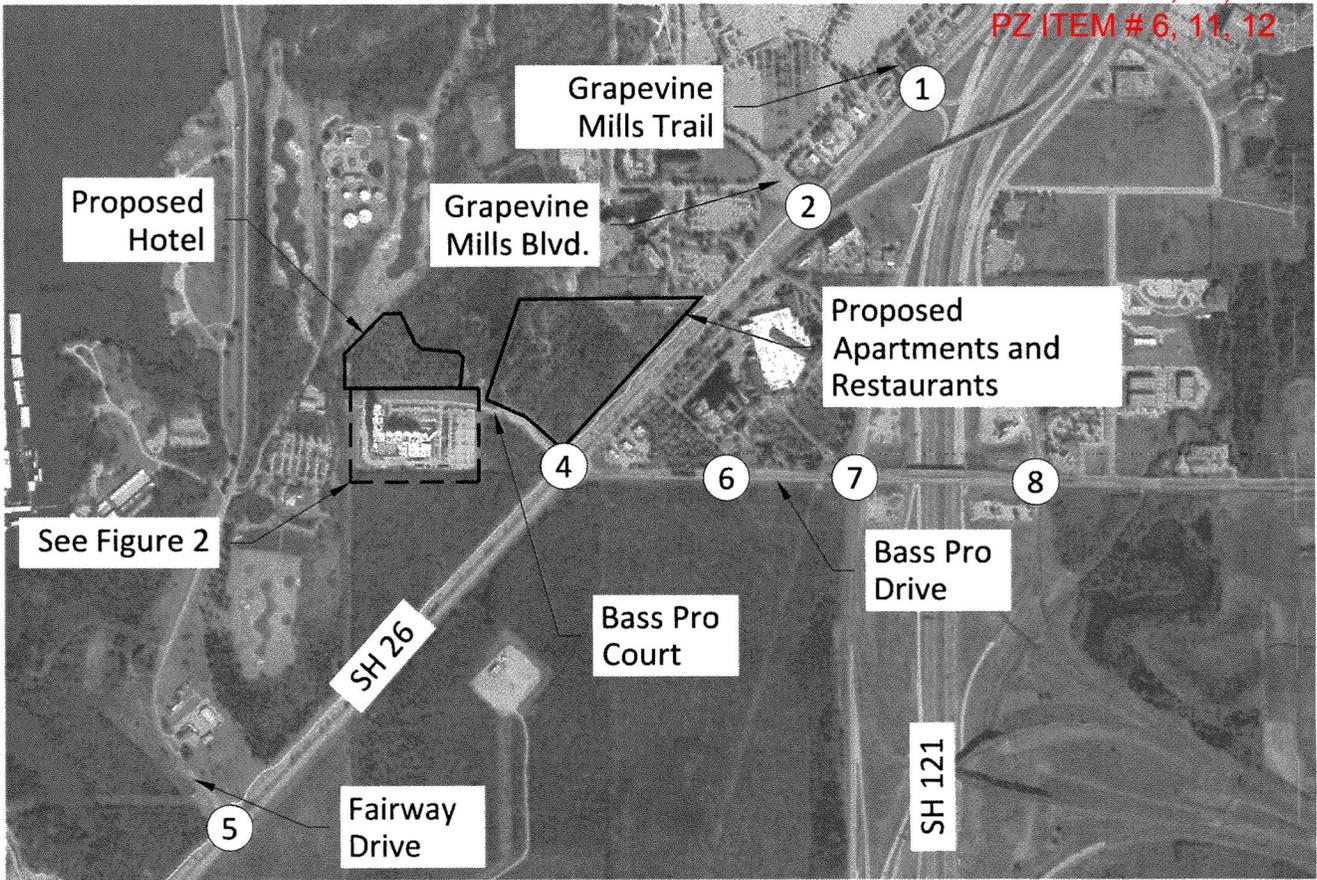
- Decision Sight Distance
- Intersection Sight Distance

**Conclusion**

The traffic impact analysis identified three intersections that are expected to see significant delay increases as a result of traffic generated by the proposed development, Intersections 4, 7, and 8. To address the increased volumes and delays at Intersection 4, flashing yellow arrow left turns on the east and west approaches were considered in addition to an additional westbound through lane, split, and offset modifications. From Synchro analysis, it was determined that these measures would improve operations and return the intersection to the LOS in the Background scenario without the proposed development.

At Intersections 7 and 8, additional delays were able to be mitigated with minor adjustments to the split times on all the intersection approaches for the AM and PM periods. In addition, field observations during data collection showed that even during the peak hours, the traffic signals at these Intersections handled current traffic volumes easily. The proposed mitigation split and offset adjustments would only be expected to further improve traffic operations.

Overall, the traffic effects from the proposed development are not anticipated to significantly disrupt operations at the project intersections. The surrounding network of streets and thoroughfares is expected to adequately serve the proposed development.



ORDINANCE NO. 2019-037

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ISSUING CONDITIONAL USE PERMIT CU19-16 TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU17-05 (ORDINANCE NO. 2017-23) FOR A MASTER SITE DEVELOPMENT PLAN, SPECIFICALLY TO ALLOW FOR A MULTI-BRAND HOTEL COMPLEX (RENAISSANCE, ELEMENT, AND A.C. HOTEL) WITH ON-PREMISE ALCOHOLIC BEVERAGE SALES (BEER, WINE, AND MIXED BEVERAGES), OUTDOOR DINING, OUTDOOR SPEAKERS, MINOR SITE PLAN AND ELEVATION CHANGES TO THE PREVIOUSLY APPROVED HILTON GARDEN INN, AND MINOR SITE PLAN AND ELEVATION CHANGES TO THE PREVIOUSLY APPROVED OFFICE BUILDING FOR LOTS 1 AND 2, BLOCK 1, SILVER LAKE CROSSINGS, (2200 AND 2225 BASS PRO COURT) AND LOT 1A3, BLOCK 1, THE BLUFFS AT GRAPEVINE (1785 STATE HIGHWAY 26) IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the

motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU19-16 to amend the previously site plan of CU17-05 (Ordinance No. 2017-23) for a master site development plan specifically to allow for a multi-brand hotel complex (Renaissance, Element, and A.C. Hotel) with on-premise alcoholic beverage sales (beer, wine, and mixed beverages), outdoor dining and outdoor speakers, minor site plan and elevation changes to the previously approved Hilton Garden Inn, and minor site plan and elevation changes to the previously approved office building in a district zoned "CC" Community Commercial District within the following described property: Lots 1 and 2, Block 1, Silver Lake Crossings, (2200 and 2225 Bass Pro Court) and Lot 1A3, Block 1, The Bluffs at Grapevine (1785 State Highway 26) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. That the City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other

public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. That this ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. That any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 18th day of June, 2019.

APPROVED:

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William D. Tate  
Mayor

ATTEST:

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Tara Brooks  
City Secretary

APPROVED AS TO FORM:

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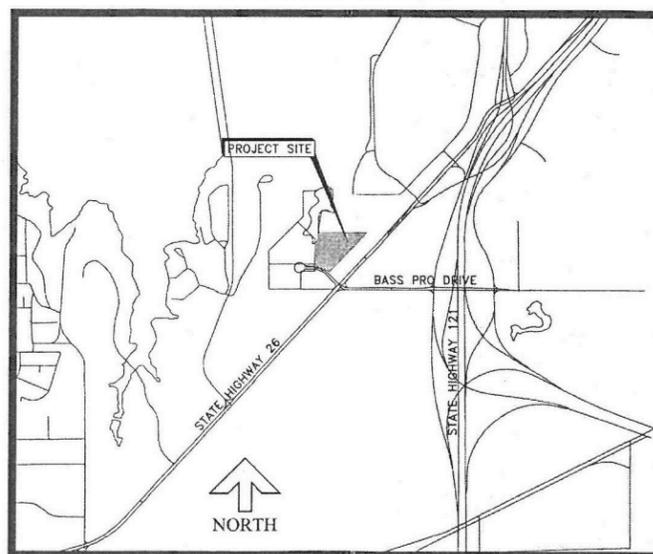
City Attorney

# SILVER LAKE CROSSINGS

## MULTI-BRAND HOTEL, HOTEL EXPANSION, & OFFICE BUILDING

CUP SUBMITTAL  
GRAPEVINE, TEXAS

JUNE 2019



VICINITY MAP  
NTS



SHEET INDEX

SHEET NO.	SHEET TITLE
1	COVER
2	MASTER SITE DEVELOPMENT PLAN
3	OVERALL SITE DATA SHEET
4	MASTER SITE SIGNAGE PLAN
MULTI-BRAND HOTEL	
5	SITE PLAN
6	MULTIBRAND HOTEL LANDSCAPE PLAN
7	FLOOR PLAN 01
8	FLOOR PLAN 02
9	FLOOR PLAN 03
10	FLOOR PLAN 04
11	FLOOR PLAN 05
12	FLOOR PLAN 06
13	ELEVATION 01
14	ELEVATION 02
15	ELEVATION 03
16	ELEVATION 04
17	ELEVATION 05
18	ELEVATION 06
HOTEL EXPANSION	
19	SITE PLAN
20	LANDSCAPE PLAN
21	OFFSITE TREE SURVEY
22	OFFSITE TREE LIST
23	FLOOR PLAN 01
24	FLOOR PLAN 02
25	ELEVATION 01
26	ELEVATION 02
27	ELEVATION 03
28	
OFFICE BUILDING	
29	SITE PLAN
30	OFFICE LANDSCAPE PLAN 02
31	PEDESTRIAN PATH LANDSCAPING
32	OFFICE LANDSCAPE DETAILS
33	ELEVATION

**DEVELOPER / OWNER:**  
NEWCREST IMAGE  
700 STATE HIGHWAY 121 BYPASS, SUITE 175  
LEWISVILLE, TX 75067  
PHONE: (214) 744-4650  
FAX: (214)988-9006  
CONTACT: MEHUL PATEL  
EMAIL: Mehul.Patel@NewcrestImage.com

**CIVIL ENGINEER / SURVEYOR:**  
**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Engineering / Architecture  
500 W. 7th St. Ste. 300 Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

CONTACT: KIMBERLY R. COLE, P.E.

NOT FOR CONSTRUCTION

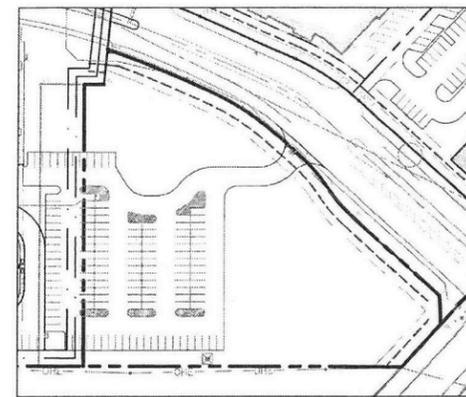


CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: CUL-  
LOCATION: LOT 142 & 2A, BLOCK 3, THE BLUFFS AT GRAPEVINE,  
LOTS 14A, 2 & 3, BLOCK 1, SILVER LAKE CROSSINGS

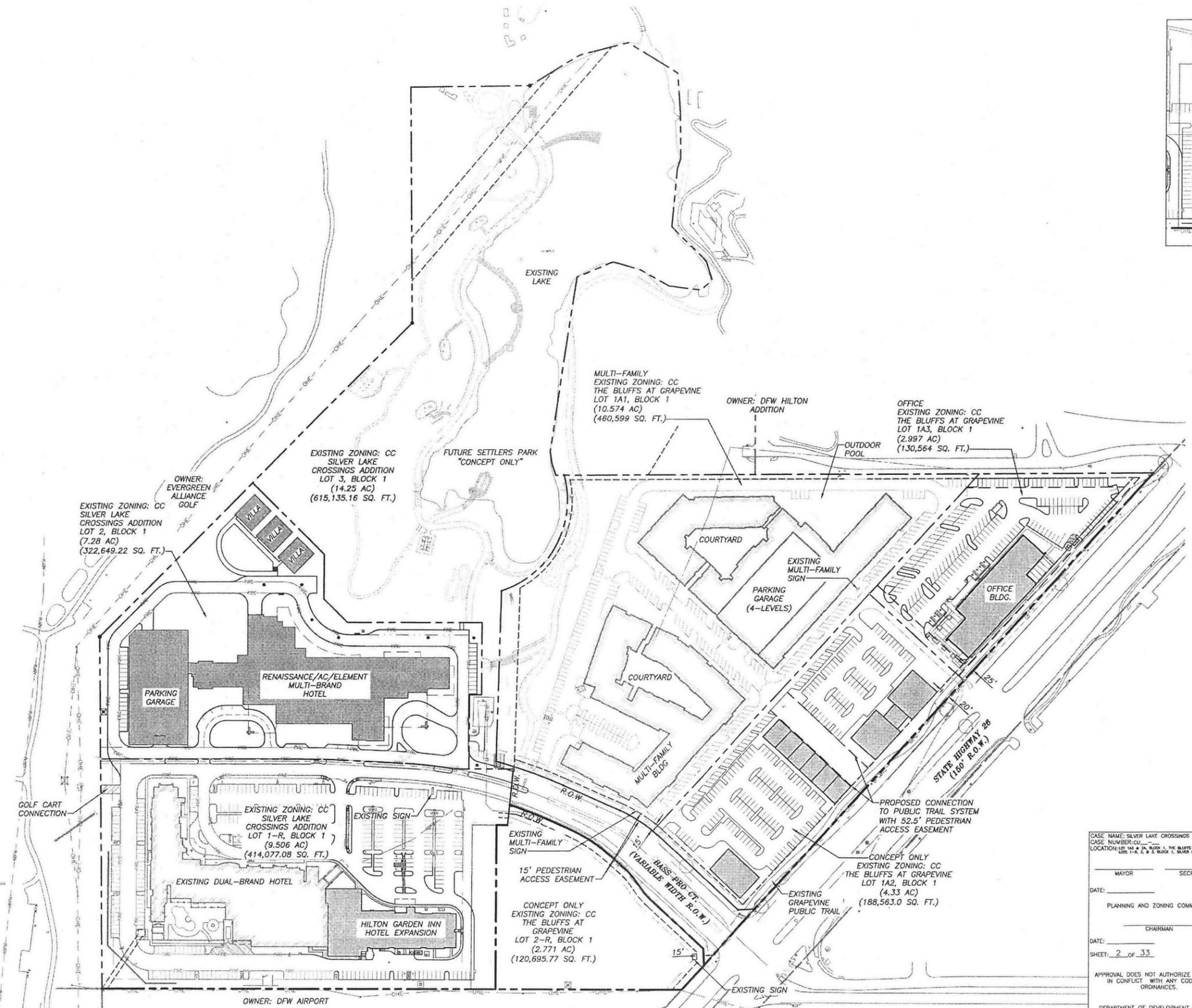
MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 1 OF 33

APPROVAL DOES NOT AUTHORIZE ANY WORK  
IN CONFLICT WITH ANY CODES OR  
ORDINANCES.

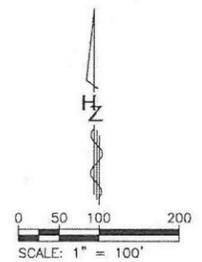
DEPARTMENT OF DEVELOPMENT SERVICES



THE BLUFFS AT GRAPEVINE LOT 2-R, BLOCK 1  
TEMPORARY SITE PLAN PENDING PARKING GARAGE  
CONSTRUCTION  
SCALE: 1" = 100'



- NOTES:
1. ALL DOWNSTREAM DRAINAGE ISSUES MUST BE RESOLVED PRIOR TO ANY OF THE PROPERTIES BEING DEVELOPED.
  2. CONDITIONAL USE REQUEST CU19-16 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU17-05 (ORD NO. 17-23) FOR A MASTER SITE DEVELOPMENT PLAN SPECIFICALLY TO ALLOW FOR A MULTI-BRAND HOTEL COMPLEX (RENAISSANCE, ELEMENT, AND AC HOTEL) WITH ON-PREMISE ALCOHOL BEVERAGE SALES (BEER, WINE, AND MIXED BEVERAGES), OUTDOOR DINING, AND OUTDOOR SPEAKERS, MINOR SITE PLAN AND ELEVATION CHANGES TO THE PREVIOUSLY APPROVED HILTON GARDEN INN, AND MINOR SITE PLAN AND ELEVATION CHANGES TO THE PREVIOUSLY APPROVED OFFICE BUILDING.



REVISIONS			
NO.	DESCRIPTION	DATE	BY
1	CUP SUBMITTAL	06/03/19	

CUP SUBMITTAL  
SILVERLAKE CROSSINGS  
GRAPEVINE, TEXAS

MASTER SITE DEVELOPMENT PLAN

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Engineering / Architecture  
500 W. 7th St. Ste. 300 Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

DESIGNED:	SCALE	DATE	SHEET
DRAWN:	AS SHOWN	06/03/2019	2 OF 33
CHECKED:			

CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: CU-  
LOCATION: LOT 1A1 & 2A, BLOCK 1, THE BLUFFS AT GRAPEVINE, LOTS 1-R, 2 & 3, BLOCK 1, SILVER LAKE CROSSINGS

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 2 OF 33

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

B:\WORK\06/03/2019\_1527PM\_HA\PROJ\03111312\05\_CADD & BMA\UTDCADD\_111312\_DMS\CUP\MASTER SITE PLAN\_MASTER SITE.DWG

R03111312.12 SILVERLAKE CROSSINGS - CUP SUBMITTAL

MULTI-BRAND HOTEL

SILVER LAKE CROSSINGS MULTI-BRAND HOTEL		
SILVER LAKE CROSSINGS ADDITION LOT 2, BLOCK 1		
PROPOSED LAND USE: HOTEL		
EXISTING ZONING: COMMUNITY COMMERCIAL (CC)		
PROPOSED ZONING: COMMERCIAL CENTER W/ PD OVERLAY		
SITE DATA		
LOT AREA	SF	AC
LOT AREA	322,649.22	7.407
MAIN HOTEL BUILDING HEIGHT (FT)	112'-0"	50'-0"
PARKING GARAGE BUILDING HEIGHT (FT)	60'-0"	50'-0"
	PROVIDED	REQUIRED
TOTAL OPEN SPACE (SF)	98,809.01	96,794.77
(30% Min. Required)	30.5%	30.0%
TOTAL IMPERVIOUS AREA (SF)	223,840.21	258,119.38
(Not to Exceed 80%)	69.4%	80.0%
PARKING GARAGE FIRST FLOOR FOOTPRINT	30,400.00	-
BUILDING FIRST FLOOR FOOTPRINT	67,130.00	-
TOTAL FIRST FLOOR FOOTPRINT	97,530.00	193,589.53
(Not to Exceed 60%)	30.2%	60.0%
TOTAL BUILDING AREA (SF)	444,143	N/A
FLOOR AREA RATIO (BUILDING/LOT SIZE)	0.302 : 1	-
TOTAL PARKING GARAGE AREA (SF)	182,400	N/A
NUMBER OF GUESTROOMS	556	-
GUESTROOMS (SF) MIN	380	380
MEETING/CONFERENCE (SF)	20,425	10,000
RESTAURANT AREA (SF)	3,545	1
(Full Service Kitchen Required)	-	-
RESTAURANT SEATS	185	-
SWIMMING POOL (SF)	1,000	1,000
BUILDING SETBACKS		
FRONT YARD (FT)	25	25
SIDE YARD - EACH SIDE (FT)	20	20
REAR YARD (FT)	25	25
PARKING		
GUESTROOM SPACES	556	834
(SPACE / RM)	(1/RM)	(1.5/RM)
CONFERENCE SPACE (SF)	-	-
(NO ADDITIONAL REQ'D)	-	-
RESTAURANT SEATING SPACES	62	62
(SPACE / SEATS)	(1 SPACE / 3 SEATS)	(1 SPACE / 3 SEATS)
PARKING TOTAL REQUIRED FOR ON-SITE HOTEL	618*	896
ADDITIONAL SPACES REQUIRED FROM LOT 1-R, BLOCK 1 SILVER LAKE CROSSINGS ADDITION	150	150
TOTAL PARKING REQUIRED	768	1046
SURFACE PARKING (# OF SPACES)	41	-
PARKING GARAGE (# OF SPACES)	727	-
TOTAL PARKING PROVIDED	768	-

\* PARKING REQUIRED AT 1 SPACE PER GUESTROOM REDUCTION

HOTEL EXPANSION

SILVER LAKE CROSSINGS - HILTON GARDEN INN 150 RM EXPANSION				
SILVER LAKE CROSSINGS ADDITION LOT 1-R, BLOCK 1				
PROPOSED LAND USE: HOTEL				
EXISTING ZONING: PLANNED COMMERCIAL CENTER (PCC)				
PROPOSED ZONING: PCC W/ PD OVERLAY*				
SITE DATA				
LOT AREA	SF	AC	PROVIDED	REQUIRED
LOT AREA	414,077.08	9.506		
EXISTING COURTYARD MARRIOTT / TOWNEPLACE SUITES HOTEL				
BUILDING HEIGHT (FT)	65'-6"			50'-0"
HILTON GARDEN INN				
BUILDING HEIGHT (FT)	76'-3"			50'-0"
	EXISTING COURTYARD MARRIOTT / TOWNEPLACE SUITES HOTEL	HILTON GARDEN INN 152 RM EXPANSION	TOTAL	REQUIRED
	PROVIDED	PROVIDED		
TOTAL OPEN SPACE (SF)	-	-	126,447.38	124,223.12
(30% Min. Required)	-	-	30.5%	30% min
TOTAL IMPERVIOUS AREA (SF)	-	-	287,629.70	331,261.66
(Not to Exceed 80%)	-	-	69.5%	80% max
FIRST FLOOR FOOTPRINT	59,916	26,239	86,155	246,446.25
(Not to Exceed 60%)	14.5%	6.3%	20.8%	60%
FLOOR AREA RATIO (BUILDING/LOT SIZE)	0.145 : 1	0.063 : 1	0.208 : 1	-
TOTAL BUILDING AREA (SF)	225,511	108,479	333,990	-
NUMBER OF GUESTROOMS	300	152	452	300
GUESTROOMS (SF) MIN	380	380	-	380
MEETING/CONFERENCE (SF)	10,000	4,105	14,105	10,000
RESTAURANT AREA (SF)	2,506	2,451	4,957	1
RESTAURANT SEATS	100	25	125	-
SWIMMING POOL (SF)	1,000	-	1,000	1,000
BUILDING SETBACKS				
FRONT YARD	25'	25'	-	25'
SIDE YARD (2)	20'	20'	-	20'
REAR YARD	25'	25'	-	25'
PARKING				
GUESTROOM SPACES	300	152	452	678
(SPACE / RM)	(1/RM)	(1/RM)	(1/RM)	(1.5/RM)
CONFERENCE SPACE (SF)	-	-	-	-
(NO ADDITIONAL REQ'D)	-	-	-	-
RESTAURANT SEATING SPACES	34	8	42	42
(SPACE / SEATS)	(1 SPACE / 3 SEATS)	(1 SPACE / 3 SEATS)	-	(1 SPACE / 3 SEATS)
TOTAL PARKING			494**	720
TOTAL ON-SITE PARKING			344	-
LOT 2-R, BLOCK 1 THE BLUFFS AT GRAPEVINE OFF-SITE PARKING (TEMP)			135	-
LOT 2, BLOCK 1 SILVER LAKE CROSSING II ADDITION, ADDITIONAL PARKING REQUIRED IN GARAGE			150	-

\* INTENDED TO AMEND PREVIOUSLY APPROVED PCC FOR 150 ROOM HOTEL EXPANSION

\*\* PARKING REQUIRED AT 1 SPACE PER GUESTROOM REDUCTION

OFFICE BUILDING

SILVER LAKE CROSSINGS OFFICES		
THE BLUFFS AT GRAPEVINE LOT 1A3, BLOCK 1		
PROPOSED LAND USE: OFFICE		
EXISTING ZONING: COMMUNITY COMMERCIAL		
MASTER SITE DEVELOPMENT		
SITE DATA		
LOT AREA	SF	AC
LOT AREA	130,564.00	2.997
BUILDING HEIGHT (FT)	72'-6"	50'-0"
	PROVIDED	REQUIRED
TOTAL OPEN SPACE (SF)	30,645.90	39,169.20
(30% Min. Required)	23.5%	30.0%
TOTAL IMPERVIOUS AREA (SF)	99,918.10	104,451.20
(Not to Exceed 80%)	76.5%	80.0%
FIRST FLOOR FOOTPRINT	21,128	78,338.40
(Not to Exceed 60%)	16.2%	60%
FLOOR AREA RATIO (BUILDING/LOT SIZE)	0.162 : 1	-
TOTAL GROSS BUILDING AREA (SF)	82,450	-
TOTAL NET BUILDING AREA (SF)	70,239	-
BUILDING SETBACKS		
FRONT YARD (FT)	25	25
SIDE YARD (2) (FT)	20	20
REAR YARD (FT)	30	30
PARKING		
SURFACE PARKING	181	239**
		(1 SPACE / 300 SF NET) PLUS 9
TOTAL PARKING	181	-
LOT 1A2, BLOCK 1 THE BLUFFS AT GRAPEVINE ADDITION OFF-SITE PARKING (FUTURE)	58	-

\* INTENDED TO AMEND PREVIOUSLY APPROVED PCC FOR SILVER LAKE CROSSINGS OFFICES

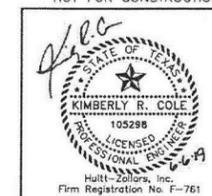
\*\* PARKING REQUIRED AT 6 SPACES, PLUS 1 SPACE PER 300 SF NET BUILDING AREA

\*\*\* PARKING FOR THE NEW STRUCTURE WILL REQUIRE 239 SPACES; THE APPLICANT WILL PROVIDE 181 PARKING SPACES ON SITE WITH THE STIPULATION THAT 17,439 SF OF OFFICE STRUCTURE WILL REMAIN UNOCCUPIED UNTIL SUCH TIME THAT THE ADJACENT LOT WEST (LOT 1A2, BLOCK 1) IS DEVELOPED. THE APPLICANT PROPOSES THAT 58 SPACES ON THIS ADJACENT LOT WILL BE SHARED WITH THE OFFICE STRUCTURE.

OVERALL SITE DEVELOPMENT

SILVER LAKE CROSSINGS PLANNED COMMERCIAL CENTER						
OVERALL SITE DATA						
	LOT AREA					
	SF	AC				
EXISTING COURTYARD MARRIOTT & TOWNEPLACE SUITES HOTEL						
HILTON GARDEN INN HOTEL EXPANSION	414,077.08	9.506				
SILVER LAKE CROSSINGS ADDITION LOT 1-R, BLOCK 1						
MULTI-BRAND HOTEL						
SILVER LAKE CROSSINGS II ADDITION LOT 1, BLOCK 1	322,649.22	7.407				
SILVER LAKE CROSSINGS OFFICES						
THE BLUFFS AT GRAPEVINE LOT 1A3, BLOCK 1	130,564.00	2.997				
EXISTING SILVER LAKE CROSSINGS MULTI-FAMILY DEVELOPMENT						
THE BLUFFS AT GRAPEVINE LOT 1A1, BLOCK 1	460,598.19	10.57				
	EXISTING COURTYARD MARRIOTT / TOWNEPLACE SUITES HOTEL PROVIDED	HILTON GARDEN INN 150 RM EXPANSION PROVIDED	MULTI-BRAND HOTEL PROVIDED	SILVER LAKE CROSSINGS OFFICES PROVIDED	EXISTING SILVER LAKE CROSSINGS MULTI-FAMILY DEVELOPMENT PROVIDED	ON-SITE TOTAL
BUILDING HEIGHT (FT)	69'-6"	76'-3"	112'-0" (MAIN HOTEL)	72'-6"	70'-0" (4 STORIES)	-
TOTAL OPEN SPACE (SF)	126,447.38	98,809.01	60'-0" (PARKING GARAGE)	30,645.90	55'-0" (3 STORIES)	437,368.29
TOTAL IMPERVIOUS AREA (SF)	287,629.70	223,840.21		99,918.10		890,531.20
TOTAL FIRST FLOOR FOOTPRINT	59,916	26,239		21,128		183,685
FLOOR AREA RATIO (BUILDING/LOT SIZE)	0.208 : 1	0.302 : 1		0.162 : 1		1.020 : 1
TOTAL BUILDING AREA (SF)	225,511	108,479	444,143 (MAIN HOTEL)	70,239	472,164	878,393
NUMBER OF GUESTROOMS	300	152	182,400 (PARKING GARAGE)	-	-	1,002
NUMBER OF RESTAURANT SEATS	100	25		-	-	310
GUESTROOMS (SF) MIN	380	380		-	-	-
MEETING/CONFERENCE (SF)	10,000	4,105		-	-	34,530
RESTAURANT AREA (SF)	2,506	2,451		-	-	8,502
SWIMMING POOL (SF)	1,000	-		-	-	2,000
NUMBER OF DWELLING UNITS	-	-		-	371	-
TOTAL PARKING PROVIDED	344	764		181	597	1,886
PARKING PROVIDED:						
HOTELS - 1 SPACE PER GUEST ROOM & 1 SPACE FOR EVERY 3 RESTAURANT SEATS						
OFFICE - 1 SPACE PER 300 SQ. FT. OF NET SQ. FT.						
MULTI-FAMILY - 1.6 SPACES PER DWELLING UNIT						

NOT FOR CONSTRUCTION



REVISIONS			
NO.	DESCRIPTION	DATE	BY
1	CUP SUBMITTAL	06/03/19	

CUP SUBMITTAL  
SILVERLAKE CROSSINGS  
GRAPEVINE, TEXAS

OVERALL SITE DATA SHEET

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Engineering / Architecture  
500 W. 7th St. Ste. 300 Fort Worth, Texas 76102  
Phone: (817)335-3000 Fax: (817)335-1025

CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: CU-19-000001  
LOCATION: LOT 1A3 & 2A, BLOCK 1, THE BLUFFS AT GRAPEVINE, LOTS 1-R, 2, & 3, BLOCK 1, SILVER LAKE CROSSINGS

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

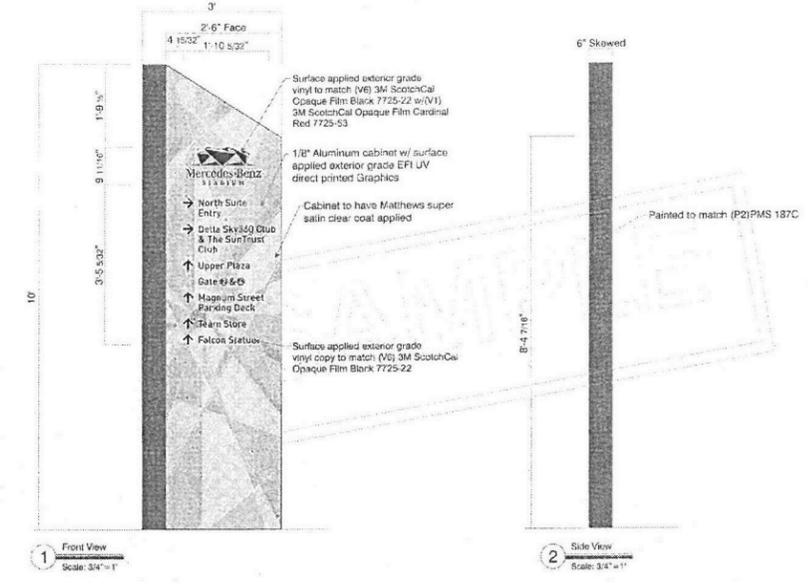
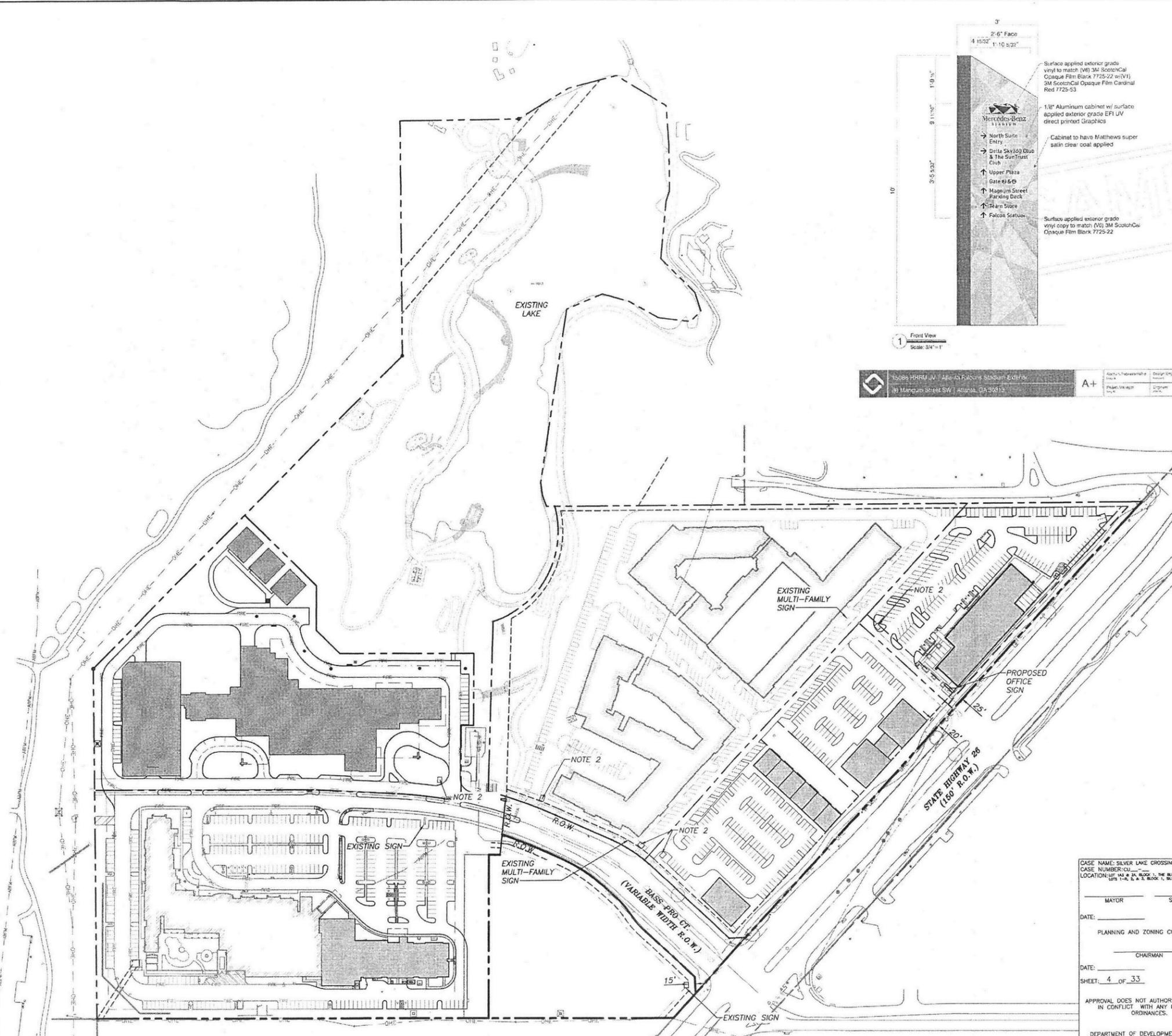
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 3 OF 33

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

DESIGNED:	SCALE	DATE	SHEET
DRAWN:	AS SHOWN	06/03/2019	3 OF 33
CHECKED:			

P:\PROJECTS\111312\111312.DWG\CUP MASTER SITE SIGNAGE.DWG



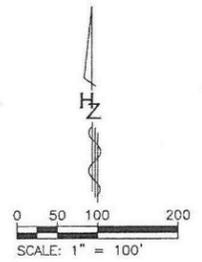
15088 PPRM JV / Apollo Falcons Stadium Exterior  
38 Mangum Street SW | Atlanta, GA 30319

A+

Architect: Huittzollars, Inc.  
Project Manager: [Name]  
Design: [Name]  
Production: [Name]

UE  
IHI Companies

- NOTES:
1. ALL SIGNAGE SHALL MEET THE CITY OF GRAPEVINE SIGN ORDINANCE.
  2. PROPOSED DIRECTIONAL SIGN. SEE DETAIL ABOVE FOR DESIGN INTENT OF SIGN



CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: CU-  
LOCATION: LOT 1, 2, & 3, BLOCK 1, THE BLUFFS AT GRAPES, LOTS 1-2, 2, & 3, BLOCK 1, SILVER LAKE CROSSINGS

MAYOR: \_\_\_\_\_ SECRETARY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 4 OF 33

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

REVISIONS			
NO.	DESCRIPTION	DATE	BY
1	CUP SUBMITTAL	06/03/19	

CUP SUBMITTAL  
SILVERLAKE CROSSINGS  
GRAPEVINE, TEXAS

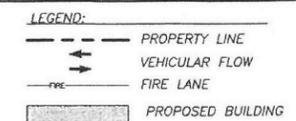
MASTER SITE SIGNAGE PLAN

**HUITT-ZOLLARS**  
Huittzollars, Inc. Engineering / Architecture  
500 W. 7th St. Ste. 300 Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

DESIGNED:	SCALE:	DATE:	SHEET:
DRAWN:	AS SHOWN	06/03/2019	4 OF 33
CHECKED:			

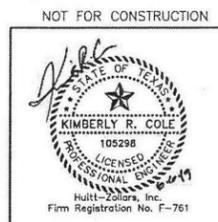
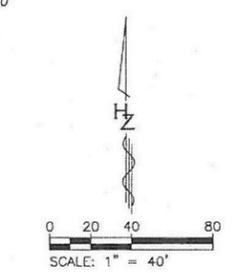
R0311312.12 SILVER LAKE CROSSINGS - CUP SUBMITTAL

SILVER LAKE CROSSINGS MULTI-BRAND HOTEL		
SILVER LAKE CROSSINGS ADDITION LOT 2, BLOCK 1		
PROPOSED LAND USE: HOTEL		
EXISTING ZONING: COMMUNITY COMMERCIAL (CC)		
PROPOSED ZONING: COMMERCIAL CENTER W/ PD OVERLAY		
SITE DATA		
LOT AREA	SF	AC
	322,649.22	7.407
MAIN HOTEL BUILDING HEIGHT (FT)	112'-0"	50'-0"
PARKING GARAGE BUILDING HEIGHT (FT)	60'-0"	50'-0"
	PROVIDED	REQUIRED
TOTAL OPEN SPACE (SF)	98,809.01	96,784.77
(30% Min Required)	30.6%	30.0%
TOTAL IMPERVIOUS AREA (SF)	223,840.21	258,119.38
(Not to Exceed 60%)	69.4%	80.0%
PARKING GARAGE FIRST FLOOR FOOTPRINT	30,400.00	-
BUILDING FIRST FLOOR FOOTPRINT	67,130.00	-
TOTAL FIRST FLOOR FOOTPRINT	97,530.00	193,589.53
(Not to Exceed 60%)	30.2%	60.0%
TOTAL BUILDING AREA (SF)	444,143	N/A
FLOOR AREA RATIO (BUILDING/LOT SIZE)	0.302	1
TOTAL PARKING GARAGE AREA (SF)	182,400	N/A
NUMBER OF GUESTROOMS	550	-
GUESTROOMS (SF) MIN	380	380
MEETING/CONFERENCE (SF)	20,425	10,000
RESTAURANT AREA (SF)	3,545	1
(Full Service Kitchen Required)		
RESTAURANT SEATS	185	-
SWIMMING POOL (SF)	1,000	1,000
<b>BUILDING SETBACKS</b>		
FRONT YARD (FT)	25	25
SIDE YARD - EACH SIDE (FT)	20	20
REAR YARD (FT)	25	25
<b>PARKING</b>		
GUESTROOM SPACES	596	834
(SPACE / RM)	(1 RM)	(1.5 RM)
CONFERENCE SPACE (SF)	-	-
(NO ADDITIONAL REQ'D)		
RESTAURANT SEATING SPACES	62	62
(SPACE / SEATS)	(1 SPACE / 3 SEATS)	(1 SPACE / 3 SEATS)
<b>PARKING TOTAL REQUIRED FOR ON-SITE HOTEL</b>		
	618	896
<b>ADDITIONAL SPACES REQUIRED FROM LOT 1-R, BLOCK 1 SILVER LAKE CROSSINGS ADDITION</b>		
	150	150
<b>TOTAL PARKING REQUIRED</b>	<b>768</b>	<b>1046</b>
SURFACE PARKING (# OF SPACES)	41	-
PARKING GARAGE (# OF SPACES)	727	-
<b>TOTAL PARKING PROVIDED</b>	<b>768</b>	<b>-</b>
<b>* PARKING REQUIRED AT 1 SPACE PER GUESTROOM REDUCTION</b>		



- NOTES:
- OWNER IS REQUESTING VARIANCE TO HEIGHT RESTRICTION TO ALLOW FOR A MAXIMUM HEIGHT OF 114 FEET. REFER TO SHEET 3 FOR DETAILED EXPLANATION.
  - OWNER IS REQUESTING VARIANCE TO OFF-STREET PARKING REQUIREMENT TO ALLOW FOR A RATIO OF 1 SPACE PER GUESTROOM. REFER TO SHEET 3 FOR DETAILED EXPLANATION.
  - CURRENT ZONING: "CC" COMMUNITY COMMERCIAL; CURRENT USE: VACANT; PROPOSED ZONING: PART OF PLANNED COMMUNITY CENTER; PROPOSED USE: HOTEL WITH RESTAURANT AND CONFERENCE SPACE
  - ALL ON-SITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.
  - ALL TRANSFORMERS SHALL BE SCREENED PER CITY REQUIREMENTS.
  - PLANNED DEVELOPMENT OVERLAY PDXX-XX IS A REQUEST TO DEVIATE FROM BUT NOT BE LIMITED TO A REDUCTION IN THE AMOUNT OF PARKING PROVIDED BELOW THAT REQUIRED BY ORDINANCE.
  - THE ENTIRE SITE IS THE PREMISE.
  - ALL THE REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION
  - MAXIMUM SIZE FOR SIGNAGE IS 60 SF WITH A HEIGHT NO GREATER THAN 6 FEET. ALL SIGNS SHALL BE 15' SETBACK FROM ALL PROPERTY LINES.
  - HOTEL SIGNAGE ON WALL. REFER TO ARCH FOR SIGNAGE DETAILS.
  - CONFERENCE CENTER SIGNAGE. REFER TO ARCH FOR SIGNAGE DETAILS.
  - OWNER UNDERSTANDS THAT ALL DOWNSTREAM DRAINAGE ISSUES MUST BE RESOLVED PRIOR TO ANY OF THE PROPERTIES BEING DEVELOPED.
  - SITE WILL COMPLY WITH ALL FAA HEIGHT GUIDELINES.
  - REFER TO SHEET 3 FOR SITE DATA TABLE.

OWNER/DEVELOPER:  
SUPREME BRIGHT GRAPEVINE III, LLC  
1135 KINWEST PARKWAY, SUITE 150  
IRVING, TEXAS 75063  
PHONE: (214) 774-4650  
FAX: (214) 260-3724  
CONTACT: MEHUL PATEL  
EMAIL: mehul@nchi.net



REVISIONS			
NO.	DESCRIPTION	DATE	BY
1	CUP SUBMITTAL	06/03/19	

CUP SUBMITTAL  
SILVERLAKE CROSSINGS  
GRAPEVINE, TEXAS

MULTI-BRAND HOTEL  
SITE PLAN

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Engineering / Architecture  
500 W. 7th St. Ste. 300 Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

DESIGNED:	SCALE:	DATE:	SHEET:
DRAWN:	AS SHOWN	06/03/2019	5 OF 33
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CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: CUP-19-000001  
LOCATION: LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

STATION: 05/06/2019 2:11PM H:\PROJECTS\113122\_BWA\ADD\113122\_BWA\_CADD & BWA\ADD\113122\_BWA\_SITE\_PLAN-300\_HTL.DWG

R0311312.12 SILVER LAKE CROSSINGS - CUP SUBMITTAL

**PLANT LEGEND**

-  INTERIOR TREE
-  PERIMETER TREE
-  NON-VEHICULAR OPEN SPACE TREE
-  INTERIOR LANDSCAPE AREA
-  FEATURE LANDSCAPE AREA

**LANDSCAPE REQUIREMENTS**

**PERIMETER LANDSCAPING:**  
PARKING/VEHICULAR USE AREAS MUST BE SCREENED FROM ABUTTING PROPERTIES AND/OR PUBLIC RIGHTS OF WAY

15' ABUTMENT EASEMENT AT R.O.W.  
10' ABUTMENT EASEMENT @ PL FROM ADJACENT PROPERTIES

SITE PERIMETER: 2482 LF

TREE REQUIREMENTS FOR SITE PERIMETER:  
(1) TREE PER EVERY 50 LF

REQUIRED: 50 TREES  
PROVIDED: 50 TREES

**NON-VEHICULAR OPEN SPACE:**  
15% OF TOTAL SITE AREA DEVOTED TO FEATURE LANDSCAPING, 50% TO BE PROVIDED IN FRONT YARD

SITE AREA: 297,766 SF  
REQUIRED: 44,665 SF (15%)  
PROVIDED: 91,610 SF (30.76%)

TREE REQUIREMENTS FOR NON-VEHICULAR OPEN SPACE:  
(1) TREE PER 3000 SF OF NON-VEHICULAR OPEN SPACE

REQUIRED: 15 TREES  
PROVIDED: 24 TREES

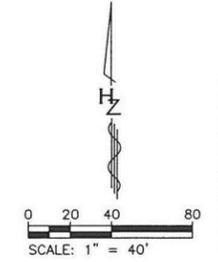
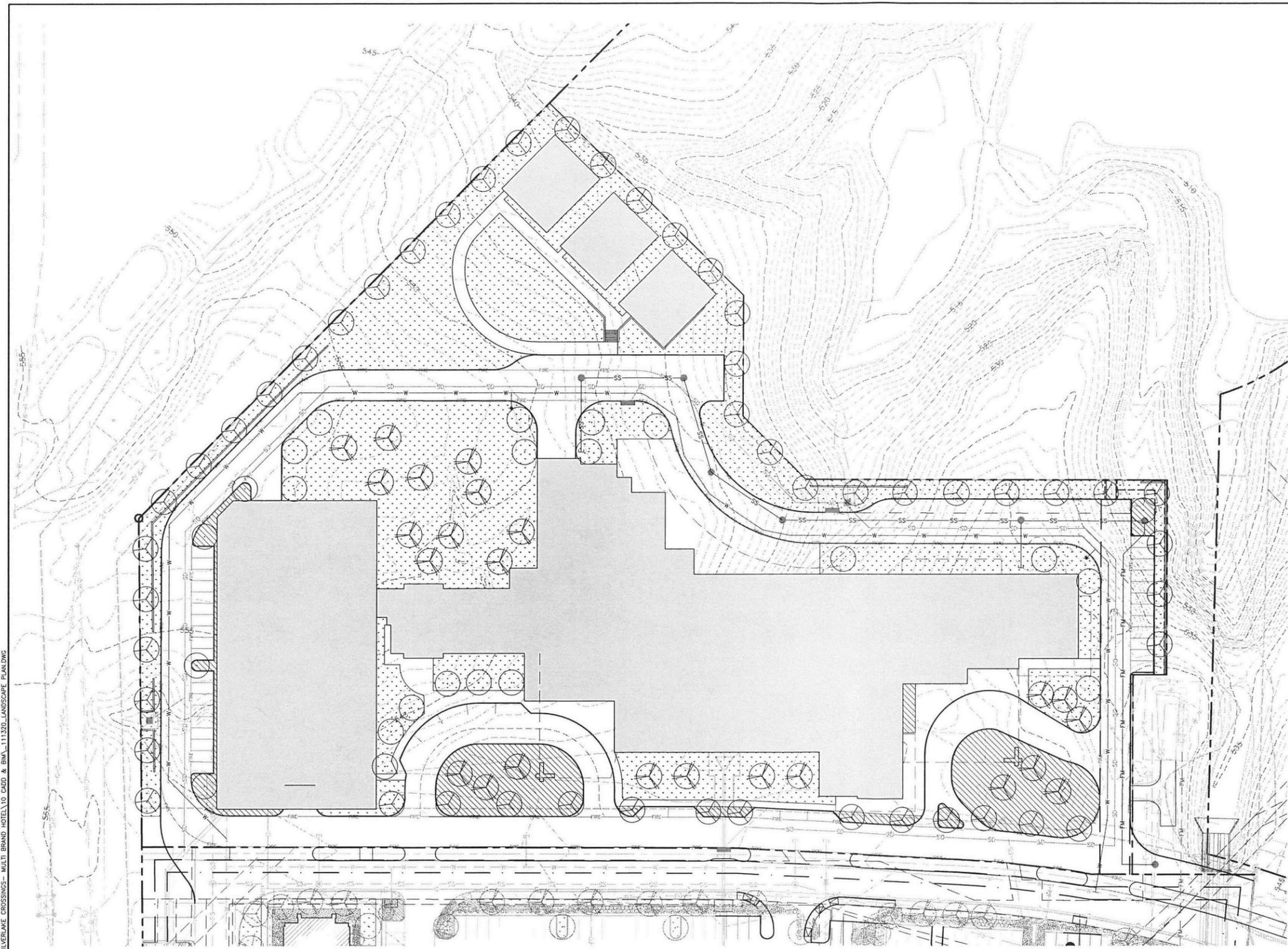
**INTERIOR LANDSCAPE AREA:**  
LANDSCAPE 10% OF THE GROSS PARKING AREA INCLUDING DRIVES, PARKING AND SIDEWALKS

GROSS PARKING AREA: 83,426 SF  
REQUIRED: 8,343 SF (10%)  
PROVIDED: 17,218 SF (20.64%)

TREE REQUIREMENTS FOR INTERIOR LANDSCAPE AREA:  
(1) TREE PER 400 SF OF INTERIOR LANDSCAPE AREA

REQUIRED: 21 TREES  
PROVIDED: 23 TREES

REQUIRED/PROVIDED: PLANTER ISLANDS EVERY 12 SPACES AND AT THE TERMINUS OF ALL ROWS. ISLANDS MUST CONTAIN (1) TREE, & BE 9'X18' MINIMUM SIZE



NOT FOR CONSTRUCTION

Huitt-Zollars, Inc.  
Firm Registration No. F-761

REVISIONS			
NO.	DESCRIPTION	DATE	BY

CUP SUBMITTAL  
SILVERLAKE CROSSINGS  
GRAPEVINE, TEXAS

MULTI-BRAND HOTEL  
MULTIBRAND HOTEL LANDSCAPE PLAN

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Engineering / Architecture  
500 W. 7th St. Ste. 300 Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

DESIGNED:	SCALE	DATE	SHEET
DRAWN:	AS SHOWN	03/04/2019	6 OF 6
CHECKED:			

CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: CUXX-21  
LOCATION: LOT 143, BLOCK 1, THE BLUFFS AT GRAPEVINE

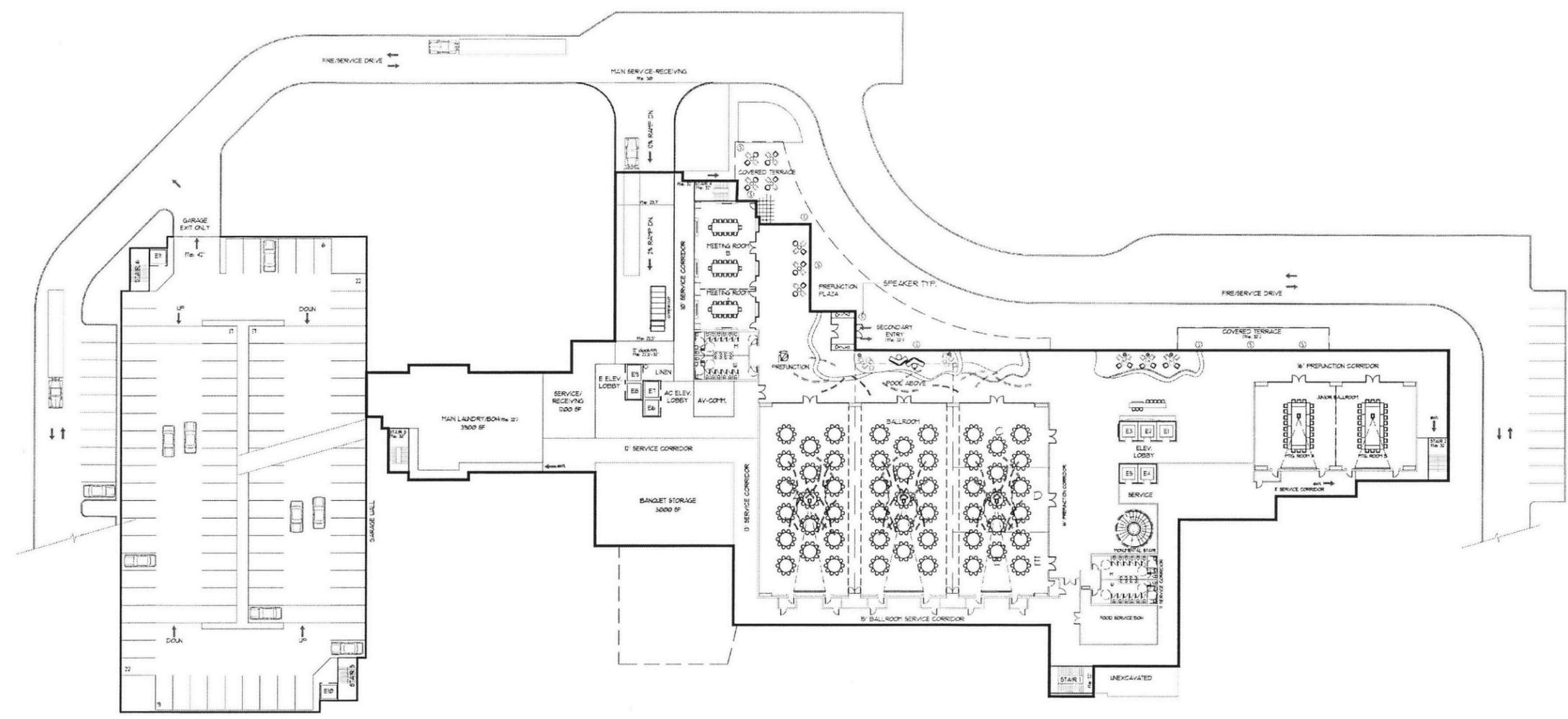
MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 6 OF 6

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

APR 22 06/03/2019 5:58PM P:\PROJECTS\1817 - GRAPEVINE, TX (TR-3880) AC-ELEMENT-REMISSANCE-CARAGE\CONCEPTUAL DESIGN\1817 COMBINED (RFL) DWG



NOTE:  
ALL SPEAKERS SHALL FACE AWAY FROM ANY CONTIGUOUS RESIDENTIAL ZONING DISTRICTS.

LOWER LEVEL IS FOR MEETING/CONFERENCE SPACE ONLY. NO GUEST ROOMS WILL BE LOCATED ON THIS LEVEL.

**LOWER LEVEL PLAN**  
SCALE: 1"=30'-0"

CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: 2019-000000  
LOCATION: LOT 1A & 2A, BLOCK 1, THE BLUFFS AT GRAPEVINE, LOTS 1-A, 2-A, 3, BLOCK 1, SILVER LAKE CROSSINGS

MAYOR: \_\_\_\_\_ SECRETARY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN: \_\_\_\_\_

DATE: \_\_\_\_\_  
SHEET: 7 OF 33

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

REVISIONS

NO.	DESCRIPTION	DATE	BY
NO1	DESCRIP1	DATE1	BY1
NO2	DESCRIP2	DATE2	BY2
NO3	DESCRIP3	DATE3	BY3
NO4	DESCRIP4	DATE4	BY4

CUP SUBMITTAL  
SILVERLAKE CROSSINGS  
GRAPEVINE, TEXAS



LOWER LEVEL PLAN

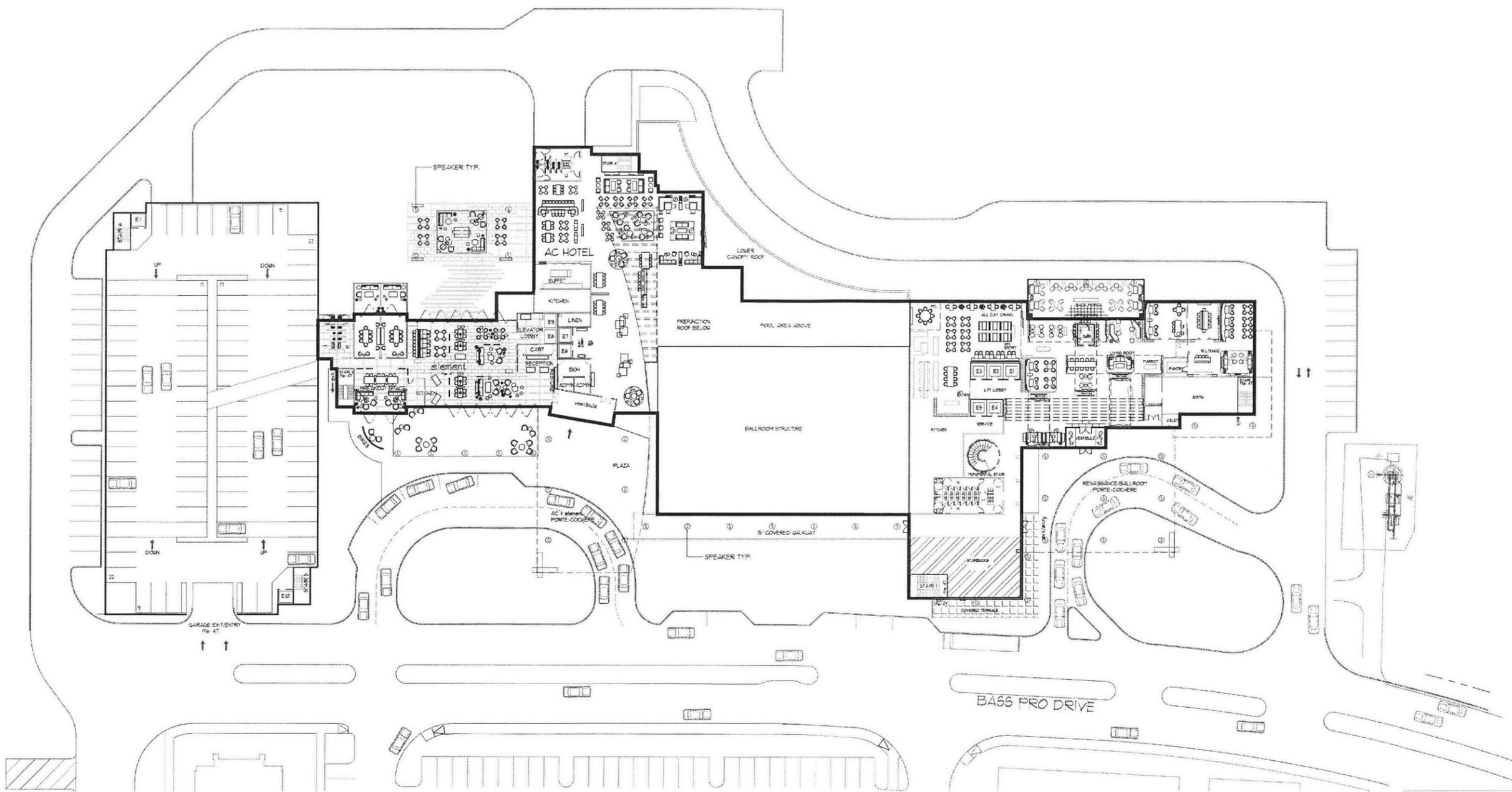
**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Engineering / Architecture  
500 W. 7th St. Ste. 300 Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

DESIGNED:	SCALE	DATE	SHEET
DRAWN:	AS SHOWN	05/06/2019	7 OF 33
CHECKED:			

NOT FOR CONSTRUCTION



S:\PROJECTS\06/05/2019\_12:15PM\_P:\PROJECTS\1817 - GARPENE, TX (TH-BRAND AC-ELEMENT-RENAISSANCE-GARPEN)\CONCEPTUAL DESIGN\1817\_COMBINED\_AFD.DWG



NOTE:  
S ALL SPEAKERS SHALL FACE AWAY FROM ANY CONTIGUOUS RESIDENTIAL ZONING DISTRICTS.

NOT FOR CONSTRUCTION



**GROUND LEVEL PLAN**  
SCALE: 1"=30'-0"

CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: GUAK-KK  
LOCATION OF THIS PLAN: BLOCK 1, THE SILVER LAKE CROSSINGS AT COUNTRY LANE IN ZONING DISTRICTS 1817 AND 1818, BLOCK 1, SILVER LAKE CROSSINGS

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 8 OF 33

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

REVISIONS			
NO.	DESCRIPTION	DATE	BY

NewcrestImage

**CUP SUBMITTAL**  
**SILVERLAKE CROSSINGS**  
**GRAPEVINE, TEXAS**

**LLW ARCHITECTS**

**GROUND LEVEL PLAN**

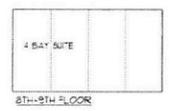
**HUITT-ZOLLARS**  
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500 W. 7th St. Ste. 300 Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

DESIGNED:	SCALE	DATE	SHEET
DRAWN:	AS SHOWN	05/06/2019	8 OF 33
CHECKED:			

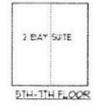




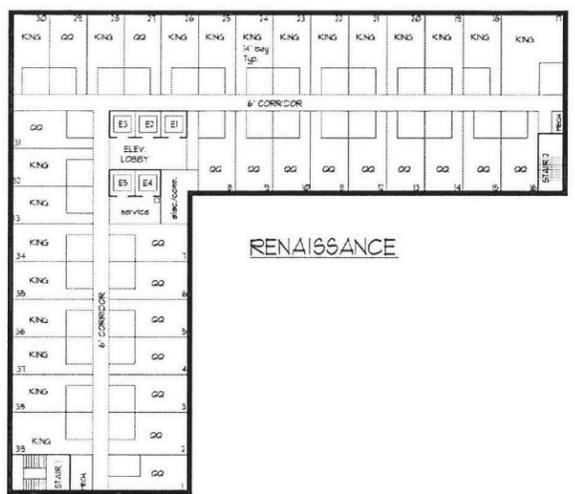
TYPICAL GARAGE LEVEL



4-BAY SUITE



1-BAY SUITE



TYPICAL FLOOR 3RD - 9TH PLANS  
SCALE: 1"=30'-0"



NOT FOR CONSTRUCTION



REVISIONS			
NO.	DESCRIPTION	DATE	BY

**CUP SUBMITTAL**  
**SILVERLAKE CROSSINGS**  
GRAPEVINE, TEXAS



TYPICAL FLOOR 3RD - 9TH PLANS

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Engineering / Architecture  
500 W. 7th St. Ste. 300 Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

DESIGNED:	SCALE:	DATE:	SHEET:
DRAWN:	AS SHOWN	05/06/2019	10 OF 33
CHECKED:			

CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: CUXX-KX  
LOCATION: LOT 1A & 2A, BLOCK 1, THE BLUFFS AT GRAPVINE, LOTS 1-A, 2, & 3, BLOCK 1, SILVER LAKE CROSSINGS

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_  
SHEET: 10 OF 33

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES



KING  
395 SF.

QUEEN QUEEN  
395 SF.

GUESTROOM MATRIX \*

ROOM TYPE	MIN AREA REQUIRED	ACTUAL AREA PROVIDED	QUANTITY
RENAISSANCE			
KING	380 SF.	395 SF.	152
QUEEN QUEEN	380 SF.	395 SF.	143
2 BAY SUITE	380 SF.	730 SF.	3
4 BAY SUITE	380 SF.	1520 SF.	2
TOTAL			300

\* MULTI-BAY SUITES ARE INCLUDED IN THE MATRIX FOR ROOM COUNT CLARITY. REFER TO THE TYPICAL FLOOR PLAN (3RD - 9TH) LOCATIONS.

LARGE SCALE GUEST ROOM LAYOUTS - RENAISSANCE  
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



REVISIONS			
NO.	DESCRIPTION	DATE	BY

CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: 0146-19  
LOCATION: LOT 143 & 2A, BLOCK 3, THE BLUFFS AT GRAPEVINE, LOTS 1-A, 2, & 3, BLOCK 1, SILVER LAKE CROSSINGS

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_

DESIGNED: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
CHECKED: \_\_\_\_\_

DEPARTMENT OF DEVELOPMENT SERVICES

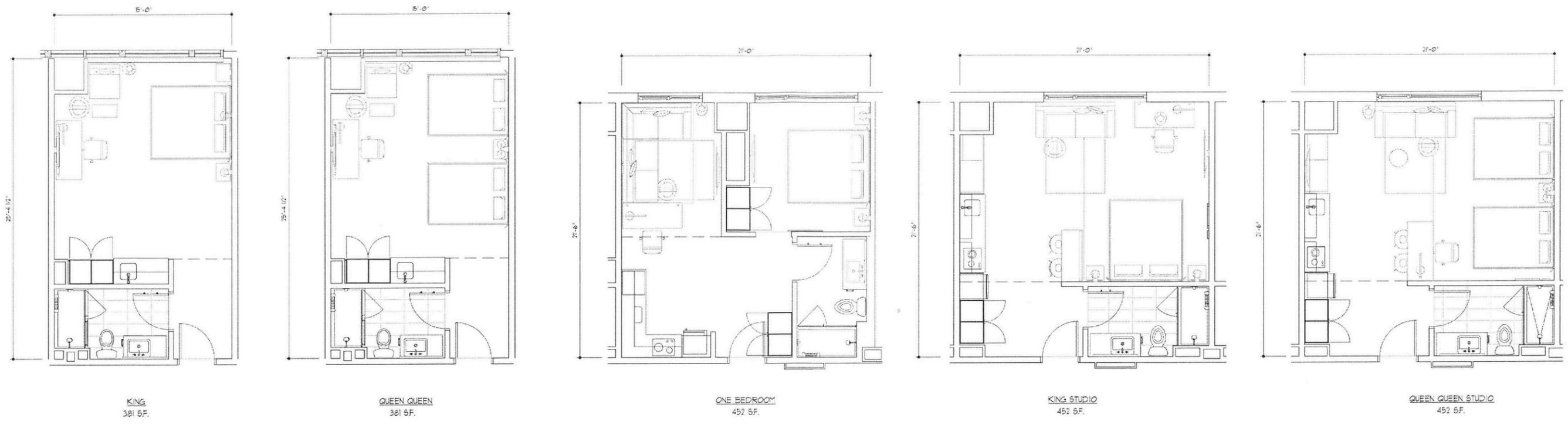
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CUP SUBMITTAL  
SILVERLAKE CROSSINGS  
GRAPEVINE, TEXAS

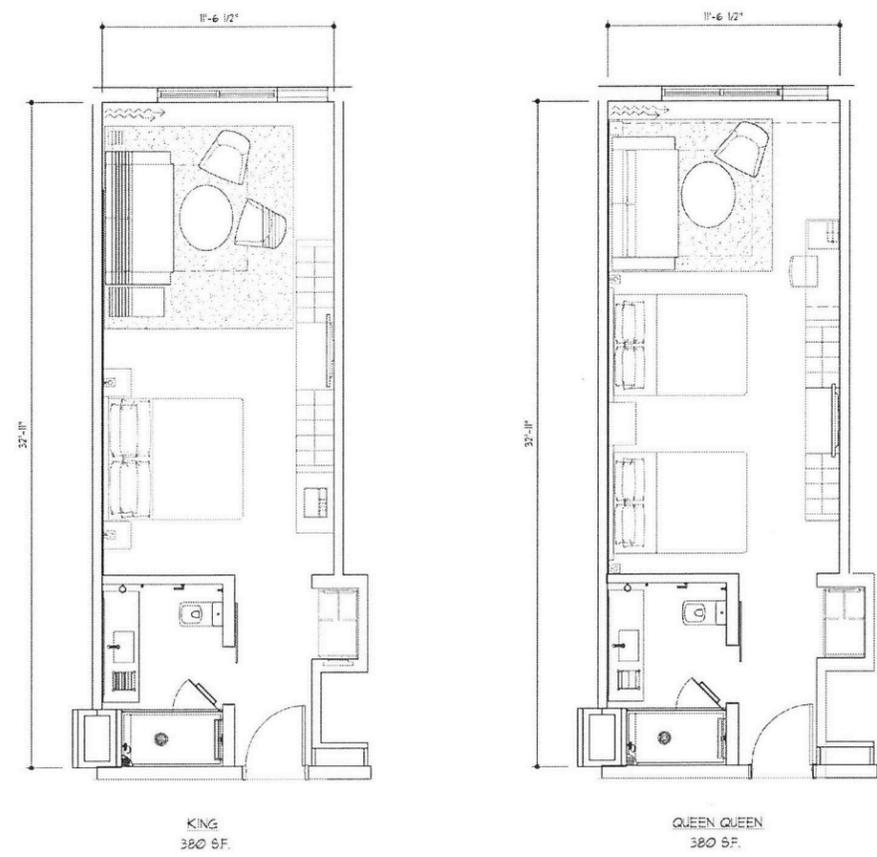
LARGE SCALE GUEST ROOM  
LAYOUTS- RENAISSANCE

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Huitt-Zollars, Inc. Engineering / Architecture  
500 W. 7th St. Ste. 300 Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

DESIGNED:	SCALE	DATE	SHEET
DRAWN:	AS SHOWN	05/06/2019	11 OF 33
CHECKED:			



**ELEMENT GUEST ROOMS**



**AC GUEST ROOMS**

GUESTROOM MATRIX *			
ROOM TYPE	MIN. AREA REQUIRED	ACTUAL AREA PROVIDED	QUANTITY
<b>ELEMENT</b>			
KING	380 SF.	381 SF.	37
QUEEN QUEEN	380 SF.	381 SF.	37
ONE BEDROOM	380 SF.	452 SF.	24
KING STUDIO	380 SF.	452 SF.	16
QUEEN QUEEN STUDIO	380 SF.	452 SF.	16
TOTAL			130
<b>AC</b>			
KING	380 SF.	380 SF.	66
QUEEN QUEEN	380 SF.	380 SF.	64
TOTAL			130

\* MULTI-BAY SUITES ARE INCLUDED IN THE MATRIX FOR ROOM COUNT CLARITY. REFER TO THE TYPICAL FLOOR PLAN (3RD - 5TH) LOCATIONS.

**LARGE SCALE GUEST ROOM LAYOUTS - ELEMENT & AC**  
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



REVISIONS			
NO.	DESCRIPTION	DATE	BY

NewcrestImage

**CUP SUBMITTAL**  
SILVERLAKE CROSSINGS  
GRAPEVINE, TEXAS

**LW ARCHITECTS**

**LARGE SCALE GUEST ROOM LAYOUTS - ELEMENT & AC**

CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: CUP-19  
LOCATION: LOT 1A & 2A, BLOCK 1, THE BLUES AT GRAPES, LOTS 1-4, 2 & 3, BLOCK 1, SILVER LAKE CROSSINGS

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_

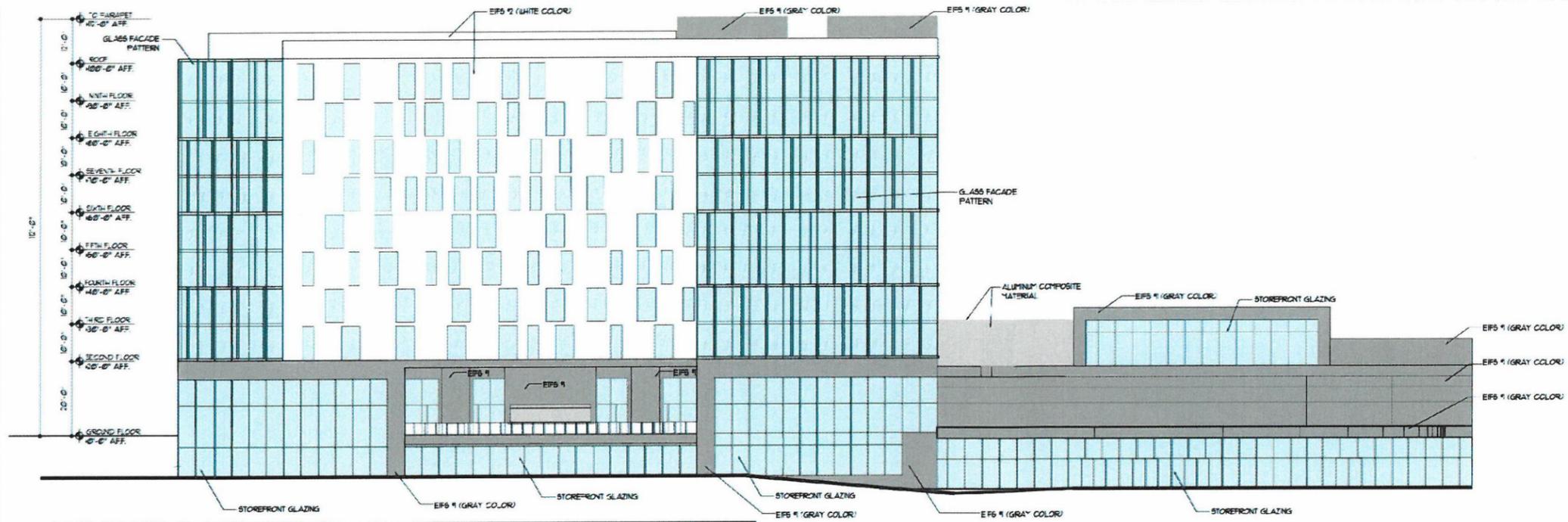
DESIGNED: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
CHECKED: \_\_\_\_\_

DEPARTMENT OF DEVELOPMENT SERVICES

**HUITT-ZOLLARS**  
Engineering / Architecture  
500 W. 7th St. Ste. 300 Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

DESIGNED:	SCALE	DATE	SHEET
DRAWN:	AS SHOWN	05/06/2019	12 OF 33
CHECKED:			

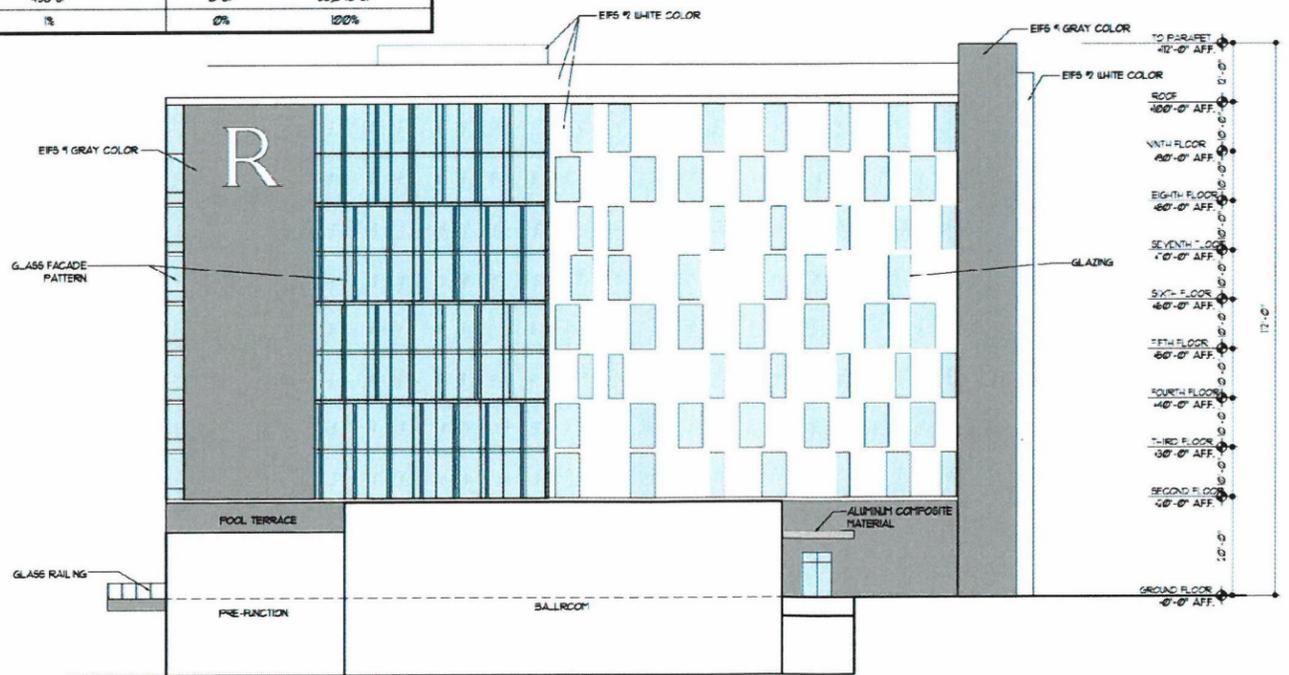




**FINISH MATERIAL AREA CALCULATION: NORTH ELEVATION**

MATERIAL	GLAZING	EIFS	ALUMINUM COMPOSITE MATERIAL	PRECAST	TOTAL
AREA SQUARE FOOTAGE	11,661 SF	14,520 SF	458 SF	0 SF	33,045 SF
AREA PERCENTAGE	34%	45%	1%	0%	100%

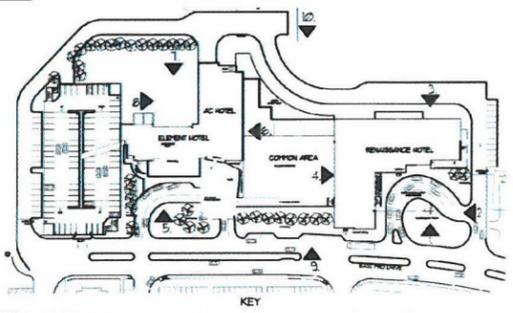
**3. NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**FINISH MATERIAL AREA CALCULATION: WEST ELEVATION**

MATERIAL	GLAZING	EIFS	ALUMINUM COMPOSITE MATERIAL	PRECAST	TOTAL
AREA SQUARE FOOTAGE	6,380 SF	10,352 SF	0 SF	0 SF	16,732 SF
AREA PERCENTAGE	38%	62%	0%	0%	100%

**4. WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



NOT FOR CONSTRUCTION

REVISIONS			
NO.	DESCRIPTION	DATE	BY

CU-1 SUBMITTAL  
SILVERLAKE CROSSINGS  
GRAPEVINE, TEXAS

**LW ARCHITECTS**  
EXTERIOR ELEVATIONS

**HUITT-ZOLIARS**  
Engineering / Architecture  
500 W. 7th St. Ste. 300  
Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

DESIGNED:	SCALE:	DATE:	SHEET:
DRAWN:	AS SHOWN	05/06/2019	14 OF 33
CHECKED:			

3/24/2019 10:00 PM P:\PROJECTS\1617 - GRAPEVINE, TX (TR)-BRAND AC-ELEMENT-RENAISSANCE-GARAGE\CONCEPTUAL DESIGN\1617-CONCEPT ELEVATION

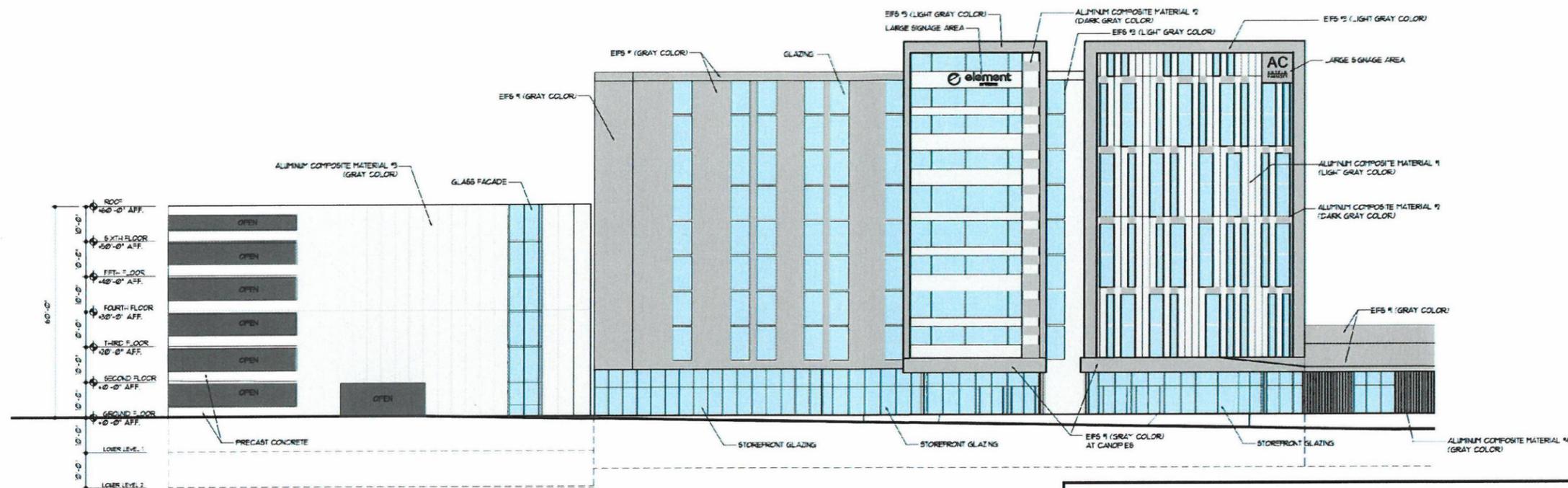
CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: CU-1-18  
LOCATION: LOT 140 & 2A, BLOCK 1, THE BLUFFS AT SILVERLAKE CROSSINGS, LOTS 1-14, 2, 3, BLOCK 1, SILVER LAKE CROSSINGS

WAYOR: \_\_\_\_\_ SECRETARY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION: \_\_\_\_\_  
CHAIRMAN: \_\_\_\_\_

DATE: \_\_\_\_\_  
SHEET: 14 OF 33

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

DEPARTMENT OF DEVELOPMENT SERVICES



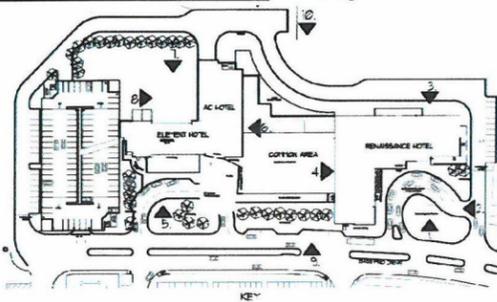
5. SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

MATERIAL	GLAZING	EIFS	ALUMINUM COMPOSITE MATERIAL	PRECAST	TOTAL
AREA SQUARE FOOTAGE	9,661 SF	8,960 SF	7,671 SF	916 SF	27,208 SF
AREA PERCENTAGE	36%	33%	28%	3%	100%



6. EAST ELEVATION  
SCALE: 1/8" = 1'-0"

MATERIAL	GLAZING	EIFS	ALUMINUM COMPOSITE MATERIAL	PRECAST	TOTAL
AREA SQUARE FOOTAGE	4,929 SF	10,601 SF	0 SF	0	15,530 SF
AREA PERCENTAGE	32%	68%	0%	0%	100%



NOT FOR CONSTRUCTION

NO.	DESCRIPTION	DATE	BY

CASE NAME: SILVER LAKE CROSSINGS  
 CASE NUMBER: C-22-11-11  
 LOCATION: LOT 140 & 2A, BLOCK 11, THE SILVER LAKE CROSSINGS, PHASE 1, 2, 3, 4, BLOCK 1, SILVER LAKE CROSSINGS

DATE: \_\_\_\_\_  
 SHEET: 15 OF 33

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

UL-PLAN MAN. OF DEVELOPMENT SERVICES

CUP SUBMITTAL  
 SILVERLAKE CROSSINGS  
 GRAPEVINE, TEXAS

EXTERIOR ELEVATIONS

**HUITT-ZOLLARS**  
 Huitt-Zollars, Inc. Engineering / Architecture  
 503 W. 7th St. Ste. 300 Fort Worth, Texas 76102  
 Phone (817)335-3000 Fax (817)335-1025

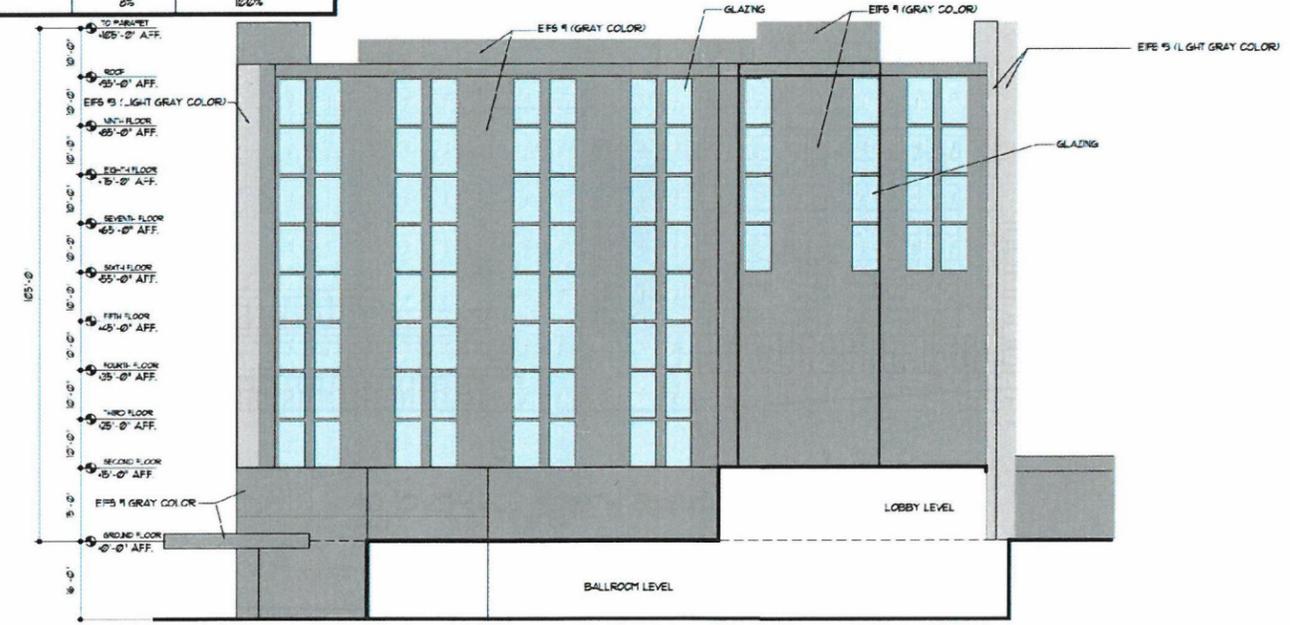
DESIGNED:	SCALE:	DATE:	SHEET:
DRAWN:	AS SHOWN	05/06/2019	15 OF 33
CHECKED:			



**FINISH MATERIAL AREA CALCULATION: NORTH ELEVATION**

MATERIAL	GLAZING	EPS	ALUMINUM COMPOSITE MATERIAL	PRECAST	TOTAL
AREA SQUARE FOOTAGE	9,75 SF	11,676 SF	1471 SF	2063 SF	24,341 SF
AREA PERCENTAGE	38%	48%	6%	8%	100%

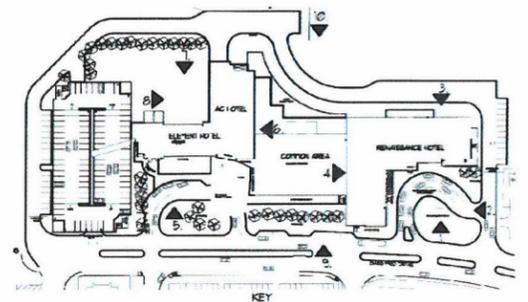
**7. NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**8. WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

**FINISH MATERIAL AREA CALCULATION: WEST ELEVATION**

MATERIAL	GLAZING	EPS	ALUMINUM COMPOSITE MATERIAL	PRECAST	TOTAL
AREA SQUARE FOOTAGE	4,278 SF	12,411 SF	0	0	16,689 SF
AREA PERCENTAGE	25%	75%	0%	0%	100%



NOT FOR CONSTRUCTION



REVISIONS

NO.	DESCRIPTION	DATE	BY

CUP SUBMITTAL  
SILVERLAKE CROSSINGS  
GRAPEVINE, TEXAS

EXTERIOR ELEVATIONS

**HUITT-ZOLLARS**  
Hull-Zollars, Inc.  
500 W. 7th St. Ste. 300  
Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

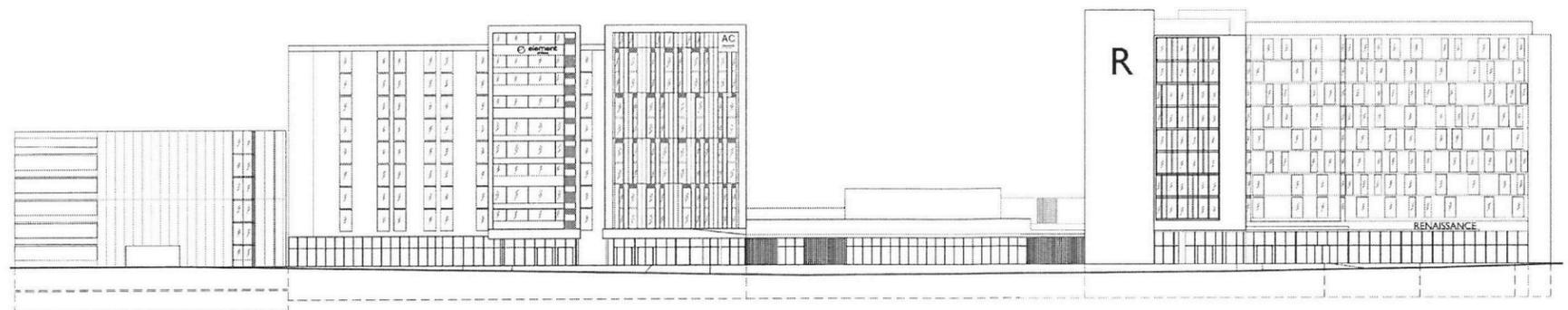
DESIGNED: SCALE: DATE: SHEET:  
DRAWN: AS SHOWN 05/06/2019 16 OF 33  
CHECKED:

CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: 19-114  
LOCATION: LOT 1A & 2A, BLOCK 1, THE BLUFFS AT GRAPING, LOTS 1-4, 2 & 3, BLOCK 1, SILVER LAKE CROSSINGS

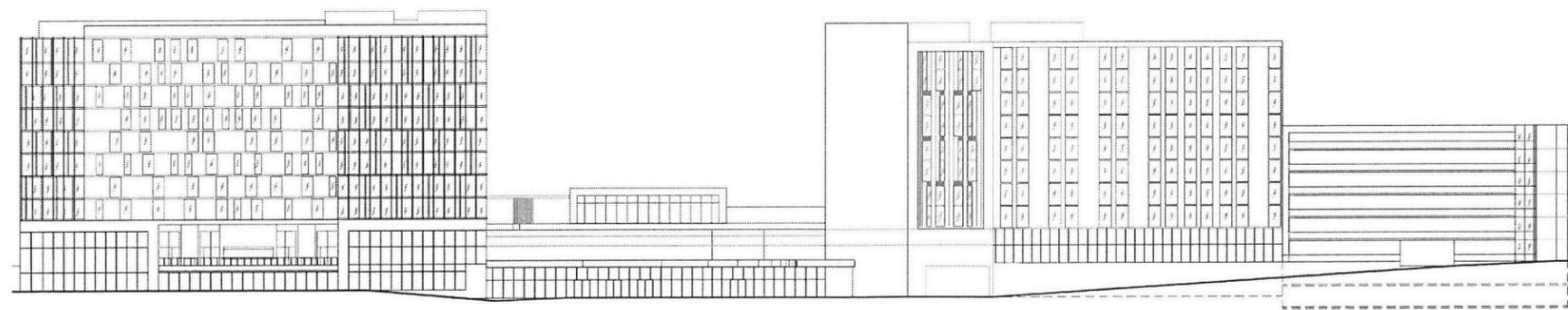
DATE: \_\_\_\_\_  
MAYOR SECRETARY  
PLANNING AND ZONING COMMISSION  
DATE: \_\_\_\_\_  
CHAIRMAN  
SHEET: 16 OF 33  
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.  
DEVELOPER: DEVELOPMENT SERVICES

PROJECT NO. 19-114 DATE: 05/06/2019 16 OF 33

R0311312.12 SILVER LAKE CROSSINGS - BUILDING PERMIT SUBMITTAL

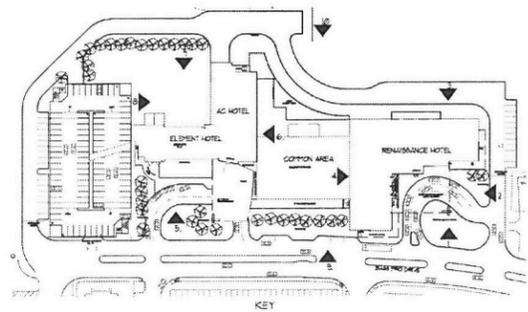


9. OVERALL SOUTH ELEVATION  
SCALE: 1/32" = 1'-0"



10. OVERALL NORTH ELEVATION  
SCALE: 1/32" = 1'-0"

FINISH MATERIAL AREA CALCULATION: OVERALL					
MATERIAL	GLAZING	EIFS	ALUMINUM COMPOSITE MATERIAL	PRECAST	TOTAL
AREA SQUARE FOOTAGE	69,539 SF	36,967 SF	10,716 SF	2979 SF	119,661 SF
AREA PERCENTAGE	38%	54%	6%	2%	100%



NOT FOR CONSTRUCTION



REVISIONS			
NO.	DESCRIPTION	DATE	BY

CUP SUBMITTAL  
SILVERLAKE CROSSINGS  
GRAPEVINE, TEXAS



EXTERIOR ELEVATIONS

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc.  
500 W. 7th St. Ste. 300  
Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: CUXK-19  
LOCATION: LOTS 1A2 & 2A, BLOCK 1, THE BLUFFS AT GRAPVINE,  
LOTS 1-4, 2 & 3, BLOCK 1, SILVER LAKE CROSSINGS

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 17 OF 33

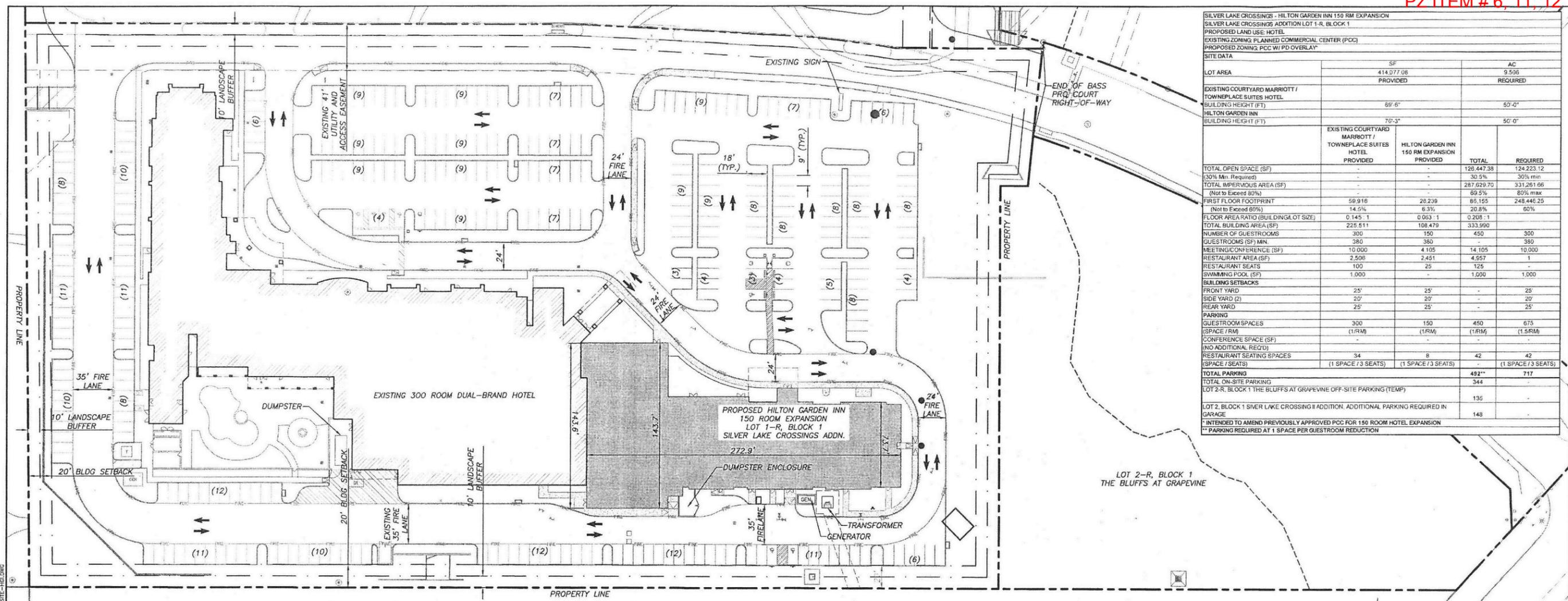
APPROVAL DOES NOT AUTHORIZE ANY WORK  
IN CONFLICT WITH ANY CODES OR  
ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

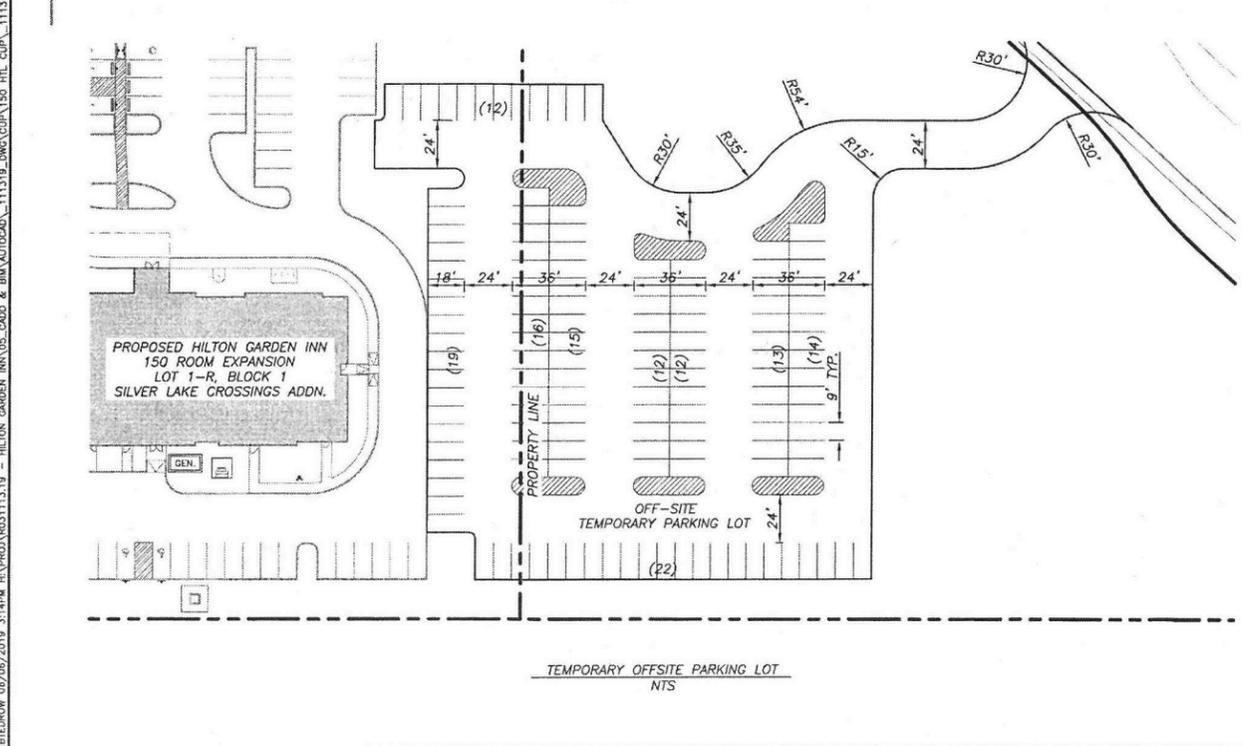
DESIGNED:	SCALE	DATE	SHEET
DRAWN:	AS SHOWN	05/06/2019	17 OF 33
CHECKED:			



HUITT-ZOLIARS, INC.



SILVER LAKE CROSSINGS - HILTON GARDEN INN 150 RM EXPANSION			
SILVER LAKE CROSSINGS ADDITION LOT 1-R, BLOCK 1			
PROPOSED LAND USE: HOTEL			
EXISTING ZONING: PLANNED COMMERCIAL CENTER (PCC)			
PROPOSED ZONING: PCC W/ PD OVERLAY			
SITE DATA			
LOT AREA	SF	AC	
	414,077.08	9.506	
	PROVIDED	REQUIRED	
EXISTING COURTYARD MARRIOTT / TOWNPLACE SUITES HOTEL			
BUILDING HEIGHT (FT)	69'-6"	50'-0"	
HILTON GARDEN INN			
BUILDING HEIGHT (FT)	75'-3"	50'-0"	
EXISTING COURTYARD MARRIOTT / TOWNPLACE SUITES HOTEL		HILTON GARDEN INN 150 RM EXPANSION	
PROVIDED	PROVIDED	TOTAL	REQUIRED
TOTAL OPEN SPACE (SF)	128,447.38	124,223.12	30.5%
(30% Min. Required)	-	-	30.5% min
TOTAL IMPERVIOUS AREA (SF)	-	287,029.70	331,261.66
(Not to Exceed 80%)	-	69.5%	80% max
FIRST FLOOR FOOTPRINT	59,916	28,238	89,155
(Not to Exceed 60%)	14.5%	6.3%	20.8%
FLOOR AREA RATIO (BUILDING/LOT SIZE)	0.145 : 1	0.063 : 1	0.208 : 1
TOTAL BUILDING AREA (SF)	229,511	108,479	333,990
NUMBER OF GUESTROOMS	300	150	450
GUESTROOMS (SF) MIN.	360	360	360
MEETING/CONFERENCE (SF)	10,000	4,105	14,105
RESTAURANT AREA (SF)	2,506	2,451	4,957
RESTAURANT SEATING	100	25	125
SWIMMING POOL (SF)	1,000	-	1,000
BUILDING SETBACKS			
FRONT YARD	25'	25'	25'
SIDE YARD (2)	20'	20'	20'
REAR YARD	25'	25'	25'
PARKING			
GUESTROOM SPACES	300	150	450
(SPACE / RM)	(1/RM)	(1/RM)	(1.5/RM)
CONFERENCE SPACE (SF)	-	-	-
(NO ADDITIONAL REQ'D)	-	-	-
RESTAURANT SEATING SPACES	34	8	42
(SPACE / SEATS)	(1 SPACE / 3 SEATS)	(1 SPACE / 3 SEATS)	(1 SPACE / 3 SEATS)
TOTAL PARKING	492**	717	
TOTAL ON-SITE PARKING	344		
LOT 2-R, BLOCK 1 THE BLUFFS AT GRAPEVINE OFF-SITE PARKING (TEMP)		135	
LOT 2-R, BLOCK 1 SILVER LAKE CROSSINGS II ADDITION, ADDITIONAL PARKING REQUIRED IN GARAGE		148	
* INTENDED TO AMEND PREVIOUSLY APPROVED PCC FOR 150 ROOM HOTEL EXPANSION			
** PARKING REQUIRED AT 1 SPACE PER GUESTROOM REDUCTION			



- NOTES:**
- OWNER IS REQUESTING VARIANCE TO HEIGHT RESTRICTION TO ALLOW A MAXIMUM HEIGHT OF 77 FEET. REFER TO SHEET 3 FOR DETAILED EXPLANATION.
  - OWNER IS REQUESTING VARIANCE TO OFF-STREET PARKING REQUIREMENT TO ALLOW FOR A RATIO OF 1 SPACE PER GUESTROOM PLUS REQUIREMENT FOR RESTAURANT SEATING. REFER TO SHEET 3 FOR DETAILED EXPLANATION.
  - CURRENT ZONING: "PCC" PLANNED COMMERCIAL CENTER; CURRENT USE: VACANT; PROPOSED ZONING: "PCC" PLANNED COMMERCIAL CENTER; PROPOSED USE: HOTEL WITH RESTAURANT AND CONFERENCE SPACE.
  - ALL ON-SITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.
  - ALL REQUIREMENTS OF THE CITY OF GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.
  - ALL TRANSFORMERS SHALL BE SCREENED PER CITY REQUIREMENTS.
  - CONDITIONAL USE REQUEST CU16-23 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU13-13 (ORD. 13-60) FOR A PLANNED COMMERCIAL CENTER IN CONJUNCTION WITH A 300 ROOM CO-BRANDED HOTEL WITH ON-PREMISE ALCOHOL BEVERAGE SALES. BUILDING HEIGHT IN EXCESS OF 50 FEET AND A 20' PYLON SIGN, SPECIFICALLY TO ALLOW FOR A 150 ROOM EXPANSION (HILTON GARDEN INN), AN INCREASE IN HEIGHT FOR THE EXPANSION, AND TO INCREASE THE SIZE OF THE PLANNED COMMERCIAL CENTER.
  - PLANNED DEVELOPMENT PD16-08 IS A REQUEST TO DEVIATE FROM BUT NOT BE LIMITED TO REDUCTION IN THE AMOUNT OF PARKING PROVIDED BELOW THAT REQUIRED BY ORDINANCE.
  - THE ENTIRE SITE IS THE PREMISE.
  - SITE WILL COMPLY WITH ALL FAA HEIGHT GUIDELINES.
  - OWNER UNDERSTANDS THAT ALL DOWNSTREAM DRAINAGE ISSUES MUST BE RESOLVED PRIOR TO ANY OF THE PROPERTIES BEING DEVELOPED.
  - REFER TO SHEET 3 FOR SITE DATA TABLE.

**LEGEND:**

- PROPERTY LINE
- VEHICULAR FLOW
- FIRE LANE
- PROPOSED BUILDING

OWNER/DEVELOPER:  
GRAPEVINE METRO HOTEL GP, LLC  
1135 KINWEST PARKWAY, SUITE 150  
IRVING, TEXAS 75063  
PHONE: (214) 774-4650  
FAX: (214) 260-3724  
CONTACT: MEHUL PATEL  
EMAIL: mehul@mchi.net

NOT FOR CONSTRUCTION

SCALE: 1" = 40'

CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: CU-13-13  
LOCATION: LOT 1-R, BLOCK 1, THE BLUFFS AT GRAPEVINE, LOTS 1-R, 2-R, 3-R, BLOCK 1, SILVER LAKE CROSSINGS

MAYOR: \_\_\_\_\_ SECRETARY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 19 OF 33

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

REVISIONS			
NO.	DESCRIPTION	DATE	BY
1	CUP SUBMITTAL	06/03/19	

CUP SUBMITTAL  
SILVERLAKE CROSSINGS  
GRAPEVINE, TEXAS

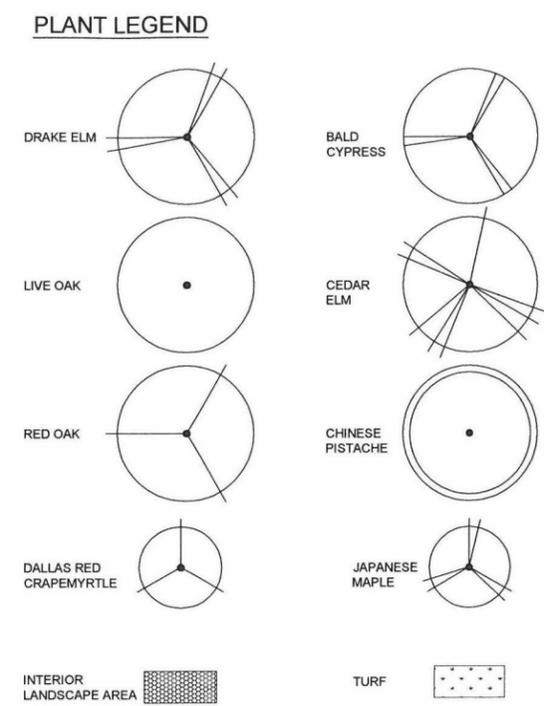
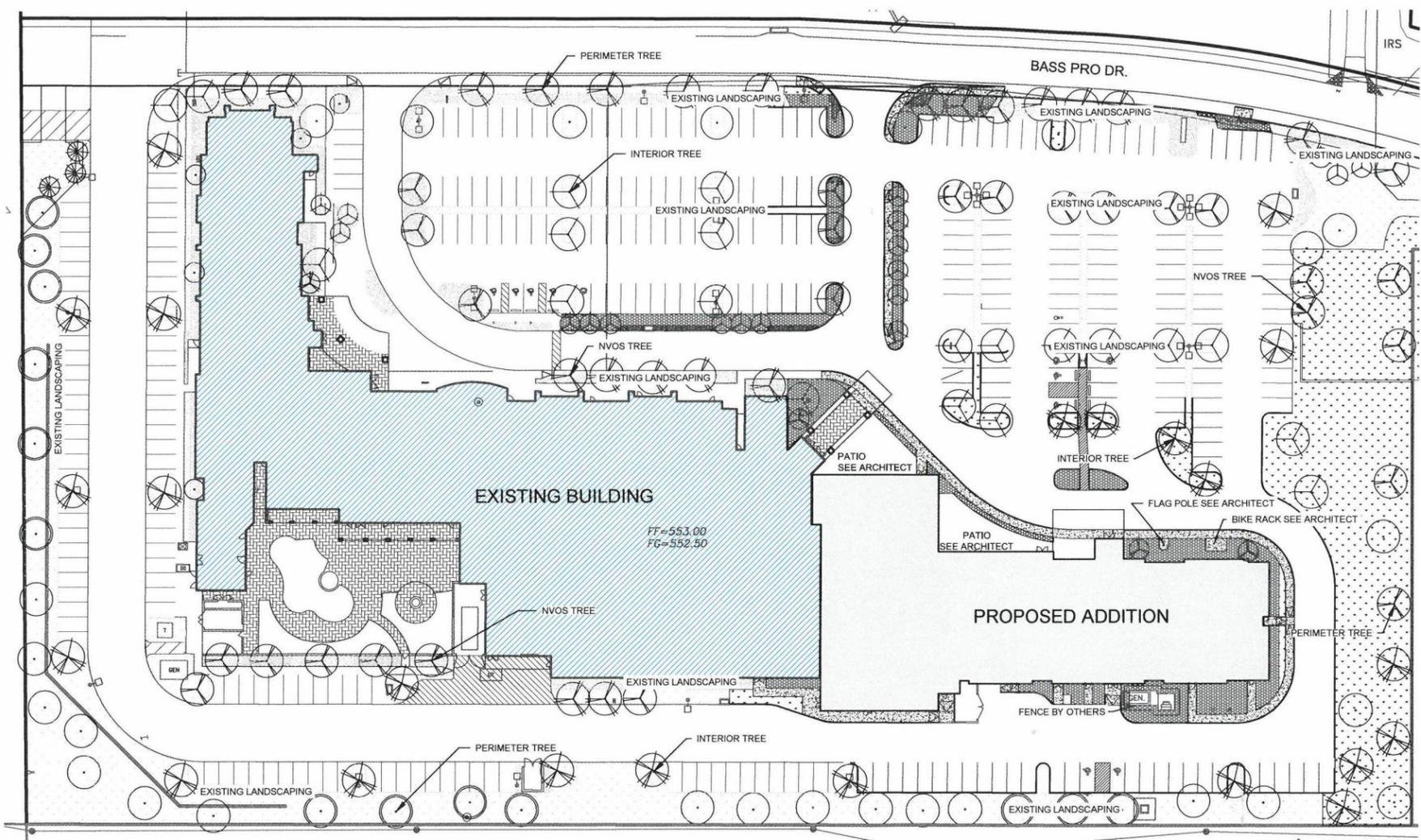
HOTEL EXPANSION  
SITE PLAN

**HUITT-ZOLIARS**  
Huitt-Zoliars, Inc. Engineering / Architecture  
500 W. 7th St. Ste. 300 Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

DESIGNED:	SCALE	DATE	SHEET
DRAWN:	AS SHOWN	06/03/2019	19 OF 33
CHECKED:			

B:\PROJECTS\2019\06\03\19\HILTON GARDEN INN\05\_CADD & BIM\AUTOCAD\111312\_SITE-HOLD.DWG

R03111312.12 SILVER LAKE CROSSINGS - CUP SUBMITTAL



BTDROW 06/06/2019 4:46PM H:\PROJECTS\111312\111312\_LANDSCAPE-HGL.DWG & BIM\AUTOCAD\111312\_LANDSCAPE-HGL.DWG

**LANDSCAPE REQUIREMENTS**

**PERIMETER LANDSCAPING:**  
PARKING/VEHICULAR USE AREAS MUST BE SCREENED FROM ABUTTING PROPERTIES AND/OR PUBLIC RIGHTS OF WAY

15' ABUTMENT EASEMENT AT R.O.W.  
10' ABUTMENT EASEMENT @ PL FROM ADJACENT PROPERTIES

(1) TREE FOR EVERY 50 LF  
REQUIRED: 53 TREES  
PROVIDED: 56 TREES

**NON-VEHICULAR OPEN SPACE:**  
15% OF TOTAL SITE AREA DEVOTED TO FEATURE LANDSCAPING, 50% TO BE PROVIDED IN FRONT YARD

REQUIRED: 59,309 SF  
PROVIDED: 61,181 SF

**TREE REQUIREMENTS FOR NON-VEHICULAR OPEN SPACE**  
1 TREE PER 3000 SF OF NON-VEHICULAR OPEN SPACE

REQUIRED: 21 TREES  
PROVIDED: 21 TREES

**INTERIOR LANDSCAPING:**  
LANDSCAPE 10% OF THE GROSS PARKING AREA INCLUDING DRIVES, PARKING AND SIDEWALKS

REQUIRED: 19,000 SF  
PROVIDED: 20,320 SF

(1) TREE FOR EVERY 400 SF OF INTERIOR LANDSCAPE AREA  
REQUIRED: 51 TREES  
PROVIDED: 51 TREES

REQUIRED/PROVIDED: PLANTER ISLANDS EVERY 12 SPACES AND AT THE TERMINUS OF ALL ROWS. ISLANDS MUST CONTAIN (1) TREE, & BE 9'X18' MINIMUM SIZE



NOT FOR CONSTRUCTION



REVISIONS			
NO.	DESCRIPTION	DATE	BY
1	CUP SUBMITTAL	06/03/19	

CUP SUBMITTAL  
SILVERLAKE CROSSINGS  
GRAPEVINE, TEXAS

HOTEL EXPANSION  
LANDSCAPE PLAN

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Engineering / Architecture  
500 W. 7th St. Ste. 300 Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: CU-  
LOCATION: LOT 143 & 24, BLOCK 1, THE BLUFFS AT GRAPING, LOTS 1-A, 2, & 3, BLOCK 1, SILVER LAKE CROSSINGS

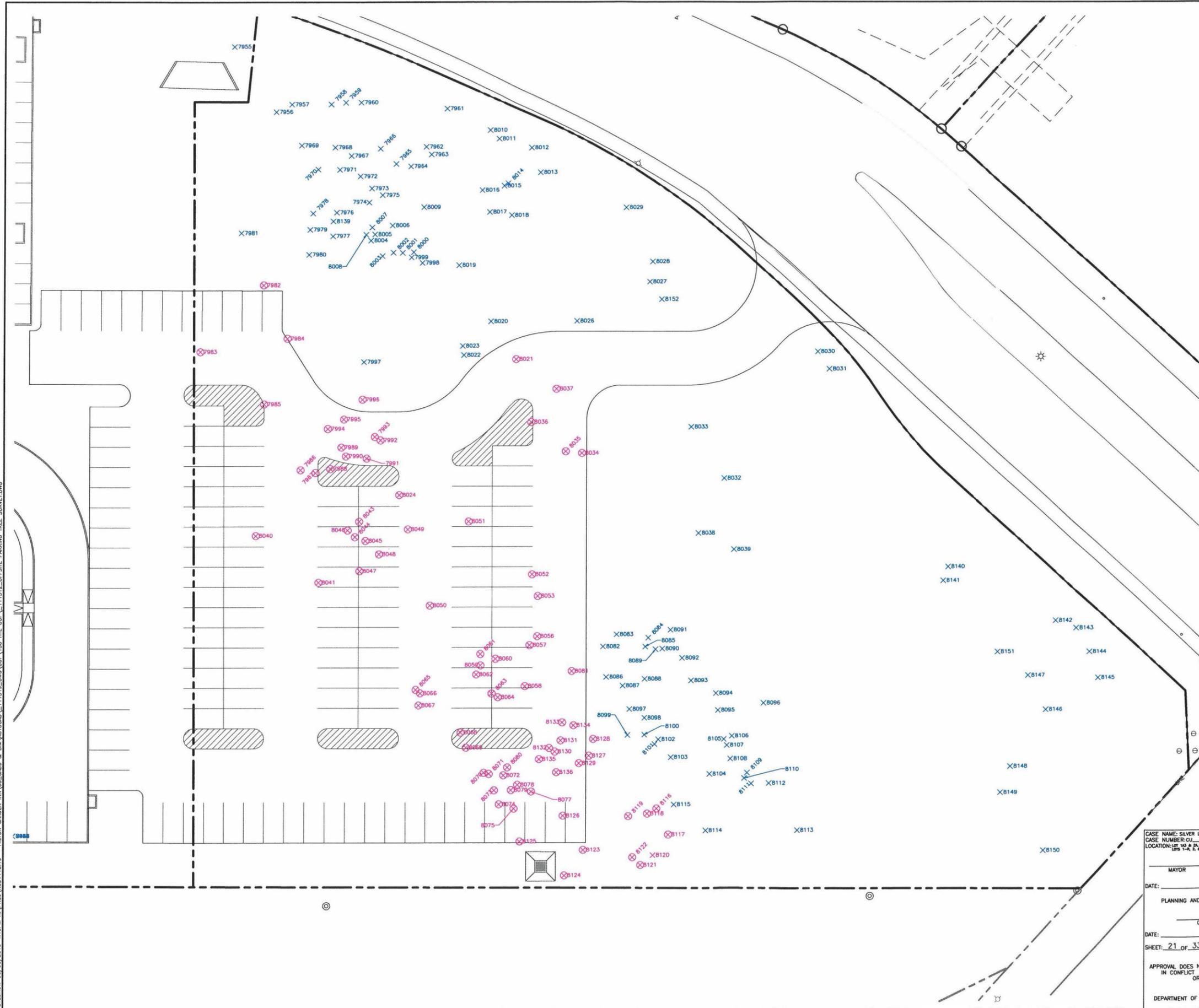
MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 20 OF 33

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

DESIGNED:	SCALE	DATE	SHEET
DRAWN:	AS SHOWN	06/03/2019	20 OF 33
CHECKED:			

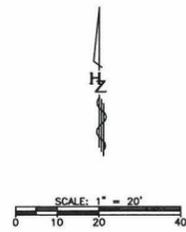


**LEGEND**

8150 + TREE TO REMAIN

8150 ⊕ TREE TO BE REMOVED

TOTAL PARKING SPACES: 135  
 TOTAL TREES ON SITE: 192  
 TOTAL COUNT OF TREES REMOVED DUE TO PARKING: 80  
 TOTAL COUNT OF TREES REMAINING: 112  
 TOTAL CALIPER INCHES OF TREES REMOVED DUE TO PARKING: 652 INCHES  
 TOTAL CALIPER INCHES OF TREES REMAINING: 888 INCHES



NOT FOR CONSTRUCTION

REVISIONS			
NO.	DESCRIPTION	DATE	BY
1	CUP SUBMITTAL	06/03/19	

CUP SUBMITTAL  
 SILVERLAKE CROSSINGS  
 GRAPEVINE, TEXAS

HOTEL EXPANSION  
 OFFSITE TREE SURVEY

**HUITT-ZOLLARS**  
 Huitt-Zollars, Inc. Engineering / Architecture  
 500 W. 7th St. Ste. 300 Fort Worth, Texas 76102  
 Phone (817)335-3000 Fax (817)335-1025

CASE NAME: SILVER LAKE CROSSINGS  
 CASE NUMBER: CU-  
 LOCATION: LOT 14 & 24, BLOCK 1, THE BLUFFS AT GRAPVINE, LOTS 1-4, 8, & 9, BLOCK 1, SILVER LAKE CROSSINGS

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION

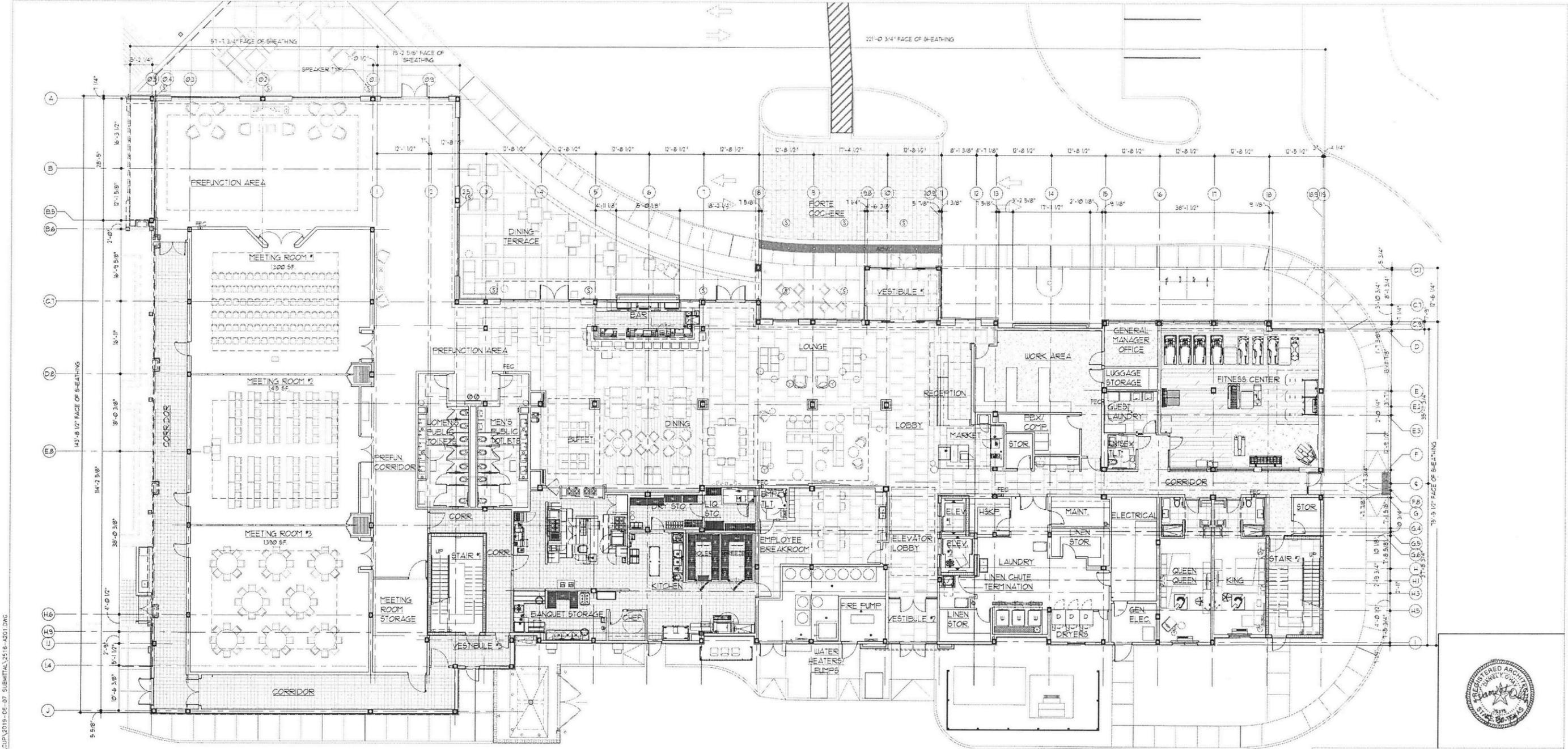
CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 SHEET: 21 OF 33

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

DESIGNED:	SCALE:	DATE:	SHEET:
DRAWN:	AS SHOWN	06/03/2019	21 OF 33
CHECKED:			





APR 27, 2019 5:10PM P:\PROJECTS\151515 - GRAPEVINE, TX (NO ADDITION TO #1011)\CUP\2019-05-07 SUBMITTAL\216-4501.DWG

(S) NOTE: ALL SPEAKERS SHALL FACE AWAY FROM ANY CONTIGUOUS RESIDENTIAL ZONING DISTRICTS.

**GROUND FLOOR PLAN**  
SCALE: 3/32" = 1'-0"  
2 ROOMS  
7170 SF - HOTEL  
4349 SF - MEETING ROOMS  
TOTAL SF: 16239



REVISIONS			
NO.	DESCRIPTION	DATE	BY

CUP HOTEL EXPANSION SUBMITTAL

NewcrestImage

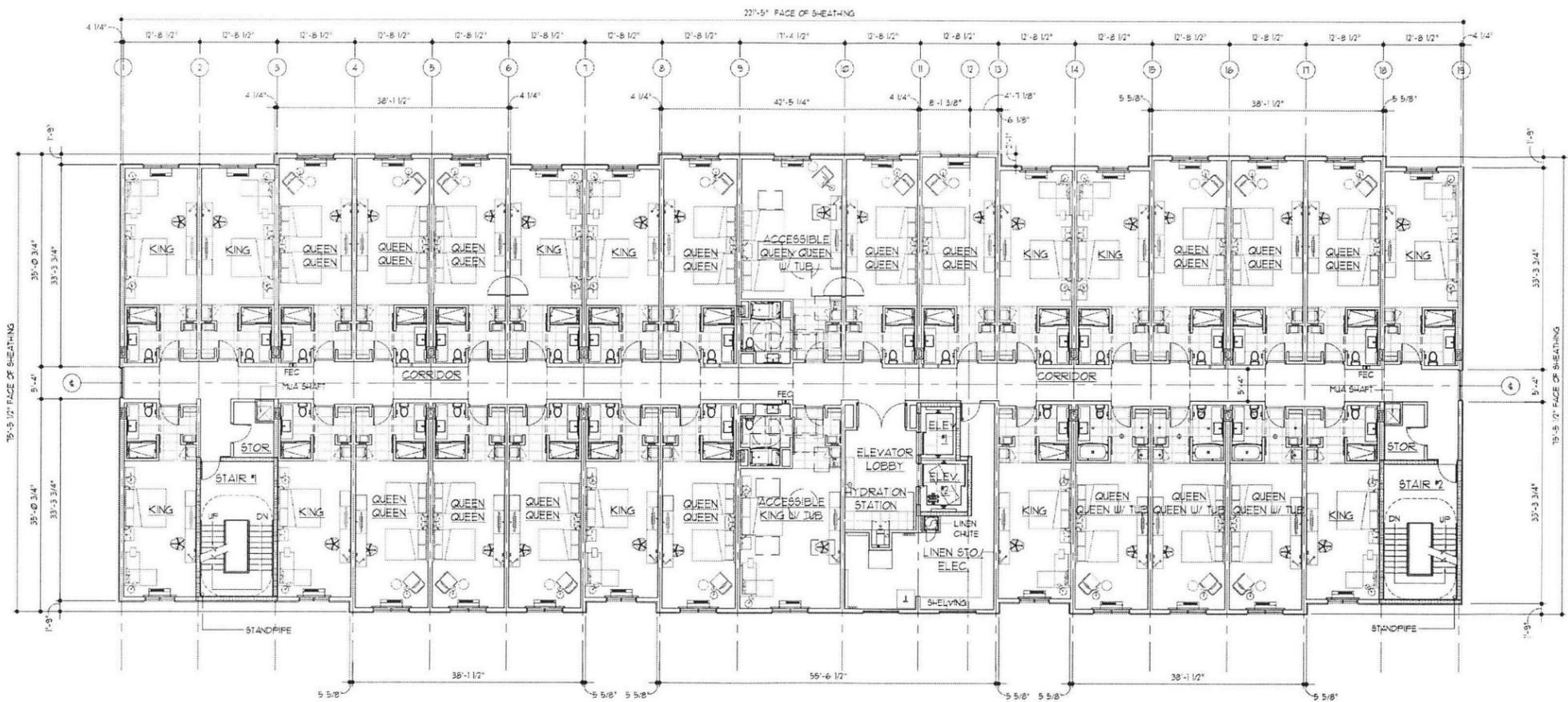


HOTEL EXPANSION  
FLOOR PLAN 01

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc.  
500 W. 7th St. Ste. 300  
Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

DESIGNED:	SCALE	DATE	SHEET
DRAWN:	AS SHOWN	05/30/19	23 OF 33
CHECKED:			

CASE NAME:  
CASE NUMBER:  
LOCATION:  
MAYOR SECRETARY  
DATE:  
PLANNING AND ZONING COMMISSION  
CHAIRMAN  
DATE: 05/30/19  
SHEET: 23 OF 33  
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.  
DEPARTMENT OF DEVELOPMENT SERVICES



TYPICAL (2ND-6TH) FLOOR PLAN

SCALE: 3/32" = 1'-0"  
30 GUESTROOMS X 5 FLOORS = TOTAL OF 150 ROOMS  
16,448 SF. PER FLOOR



I:\PROJECTS\05-08\2019-05-17\AM\_P\PROJECT\62516 - GRAPHER, TX (02) ADDITION TO #1011\CUP\2019-06-01\2516-4264.DWG  
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REVISIONS			
NO.	DESCRIPTION	DATE	BY

CUP HOTEL EXPANSION SUBMITTAL

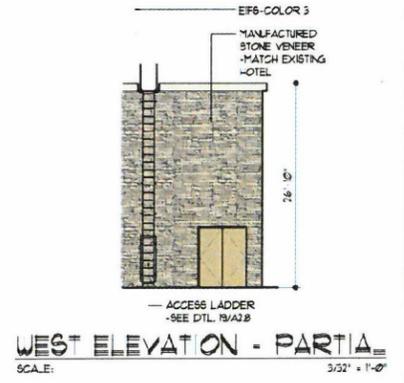
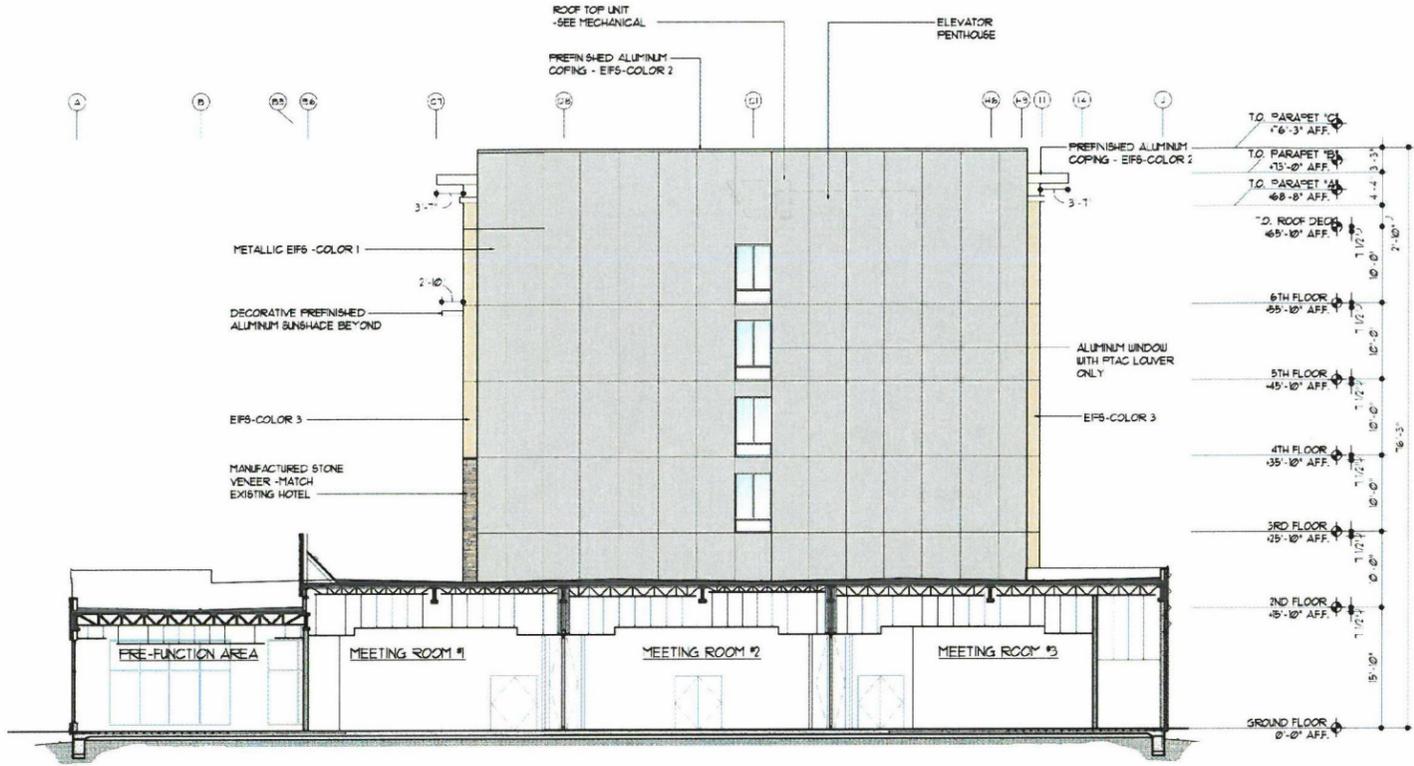
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HOTEL EXPANSION  
FLOOR PLAN 02

**HUITT-ZOLLARS**  
 Huitt-Zollars, Inc. Engineering / Architecture  
 500 W. 7th St. Ste. 300 Fort Worth, Texas 76102  
 Phone (817)335-3000 Fax (817)335-1025

CASE NAME: \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 CASE NUMBER: \_\_\_\_\_  
 LOCATION: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 SHEET: 24 OF 33  
 APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.  
 DEPARTMENT OF DEVELOPMENT SERVICES

DESIGNED:	SCALE	DATE	SHEET
DRAWN:	AS SHOWN	05/06/19	24 OF 33
CHECKED:			



**WEST ELEVATION**  
SCALE: 3/32" = 1'-0"

FINISH MATERIAL AREA CALCULATION: WEST ELEVATION				
MATERIAL	WINDOWS AND DOORS	EIFS	STONE VENEER	TOTAL
AREA SQUARE FOOTAGE	151 SF	4,124 SF	31 SF	4,286 SF
AREA PERCENTAGE	3%	96%	1%	100%

KEY LEGEND		FINISH SCHEDULE NOTES	
	WINDOW KEY (SEE SHEET A93)	1.	PTAC GRILLE - PREFINISHED TO MATCH WINDOW FRAME
	DOOR KEY (SEE SHEET A92)	2.	PTAC GRILLE IS INTEGRAL TO WINDOW FRAME
	SECTION KEY (SEE SHEET NUM. INSIDE OF KEY)	3.	KYNAR 500 FINISH TO MATCH ADJACENT SURFACE
	INDICATES HEIGHT ABOVE FINISH FLOOR (GRD. FLR.)	4.	IF LOCATED * STONE VENEER PAINT TO MATCH WINDOW STOREFRONT FRAME IF LOCATED * EIFS, PAINT TO MATCH ADJACENT WALL SURFACE

EXTERIOR FINISH SCHEDULE			
BUILDING ELEMENT	MATERIAL	FINISH	COLOR
BUILDING SKIN	VARIES	VARIES	SEE GRAPHIC SCHEDULE/EXTERIOR FIN INDEX
WINDOWS & STOREFRONTS	ALUMINUM	PRE-FIN	DARK BRONZE
HVAC GRILLES	ALUMINUM	PRE-FIN	DARK BRONZE
CEILING AT ENTRIES	EIFS	FINE	COLOR 2
MECHANICAL LOUVERS	ALUMINUM	PRE-FIN	CUSTOM COLOR TO MATCH ADJACENT SURFACE
HOLLOW METAL DOORS	HOLLOW METAL	PAINT	CUSTOM COLOR TO MATCH ADJACENT SURFACE
COPING, EXPOSED FLASHING	ALUMINUM	PRE-FIN	CUSTOM COLOR TO MATCH ADJACENT SURFACE

GRAPHIC SCHEDULE			
	STONE VENEER PATTERN: STACKED STONE COLOR: PAGOSA SPRINGS BY E. DORADO STONE		EIFS COLOR 2 EIFS FINISH: SMOOTH-COLOR: SHERWIN WILLIAMS #1011 NATURAL CHOICE MANUFACTURER: MASTER WALL, INC.
	EIFS COLOR 1 EIFS FINISH: METALTEX FINE SAND LG COLOR: POLISHED NICKEL MANUFACTURER: MASTER WALL, INC.		EIFS COLOR 3 EIFS FINISH: SMOOTH-COLOR: SHERWIN WILLIAMS #615 TOTALLY TAN MANUFACTURER: MASTER WALL, INC.

CONFIRM EIFS COLORS MATCH WITH EXISTING CONSTRUCTION



REVISIONS			
NO.	DESCRIPTION	DATE	BY

CUP HOTEL EXPANSION SUBMITTAL

**LW** ARCHITECTS  
HOTEL EXPANSION ELEVATION 01

**HUITT-ZOLLARS**  
Huiitt-Zollars, Inc. Engineering / Architecture  
500 W. 7th St. Ste. 300 Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

DESIGNED BY	SCALE	DATE	SHEET
SCA 1	05/30/19	25 OF 33	

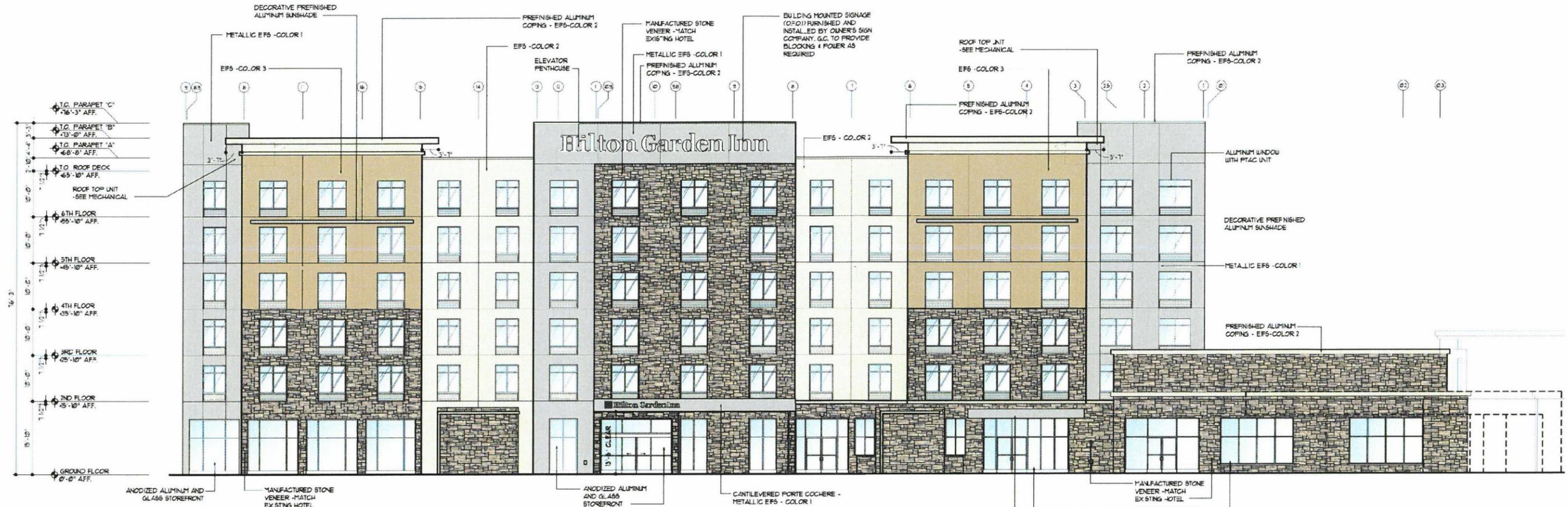
CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: CU-19-000000  
LOCATION: 10114 & 10115, BLOCK 1, THE BLUFFS AT CRAWFORD, LOTS 1-2, 2 & 3, BLOCK 1, SILVER LAKE CROSSINGS

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_  
SHEET: 25 OF 33

APPROVAL DOES NOT AUTOMATICALLY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

DEPARTMENT OF DEVELOPMENT SERVICES



FINISH MATERIAL AREA CALCULATION: NORTHELEVATION				
MATERIAL	WINDOWS AND DOORS	EIFS	STONE VENEER	TOTAL
AREA SQUARE FOOTAGE	5,112.5 SF	1,361.9 SF	4,402.5 SF	11,485.5 SF
AREA PERCENTAGE	33%	42%	25%	100%

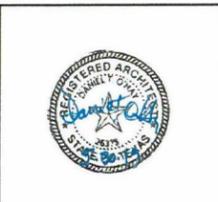
**NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"

KEY LEGEND		FINISH SCHEDULE NOTES	
	WINDOW KEY (SEE SHEET A83)	1.	PTAC GRILLE - PREFINISHED TO MATCH WINDOW FRAME
	DOOR KEY (SEE SHEET A82)	2.	PTAC GRILLE IS INTEGRAL TO WINDOW FRAME
	SECT ON KEY (SEE SHEET NUM. INSIDE OF KEY)	3.	KYNAR 300 FINISH TO MATCH ADJACENT SURFACE
	INDICATES HEIGHT ABOVE FINISH FLOOR (GRD. FLR.)	4.	IF LOCATED # STONE VENEER, PAINT TO MATCH WINDOW'S OVERFRONT FRAME. IF LOCATED # EIFS, PAINT TO MATCH ADJACENT WALL SURFACE.

EXTERIOR FINISH SCHEDULE			
BUILDING ELEMENT	MATERIAL	FINISH	COLOR
BUILDING SKIN	VARIABLES	VARIABLES	SEE GRAPHIC SCHEDULE/EXTERIOR FIN INDEX
WINDOWS & STOREFRONTS	ALUMINUM	PRE-FIN	DARK BRONZE
MVAC GRILLES	ALUMINUM	PRE-FIN	DARK BRONZE
CEILING AT ENTRIES	EIFS	FINE	COLOR 2
MECHANICAL LOUVERS	ALUMINUM	PRE-FIN	CUSTOM COLOR TO MATCH ADJACENT SURFACE
HOLLOW METAL DOORS	HOLLOW METAL	PAINT	CUSTOM COLOR TO MATCH ADJACENT SURFACE
COPING, EXPOSED FLASHING	ALUMINUM	PRE-FIN	CUSTOM COLOR TO MATCH ADJACENT SURFACE

GRAPHIC SCHEDULE			
	STONE VENEER PATTERN: STACKED STONE COLOR: PAGOSA SPRINGS BY EL DORADO STONE		EIFS COLOR 2 EIFS FINISH: SMOOTH COLOR: SHERWIN WILLIAMS #1011 NATURAL CHOICE MANUFACTURER: MASTER WALL INC.
	EIFS COLOR 1 EIFS FINISH: METALTEX FINE SAND 10 COLOR: POLISHED NICKEL MANUFACTURER: MASTER WALL INC.		EIFS COLOR 3 EIFS FINISH: SMOOTH COLOR: SHERWIN WILLIAMS #6115 TOTALLY TAN MANUFACTURER: MASTER WALL INC.

CONFIRM EIFS COLORS MATCH WITH EXISTING CONSTRUCTION



REVISIONS			
NO.	DESCRIPTION	DATE	BY

CUP HOTEL EXPANSION SUBMITTAL

CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: CU-19-000001  
LOCATION: LOT 14 & 15, BLOCK 1, THE BLUFFS AT DRYDEN, LOTS 1-4, 2, & 3, BLOCK 1, SILVER LAKE CROSSINGS

MAYOR: \_\_\_\_\_ SECRETARY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN: \_\_\_\_\_

DATE: \_\_\_\_\_  
SHEET: 26 OF 33

APPROVAL DOES NOT AUT. ORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

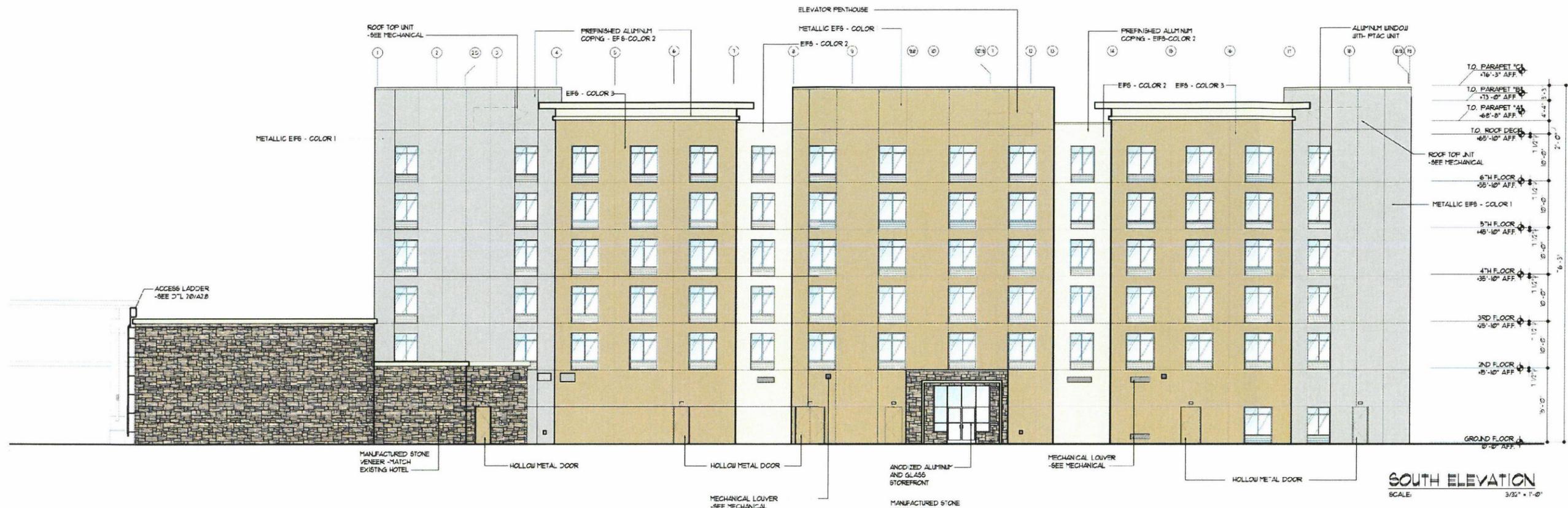
DEPARTMENT OF DEVELOPMENT SERVICES

**LW ARCHITECTS**  
HOTEL EXPANSION ELEVATION 02

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Engineering / Architecture  
500 W. 7th St., Ste. 300 Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

DESIGNED:	SCALE:	DRAWN:	CHECKED:
AS SHOWN	05/30/19	26 OF 33	26 OF 33

03-1113-06 SILVER LAKE CROSSINGS - CUP SITE PLAN SUBMITTAL  
 05/04/2019 11:04M P:\PROJECTS\2510 - 2662\REV. TX (HG) ADDITION TO #1011\CUP\2019-05-07 SUBMITTAL\2510-002.DWG



**FINISH MATERIAL AREA CALCULATION: SOUTH ELEVATION**

MATERIAL	WINDOWS AND DOORS	EIFS	STONE VENEER	TOTAL
AREA SQUARE FOOTAGE	3702 SF	1120 SF	1758 SF	17,110 SF
AREA PERCENTAGE	23%	65%	11%	100%

KEY LEGEND		FINISH SCHEDULE NOTES	
[A]	WINDOW KEY (SEE SHEET A93)	1.	PTAC GRILLE - PREFINISHED TO MATCH WINDOW FRAME
[B]	DOOR KEY (SEE SHEET A27)	2.	PTAC GRILLE IS INTEGRAL TO WINDOW FRAME
[C]	SECTION KEY (SEE SHEET NUM. INSIDE OF KEY)	3.	KYNAR 5000 FINISH TO MATCH ADJACENT SURFACE
[D]	INDICATES EIGHT ABOVE FINISH FLOOR (GRD. FLR)	4.	

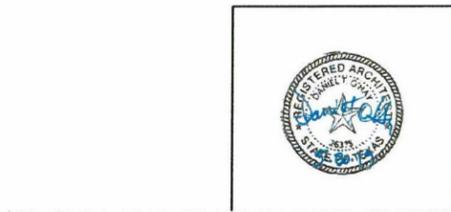
  

EXTERIOR FINISH SCHEDULE			
BUILDING ELEMENT	MATERIAL	FINISH	COLOR
BUILDING SKIN	VARIES	VARIES	SEE GRAPHIC SCHEDULE/EXTERIOR FIN. INDEX
WINDOWS & STOREFRONTS	ALUMINUM	PREF-FIN	DARK BRONZE
HVAC GRILLES	ALUMINUM	PREF-FIN	DARK BRONZE
CEILING AT ENTRIES	EIFS	FINE	COLOR 2
MECHANICAL LOUVERS	ALUMINUM	PREF-FIN	CUSTOM COLOR TO MATCH ADJACENT SURFACE
HOLLOW METAL DOORS	HOLLOW METAL	PAINT	CUSTOM COLOR TO MATCH ADJACENT SURFACE
COPING, EXPOSED FLASHING	ALUMINUM	PREF-FIN	CUSTOM COLOR TO MATCH ADJACENT SURFACE

GRAPHIC SCHEDULE			
	STONE VENEER PATTERN: STACKED STONE COLOR: PAGOSA SPRINGS BY EL DORADO STONE		EIFS COLOR 2 EIFS FINISH: SMOOTH COLOR: SHERWIN WILLIAMS #1011 NATURAL CHOICE MANUFACTURER: MASTER WALL INC.
	EIFS COLOR 1 EIFS FINISH: METALTEX FINE SAND 10 COLOR: POLISHED NICKEL MANUFACTURER: MASTER WALL INC.		EIFS COLOR 3 EIFS FINISH: SMOOTH COLOR: SHERWIN WILLIAMS #615 TOTALLY TAN MANUFACTURER: MASTER WALL INC.

\*CONFIRM EIFS COLORS MATCH WITH EXISTING CONSTRUCTION



REVISIONS

NO.	DESCRIPTION	DATE	BY

CUP HOTEL EXPANSION SUBMITTAL

CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: CU-19-000001  
LOCATION: 1011 W. 7th St., Block 1, The Bluffs at Grandscape, Lots 1, 2, 3 & 4, Block 1, Silver Lake Crossings

MAYOR: \_\_\_\_\_ SECRETARY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

DATE: \_\_\_\_\_  
SHEET: 27 OF 33

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

DEPARTMENT OF DEVELOPMENT SERVICES

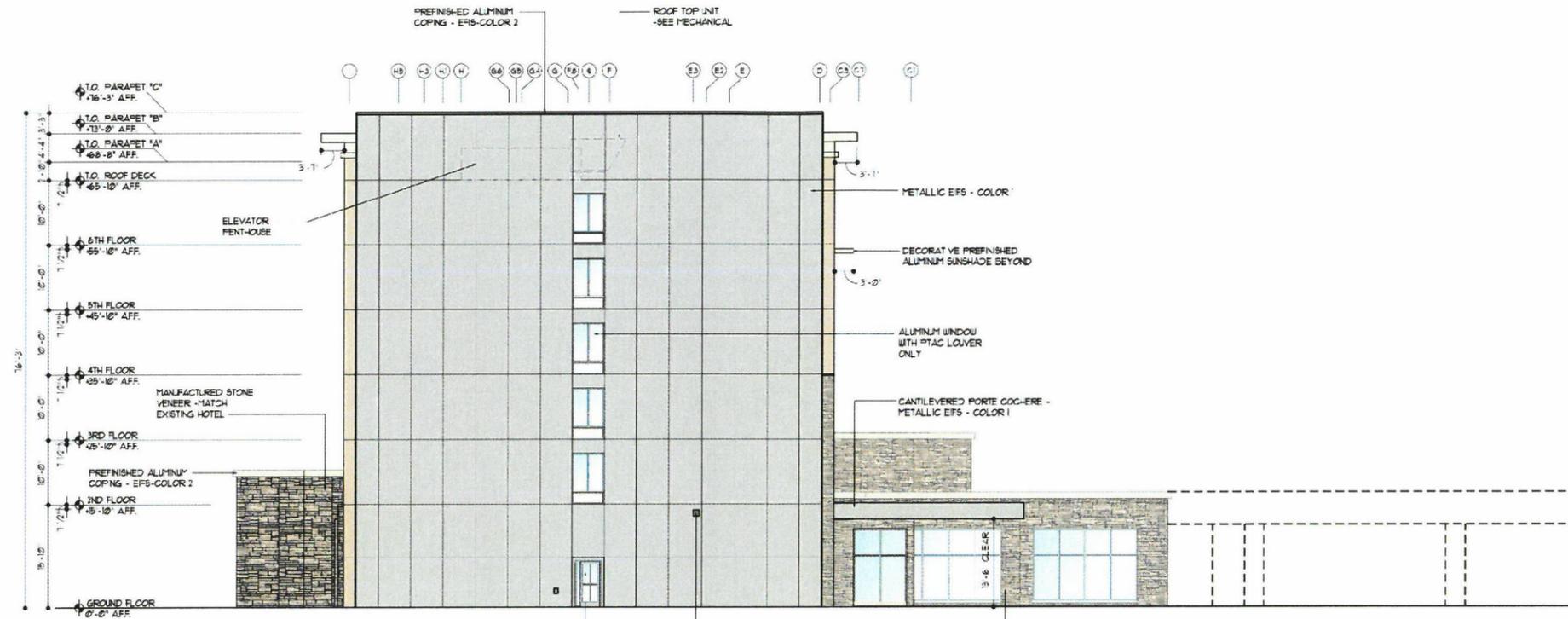
**LW ARCHITECTS**

HOTEL EXPANSION ELEVATION 03

**HUITT-ZOLLARS**

Huitt-Zollars, Inc. Engineering / Architecture  
500 W. 7th St. Ste. 300 Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

DESIGNED BY	SCALE	DATE	SHEET
AS SHOWN	05/30/19	27 OF 33	



**EAST ELEVATION**  
SCALE: 3/32" = 1'-0"

FINISH MATERIAL AREA CALCULATION: EAST ELEVATION				
MATERIAL	WINDOWS AND DOORS	EIFS	STONE VENEER	TOTAL
AREA SQUARE FOOTAGE	495 SF	5,635 SF	1,044 SF	7,174 SF
AREA PERCENTAGE	6%	79%	15%	100%

KEY LEGEND		FINISH SCHEDULE NOTES	
	WINDOW KEY (SEE SHEET A9.3)	1.	PTAC GRILLE - PREFINISHED TO MATCH WINDOW FRAME
	DOOR KEY (SEE SHEET A9.3)	2.	PTAC GRILLE IS INTEGRAL TO WINDOW FRAME
	SECTION KEY (SEE SHEET NUM. INSIDE OF KEY)	3.	KYNAR 500 FINISH TO MATCH ADJACENT SURFACE
	INDICATES HEIGHT ABOVE FINISH FLOOR (GRD. FLR.)	4.	IF LOCATED * STONE VENEER, PAINT TO MATCH WINDOW/STOREFRONT FRAME; IF LOCATED * EIFS, PAINT TO MATCH ADJACENT WALL SURFACE.

EXTERIOR FINISH SCHEDULE			
BUILDING ELEMENT	MATERIAL	FINISH	COLOR
BUILDING SKIN	VARIABLES	VARIABLES	SEE GRAPHIC SCHEDULE/EXTERIOR FIN. INDEX
WINDOWS & STOREFRONTS	ALUMINUM	PRE-FIN.	DARK BRONZE
HVAC GRILLES	ALUMINUM	PRE-FIN.	DARK BRONZE
CEILING AT ENTRIES	EIFS	FINE	COLOR 2
MECHANICAL LOUVERS	ALUMINUM	PRE-FIN.	CUSTOM COLOR TO MATCH ADJACENT SURFACE
HOLLOW METAL DOORS	HOLLOW METAL	PAINT	CUSTOM COLOR TO MATCH ADJACENT SURFACE
COPING, EXPOSED FLASHING	ALUMINUM	PRE-FIN.	CUSTOM COLOR TO MATCH ADJACENT SURFACE

GRAPHIC SCHEDULE	
	STONE VENEER PATTERN: STACKED STONE COLOR: PAGOSA SPRINGS BY EL DORADO STONE
	EIFS COLOR 1 EIFS FINISH: METALTEX FINE SAND 10 COLOR: POLISHED NICKEL MANUFACTURER: MASTER WALL, INC.
	EIFS COLOR 2 EIFS FINISH: SMOOTH COLOR: SHERWIN WILLIAMS #1011 NATURAL CHOICE MANUFACTURER: MASTER WALL, INC.
	EIFS COLOR 3 EIFS FINISH: SMOOTH COLOR: SHERWIN WILLIAMS #615 TOTALLY TAN MANUFACTURER: MASTER WALL, INC.

CONFIRM EIFS COLORS MATCH WITH EXISTING CONSTRUCTION



REVISIONS			
NO.	DESCRIPTION	DATE	BY

CUP HOTEL EXPANSION SUBMITTAL

CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: CU-1111  
LOCATION: LOT 14A & 14B, BLOCK 1, THE BLUFFS AT CRAWFORD, LOTS 1-2, 2, & 3, BLOCK 1, SILVER LAKE CROSSINGS

MAYOR: \_\_\_\_\_ SECRETARY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN: \_\_\_\_\_

APPROVAL DOES NOT AUTOMATICALLY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

**LW ARCHITECTS**  
HOTEL EXPANSION ELEVATION 04

**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Engineering / Architecture  
500 W. 7th St. Ste. 300 Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

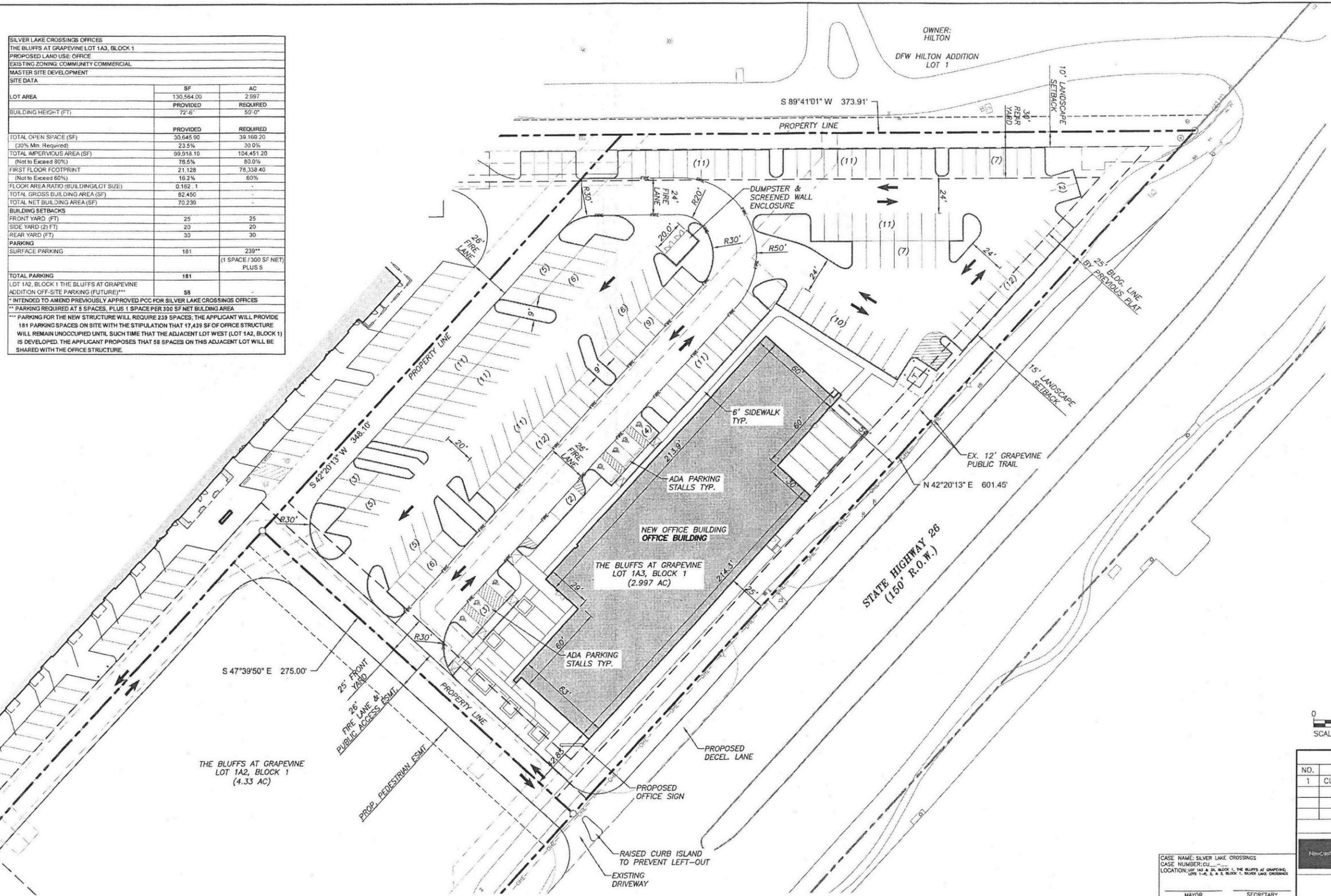
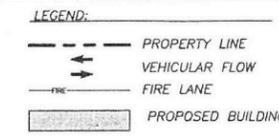
DESIGNED BY:	SCALE:	DATE:	SHEET:
DRAWN BY:	AS SHOWN	05/30/19	28 OF 33
CHECKED BY:			

6/6/2019 11:11 AM P:\PROJECTS\2516 - 3646\REV. TX (NO ADDITION TO #101)\CUP\2019-08-07 SUBMITTAL\2516-A304.DWG

03-1113.06 SILVER LAKE CROSSINGS - CUP SITE PLAN SUBMITTAL

HUITT-ZOLLARS, INC.

SILVER LAKE CROSSINGS OFFICES		
THE BLUFFS AT GRAPEVINE LOT 1A3, BLOCK 1		
PROPOSED LAND USE: OFFICE		
EXISTING ZONING: COMMUNITY COMMERCIAL		
MASTER SITE DEVELOPMENT		
SITE DATA		
LOT AREA	SF 130,564.00	AC 2.997
BUILDING HEIGHT (FT)	PROVIDED 72'-6"	REQUIRED 50'-0"
TOTAL OPEN SPACE (SF)	PROVIDED 30,645.00	REQUIRED 39,169.20
(30% Min. Required)	23.5%	30.0%
TOTAL IMPERVIOUS AREA (SF)	99,918.10	104,451.20
(Not to Exceed 80%)	76.5%	80.0%
FIRST FLOOR FOOTPRINT	21,128	78,338.40
(Not to Exceed 60%)	16.2%	60%
FLOOR AREA RATIO (BUILDING/LOT SIZE)	0.162	1
TOTAL GROSS BUILDING AREA (SF)	82,450	-
TOTAL NET BUILDING AREA (SF)	70,239	-
BUILDING SETBACKS		
FRONT YARD (FT)	25	25
SIDE YARD (2) (FT)	20	20
REAR YARD (FT)	30	30
PARKING		
SURFACE PARKING	181	239**
TOTAL PARKING	181	(1 SPACE/300 SF NET) PLUS 5
LOT 1A2, BLOCK 1 THE BLUFFS AT GRAPEVINE ADDITION OFF-SITE PARKING (FUTURE)**		
58		
** INTENDED TO AMEND PREVIOUSLY APPROVED PCC FOR SILVER LAKE CROSSINGS OFFICES		
*** PARKING REQUIRED AT 5 SPACES, PLUS 1 SPACE PER 300 SF NET BUILDING AREA		
*** PARKING FOR THE NEW STRUCTURE WILL REQUIRE 239 SPACES; THE APPLICANT WILL PROVIDE 181 PARKING SPACES ON SITE WITH THE STIPULATION THAT 17,439 SF OF OFFICE STRUCTURE WILL REMAIN UNOCCUPIED UNTIL SUCH TIME THAT THE ADJACENT LOT WEST (LOT 1A2, BLOCK 1) IS DEVELOPED. THE APPLICANT PROPOSES THAT 58 SPACES ON THIS ADJACENT LOT WILL BE SHARED WITH THE OFFICE STRUCTURE.		



- NOTES:
- ALL CITY OF GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.
  - ALL ON-SITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.
  - OFFICE ELEVATIONS HAVE CHANGED FROM THE PREVIOUS APPROVED CUP SUBMITTAL CU18-23.
  - REFER TO SHEET 3 FOR SITE DATA TABLE.

OWNER:  
SILVERLAKE CROSSINGS  
GRAPEVINE EQUITY PARTNERS, LLC  
1135 KINWEST PARKWAY, SUITE 150  
IRVING, TEXAS 75063  
PHONE: (214) 774-4650  
FAX: (214) 260-3724  
CONTACT: MEHUL PATEL  
EMAIL: mehul@nchi.net

DEVELOPER:  
NEWCREST IMAGE  
700 SH 121 BYP, SUITE 175  
LEWISVILLE, TEXAS 75067  
CONTACT: MEHUL PATEL  
PHONE: (214) 744-4650  
FAX: (214) 988-9006  
CONTACT: MEHUL PATEL  
EMAIL: mehul.patel@newcrestimage.com

CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: CU-  
LOCATION: LOT 1A3 & 2A, BLOCK 1, THE BLUFFS AT GRAPEVINE,  
LOTS 1-2, 2 & 3, BLOCK 1, SILVER LAKE CROSSINGS

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_

DESIGNED: \_\_\_\_\_  
DRAWN: \_\_\_\_\_  
CHECKED: \_\_\_\_\_

DEPARTMENT OF DEVELOPMENT SERVICES

NOT FOR CONSTRUCTION

Kimberly R. Cole  
105298  
LICENSED PROFESSIONAL ENGINEER  
HUITT-ZOLLARS, INC.  
Firm Registration No. F-761

SCALE: 1" = 30'

REVISIONS			
NO.	DESCRIPTION	DATE	BY
1	CUP SUBMITTAL	06/03/19	

CUP SUBMITTAL  
SILVERLAKE CROSSINGS  
GRAPEVINE, TEXAS

OFFICE BUILDING  
SITE PLAN

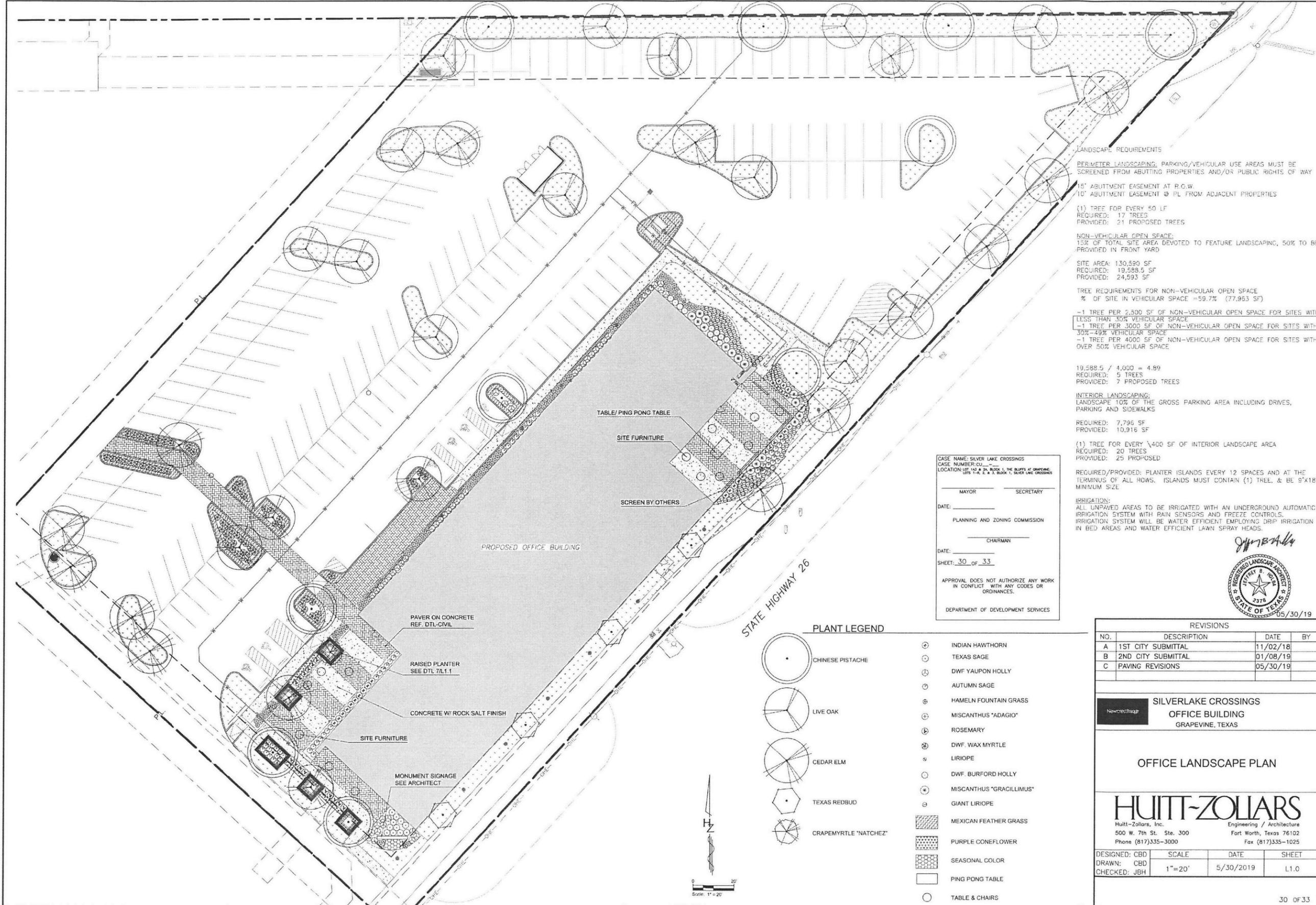
**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Engineering / Architecture  
500 W. 7th St. Ste. 300 Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

DESIGNED:	SCALE	DATE	SHEET
DRAWN:	AS SHOWN	06/03/2019	29 OF 33
CHECKED:			

BTPEDROW 06/06/2019 3:22PM H:\PROJ\RD111312\US\_CADD & BIM\AUTOCAD\111312\_DWG\CUP\OFFICE\_CUP\_111312\_SITE-OFFICE.DWG

R03111312.12 SILVER LAKE CROSSINGS - CUP SUBMITTAL

CITY PROJECT NUMBER: 1810014



**LANDSCAPE REQUIREMENTS**

**PERIMETER LANDSCAPING:** PARKING/VEHICULAR USE AREAS MUST BE SCREENED FROM ABUTTING PROPERTIES AND/OR PUBLIC RIGHTS OF WAY

15' ABUTMENT EASEMENT AT R.O.W.  
10' ABUTMENT EASEMENT @ PL FROM ADJACENT PROPERTIES

(1) TREE FOR EVERY 50 LF  
REQUIRED: 17 TREES  
PROVIDED: 21 PROPOSED TREES

**NON-VEHICULAR OPEN SPACE:**  
15% OF TOTAL SITE AREA DEVOTED TO FEATURE LANDSCAPING, 50% TO BE PROVIDED IN FRONT YARD

SITE AREA: 130,590 SF  
REQUIRED: 19,588.5 SF  
PROVIDED: 24,593 SF

**TREE REQUIREMENTS FOR NON-VEHICULAR OPEN SPACE**  
% OF SITE IN VEHICULAR SPACE = 59.7% (77,963 SF)

-1 TREE PER 2,500 SF OF NON-VEHICULAR OPEN SPACE FOR SITES WITH LESS THAN 30% VEHICULAR SPACE  
-1 TREE PER 3000 SF OF NON-VEHICULAR OPEN SPACE FOR SITES WITH 30%-49% VEHICULAR SPACE  
-1 TREE PER 4000 SF OF NON-VEHICULAR OPEN SPACE FOR SITES WITH OVER 50% VEHICULAR SPACE

19,588.5 / 4,000 = 4.89  
REQUIRED: 5 TREES  
PROVIDED: 7 PROPOSED TREES

**INTERIOR LANDSCAPING:**  
LANDSCAPE 10% OF THE GROSS PARKING AREA INCLUDING DRIVES, PARKING AND SIDEWALKS

REQUIRED: 7,796 SF  
PROVIDED: 10,916 SF

(1) TREE FOR EVERY 400 SF OF INTERIOR LANDSCAPE AREA  
REQUIRED: 20 TREES  
PROVIDED: 25 PROPOSED

REQUIRED/PROVIDED: PLANTER ISLANDS EVERY 12 SPACES AND AT THE TERMINUS OF ALL ROWS. ISLANDS MUST CONTAIN (1) TREE, & BE 9'X18' MINIMUM SIZE

**IRRIGATION:**  
ALL UNPAVED AREAS TO BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM WITH RAIN SENSORS AND FREEZE CONTROLS. IRRIGATION SYSTEM WILL BE WATER EFFICIENT EMPLOYING DRIP IRRIGATION IN BED AREAS AND WATER EFFICIENT LAWN SPRAY HEADS.

*JMB*

REGISTERED LANDSCAPE ARCHITECT  
STATE OF TEXAS  
2378  
05/30/19

CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: CU-  
LOCATION: LOT 142 & 24, BLOCK 1, THE SHOPS AT GRAPEVINE, LOTS 1-4, 2 & 3, BLOCK 1, SILVER LAKE CROSSINGS

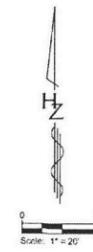
MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 30 OF 33

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

**PLANT LEGEND**

- ⊙ INDIAN HAWTHORN
- ⊙ TEXAS SAGE
- ⊙ DWF YAUPON HOLLY
- ⊙ AUTUMN SAGE
- ⊙ HAMELN FOUNTAIN GRASS
- ⊙ MISCANTHUS "ADAGIO"
- ⊙ ROSEMARY
- ⊙ DWF. WAX MYRTLE
- ⊙ LIRIOPE
- ⊙ DWF. BURFORD HOLLY
- ⊙ MISCANTHUS "GRACILLIMUS"
- ⊙ GIANT LIRIOPE
- ⊙ MEXICAN FEATHER GRASS
- ⊙ PURPLE CONEFLOWER
- ⊙ SEASONAL COLOR
- ⊙ PING PONG TABLE
- ⊙ TABLE & CHAIRS
- ⊙ CHINESE PISTACHE
- ⊙ LIVE OAK
- ⊙ CEDAR ELM
- ⊙ TEXAS REDBUD
- ⊙ CrapeMYRTLE "NATCHEZ"



REVISIONS			
NO.	DESCRIPTION	DATE	BY
A	1ST CITY SUBMITTAL	11/02/18	
B	2ND CITY SUBMITTAL	01/08/19	
C	PAVING REVISIONS	05/30/19	

SILVERLAKE CROSSINGS  
OFFICE BUILDING  
GRAPEVINE, TEXAS

**OFFICE LANDSCAPE PLAN**

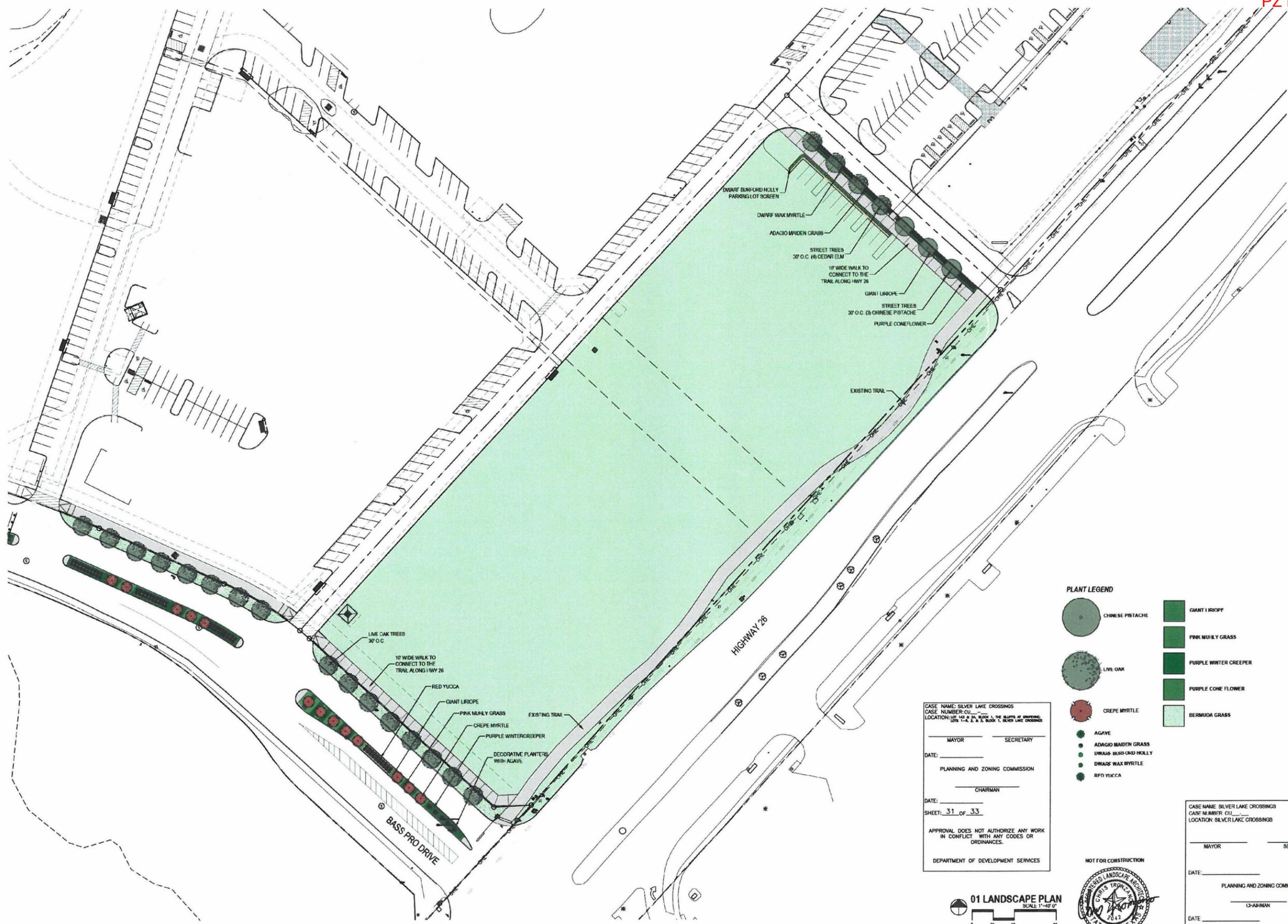
**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Engineering / Architecture  
500 W. 7th St. Ste. 300 Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

DESIGNED: CBD	SCALE	DATE	SHEET
DRAWN: CBD	1"=20'	5/30/2019	L1.0
CHECKED: JBH			

R03-11.13.18 PLANS FOR THE CONSTRUCTION OF WATER, SEWER, STORM DRAIN AND PAVING IMPROVEMENTS  
SILVERLAKE CROSSINGS OFFICE BUILDING



LANDSCAPE ARCHITECT  
STUDIO GREEN SPOT, INC.  
1784 W. McDERMOTT DR.  
SUITE 110  
ALLEN, TEXAS 75013  
(409) 369-4448  
CHRIS@STUDIOGREENSPOT.COM



**PLANT LEGEND**

	CHINESE PISTACHE		GIANT LIRIOPE
	LIVE OAK		PINK MUHLY GRASS
	CREPE MYRTLE		PURPLE WINTER CREEPER
	AGAVE		PURPLE CONE FLOWER
	ADAGIO MAIDEN GRASS		BERMUDA GRASS
	DWARF BURFORD HOLLY		
	DWARF WAX MYRTLE		
	RED YUCCA		

CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: CU-\_\_\_\_\_  
LOCATION: LOT 143 & 24, BLOCK 1, THE QUARTZ AT SHAWNEE, LOTS 1-14, 2, 4, & 5, BLOCK 1, SILVER LAKE CROSSINGS

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 31 OF 33

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.  
DEPARTMENT OF DEVELOPMENT SERVICES



CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: CU-\_\_\_\_\_  
LOCATION: SILVER LAKE CROSSINGS

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.  
DEPARTMENT OF DEVELOPMENT SERVICES

**SILVER LAKE CROSSING**  
BASS PRO DRIVE AND HIGHWAY 26  
GRAPEVINE, TEXAS

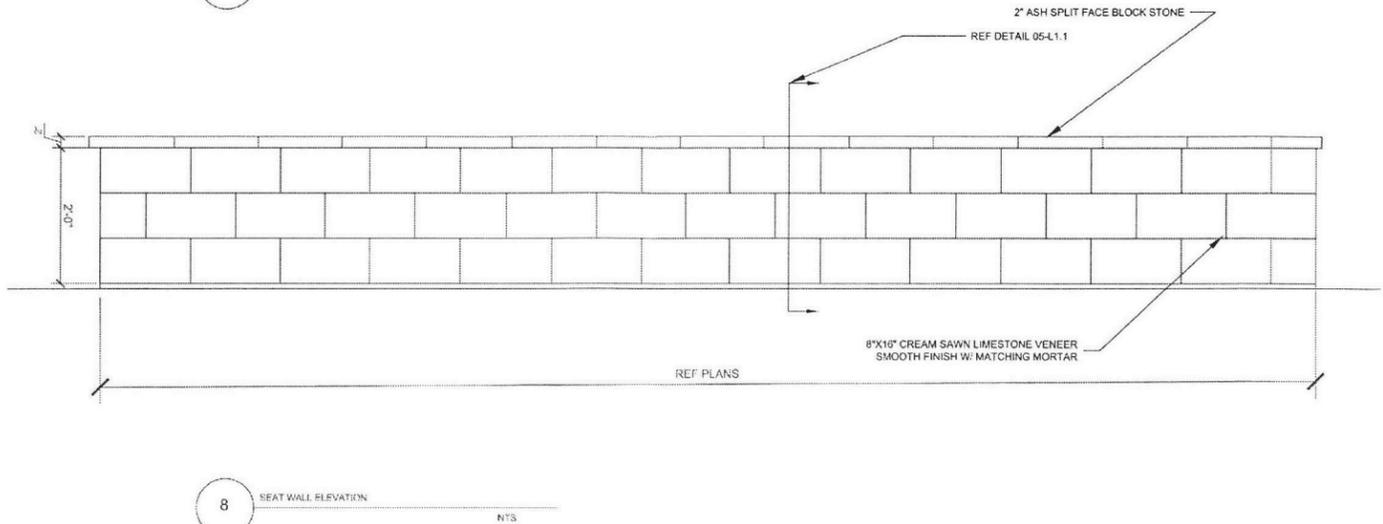
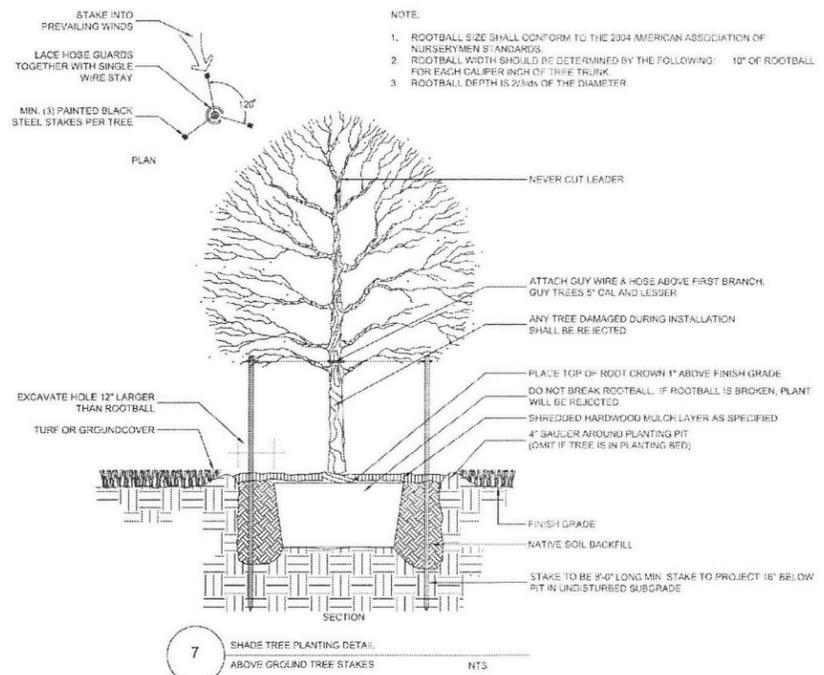
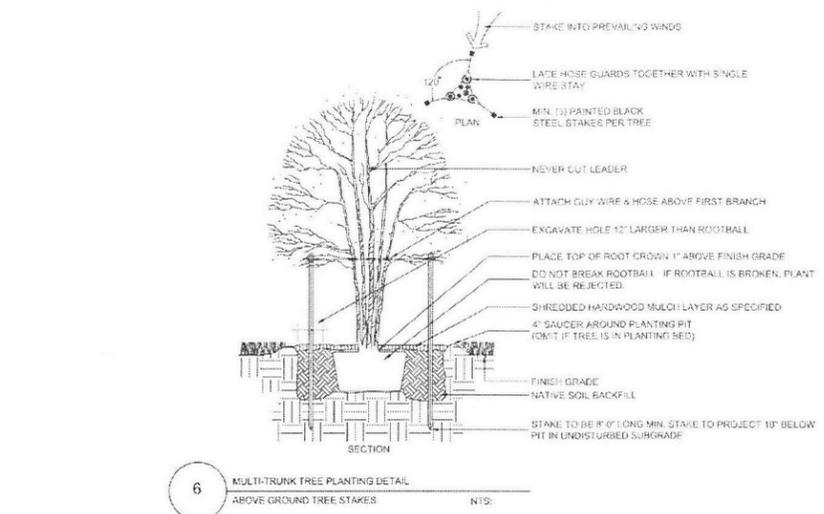
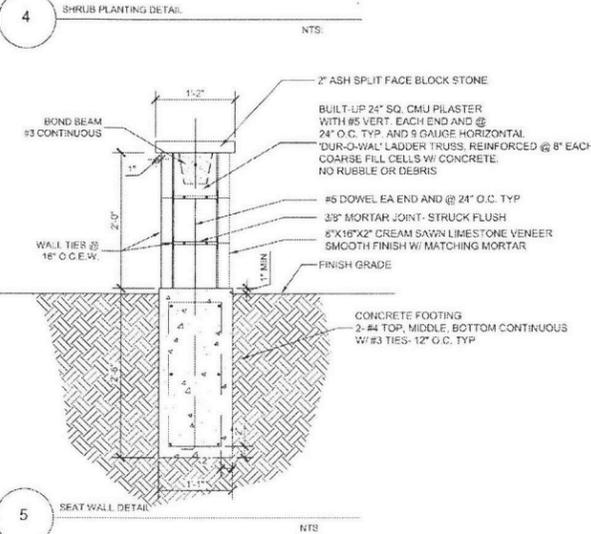
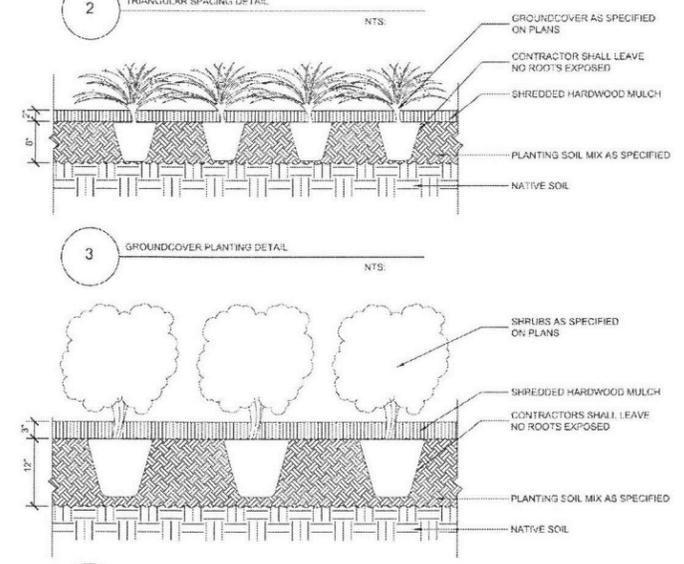
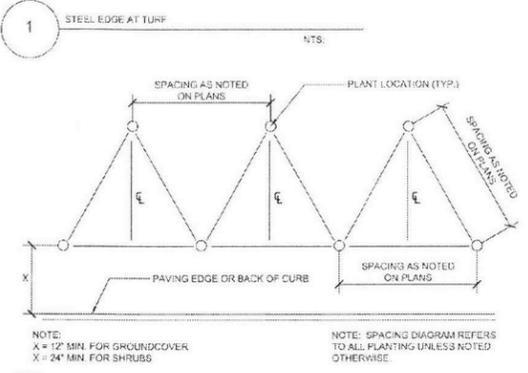
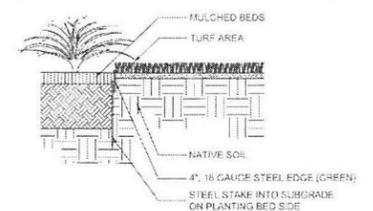
ISSUE:  
FOR APPROVAL 06/01/2019

DATE:  
06/06/2019

SHEET NAME:  
LANDSCAPE PLAN

SHEET NUMBER:  
L.1

CITY PROJECT NUMBER: 1810014



PLANT SCHEDULE

QTY	ABBR	COMMON NAME	BOTANICAL NAME	SIZE	HEIGHT	REMARKS
<b>Shade Trees</b>						
10	CP	Chinese Pistache	Pistacia chinensis	3" Cal.	10'-12' ht.	Single trunk, Strong central leader
14	CE	Cedar Elm	Ulmus crassifolia	3" Cal.	10'-12' ht.	Single trunk, Strong central leader
17	LO	Live Oak	Quercus virginiana	3" Cal.	10'-12' ht.	Single trunk, Strong central leader
<b>Ornamental Trees</b>						
4	RB	Texas Redbud	Cercis canadensis var. texensis		8'-10' ht.	Single trunk, Strong central leader
1	CM	Crape Myrtle 'Natchez'	Lagerstromia indica 'Natchez'		8'-10' ht.	Multi-Trunk, 3-5 (1"*) Canes Min.
<b>Shrubs</b>						
46	DY	Dwarf Yaupon Holly	Ilex vomitoria 'Nana'	5 Gal.		Spacing 24" O.C. or As Shown
11	TS	Texas Sage 'Compact'	Leucophyllum frutescens 'Compacta'	5 Gal.		Spacing 60" O.C. or As Shown
25	IH	Indian Hawthorn	Rhodopis indica 'Little Pinkie'	3 Gal.		Spacing 36" O.C. or As Shown
11	DB	Dwarf Burford Holly	Ilex cornuta 'Burfordii nana'	5 Gal.		Spacing 36" O.C. or As Shown
64	DW	Dwarf Wax Myrtle	Myrica pumila	5 Gal.		Spacing 36" O.C. or As Shown
<b>Ornamental Grasses</b>						
153	HFG	Hamel Fountain Grass	Pennisetum alopecuroides 'Hamel'	1 Gal.		Spacing 24" O.C. or As Shown
34	MAD	Adagio Maiden Grass	Miscanthus sinensis 'Adagio'	3 Gal.		Spacing 36"-48" O.C. or As Shown
17	MG	Maiden Grass	Miscanthus sinensis 'Gracillimus'	3 Gal.		Spacing 48" O.C. or As Shown
227	MFG	Mexican Feather Grass	Nassella tenuissima	1 Gal.		Spacing 24" O.C. or As Shown
<b>Perennials</b>						
57	ASR	Red Autumn Sage	Salvia greggi	1 Gal.		Spacing 18" O.C.
18	RSM	Rosemary	Rosmarinus officinalis	1 Gal.		Spacing 36" O.C.
95	PC	Purple Coneflower	Echinacea purpurea	1 Gal.		Spacing 12" O.C.
<b>Groundcover</b>						
139	LR	Liriope	Liriope muscarum 'Big Blue'	4" Pots		Spacing 12" O.C.
115	GL	Giant Liriope	Liriope gigantea	1 Gal.		Spacing 12" O.C.
184	SC	Seasonal Color		4" Pots		Spacing 6" O.C.
<b>Turf Grasses</b>						
1908		Common Bermuda	Cynodon dactylon	5Y		Solid Sod

CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: CU-  
LOCATION: LOT 143 & 24, BLOCK 3, THE BLUES AT SILVER LAKE CROSSINGS, LOTS 1-6, 2, 4, 5, BLOCK 11, SILVER LAKE CROSSINGS

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_  
SHEET: 32 OF 33

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

This document is released for the purpose of interim review under the authority of  
**JEFFREY B. HOLBA**  
LIC NO. #2378

It is not to be used for construction, bidding, or permit purposes.

REVISIONS			
NO.	DESCRIPTION	DATE	BY
A	1ST CITY SUBMITTAL	11/02/18	
B	2ND CITY SUBMITTAL	01/08/19	
C	PAVING REVISIONS	05/30/19	

SILVERLAKE CROSSINGS  
OFFICE BUILDING  
GRAPEVINE, TEXAS

OFFICE LANDSCAPE PLAN

**HUIT-ZOLLARS**  
Huit-Zollars, Inc. Engineering / Architecture  
500 W. 7th St. Ste. 300 Fort Worth, Texas 76102  
Phone (817)335-3000 Fax (817)335-1025

DESIGNED: CBD	SCALE	DATE	SHEET
DRAWN: CBD		5/30/2019	L1.1
CHECKED: JBH			

803-1113.18 PLANS FOR THE CONSTRUCTION OF WATER, SEWER, STORM DRAIN AND PAVING IMPROVEMENTS  
SILVERLAKE CROSSINGS OFFICE BUILDING



Corgan Associates, Inc.  
401 N. Cochen Dr.  
Dallas, TX 75202  
T: 214-246-2200 F: 214-455-3281

EXT. ELEV. NOTES & LEGEND

- PT-1: PAINTED CONCRETE PANEL - (COLOR #1)
- PT-2: PAINTED CONCRETE PANEL - (COLOR #2)
- GL-1: 1" INSULATED GLAZING UNITS IN ALUMINUM CURTAINWALL SYSTEM - LOW E CLEAR GLASS
- GL-1A: 1" INSULATED GLAZING UNITS IN ALUMINUM CURTAINWALL SYSTEM - SPANDREL GLASS
- GL-2: 1" INSULATED GLAZING UNITS IN ALUMINUM WINDOW WALL SYSTEM - LOW E CLEAR GLASS
- GL-2A: 1" INSULATED GLAZING UNITS IN ALUMINUM WINDOW WALL SYSTEM - SPANDREL GLASS
- GL-3: 1" INSULATED GLAZING UNITS IN ALUMINUM STOREFRONT SYSTEM - LOW E CLEAR GLASS
- GL-3A: 1" INSULATED GLAZING UNITS IN ALUMINUM STOREFRONT SYSTEM - SPANDREL GLASS
- GL-4: LAMINATED GLAZING (CANOPY & GUARDRAIL)
- MP-1: ACM WALL PANEL
- MP-2: PERFORATED PAINTED, PROFILED METAL PANEL SYSTEM
- SUN-1: 30" DEEP HORIZONTAL SLAT SHADE DEFPN
- SUN-2: 30" DEEP ANGLE SLAT SHADE DEFPN ON OUTRIGGERS
- MULL-1: 12" DEEP MULLION CAP EXTENSIONS

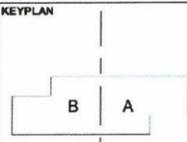
ISSUES

1	12/13/2018	ISSUE FOR PERMIT
2	01/24/2019	ISSUE FOR CONSTRUCTION
3		
4		
5		
6		
7		
8		
9		
10		

REVISIONS

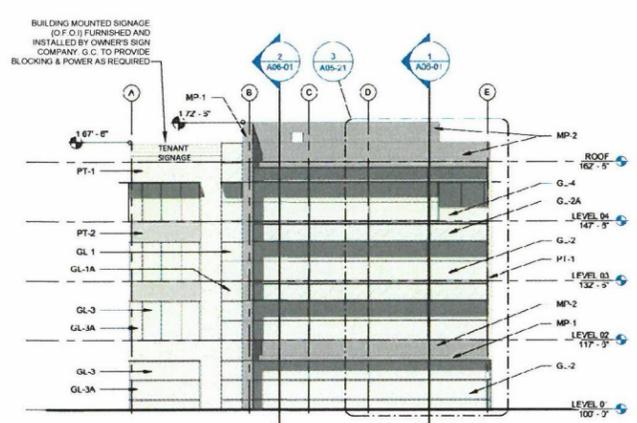

FOR CONSTRUCTION produced by or under the authority of Registered Architect **Matt McDonald**. This document is incomplete and may not be used for regulatory approval, permit or construction. Date of issue: 01/24/2019

**NewcrestImage**  
Silverlake Office Building  
1785 State Highway 26  
Grapevine, TX 76051

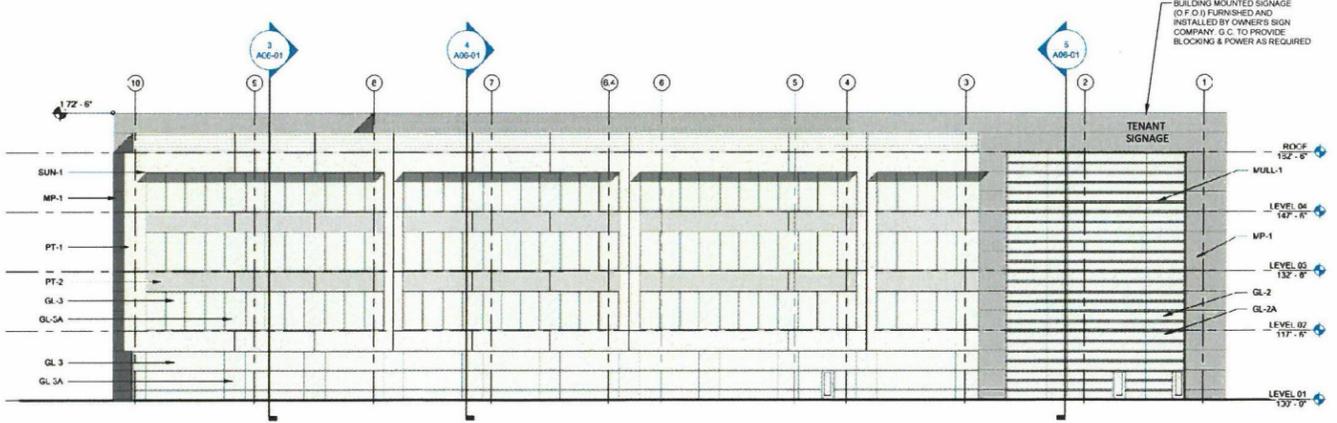


EXTERIOR ELEVATIONS

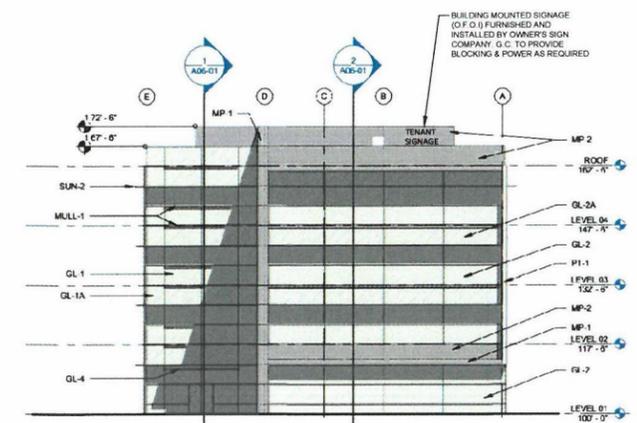
JOB 18266.0000  
DATE 10/11/2018  
SHEET 33



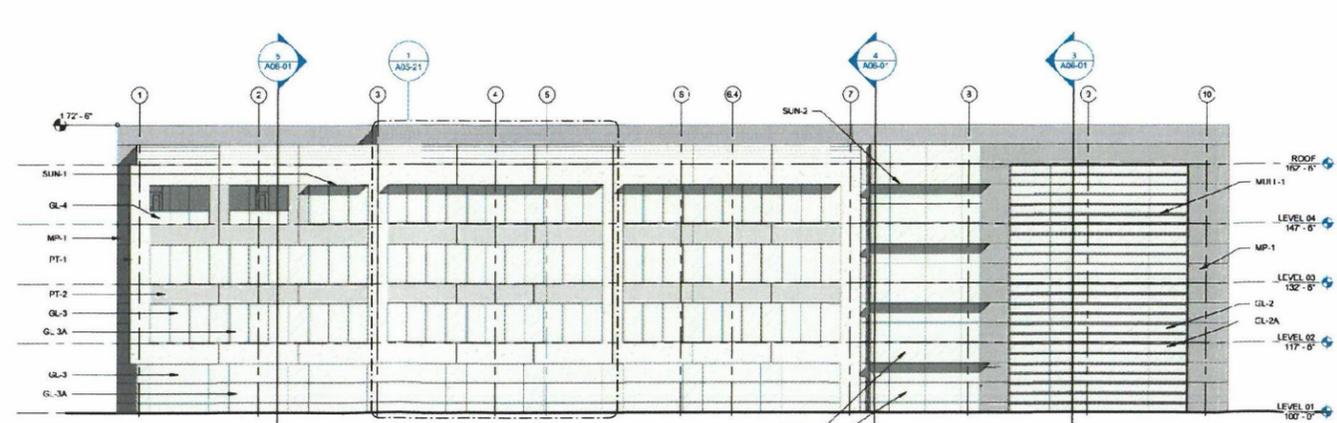
5 EXTERIOR ELEVATION - EAST  
1/16" = 1'-0"



4 EXTERIOR ELEVATION - SOUTH  
1/16" = 1'-0"



2 EXTERIOR ELEVATION - WEST  
1/16" = 1'-0"



1 EXTERIOR ELEVATION - NORTH  
1/16" = 1'-0"

4/30/2019 2:59:00 PM A35-01 EXTERIOR ELEVATIONS

CASE NAME: SILVER LAKE CROSSINGS  
CASE NUMBER: CU-\_\_\_\_\_  
LOCATION: LOT 143 & 24, BLOCK 1, THE BLUFFS AT SPRINGWOOD, LOTS 1-A, 2, & 3, BLOCK 1, SILVER LAKE CROSSINGS

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 33 of 33

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.  
DEPARTMENT OF DEVELOPMENT SERVICES

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,  
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: JUNE 18, 2019

SUBJECT: FINAL PLAT APPLICATION  
LOTS 2 AND 3, BLOCK 1, SILVER LAKE CROSSINGS ADDITION

PLAT APPLICATION FILING DATE..... June 11, 2019  
APPLICANT .....Mital Patel, Grapevine Equity Partners, LLC  
REASON FOR APPLICATION .....Platting to build a 556 room hotel  
PROPERTY LOCATION ..... North of Bass Pro Court and west of SH 26  
ACREAGE..... 21.6 acres  
ZONING ..... CC  
NUMBER OF LOTS ..... 2  
PREVIOUS PLATTING ..... Preliminary Plat 2016  
CONCEPT PLAN ..... CU19-16  
SITE PLAN ..... No  
OPEN SPACE REQUIREMENT ..... Yes  
AVIGATION RELEASE ..... Yes  
PUBLIC HEARING REQUIRED ..... No

**PLAT INFORMATION SHEET  
FINAL PLAT APPLICATION  
LOT 2 AND 3, BLOCK 1,  
SILVER LAKE CROSSINGS ADDITION**

I. GENERAL:

- The applicant, Mital Patel is platting the 21.6 acres to build a 556 room hotel. The property is north of Bass Pro Court and west of State Highway 26.

II. STREET SYSTEM:

- The development has access to Bass Pro Court and State Highway 26.
- ALL abutting roads:  are on the City Thoroughfare Plan:  
 are not on the City Thoroughfare Plan:

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 10.00 / LF		

Periphery Street Fees are not due:

TOTAL

III. STORM DRAINAGE SYSTEM:

- The site drains north towards the onsite pond.
- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for: Lot 3, Block 1, Silver Lake Crossings Addition
- Water and Wastewater Impact Fees are due prior to the issuance of building permits for: Lot 2, Block 1, Silver Lake Crossings Addition
  - Single Family Residential ( \$ 2,191/ Lot)
  - Multifamily ( \$ 1,026 / Unit)
  - Hotel ( \$ 38,107/ Acre)
  - Corporate Office ( \$ 18,847/ Acre)
  - Government ( \$ 4,037/ Acre)
  - Commercial / Industrial ( \$ 5,209 / Acre)
- Open Space Fees are not required for: Lots 2 & 3, Block 1, Silver Lake Crossings Addition
- Open Space Fees are required for:
  - R-5.0, Zero Lot District ( \$ 1,416.00 / Lot)
  - R-7.5, Single Family District ( \$ 1,146.00 / Lot)
  - R-12.5, Single Family District ( \$ 1,071.00 / Lot)
  - R-20.0, Single Family District ( \$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
  - Front building line
  - Rear building line
  - Lot width & depth
  - Max. Impervious Area
  - Special Exception to the required front yard landscape setback
- The following items associated with this plat are not in accordance with the current subdivision standards:
  - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
  - Length of cul-de-sac street exceeds the 600-foot limit:
  - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
- The right-of-way provides for future widening of public streets that will serve the development of this site.
  - The onsite utility easements provide for a utility network to serve the development of this site.
  - The onsite drainage easements provide for a drainage network to serve the development of this site.
  - The onsite access easements provide cross access capabilities to this site and surrounding property.

- The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:

- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
- The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
- The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
- The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
- The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
- All of the dedications benefit the development to at least the extent of the impact of such on the development.

#### VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Final Plat of Lots 2 & 3, Block 1, Silver Lake Crossing Addition."



NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS, THAT SUPREME BRIGHT GRAPEVINE III, LLC, does hereby adopt this plat of Lots 2 & 3 Block 1, SILVER LAKE CROSSINGS ADDITION, an addition to the City of Grapevine, Tarrant County, Texas, and does hereby dedicate to the public use forever the right-of-way and easements shown hereon. The easements shown hereon are hereby reserved for the purposes as indicated. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of paving on the easements is the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed, or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using, or desiring to use same. Any City or franchised utility shall have the full right to remove and keep removed all or parts of any fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all City or franchised utilities shall at all times have the full right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone. I have reviewed the City's findings concerning dedications and I do agree that the statements are true and correct.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

Witness my hand this the \_\_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_, SUPREME BRIGHT GRAPEVINE III, LLC

NOTARY PUBLIC

This instrument was acknowledged before me on the \_\_\_\_\_ day of \_\_\_\_\_, 2019, by \_\_\_\_\_ of SUPREME BRIGHT GRAPEVINE III, LLC.

Notary Public  
State of \_\_\_\_\_

My Commission Expires \_\_\_\_\_

AVIGATION RELEASE

THE STATE OF TEXAS §  
COUNTY OF TARRANT §

WHEREAS, SUPREME BRIGHT GRAPEVINE III, LLC hereinafter called "Owner" (whether one or more); is the owner of that certain parcel of land situated in the City of Grapevine, Tarrant County, Texas, being said property as described as shown on this plat.

NOW THEREFORE, in consideration of the sum of Ten AND 00/100 (\$10.00) DOLLARS and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confessed, Owner does hereby waive, release, remise and quitclaim to the City of Grapevine, Tarrant County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas, Texas and Fort Worth, Texas, their successors and assigns, hereinafter called "Cities", for the use and benefit of the public and its agencies, any and all claims for damages of any kind to persons or property that Owner may suffer by reason of the passage and flight of all aircraft in the air space above Owner's property above the height restriction as presently established by Ordinance No. 73-50 for the City of Grapevine, known as the Airport Zoning Ordinance of the Dallas-Fort Worth International Airport, to an infinite height above same whether such damage shall originate from noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft, landing at, or taking off from or operating at or on the Dallas-Fort Worth International Airport.

This instrument does not release the owners or operators of aircraft from liability for damage to person or property caused by falling aircraft or falling physical objects from aircraft, except as stated herein with respect to noise, fumes, dust, fuel, and lubricant particles.

It is agreed that this release shall be binding upon said owner and his heirs and assigns, and successors in interest to said property; and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of the county or counties in which the property is situated.

Witness my Hand at \_\_\_\_\_ this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_, SUPREME BRIGHT GRAPEVINE III, LLC.

NOTARY PUBLIC

This instrument was acknowledged before me on the \_\_\_\_\_ day of \_\_\_\_\_, 2019 by \_\_\_\_\_ of SUPREME BRIGHT GRAPEVINE III, LLC.

Notary Public  
State of \_\_\_\_\_

My Commission Expires \_\_\_\_\_

OWNERS CERTIFICATE

LAND DESCRIPTION

BEING tract of land situated in the A.W. Anderson Survey, Abstract No. 26, City of Grapevine, Tarrant County, Texas and being a portion of a tract of land described in instrument to Grapevine Equity Partners, LLC, as recorded in Instrument No. D208160241 of the Official Public Records, Tarrant County Texas, Texas, and a portion of Lot 1A, Block 1, of the Amended Final Plat of The Bluffs at Grapevines, an addition to the City of Grapevine as recorded under Instrument No. D213153582 of the Plat Records of Tarrant County, Texas, and a portion of Lot 1, Block 1 of Silver Lake Crossings Addition, an addition to the City of Grapevine as recorded under Instrument No. D212050937 of the Plat Records of Tarrant County, Texas and being more particularly described as follows;

BEGINNING at a 5/8 inch iron rod found with plastic cap stamped "Huitt-Zollars" at the northwest corner of Lot 1, Block 1, Silver Lake Crossings Addition, an addition to the City of Grapevine as recorded under Instrument No. D212050937 of the Plat Records of Tarrant County, Texas, said corner being in the west line of the Grapevine Equity Partners tract;

THENCE, North 00 degrees 35 minutes 50 seconds West along the west line of the Grapevine Equity Partners, a distance of 261.12 feet to a Corp of Engineers concrete monument found;

THENCE, North 44 degrees 41 minutes 33 seconds East continuing along the west line of the Grapevine Equity Partners, a distance of 942.80 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

THENCE, North 00 degrees 34 minutes 41 seconds West continuing along the west line of the Grapevine Equity Partners, a distance of 504.44 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars" at the northwest corner of the Grapevine Equity Partners;

THENCE, along the north line of the Grapevine Equity Partners the following courses and distances:

North 89 degrees 25 minutes 19 seconds East, a distance of 256.95 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

North 58 degrees 41 minutes 01 second East, a distance of 127.20 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

North 75 degrees 20 minutes 06 seconds East, a distance of 104.12 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

South 59 degrees 00 minutes 19 seconds East, a distance of 124.13 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

THENCE, along the east line of the Grapevine Equity Partners the following courses and distances:

South 04 degrees 06 minutes 41 seconds East, a distance of 84.96 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

South 00 degrees 44 minutes 26 seconds East, a distance of 98.23 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

South 18 degrees 21 minutes 31 seconds West, a distance of 22.80 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

South 05 degrees 09 minutes 28 seconds West, a distance of 124.87 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

South 45 degrees 14 minutes 23 seconds East, a distance of 104.84 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

South 18 degrees 02 minutes 09 seconds East, a distance of 41.94 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

South 47 degrees 18 minutes 39 seconds West, a distance of 32.03 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

North 82 degrees 36 minutes 32 seconds West, a distance of 69.88 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

North 60 degrees 59 minutes 33 seconds West, a distance of 71.14 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

North 74 degrees 09 minutes 17 seconds West, a distance of 60.26 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

South 66 degrees 44 minutes 42 seconds West, a distance of 81.89 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

South 08 degrees 31 minutes 04 seconds West, a distance of 377.00 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

South 08 degrees 18 minutes 14 seconds East, a distance of 28.24 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

South 20 degrees 34 minutes 12 seconds East, a distance of 24.70 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

North 89 degrees 41 minutes 01 second East, a distance of 17.78 feet to a "X" cut found on rock at

the northwest corner of Lot 1A, Block 1 of the Amended Final Plat of The Bluffs at Grapevines, and being the beginning of a non-tangent curve to the right having a central angle of 88 degrees 03 minutes 09 seconds, a radius of 202.40 feet, subtended by a 281.33 foot chord which bears South 28 degrees 25 minutes 41 seconds West;

THENCE, along the west line of said Lot 1A, Block 1 of the Amended Final Plat of The Bluffs at Grapevines the following courses and distances:

Along said curve to the right an arc distance of 311.05 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

South 01 degree 34 minutes 42 seconds West, a distance of 364.90 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars"; and being the beginning of a non-tangent curve to the right having a central angle of 02 degrees 20 minutes 24 seconds, a radius of 969.50 feet, subtended by a 39.59 foot chord which bears South 74 degrees 04 minutes 14 seconds East,

THENCE, departing the west line of said Lot 1A, Block 1 of The Bluffs at Grapevines over and across Lot 1A, Block 1 of The Bluffs at Grapevines, along said curve to the right an arc distance of 39.60 feet to a 5/8 inch iron rod found with plastic cap stamped "Huitt-Zollars" at the northwest corner of Bass Pro Court as established by said Silver Lake Crossings Addition;

THENCE, South 05 degrees 35 minutes 00 seconds West, along the west line of said Bass Pro Court and an east line Lot 1A, Block 1 of The Bluffs at Grapevines, passing at a distance of 5.60 feet a 5/8 inch iron rod found with plastic cap stamped "Huitt-Zollars" at the northeast corner of Lot 1, Block 1, Silver Lake Crossings Addition, continuing along the west line of said Bass Pro Court and the east line of Lot 1, Block 1, Silver Lake Crossings Addition, a total distance of 35.75 feet to a cross cut in concrete, and being the beginning of a non-tangent curve to the left having a central angle of 14 degrees 35 minutes 04 seconds, a radius of 934.50 feet, subtended by a 237.23 foot chord which bears North 79 degrees 45 minutes 18 seconds West,

THENCE, departing the west line of said Bass Pro Court and the east line of Lot 1, Block 1, Silver Lake Crossings Addition, over and across Lot 1, Block 1, Silver Lake Crossings Addition, passing at 129.27 feet a 5/8 inch iron rod found with plastic cap stamped "Huitt-Zollars" at an angle point in the north line of said Lot 1, Block 1, Silver Lake Crossings Addition, continuing along the north line of said Lot 1, Block 1, Silver Lake Crossings Addition and along said curve to the left a total arc distance of 237.87 feet to a 5/8 inch iron rod found with plastic cap stamped "Huitt-Zollars";

THENCE, North 87 degrees 02 minutes 50 seconds West continuing along the north line of said Lot 1, Block 1, Silver Lake Crossings Addition, a distance of 173.72 feet to a 5/8 inch iron rod set with plastic cap stamped "Huitt-Zollars";

THENCE, North 89 degrees 51 minutes 35 seconds West continuing along the north line of said Lot 1, Block 1, Silver Lake Crossings Addition, a distance of 474.49 feet to the POINT OF BEGINNING and CONTAINING 21.569 acres or 939,530 square feet of land, more or less.

SURVEYORS STATEMENT

I, Mitchell S. Pillar, of Huitt-Zollars Inc., Registered Professional Land Surveyor No. 5491 of the State of Texas, have prepared this plat from an actual and accurate survey made on the ground and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the City of Grapevine.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR REVIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

Date: \_\_\_\_\_

PLANNING & ZONING COMMISSION:  
DATE APPROVED: \_\_\_\_\_  
CHAIRMAN: \_\_\_\_\_  
SECRETARY: \_\_\_\_\_  
GRAPEVINE CITY COUNCIL:  
DATE APPROVED: \_\_\_\_\_  
MAYOR: \_\_\_\_\_  
CITY SECRETARY: \_\_\_\_\_

FINAL PLAT  
OF  
LOTS 2 & 3  
SILVER LAKE  
CROSSINGS ADDITION

21.56 ACRES  
2 LOTS  
SITUATED IN THE A.W. ANDERSON SURVEY ABSTRACT NO. 26  
CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS

THIS PLAT FILED ON \_\_\_\_\_, INSTRUMENT #D \_\_\_\_\_

OWNER:  
GRAPEVINE EQUITY PARTNERS, LLC  
700 STATE HIGHWAY 121 BYP  
SUITE 175  
LEWISVILLE, TX 76067  
PHONE: 214-774-4650  
FAX: 214-988-9006

DEVELOPER:  
SUPREME BRIGHT GRAPEVINE III, LLC  
700 STATE HIGHWAY 121 BYP  
SUITE 175  
LEWISVILLE, TX 76067  
PHONE: 214-774-4650  
FAX: 214-988-9006

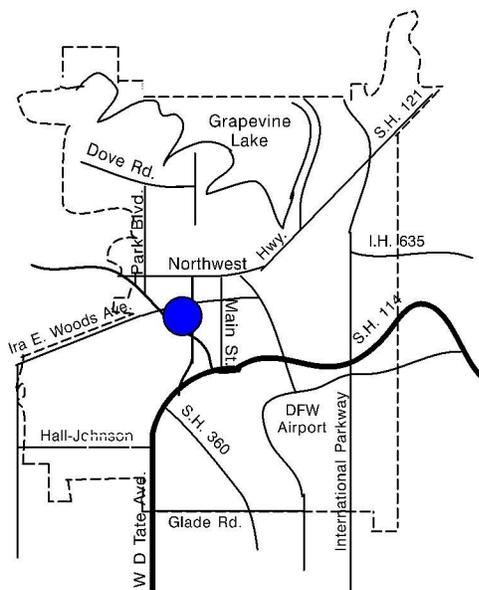
PREPARED/SURVEYED BY:  
HUITT-ZOLLARS  
Huitt-Zollars, Inc.  
500 West 7th Street, Suite 300  
Fort Worth, Texas 76102-4728  
Phone (817) 335-3000 Fax (817) 335-1025

TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE  
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: JUNE 18, 2019

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF  
CONDITIONAL USE APPLICATION CU19-17 C J'S SOUTHERN  
KITCHEN



APPLICANT: Jennifer Pharris

PROPERTY LOCATION AND SIZE:

The subject property is located at 1449 West State Highway 114 and platted as Lot 10, Block 1, Towne Center Addition No. 2. The addition contains 2.86 acres and has approximately 377-feet of frontage along the northbound service road of State Highway 114.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to amend the previously approved site plan of CU99-06 (Ord. 1999-34) for a planned commercial center to allow the possession, storage, retail sale and on-premise consumption of alcoholic beverages (beer, wine and mixed beverage) in conjunction with a restaurant, specifically to revise the floor plan and add outside dining and outdoor speakers.

The applicant intends to utilize the western portion of an existing 9,819 square foot building formerly occupied by Mimi's Cafe for a new 6,581-square foot restaurant (C J's Southern Kitchen). The eastern portion of the building is occupied by a retail tenant. The proposed restaurant will seat 339 patrons; 239 seats inside and 100 seats outside. The proposed outdoor dining will be uncovered and located on the west and north sides of the

structure. A three and one half foot decorative metal railing will provide separation between the seating and the vehicle use areas. Three outdoor speakers are proposed to provide background music for patrons. New awnings are proposed along the north and west elevations. Total parking required for the proposed use and the retail tenant is 119-spaces; 137-spaces are provided.

#### PRESENT ZONING AND USE:

The property is currently zoned "CC" Community Commercial District with a Planned Commercial Center designation. The site is developed with a 9,819-square foot single story structure which is partially occupied by a retail tenant.

#### HISTORY OF TRACT AND SURROUNDING AREA:

The subject property was zoned "C-2" Community Business District prior to the 1984 City Rezoning. The tract was platted as the Towne Center Addition in 1986. The addition was replatted twice in 1989. Conditional Use Permit CU89-15 for a Planned Commercial Center to be developed as four lots with three restaurants (Luby's, Arby's and International House of Pancakes) and one retail center was approved in 1989. A one-year extension of CU99-15 was approved in December 1990. CU91-19 for both a Jack in the Box Restaurant and an amendment to the approved site plan of Luby's Cafeteria was approved in 1991. CU93-05, approved in 1993, again amended the approved site plan and sign for Luby's Cafeteria. CU95-02 (Ord. No. 95-10) was approved in February, 1995, allowing the possession, storage, retail sale and on-premise consumption of alcoholic beverages (beer and wine only) in conjunction with an existing restaurant for Jason's Deli.

The Towne Center Addition II which contains 62.47 acres, was rezoned in 1992 (Z92-09 and CU92-23) from "PCD" Planned Commerce Development District to "CC" Community Commercial District with a conditional use permit for a planned commercial center which brought forward the development of the Target store. In 1994, the site plan was amended to include Ross Dress for Less, Barnes and Noble, Famous Footwear, and Showcase Hallmark (CU94-31, Ord. No. 94-100). In 1995 the master site plan was amended again to allow for the development of Linens N' Things on Lot 4R-1 with Mattress Giant and Chesapeake Bagel on Lot 5 (CU95-16). In 1996, the site plan was modified to develop retail space for Barbecue's Galore and Coleman Spas on Lot 9 (CU96-20), Office Depot and Cost Plus on Lot 6R (CU96-29), and a 20,000 square foot retail building on Lot 7 that houses Chuck's Hamburgers, Haltom's Jewelers, and Busybody Home Fitness (CU96-36). CU99-06 allowed the development of a 6,581 square foot restaurant (Mimi's Café) with the possession, storage, retail sale, and on-premise consumption of alcoholic beverages (beer, wine, and mixed drinks) along with an attached 3,295 square foot retail building. CU99-57 was approved in November 1999, allowing outdoor seating at Jason's Deli. Conditional Use Request CU00-11 (Ord. 2000-34) was approved at the March 28, 2000 meeting which allowed for a bank with drive-through service. In addition, a 50-foot landscape buffer was approved with the request around the remainder of the undeveloped portion of the Towne Center Addition including the bank site to bring the entire planned

commercial center into compliance with the landscaping requirements. The Site Plan Review Committee approved CU03-01 in March 2003, allowing the placement of a pole sign for Haltom's Jewelers. The Site Plan Review Committee also approved CU03-02 in March 2003, permitting a revision of the Luby's Restaurant pole sign. At the August 19, 2003 meeting, Council approved a conditional use request (CU03-26) for modifications to the site plan for the Target retail store. Conditional Use Request CU04-24 was approved at the August 17, 2004 meeting with allowed for a 132 bed skilled nursing facility within the Towne Center Addition accessed from Ira E. Woods Avenue. At the October 17, 2006 meeting Council approved an amendment to site plan for the planned commercial center (CU06-39) to allow the development of two medical office buildings totaling 6,595 square feet. At the November 20, 2007 meeting Council approved an amendment to site plan for the planned commercial center (CU07-35) to allow the development of two medical office buildings totaling 9,456 square feet. Conditional Use Request CU08-29 (Ord. 08-71) was approved at the November 18, 2008 meeting to allow a 25-foot landscape setback for all parcels adjacent to Ira E. Woods Avenue and William D. Tate Avenue. Conditional Use Request CU09-03 (Ord. 98-07) was approved at the March 24, 2009 meeting to allow gasoline sales and alcohol sales for off-premise consumption (beer and wine) and two monument signs in conjunction with a 4,902 square foot convenience store. The Site Plan Review Committee at their August 26, 2009 meeting approved CU09-31 to allow for a revision to a previously approved building footprint and exterior elevation. At the June 15, 2010 meeting conditional use permit CU10-13 (Ord. 2010-28) for a monument sign and to allow the possession, storage, retail sales and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages) along with SU10-05 (Ord. 2010-29) to allow for the use of one billiard table in conjunction with a restaurant were both approved. Conditional Use Request CU10-30 (Ord. 2011-01) was approved at the January 18, 2011 meeting to allow outdoor dining in conjunction with a restaurant. Conditional Use Request CU10-34 (Ord. 11-04) was approved at the January 18, 2011 meeting to a multi-tenant monument sign. Conditional Use Request CU11-22 (Ord. 2011-40) was approved at the August 16, 2011 meeting to allow the possession storage, retail sale and off-premise consumption of alcoholic beverages (beer and wine only) outdoor dining a 40-foot pole sign and outdoor speakers in conjunction with a market and bakery.

#### SURROUNDING ZONING AND EXISTING LAND USE:

NORTH: "CC" Community Commercial District, "R-3.5" Duplex, and "LI" Light Industrial District—Baylor Hospital, Grapevine Public Safety Building, Grapevine Industrial Park, Clearview Park and Brown Chiropractic

SOUTH: "CC" Community Commercial District—Classic Chevrolet, Buffalo Wild Wings, California Pizza Kitchen, Hooter's, Red Robin, The Original Pancake House and Freebird's

EAST: "CC" Community Commercial District, "CN" Neighborhood Commercial District, "GU" Governmental Use District, and "HC" Highway Commercial District—numerous retail stores and restaurants

including: Joann's Superstore, PetCo, Dollar Tree, Angels' Attic, Baja Mexican Grill, Peace Burger, Firestone, Taco Bell, Silver Fox Steakhouse, Chick-Fil-A, U.S. Post Office, Arthur Murray Dance and Midas

WEST: "CC" Community Commercial District – State Highway 114, and Regency Center including Academy Sports, Best Buy and Edohona Hibachi & Sushi, Mattress Firm and UPS Store

#### AIRPORT IMPACT:

The subject site is located within "Zone B" zone of middle effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" Map. In Zone B, the following uses may be considered only if sound treatment is included in building design: multi family apartments, motels, office buildings, movie theaters, restaurants, and personal and business services. Single family residential and sound sensitive uses such as schools and churches should avoid this zone. The applicant's proposal is an appropriate use in this noise zone.

#### MASTER PLAN APPLICATION:

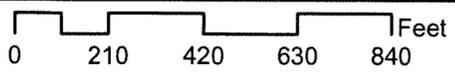
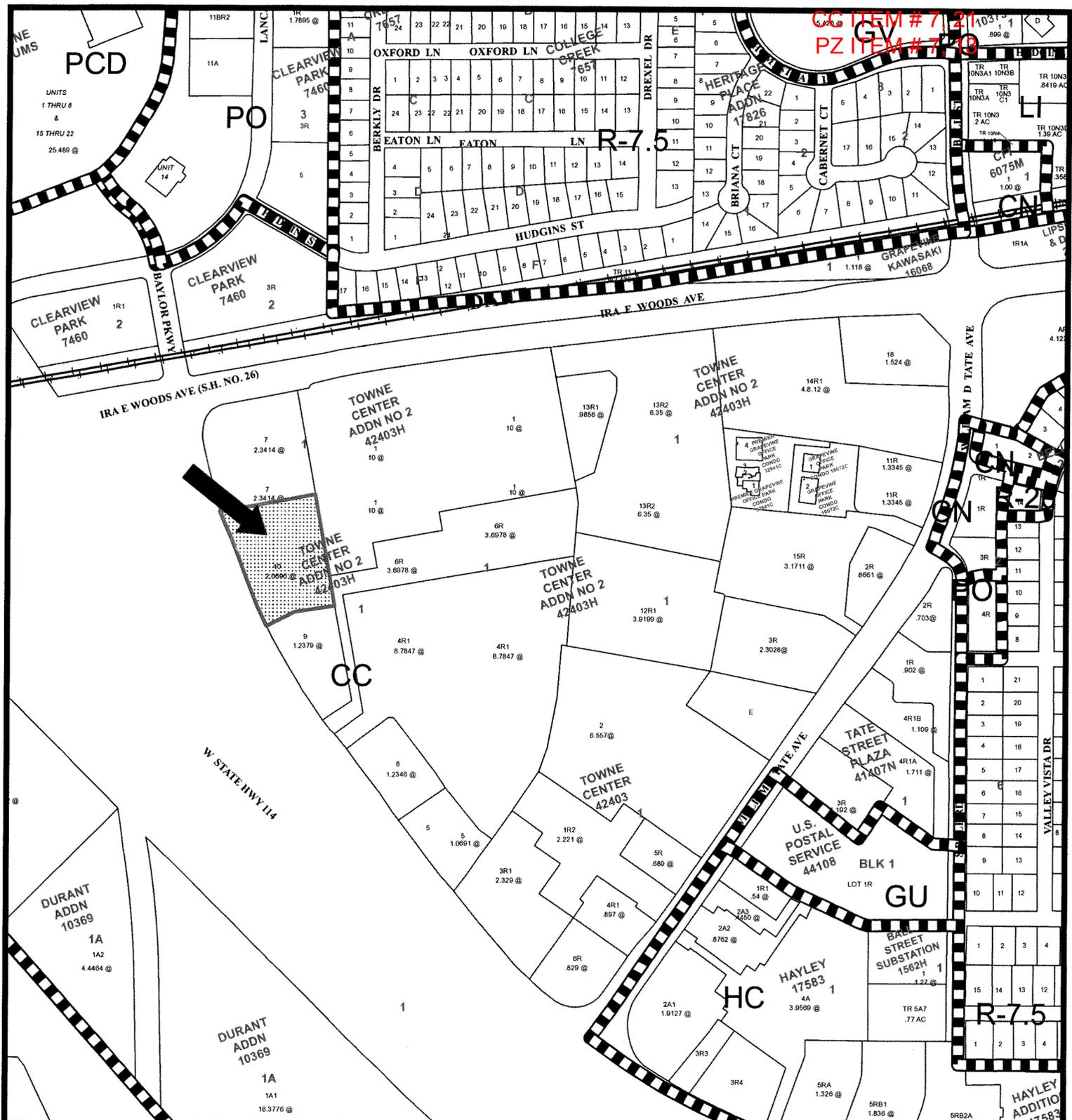
The Master Plan designates the subject property as a Commercial Land Use. The applicant's proposal is in compliance with the Master Plan.

#### THOROUGHFARE PLAN APPLICATION:

The Thoroughfare Plan designates Ira E. Woods Avenue as a Type C Minor Arterial with a minimum 80-foot right-of-way developed as four lanes with a turn lane.

/at

CC ITEM # 7121  
PZ ITEM # 710



## CU19-17 C J's Southern Kitchen

Date Prepared: 6/4/2019

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.



# CITY OF GRAPEVINE

## CONDITIONAL USE APPLICATION

### Form "A"

#### PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact

**CJ's Southern Kitchen LLC , Jennifer L. Pharris, President**

Street address of applicant / agent:

**1922 Twin Oaks Circle**

City / State / Zip Code of applicant / agent:

**Grapevine, Texas 76051**

Telephone number of applicant / agent:

**214-506-1152**

Fax number of applicant/agent

**214-504-1417**

Email address of applicant/agent

Mobile phone number of applicant/agent

**832-702-4288**

#### PART 2. PROPERTY INFORMATION

Street address of subject property

**1449 State Highway 114, Grapevine, Texas 76051**

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot **10** Block **1** Addition **Townecenter Addition No. 2**

Size of subject property

**0.25 acre**

Acres

**6581** Square footage

Present zoning classification:

**Community Commercial**

Proposed use of the property:

**Full Service Restaurant w/ On-premise alcoholic beverage sales**

Circle yes or no, if applies to this application

Outdoor speakers  Yes  No **Low Level Background Music Only for pleasant outside dining**

Minimum / maximum district size for conditional use request:

Zoning ordinance provision requiring a conditional use:

#### PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:

**GRAPEVINE/TATE PAD "B" LIMITED PARTNERSHIP, a Texas Limited Partnership**

Street address of property owner:

**3102 Maple Avenue, Suite # 350**

City / State / Zip Code of property owner:

**Dallas, Texas 75201**

Telephone number of property owner:

**214-720-3613**

Fax number of property owner:

MAY 06 2019

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.

- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

**PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY**

**CJ's Southern Kitchen LLC,  
Jennifer Pharris, President**

Print Applicant's Name:

Jennifer Pharris  
Applicant's Signature:

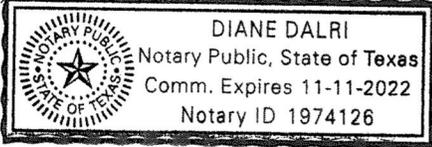
The State of Texas

County Of TARRANT

Before Me DIANE DALRI (notary) on this day personally appeared Jennifer Pharris (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 6th day of May, A.D. 2019.



Diane Dalri  
Notary In And For State Of Texas

**GRAPEVINE/TATE PAD "B" LIMITED PARTNERSHIP,  
a Texas Limited Partnership**

Print Property Owners Name:

Jennifer Chandler  
Property Owner's Signature:

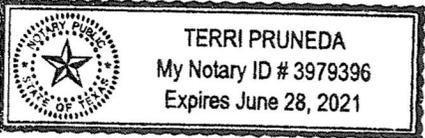
The State Of Texas

County Of Dallas

Before Me Terri Pruneda (notary) on this day personally appeared Jennifer Chandler (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 6 day of May, A.D. 2019.



Terri Pruneda  
Notary In And For State Of Texas

MAY 06 2019

**ACKNOWLEDGEMENT**

**All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.**

**All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.**

**Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.**

**Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.**

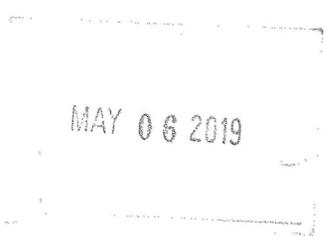
**I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.**

**Signature of Applicant** Jennifer Pharris

**Date:** May 6, 2019

**Signature of Owner** James Chandler

**Date:** May 6, 2019





CUI9-17

May 6, 2019

Attention: Albert L. Triplett, Jr  
Planning Department  
City of Grapevine  
Grapevine, TX 76051

Re: Application for Conditional Use Permit-1449 SH 114, Suite #500 Grapevine TowneCenter

**Mr. Triplett:**

Thanks so much for spending time with my DAD to discuss the exciting new dining concept for the City of Grapevine and I do look forward to meeting you in person soon.

*CJ's Southern Kitchen LLC* was conceived by my late mother and myself before she passed away in 2009 as when I was a child I remember my memorable experiences going to the old restaurant concept named "*Southern Kitchen*" which was located near Northwest Highway in Dallas and reminded me always of family time together and how important it is to all be together to enjoy a family dining experience. Our choice of Grapevine to launch this flagship location was due to the city's historical background allowing *CJ's Southern Kitchen* to pay special tribute to this special city and its extraordinary amount of history in pictures that will be celebrated on the inside walls of this new special place for the citizens of Grapevine and surrounding areas to enjoy. As the sole daughter of my late Mother, I look forward to memorializing her by sharing these unique and tasteful recipes on the *CJ's Southern Kitchen* menu. Of course, as you might understand "*CJ's*" stands for "Cindy" and "Jennifer"!

Our goal is to provide a family dining experience that will be well known to area residents and offer a special place for families to gather and with the spring, summer and fall months great for outside dining; we know our customers will be enhanced by the enjoyment of our proposed outside dining areas with the themed black and white striped umbrellas and relaxing quite atmosphere to offer the very best that Grapevine will have to offer. At the same time, we feel our concept will compliment the other merchants located in Grapevine TowneCenter and provide a successful dining and shopping experience for all those patrons of Grapevine and surrounding cities.

Thanks so much for your time and we are hopeful with your guidance we can achieve a successful approval for a conditional use permit from the Honorable Members of the Grapevine City Council.

Respectfully requested,  
***CJ's Southern Kitchen LLC***

Jennifer Pharris  
President/CEO

MAY 06 2019

1449 SH 114, Suite #500  
Grapevine, TX 76051  
Tel: 817-809-7066 Ext 1001

[www.cjsouthernkitchen.com](http://www.cjsouthernkitchen.com)

ORDINANCE NO. 2019-038

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ISSUING CONDITIONAL USE PERMIT CU19-17 TO AMEND PREVIOUSLY APPROVED SITE PLAN OF CU99-06 (ORDINANCE NO. 1999-34) TO REVISE THE FLOOR PLAN AND ADD OUTDOOR DINING AND OUTSIDE SPEAKERS FOR LOT 10, BLOCK 1, TOWNE CENTER ADDITION NO. 2 (1449 WEST STATE HIGHWAY 114) ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the

overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit No. CU19-17 to amend the previously approved site plan of CU99-06 (Ordinance No. 1999-34) for a planned commercial center with the possession, storage, retail sales and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages) in conjunction with a restaurant, specifically to revise the floor plan and add outdoor dining and outside speakers (C J's Southern Kitchen) in the following described property: Lot 10, Block 1, Towne Center Addition No. 2 (1449 West State Highway 114), all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 18th day of June, 2019.

APPROVED:

\_\_\_\_\_  
William D. Tate  
Mayor

ATTEST:

\_\_\_\_\_  
Tara Brooks  
City Secretary

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney



**Jordan Architects L.L.C.**  
402 W. Wheeland Road, Suite 102  
Coppell, Texas 75716  
office: 972-572-8777  
cell: 214-652-9855  
fax: 972-572-8888  
cda@jordanarchitects.com



05/30/19

**CONDITIONAL USE APPLICATION**  
**CJ's SOUTHERN KITCHEN**  
1449 W STATE HIGHWAY 114  
GRAPEVINE TOWNE CENTER SHOPPING CENTER  
GRAPEVINE, TX 76051

CONDITIONAL USE PERMIT CU19-17 IS REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU99-06 (ORD. 1999-34) FOR A PLANNED COMMERCIAL CENTER TO ALLOW THE POSSESSION, STORAGE, RETAIL SALE AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER, WINE AND MIXED BEVERAGES). SPECIFICALLY TO REVISE THE FLOOR PLAN AND ADD OUTSIDE DINING AND OUTDOOR SPEAKERS.

CASE NAME: CJ's SOUTHERN KITCHEN  
CASE NUMBER: CU19-17  
LOCATION: 1449 W. HIGHWAY 114

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: \_\_\_\_\_ OF \_\_\_\_\_

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

CONDITIONAL USE REQUEST FOR THE SALE, STORAGE AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER, WINE AND MIXED BEVERAGES)

THE ENTIRE SITE IS THE PREMISE  
APPLICANT:  
CJ's SOUTHERN KITCHEN LLC  
JENNIFER L. PHARRIS  
1922 TWIN OAKS CIRCLE  
GRAPEVINE, TEXAS 76051

OWNER:  
GRAPEVINE/TATE PAD "B" LIMITED PARTNERSHIP  
3102 MAPLE AVENUE, SUITE 350  
DALLAS, TEXAS 75201

ZONING: COMMUNITY COMMERCIAL

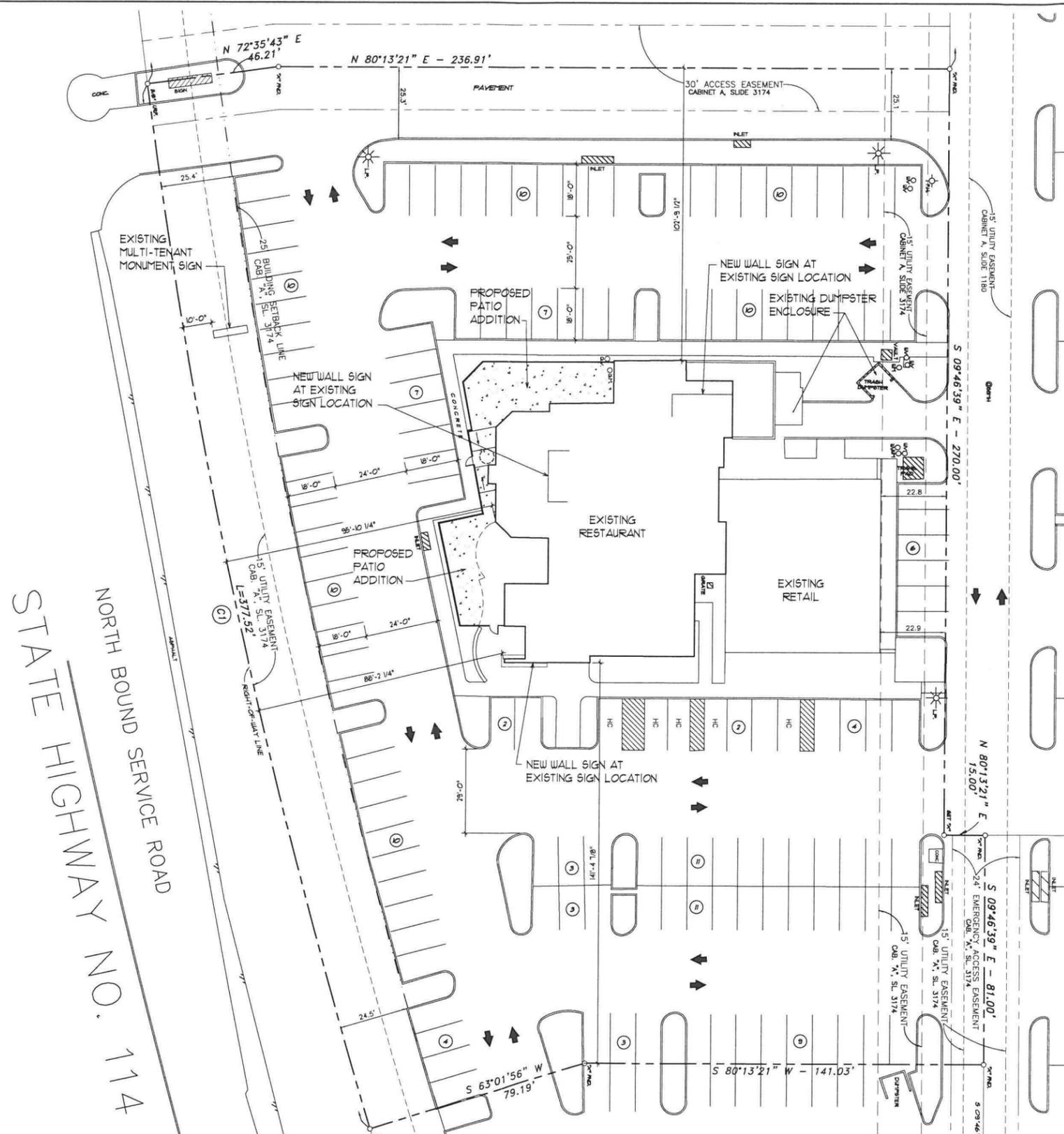
REVISIONS:

ISSUE DATE:	05/30/19	PRINT DATE:	05/30/19
DRAWN BY:	DJ	CHECKED BY:	DJ
PROJECT NO.:	1140		

SHEET TITLE  
**DIMENSIONAL CONTROL**  
**SITE PLAN**  
**VICINITY MAP**

SHEET NO.

**2 of 5**



STATE HIGHWAY NO. 114  
NORTH BOUND SERVICE ROAD

**SITE DATA**

CURRENT ZONING:  
COMMUNITY COMMERCIAL DISTRICT

TOTAL BUILDING AREA:  
RESTAURANT 6,581 SQ. FT.  
RETAIL 3,238 SQ. FT.  
TOTAL 9,819 SQ. FT.

BUILDING HEIGHT:  
ONE STORY 22 FT.

TOTAL LOT AREA:  
90,152 SQ. FT.

FLOOR AREA RATIO:  
10.9%

TOTAL IMPERVIOUS AREA:  
70,651 SQ. FT.

TOTAL OPEN AREA (LANDSCAPE):  
19,491 SQ. FT. 21.6 %

PARKING:

RESTAURANT BUILDING 6,581 @ 4.5/1000	=	30 SPACES
RESTAURANT ADJUSTMENT 6,581 @ 4/1000	=	26 SPACES
RESTAURANT OUTDOOR DINING 100 SEATS @ 1/3 SEATS	=	33 SPACES
RETAIL BUILDING 3,238 @ 4.5/1000	=	15 SPACES
TOTAL PARKING REQUIRED	=	104 SPACES
PARKING PROVIDED	=	137 SPACES



**VICINITY MAP**  
NO SCALE

TRACT 1  
BEING all that certain lot, tract or parcel of land situated in the HEIRS OF A. FOSTER SURVEY, ABSTRACT NO. 344, City of Grapevine, TARRANT County, Texas, same being all of Lot 10, in Block 1, of TOWNE CENTER ADDITION NO. 2, an Addition to the City of Grapevine, Texas, according to the plat thereof recorded in Exhibit A, Slide 3174, of the Map Records of TARRANT County, Texas.

**1 DIMENSIONAL CONTROL PLAN**

1" = 20'-0"



**Jordan Architects L.L.C.**  
402 W. Wheeland Road, Suite 102  
Duncanville, Texas 75116  
Office: 972-872-8777  
Cell: 214-682-8953  
Fax: 972-872-8888  
info@jordanarchitects.com



05/30/19

**SPEAKER SPECIFICATIONS**

Specifications	NS-AW194
Type	2-way bass-reflex
Woofers	4" waterproof cone
Tweeter	1" rigid-foamed, coated balanced dome
Frequency Response	105 Hz - 20 kHz
Nominal Input Power	30 W
Maximum Input Power	60 W
Sensitivity	85 dB/2.83 V/1 m
Impedance	8 ohms
Dimensions (W x H x D)	6" x 9.58" x 6.94"
Weight	2.9 lbs. 1.3 kg/unit
General specifications	
I/O connectors	Push Terminal (Applicable Cable: Max. Twisted wire 8mm/AviG 6)
Flying and mounting hardware	U-bracket (Movable angle: 81° 1/2 degree pitch: 13.6°)
Waterproof	IPX3
Others	Psicajed in pair



**PATIO FURNITURE**



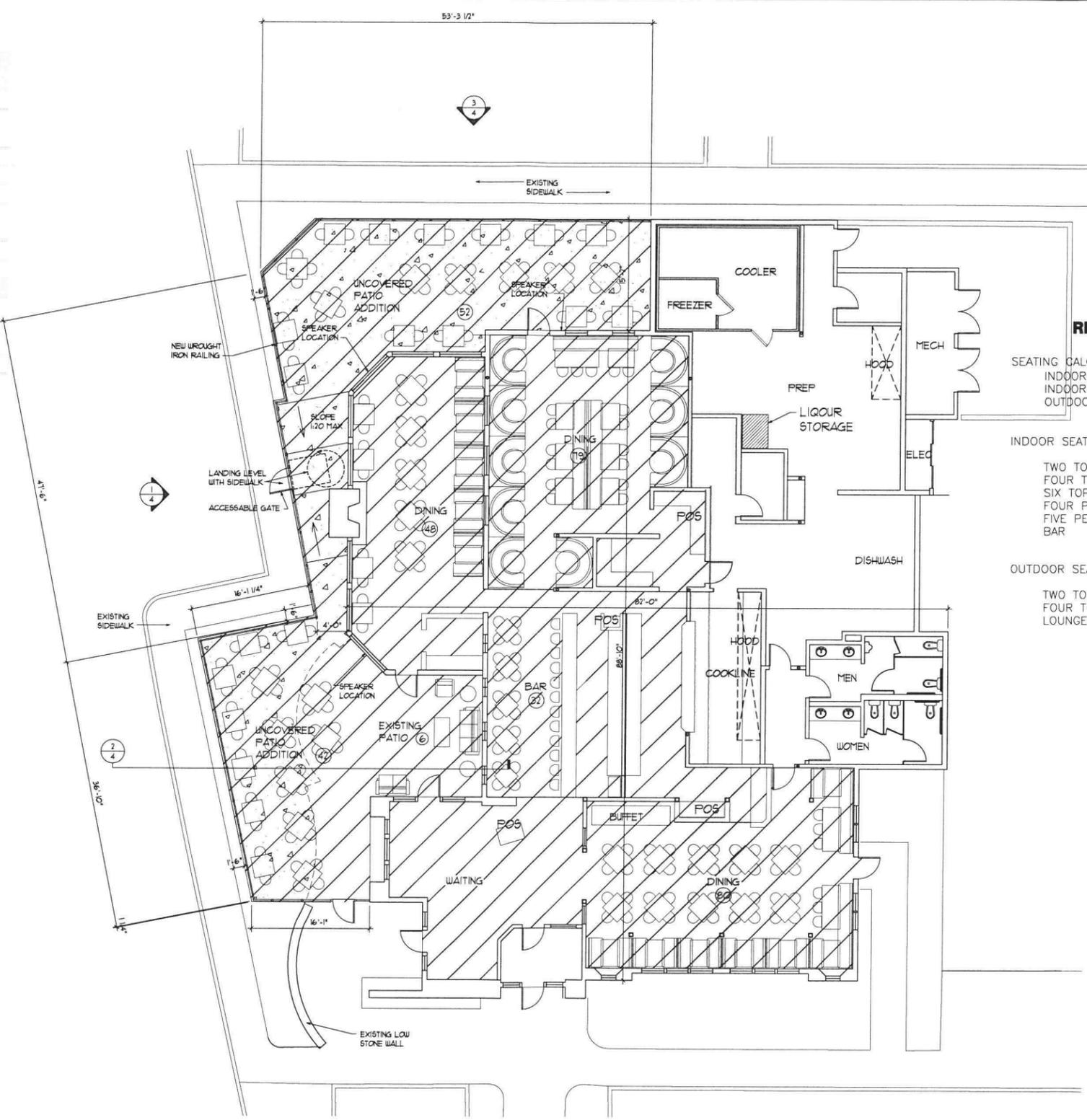
CHAIR



TABLE



UMBRELLA



**RESTAURANT SEATING**

SEATING CALCULATIONS:  
INDOOR DINING 3,648 SF @ 1/15 = 213 OCCUPANTS  
INDOOR DINING SEAT COUNT - 239 SEATS  
OUTDOOR DINING SEAT COUNT - 100 SEATS

INDOOR SEATING SCHEDULE:

	UNITS	SEATS
TWO TOP TABLES	4	8
FOUR TOP TABLES	27	108
SIX TOP TABLES	3	18
FOUR PERSON BOOTH	12	48
FIVE PERSON BOOTH	9	45
BAR	12	12
<b>TOTAL</b>		<b>239</b>

OUTDOOR SEATING SCHEDULE:

	UNITS	SEATS
TWO TOP TABLES	19	38
FOUR TOP TABLES	14	56
LOUNGE FURNITURE	6	6
<b>TOTAL</b>		<b>100</b>

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LOCATION: 1449 W. HIGHWAY 114

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DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
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DATE: \_\_\_\_\_  
SHEET: \_\_\_\_\_ OF \_\_\_\_\_  
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DEPARTMENT OF DEVELOPMENT SERVICES

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ZONING: COMMUNITY COMMERCIAL

**LEGEND**



**1 FLOOR PLAN**  
1/8" = 1'-0"



**CONDITIONAL USE APPLICATION**  
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REVISIONS:

ISSUE DATE:	05/30/19	PRINT DATE:	05/30/19
DRAWN BY:	DJ	CHECKED BY:	DJ
PROJECT NO. 1140			

SHEET TITLE

**FLOOR PLAN**

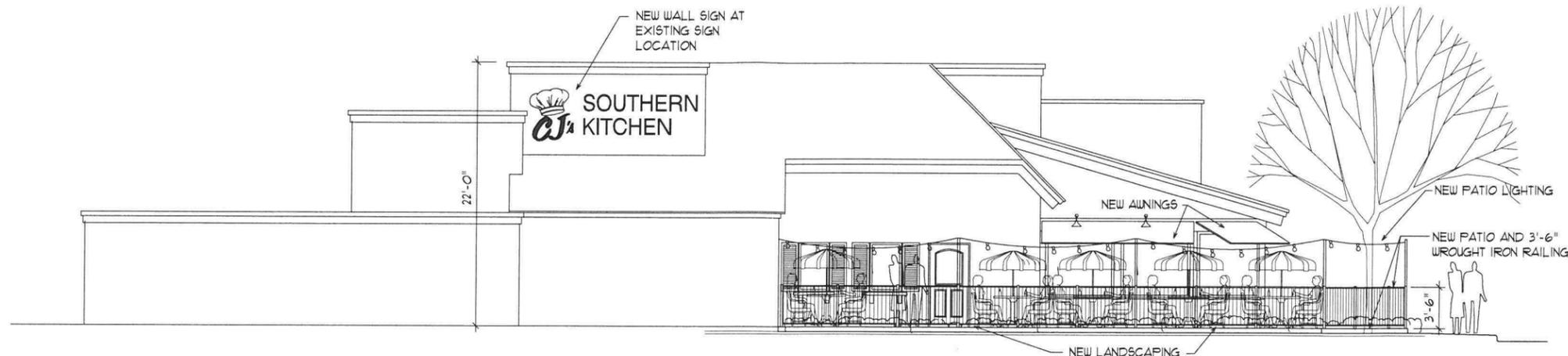
SHEET NO.

**3 of 5**

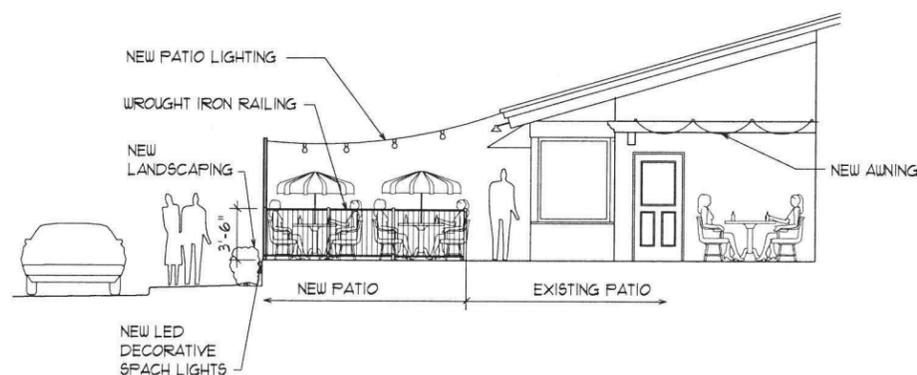
**Jordan Architects L.L.C.**  
402 W. Wheeland Road, Suite 102  
Duncanville, Texas 75116  
office: 972-872-8777  
cell: 214-432-9165  
fax: 972-872-9655  
info@jordanarchitects.com



05/30/19



**3 NORTH ELEVATION**  
3/16" = 1'-0"



**2 SECTION AT PATIO ADDITION**  
3/16" = 1'-0"

CONDITIONAL USE PERMIT CU19-17 IS REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU99-06 (ORD. 1999-34) FOR A PLANNED COMMERCIAL CENTER TO ALLOW THE POSSESSION, STORAGE, RETAIL SALE AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER, WINE AND MIXED BEVERAGES), SPECIFICALLY TO REVISE THE FLOOR PLAN AND ADD OUTSIDE DINING AND OUTDOOR SPEAKERS.

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PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: \_\_\_\_\_ OF \_\_\_\_\_

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DEPARTMENT OF DEVELOPMENT SERVICES

REVISIONS:

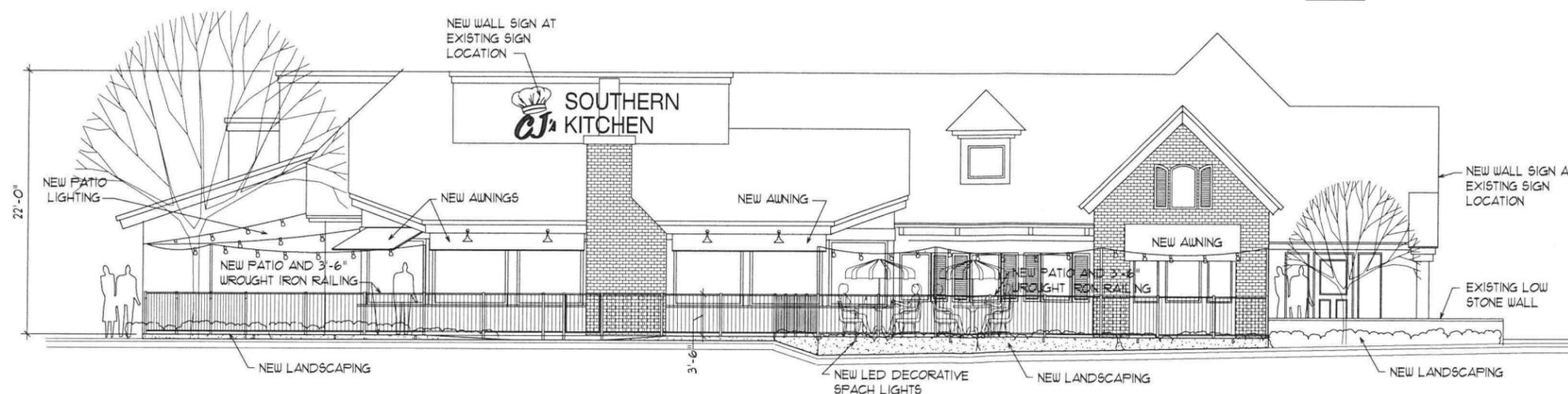
ISSUE DATE:	05/30/19	PRINT DATE:	05/30/19
DRAWN BY:	DJ	CHECKED BY:	DJ
PROJECT NO.:	11440		

SHEET TITLE

**ELEVATIONS SECTION**

SHEET NO.

**4 of 5**



**1 WEST ELEVATION**  
3/16" = 1'-0"

CONDITIONAL USE REQUEST FOR THE SALE, STORAGE AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER, WINE AND MIXED BEVERAGES)

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**CONDITIONAL USE APPLICATION**  
**CJ's SOUTHERN KITCHEN**  
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05/30/19

**CONDITIONAL USE APPLICATION**  
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REVISIONS:

ISSUE DATE:	05/30/19	PRINT DATE:	05/30/19
DRAWN BY:	DJ	CHECKED BY:	DJ
PROJECT NO.	1140		

SHEET TITLE

**LANDSCAPE PLAN**

SHEET NO.

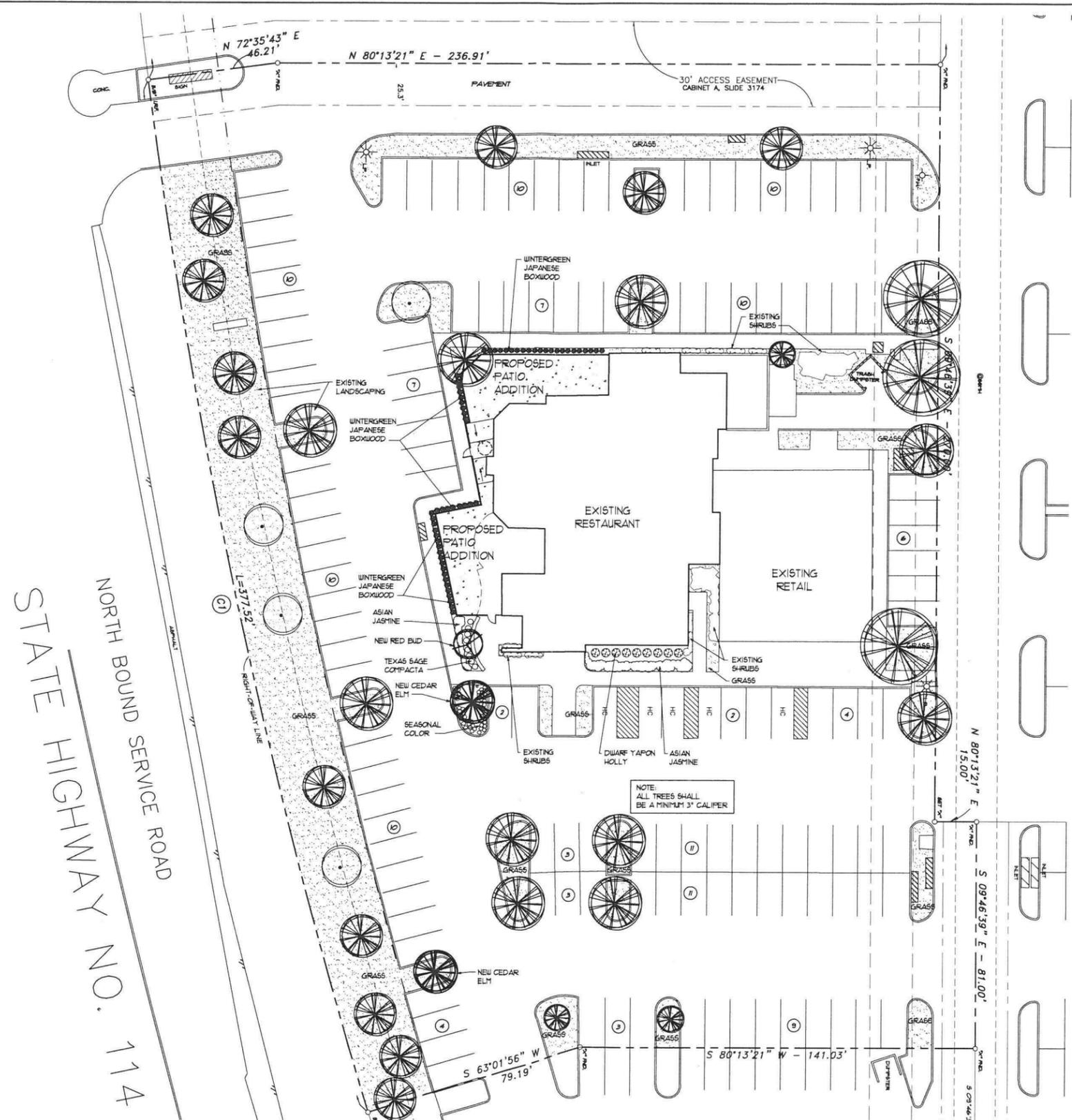
**LANDSCAPE LEGEND**

- EXISTING LIVE OAK
- EXISTING CEDAR ELM
- NEW CEDAR ELM  
ULMUS CRASSIFOLIA 3" MINIMUM CALIFER
- NEW RED BUD  
CERCIS CANADENSIS  
VAR. OKLAHOMA 3" MINIMUM CALIFER
- DWARF YAUPON HOLLY  
ILEX VOMITORIA 'NANA' 5 GAL MINIMUM
- TEXAS SAGE COMPACTA  
LEUCOPHYLLUM FRUTESCENS  
COMPACTA 5 GAL MINIMUM
- WINTERGREEN JAPANESE BOXWOOD  
BUXUS MICROPHYLLA 3 GAL MINIMUM
- ASIAN JASMINE  
TRACHEL OSMERUM ASIATICUM 4" POTS, 10" O.C.
- SEASONAL COLOR 4" POTS, 8" O.C.
- GRASS  
EXISTING BERMLUDA SOD

**LANDSCAPE TABULATION**

TOTAL LANDSCAPE AREA 19341 SQ. FT. ... 71.6% OF SITE  
INTERIOR LANDSCAPE AREA 3,447 SQ. FT.  
PERIMETER LANDSCAPE AREA 16,049 SQ. FT.  
SITE OPEN SPACE 80333 SQ. FT.  
NON VEHICULAR OPEN SPACE 31235 SQ. FT.

NUMBER OF TREES  
32 EXISTING  
3 NEW  
35 TOTAL

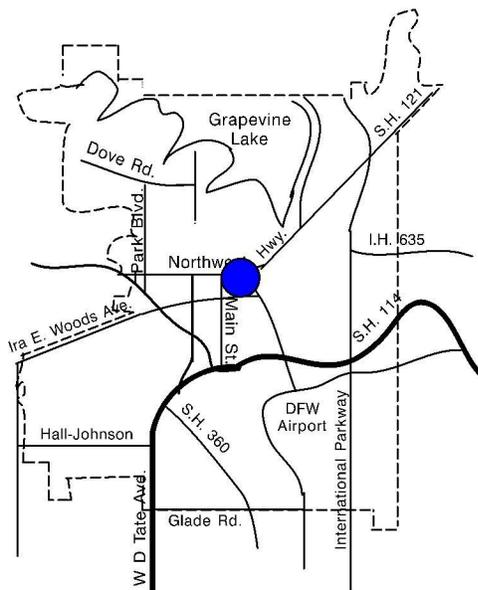


TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE  
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: JUNE 18, 2019

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF  
CONDITIONAL USE APPLICATION CU19-19 MASON & DIXIE  
RESTAURANT



APPLICANT: Beth Newman

PROPERTY LOCATION AND SIZE:

The subject property is located at 603 South Main Street, Suite 303 and platted as Lot C, Block 15, Original Town of Grapevine. The property contains approximately 2.187 acres and has approximately 300 feet of frontage along South Main Street and approximately 323 feet of frontage along East College Street.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to amend the previously approved site plan of CU18-17 (Ord. 2018-062) to establish a restaurant in the "CBD" Central Business District, specifically to allow the possession, storage, retail sales and on-premise consumption of alcoholic beverages (beer and wine only) and outside dining.

At the March 21, 2017 meeting, Council approved conditional use permit CU17-03 (Ord. 2017-18) to establish a 1,290 square foot, non-alcoholic, 32-seat restaurant (Mason & Dixie) in a lease space on the subject site. At the July 17, 2018 meeting, Council approved Conditional Use Permit CU18-17 (Ord. 2018-62) to allow a 780 square foot expansion into the immediate adjacent space to the north and occupy a total of 2,070 square feet at the subject location.

With this request the applicant proposes to offer alcoholic beverages (beer and wine only) for on-premise consumption to patrons and add 14 outdoor seats adjacent to South Main Street. The revised seating layout will accommodate 78 patrons; 64-seats indoors and 14-seats outdoors. Required parking is 34-spaces; 82-spaces are provided on-site for all tenants along with five parallel spaces on South Main Street and nine parallel spaces along College Street. The applicant will maintain a minimum of four feet between the curb and tables and chairs. Current hours of operation are 11:00 a.m. to 3:00 p.m. Tuesday through Sunday with the possibility in the future to provide dinner service but with a closing time no later than 10:00 p.m.

#### PRESENT ZONING AND USE:

The property is zoned "CBD" Central Business District and is developed as a multi-tenant, office-retail-restaurant complex.

#### HISTORY OF TRACT AND SURROUNDING AREA:

The subject property was rezoned in the 1984 City Rezoning from "SP" Specific Use Permit District to "CBD" Central Business District. The subject property is also located within a Historic Overlay District (HL93-01). The properties to the west and south of the auto repair were rezoned from "LI" Light Industrial District to "CBD" Central Business District in the 1984 City Rezoning. The area to the south with the existing mini-warehouse development was rezoned to "LI" Light Industrial District in 1990 (Z09-09). The restaurant south of the subject site was approved in April 1993 (CU92-25) for alcohol sales. The funeral home property to the north and the auto repair business to the west retained the "CBD" Central Business District during the 1984 City Rezoning.

At the April 15, 2008 meeting Council approved Conditional Use Request CU08-09 (Ord. 08-20) on the subject site to establish a wine tasting room for on- and off-premise consumption (wine only) in conjunction with a coffee shop. On March 24, 2009 Council approved an extension to the wine tasting room to expire on April 15, 2010. At the January 19, 2010 meeting City Council approved Conditional Use Request CU09-46 (Ord. 2010-01) was approved to allow a 25 seat restaurant (Yum Yum Yogurt) to occupy the subject lease space. At the June 16, 2015 meeting City Council approved Conditional Use Request CU15-18 (Ord. 2015-028) to allow for a winery. At the March 21, 2017 meeting City Council approved Conditional Use Request CU17-03 (Ord. 2017-018) to establish a restaurant in the "CBD" Central Business District. At the July 17, 2019 meeting City Council approved Conditional Use Request CU18-17 (Ord. 2018-062) to expand the previously approved restaurant into an adjacent lease space and occupy a total of 2,070 square feet.

West of the subject site located within a suite on the lower floor of the City's Convention and Visitors Bureau, the City Council at the February 17, 2015 meeting approved

Conditional Use Request CU15-01 (Ord. 2015-10) to allow for a winery and wine tasting room.

**SURROUNDING ZONING AND EXISTING LAND USE:**

- NORTH: "CBD" Central Business District and "R-7.5" Single Family District—funeral home, single family residences
- SOUTH: "CBD" Central Business District and "LI" Light Industrial District—restaurant, warehouse and mini-storage
- EAST: "CBD" Central Business District and "LI" Light Industrial District—professional offices and mini-storage
- WEST: "CBD" Central Business District—various retail businesses and auto repair

**AIRPORT IMPACT:**

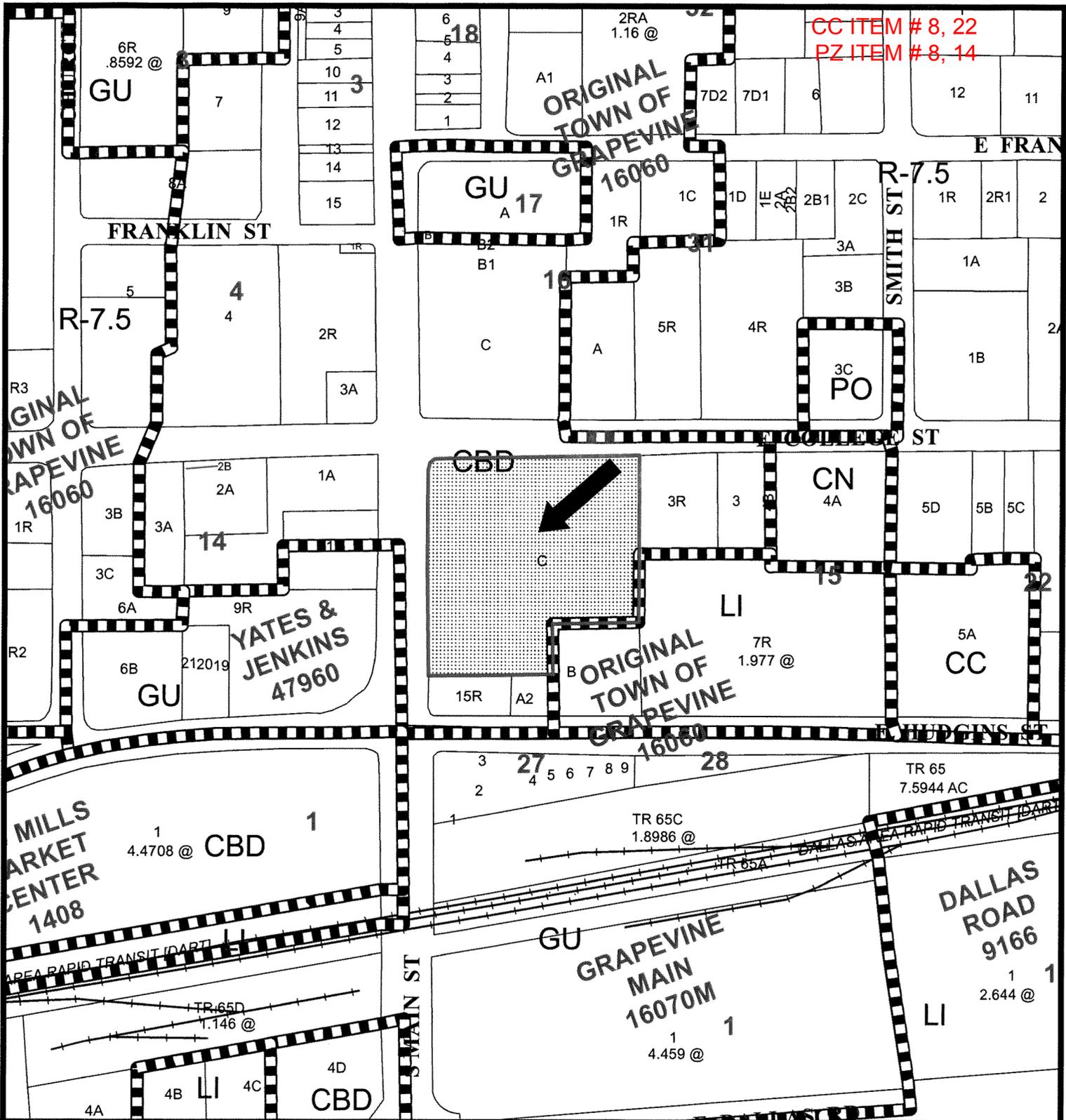
The subject tract is located within "Zone A" zone of minimal effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map. Few activities will be affected by aircraft sounds in Zone A, except for sound sensitive activities such as auditoriums, churches, schools, hospitals, and theaters. The applicant's proposal is an appropriate use in this noise zone.

**MASTER PLAN APPLICATION:**

The Master Plan designates the subject property as a Central Business District land use. The applicant's proposal is in compliance with the Master Plan.

/at

CC ITEM # 8, 22  
PZ ITEM # 8, 14



ORIGINAL TOWN OF GRAPEVINE 16060

ORIGINAL TOWN OF GRAPEVINE 16060

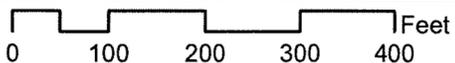
ORIGINAL TOWN OF GRAPEVINE 16060

MILLS MARKET CENTER 1408

GU GRAPEVINE MAIN 16070M

DALLAS ROAD 9166

YATES & JENKINS 47960



### CU19-19 Mason & Dixie

Date Prepared: 6/5/2019

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

CM19-19



# CITY OF GRAPEVINE

## CONDITIONAL USE APPLICATION

Form "A"

### PART 1. APPLICANT INFORMATION

Name of applicant / agent / company / contact  
*Mason & Dixie*

Street address of applicant / agent:  
*603 S. Main St. Ste 303 / 605 Castle Creek Dr*

City / State / Zip Code of applicant / agent:  
*Grapevine / Coppel, TX 75019*

Telephone number of applicant / agent:  
*817-798-5453*

Fax number of applicant / agent:

Mobile phone number of applicant / agent:  
*817-798-5453*

### PART 2. PROPERTY INFORMATION

Street address of subject property:  
*603 S. Main St. Ste 303*

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)  
Lot *C* Block *15* Addition

Size of subject property:  
Acres *1280* Square footage

Present zoning classification: *CBD* Proposed use of the property: *Cafe and Retail Business*

Circle yes or no, if applies to this application  
Outdoor speakers Yes  No

Minimum / maximum district size for conditional use request: *1280 SQ. FT*

Zoning ordinance provision requiring a conditional use:  
*outdoor seating and beer and wine license*

### PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:  
*Grapevine Main and Main LLC agent for Grape Office LLC*

Street address of property owner:  
*611 S. Main Street, suite 400*

City / State / Zip Code of property owner:  
*Grapevine, TX 76051*

Telephone number of property owner:  
*817-410-4600*

Fax number of property owner:  
email: [REDACTED]

MAY 06 2019

CU19-19

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

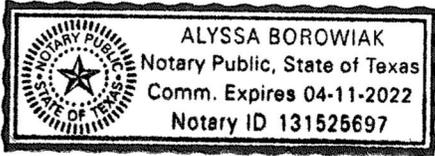
**PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY**

Beth Newman Bher  
 Print Applicant's Name: Applicant's Signature:

The State of Texas  
 County Of Tarrant  
 Before Me Alyssa Borowiak (notary) on this day personally appeared Beth Newman (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 3rd day of May, A.D. 2019.



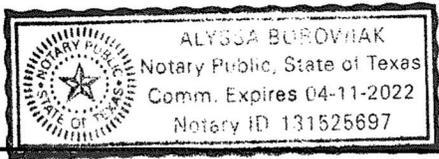
Alyssa Borowiak  
Notary In And For State Of Texas

Main @ Main - Matt Mahone  
 Print Property Owners Name: Property Owner's Signature:

The State Of Texas  
 County Of Tarrant  
 Before Me Alyssa Borowiak (notary) on this day personally appeared Main@Main-Matt Mahone (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 3rd day of May, A.D. 2019.



Alyssa Borowiak  
Notary In And For State Of Texas

MAY 06 2019

**ACKNOWLEDGEMENT**

**All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.**

**All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.**

**Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.**

**Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.**

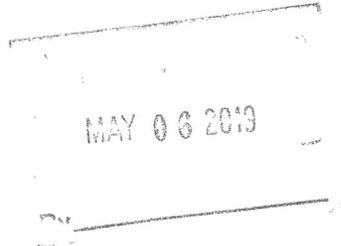
**I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.**

Signature of Applicant Bhema

Date: 5/3/19

Signature of Owner Matt@Matt - Matt Mattone

Date: 5/3/19



CU 19-19

Mason & Dixie  
Beth Newman  
603 S. Main Street  
Ste 300-303  
Grapevine, TX 76051

Grapevine City Council  
Grapevine Planning & Zoning Commission  
C/O Development Services Department  
200 S. Main Street  
Grapevine, TX 76051

Re: Conditional Use Request for Mason & Dixie  
603 S. Main Street  
Suite 302-303

Dear Councilmen and Commissioners,

I am both excited and proud to submit another request for growth for Mason & Dixie that represents a road comprised of work, perseverance, and hope for a small business. To be able to grow in Grapevine has been a blessing, as the city has become home and a place I am proud to own and operate my livelihood.

I am respectfully submitting a request to obtain a beer/wine license and have patio seating. These requests are integral for survival. I consistently lose business from patrons who want beer or wine with their food and I need to be able to compete with all other restaurants, both existing and those slated for the new TEXRail station.

Mason & Dixie will continue to provide a family atmosphere that the city of Grapevine can be proud of. We are an event destination, a space booked for celebrations that include birthdays, wedding showers, baby showers, and, as of this summer, weddings! Life's celebrations include libations and toasts, which is an integral part of our business. We will never be a late night "bar scene", but seek only to complement our menu and enhance our guest experience.

Patio seating will be an addition I know our guests will love and we consistently need extra seating on gorgeous weather days. Dining al fresco is constantly a request from all of our customers.

Thank you so much for your time reading and considering these requests. Restaurant costs are staggering and I hope to be able to continue operating in this community. I believe these two requests will enable me to continue to solidify my economic stance and ensure a profit.

Sincerely,  
Beth Newman

MAY 06 2019

ORDINANCE NO. 2019-039

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ISSUING CONDITIONAL USE PERMIT CU19-19 TO AMEND THE PREVIOUSLY APPROVED SITE PLAN CU18-17 (ORDINANCE NO. 2018-062) TO ALLOW THE POSSESSION, STORAGE, RETAIL SALES AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER AND WINE ONLY) AND OUTSIDE DINING FOR LOT C, BLOCK 15, CITY OF GRAPEVINE (603 SOUTH MAIN STREET NO. 303) ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces,

and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit No. CU19-19 to amend the previously approved site plan CU18-17 (Ordinance No. 2018-062) specifically to allow the possession, storage, retail sales, and on-premise consumption of alcoholic beverages (beer and wine only) and outside dining in conjunction with a restaurant (Mason & Dixie) in the "CBD" Central Business District Regulations, within the following described property: Lot C, Block 15, City of Grapevine (603 South Main Street No. 303) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of

land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 18th day of June, 2019.

APPROVED:

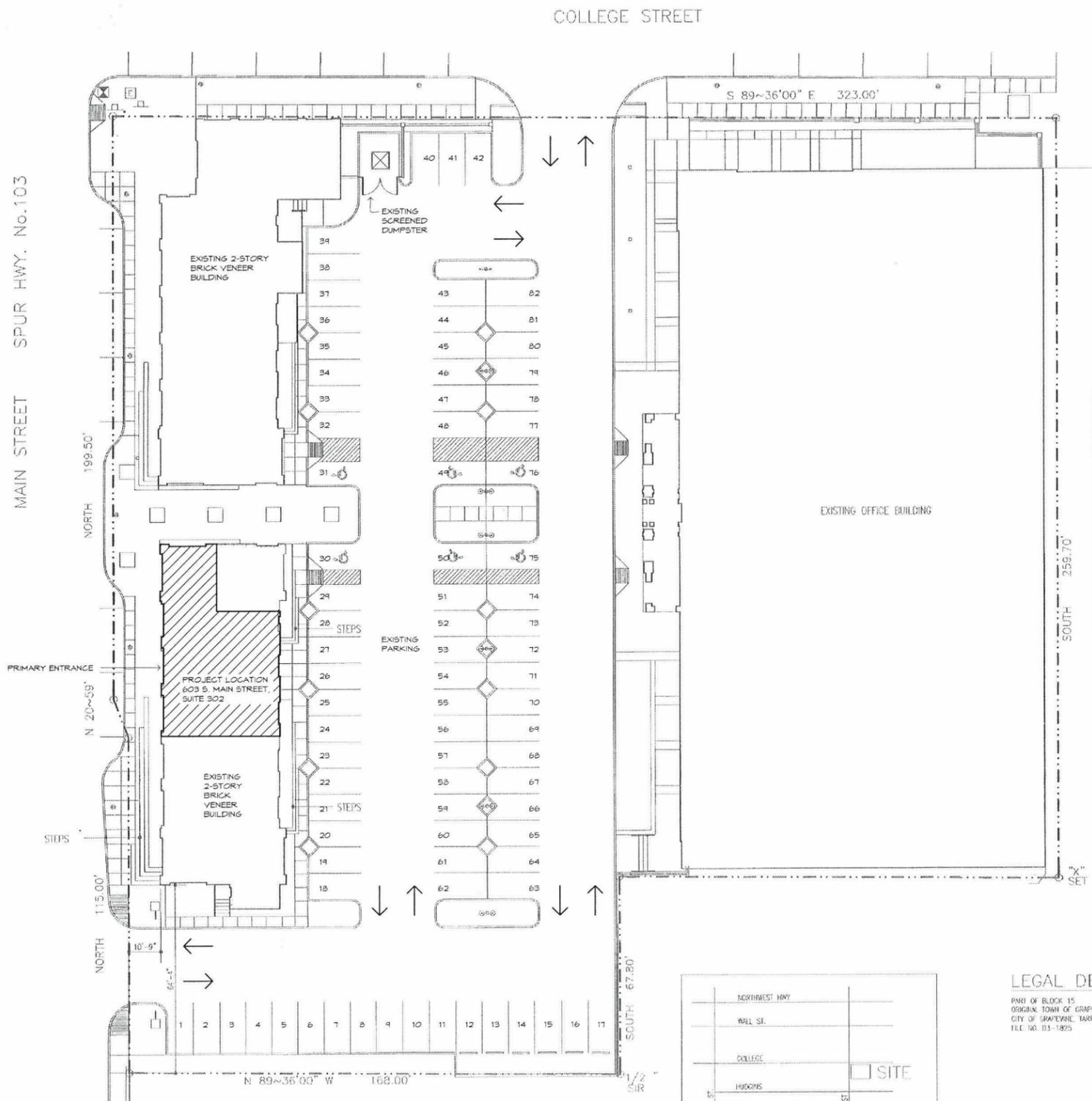
\_\_\_\_\_  
William D. Tate  
Mayor

ATTEST:

\_\_\_\_\_  
Tara Brooks  
City Secretary

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney



**SITE DATA**

ZONING: CBD  
 LOT AREA: 94,906 +/- SQ. FT. OR 2.1781 +/- ACRES  
 BUILDING AREA: 8,918 +/- SQ. FT.

**LANDSCAPE DATA**

LOT AREA: 94,906 +/- SQ. FT.  
 TOTAL LANDSCAPE: 4,512 +/- SQ. FT.  
 % OF LANDSCAPE: 4.8%

**OCCUPANT LOAD**

EXISTING RESTAURANT: 42 (625 SF DINING ROOM @ 1 PER 15 SF)  
 KITCHEN: 6 (310 SF KITCHEN @ 1 PER 50 SF)  
 PROPOSED EXPANSION: 40 (605 SF DINING ROOM @ 1 PER 15 SF)  
 TOTAL OCCUPANT LOAD: 88

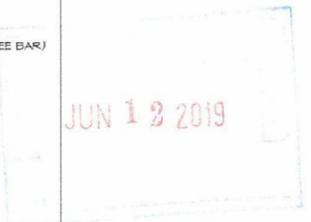
**SEATING COUNT**

EXISTING COUNTER SEATS: 8  
 EXISTING TABLE SEATS: 56  
 ADDTL. OUTDOOR DINING SEATS: 14

ADJACENT ZONING: SOUTH OF THE EXISTING PARKING LOT "CBD" CENTRAL BUSINESS DISTRICT, SOUTH AND EAST (APPROXIMATELY THE SOUTH 105 FEET OF THE EAST PROPERTY LINE) "LI" LIGHT INDUSTRIAL DISTRICT AND "CBD" CENTRAL BUSINESS DISTRICT (APPROXIMATELY THE NORTH 154 FEET OF THE EAST PROPERTY LINE).

**PARKING ANALYSIS**

GROSS SQUARE FOOTAGE:	2,070 S.F.
KITCHEN + BACK BAR:	310 S.F. 6 (5 + 1 PER 1000 S.F.)
RESTAURANT DINING:	1,230 S.F. 25 (1 PER 50 S.F.)
COFFEE BAR:	8 SEATS 4 (8 GUESTS/HR AT COFFEE BAR)
OUTDOOR DINING:	14 SEATS 5
PARKING REQUIRED:	40
PARKING ON SITE PROVIDED:	82
ADDITIONAL PUBLIC PARKING WITHIN 500' OF BUILDING SITE:	
E. HUGHINS ST. LOT:	64
W. HUGHINS ST. LOT (AFTER 5PM AND SAT/SUN):	54
OTHER LEASED USES ON BUILDING SITE:	
OFFICE:	17,158 S.F.
RESTAURANT (WEINBERGER'S DELI):	1,272 S.F.
RETAIL (ORANGE FISH):	1,306 S.F.
RETAIL (CROWNED BY GRACE):	1,240 S.F.
RETAIL (MAIN ST. JEWELRY):	843 S.F.
RETAIL (NINE FUSION WINERY):	2,024 S.F.



- CONDITIONAL USE REQUEST CU19-19 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU18-11 (ORD 2018-062) TO ESTABLISH A RESTAURANT IN THE CENTRAL BUSINESS DISTRICT, SPECIFICALLY TO ALLOW THE POSSESSION, STORAGE, RETAIL SALES AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER AND WINE ONLY) AND OUTSIDE DINING.
- A MINIMUM OF FOUR (4) FEET BETWEEN THE CURB AND THE TABLES AND CHAIRS SHALL BE MAINTAINED BY THE OWNER/OPERATOR AT ALL TIMES.
- MAINTAIN EXIT DISCHARGE RELIABILITY BY PREVENTING TABLES AND CHAIRS FROM OBSTRUCTING EXIT DISCHARGE.

THE ENTIRE PROPERTY IS THE PREMISE

CASE NAME: MASON & DIXIE  
 CASE NUMBER: CU19-19  
 LOCATION: 603 SOUTH MAIN STREET, SUITE 302

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

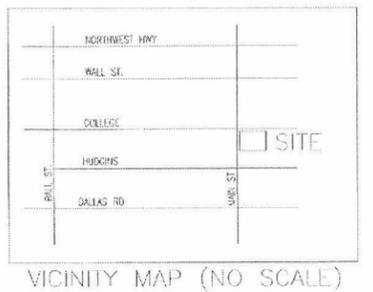
SHEET: 1 OF 2

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

**LEGAL DESCRIPTION:**

PART OF BLOCK 15  
 ORIGINAL TOWN OF GRAPEVINE  
 CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS  
 E.L.C. NO. 03-1825



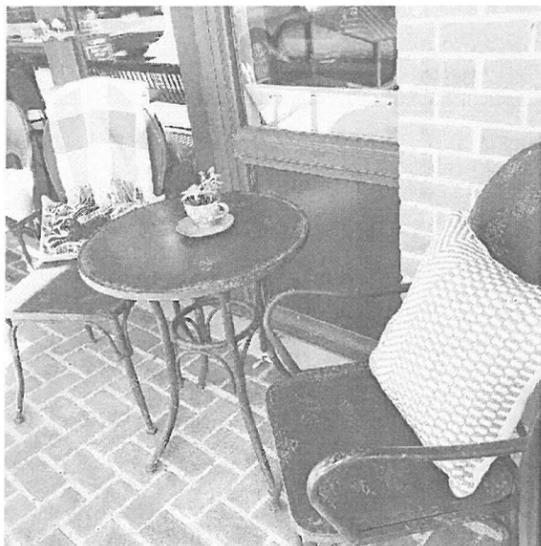
**SITE PLAN / PARKING PLAN**  
 SCALE: 1" = 20'-0"  
 FULL SIZE ON 24x36 PAPER

NOTE: SITE PLAN BASED RECORD SET, PROVIDED BY PROPERTY OWNER, PREPARED BY TURNER BOAZ STOCKER ARCHITECTURE, DATED 06.14.2001



COREY REINKER AIA  
 611.261.6637

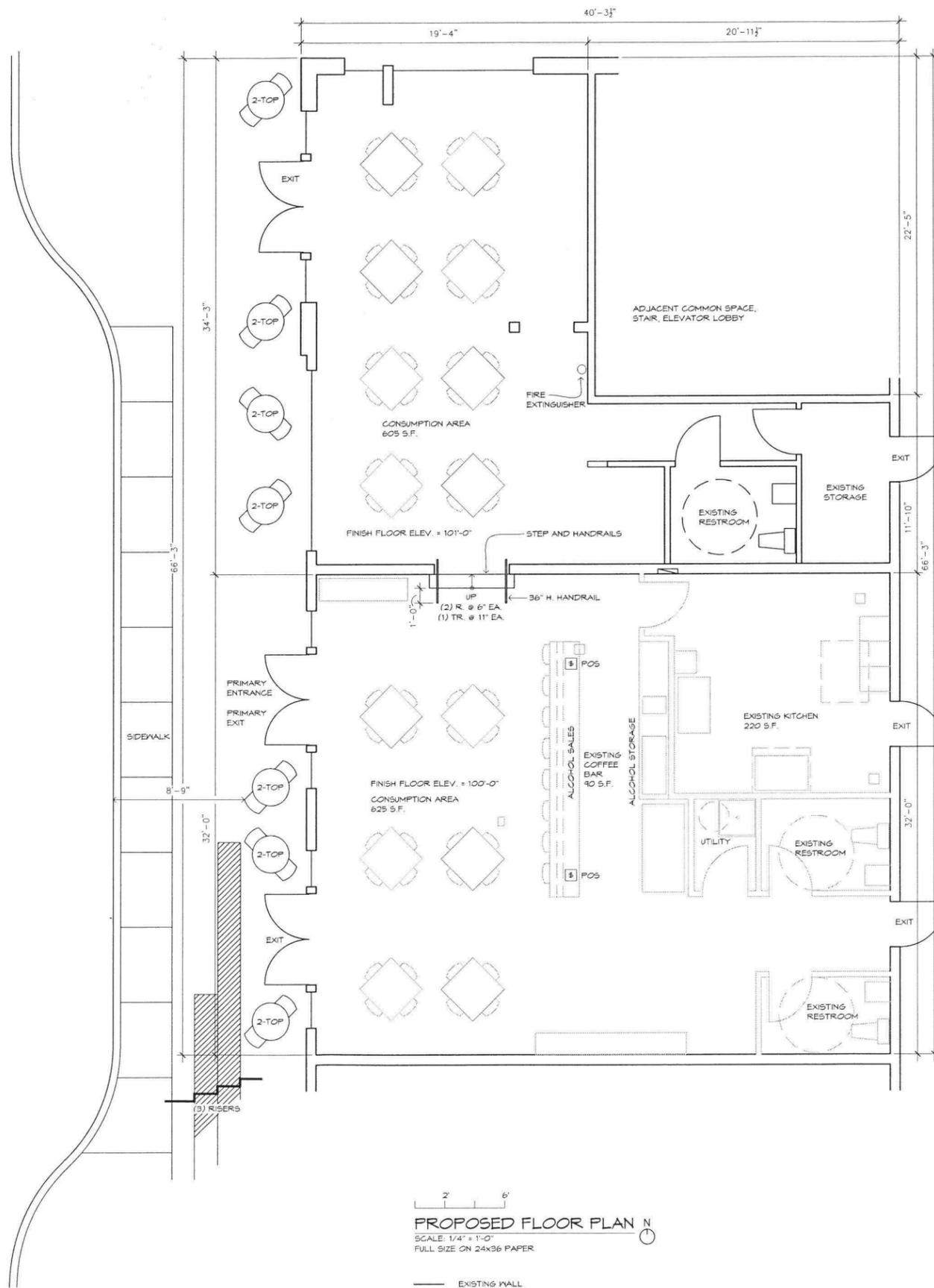
MASON & DIXIE  
 GRAPEVINE, TEXAS  
 2019.05.03  
 A1.0



PROPOSED OUTDOOR DINING FURNITURE



ALTERNATE OUTDOOR DINING FURNITURE



NOTE: PROVIDE LIGHTED EXIT SIGNS AT ALL EXITS. ALL EXIT DOORS FROM DINING AREAS TO BE EQUIPPED WITH COMPLIANT PANIC/FIRE EXIST HARDWARE.

- CONDITIONAL USE REQUEST CU19-11 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CU18-17 (ORD 2018-062) TO ESTABLISH A RESTAURANT IN THE CENTRAL BUSINESS DISTRICT, SPECIFICALLY TO ALLOW THE POSSESSION, STORAGE, RETAIL SALES AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER AND WINE ONLY) AND OUTSIDE DINING.
- A MINIMUM OF FOUR (4) FEET BETWEEN THE CURB AND THE TABLES AND CHAIRS SHALL BE MAINTAINED BY THE OWNER/OPERATOR AT ALL TIMES.
- MAINTAIN EXIT DISCHARGE RELIABILITY BY PREVENTING TABLES AND CHAIRS FROM OBSTRUCTING EXIT DISCHARGE.

THE ENTIRE PROPERTY IS THE PREMISE

CASE NAME: MASON & DIXIE  
CASE NUMBER: CU19-11  
LOCATION: 603 SOUTH MAIN STREET, SUITE 302

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_  
SHEET: 2 OF 2  
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.  
DEPARTMENT OF DEVELOPMENT SERVICES



COREY REINKER AIA  
614.764.9631

MASON & DIXIE  
GRAPEVINE, TEXAS  
2019.05.03  
A2.0

FILE: F:\Projects\CMR\19-08 Mason and Dixie Alcohol Sales\1908-plan1.dwg  
SCALE: 1/4"=1'-0"  
DATE/TIME: 5/31/2019 12:05 PM  
USER: Corey

MEMO TO: HONORABLE MAYOR AND CITY COUNCIL MEMBERS  
FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR  
MEETING DATE: JUNE 18, 2019  
SUBJECT: AM19-02 – CHAPTER 7, BUILDINGS AND CONSTRUCTION

RECOMMENDATION:

Council to consider amendments to Chapter 7, Buildings and Construction relative to building permit fees for residential dwellings, and take any necessary action.

BACKGROUND:

During the most recent State Legislative Session, House Bill 852 was approved, prohibiting cities from charging building permit fees based on valuation of construction. This bill even made it illegal for a city to require the valuation to be divulged. Most cities in Texas currently charge building permit fees based on valuation, and Grapevine is no exception.

To maintain consistency, staff has looked at residential permits and fees over the last two years, staff then determined the average fees charged per square foot for the various types of permits. Using this information, a new fee schedule is proposed that assesses fees based on square feet of construction rather than valuation. Because many types of alterations do not translate well to a charge per square foot (such as window replacements, foundation repair, siding replacement, etc.), staff has developed a flat fee of \$150 for these types of permits. This was the most difficult portion of the proposed fee schedule to estimate, because of the wide variety of types of remodel permits.

Because the proposed fees are based on recent historical averages, staff does not anticipate any change in revenue. However, staff will monitor permits and fees, and bring any changes that are necessary back to City Council. There are no proposed changes to the non-residential dwelling portions of the fee schedule.

ORDINANCE NO. 2019-031

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AMENDING THE GRAPEVINE CODE OF ORDINANCES CHAPTER 7 BUILDINGS AND CONSTRUCTION; REPEALING CONFLICTING ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY NOT TO EXCEED FIVE HUNDRED DOLLARS (\$500.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas, makes certain services, documents, publications, and facilities available to the public; and

WHEREAS, the City of Grapevine wishes to make changes to certain building permit and inspection fees; and

WHEREAS, these changes are in response to and in conformance with the recently amended Section 214.907, Local Government Code, as added by House Bill 852 and signed into effect immediately on May 21, 2019; and

WHEREAS, the primary purpose of this Ordinance is for regulation in support of the City of Grapevine's exercise of its police powers as part of its building permit and inspection program; and

WHEREAS, the fees established herein are no more than reasonably necessary to cover the City of Grapevine's cost of exercising proper police regulation through its building permit and inspection program; and

WHEREAS, all constitutional, statutory and legal prerequisites for the passage of this ordinance have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council has determined that it is in the best interest of the health, safety and welfare of the public to adopt this Ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated herein above are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That Chapter 7, Buildings and Construction, Article I, In General, 108.2 Schedule of Permit Fees, is hereby amended to read as follows:

“Section 108.2 Schedule of permit fees. For any work requiring a permit under the International Building Code, a fee for each permit shall be paid as required, in accordance with Table 1A, Building Permit Fees, attached hereto as Exhibit “A”. Permit fees for work covered by other adopted codes and ordinances are described elsewhere in this chapter.

For new buildings and additions, **with the exception of residential dwellings**, the building valuations shall be determined by the Building Valuation Data Table, attached hereto as Exhibit “B”, or the contract valuation, whichever is greater.

For interior alterations and remodels, **with the exception of residential dwellings**, the building valuation shall be determined by the contract valuation.

In all cases, **with the exception of residential dwellings**, it shall be the responsibility of the permit applicant to provide a copy of the construction contract including the total project cost, to the Building Official upon request.”

Section 3. That Chapter 7, Buildings and Construction, Article I, In General, Exhibit “A” Table IA, Building Permit Fees is hereby deleted in its entirety and replaced with the following:

“See attached Exhibit A, Table IA”.

Section 4. That Chapter 7, Buildings and Construction, Article V, Residential Code, Section 7-142, 108.2 Schedule of Permit Fees, is hereby amended as follows:

“Section R108.2 Schedule of Permit Fees. On buildings, structures, electrical, gas, mechanical and plumbing systems or alterations requiring a permit, a fee for each permit shall be paid as required, in accordance with Table **IA**, Building Permit Fees attached hereto as Exhibit “A” and Table 108A Mechanical, Electrical and Plumbing Permit Fees attached hereto as Exhibit “C” and incorporated herein by reference. (Exhibits are found at the end of Article V of this Chapter).

Building valuations **except for residential dwellings**, shall be determined by the building valuation data table attached hereto as Exhibit “B”, which is found at the end of Article V of this chapter, or the contract valuation wherever is greater.”

Section 5. That Chapter 7, Buildings and Construction, Article V, Residential Code, Exhibit “A”, Table IA, Building Permit Fees is deleted in its entirety and replaced with the following:

“See attached Exhibit A, Table IA”.

Section 6. That any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed five hundred dollars (\$500.00) for each offense and a separate

offense shall be deemed committed each day during or on which a violation occurs or continues.

Section 7. That all ordinances or any parts thereof in conflict with the terms of this ordinance shall be and hereby are deemed repealed and of no force or effect.

Section 8. That if any section, subsection, sentence, clause or phase of this ordinance shall for any reason be held to be invalid, such decision shall not affect the validity of the remaining portions of this ordinance.

Section 9. That the fact that the present ordinances and regulations of the City of Grapevine, Texas are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, on this the 18th day of June, 2019.

APPROVED:

\_\_\_\_\_  
William D. Tate  
Mayor

ATTEST:

\_\_\_\_\_  
Tara Brooks  
City Secretary

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

**TABLE NO. 1-A**

CC ITEM # 10

**BUILDING PERMIT FEES**

**PERMIT FEES OR ALL BUILDING PERMITS EXCEPT FOR RESIDENTIAL DWELLINGS**

<b>TOTAL VALUATION</b>	<b>FEE</b>
\$1.00 to \$500.00	\$21.00
\$501.00 to \$2,000.00	\$21.00 for the first \$500.00 plus \$2.75 for each additional \$100.00, or fraction thereof, to and including \$2,000.00
\$2,001.00 to \$25,000.00	\$62.25 for the first \$2,000.00 plus \$12.50 for each additional \$1,000.00, or fraction thereof, to and including \$25,000.00
\$25,001.00 to \$50,000.00	\$349.75 for the first \$25,000.00 plus \$9.00 for each additional \$1,000.00, or fraction thereof, to and including \$50,000.00
\$50,001.00 to \$100,000.00	\$574.75 for the first \$50,000.00 plus \$6.25 for each additional \$1,000.00, or fraction thereof, to and including \$100,000.00
\$100,001.00 to \$500,000.00	\$887.25 for the first \$100,000.00 plus \$5.00 for each additional \$1,000.00, or fraction thereof, to and including \$500,000.00
\$500,001.00 to \$1,000,000.00	\$2,887.25 for the first \$500,000.00 plus \$4.25 for each additional \$1,000.00, or fraction thereof, to and including \$1,000,000.00
\$1,000,001.00 and up	\$5,012.25 for the first \$1,000,000.00 plus \$2.75 for each additional \$1,000.00, or fraction thereof

**BUILDING PERMIT FEES FOR RESIDENTIAL DWELLINGS**

	<b>NEW CONSTRUCTION</b>	<b>ADDITIONS</b>	<b>ALTERATIONS</b>
<b><u>R3 RESIDENTIAL DWELLINGS</u></b> (Detached one and two family dwellings, townhomes not more than 3-stores in height with a separate means of egress)	\$ .55 / Square Foot TOTAL AREA UNDER ROOF	\$ 1.00 / Square Foot TOTAL AREA of ADDITION	\$ 1.00 / Square Foot of ALTERATION AREA
<b><u>R2 RESIDENTIAL DWELLINGS</u></b> (Apartments, condominiums, three and four family dwellings, etc)	\$ .30 / Square Foot TOTAL AREA UNDER ROOF	\$ 1.00 / Square Foot TOTAL AREA of ADDITION	\$ 1.00 / Square Foot of ALTERATION AREA
<b><u>SIMPLE ALTERATION PERMITS</u></b> Projects in which square footage does not apply as determined by the Building Official. (Window replacement, foundation repair, siding replacement, etc)	FLAT FEE \$150.00		
<b><u>UNENCLOSED PATIO COVER</u></b>			

**OTHER INSPECTIONS AND FEES:**

CC ITEM # 10

- 1. Certificate of Occupancy.....\$50.00
- 2. Inspections outside of normal business hours.....\$42.00 per hour\* (minimum charge- two hours)
- 3. Reinspection fees assessed under provisions of Section 108.5.....\$42.00
- 4. Inspections for which no fee is specifically indicated.....\$42.00 per hour\* (minimum charge- one-half hour)
- 5. Additional plan review required by changes, additions or revisions to plans.....\$42.00 per hour\*
- 6. For use of outside consultants for plan checking and inspections, or both.....actual costs\*\*
- 7. Foundation permits or any partial permit.....10% of building permit fee in addition to building permit fee
- 8. Plan review fee (not applicable to Group R-3 private residences).....65% of building permit fee in addition to building permit fee
- 9. Building permit fees for the Grapevine- Colleyville Independent School District.....25% of the fees established in Table No. 1-A- *Building Permit Fees*
- 10. Project valuation to be determined by the regional construction valuation table, adopted by the city, or the contract valuation whichever is greater. Permit valuations shall include all work required for a completed project, including profit, but need not include the value or cost of the land. Other methods for determining the project valuations for unique or unusual projects may be approved by the Building Official.
- 11. Public Works Antenna or Equipment Installation Charge on City Owned Water Towers Only .....\$350.00

\*Or the total hourly cost of the jurisdiction, whichever is the greatest. This cost shall include supervision, overhead, equipment, hourly wages and fringe benefits of the employees involved.  
 \*\* Actual costs include administrative and overhead costs.

**LOT DRAINAGE FEES**

Single Family & Duplex	\$150.00
Swimming Pools	\$150.00
All remaining classifications	
Full Acre Cost	\$350.00 Per Acre
Portion Other than Full Acre	\$350.00 x Percentage of Full

**WATER and WASTEWATER IMPACT FEES**

**CC ITEM # 10**

**ASSESSED AT TIME OF PLATTING**

**COLLECTED AT TIME BUILDING PERMIT IS ISSUED**

CATEGORY	COST	BEFORE -	4/21/1998	4/21/1999	4/21/2000	9/3/2002	AFTER	AFTER	AFTER
	PER	4/21/1998	TO 4/21/1999	TO 4/21/2000	TO 9/3/2002	TO 12/19/06	12/19/2006	12/6/2011	12/6/2016
<b>Single Family</b>									
<b>WATER</b>	<b>UNIT</b>	\$764.00	\$1,003.27	\$1,147.90	\$1,292.00	\$1,696.00	\$1,910.00	\$1,431.00	\$1,622.00
<b>WASTEWATER</b>	<b>UNIT</b>	\$140.00	\$350.73	\$478.10	\$605.00	\$1,082.00	\$927.00	\$760.00	\$792.00
<b>TOTAL</b>		\$904.00	\$1,354.00	\$1,626.00	\$1,897.00	\$2,778.00	\$2,837.00	\$2,191.00	\$2,414.00
<b>Multifamily</b>									
<b>WATER</b>	<b>UNIT</b>	\$290.32	\$387.15	\$445.68	\$504.00	\$810.00	\$866.00	\$673.00	\$762.00
<b>WASTEWATER</b>	<b>UNIT</b>	\$53.20	\$136.04	\$186.11	\$236.00	\$481.00	\$434.00	\$353.00	\$372.00
<b>TOTAL</b>		\$343.52	\$523.19	\$631.79	\$740.00	\$1,291.00	\$1,300.00	\$1,026.00	\$1,134.00
<b>Mixed Use - Residential</b>									
<b>WATER</b>	<b>UNIT</b>						\$540.00	\$426.00	\$487.00
<b>WASTEWATER</b>	<b>UNIT</b>						\$419.00	\$344.00	\$357.00
<b>TOTAL</b>							\$959.00	\$770.00	\$844.00
<b>Commercial/ Industrial</b>									
<b>WATER</b>	<b>ACRE</b>	\$2,001.68	\$2,605.00	\$2,969.67	\$3,333.00	\$3,928.00	\$4,614.00	\$3,457.00	\$3,925.00
<b>WASTEWATER</b>	<b>ACRE</b>	\$485.80	\$1,203.26	\$1,636.93	\$2,069.00	\$2,424.00	\$2,135.00	\$1,752.00	\$1,814.00
<b>TOTAL</b>		\$2,487.48	\$3,808.26	\$4,606.60	\$5,402.00	\$6,352.00	\$6,749.00	\$5,209.00	\$5,739.00
<b>Hotel</b>									
<b>WATER</b>	<b>ACRE</b>	\$14,317.36	\$18,649.07	\$21,267.35	\$23,876.00	\$28,182.00	\$29,988.00	\$22,467.00	\$25,465.00
<b>WASTEWATER</b>	<b>ACRE</b>	\$3,484.60	\$8,633.72	\$11,746.08	\$14,847.00	\$19,449.00	\$19,083.00	\$15,640.00	\$18,167.00
<b>TOTAL</b>		\$17,801.96	\$27,282.79	\$33,013.43	\$38,723.00	\$47,631.00	\$49,071.00	\$38,107.00	\$43,632.00
<b>Corporate Office</b>									
<b>WATER</b>	<b>ACRE</b>	\$14,317.36	\$7,544.63	\$8,632.23	\$9,716.00	\$11,076.00	\$13,466.00	\$10,089.00	\$11,435.00
<b>WASTEWATER</b>	<b>ACRE</b>	\$3,484.60	\$3,503.74	\$4,776.19	\$6,044.00	\$10,947.00	\$10,687.00	\$8,758.00	\$9,088.00
<b>TOTAL</b>		\$17,801.96	\$11,048.37	\$13,408.42	\$15,760.00	\$22,023.00	\$24,153.00	\$18,847.00	\$20,523.00
<b>Government Use</b>									
<b>WATER</b>	<b>ACRE</b>	\$2,001.68	\$2,605.00	\$2,969.67	\$3,333.00	\$3,935.00	\$4,614.00	\$2,160.00	\$2,449.00
<b>WASTEWATER</b>	<b>ACRE</b>	\$485.80	\$1,203.26	\$1,636.93	\$2,069.00	\$3,753.00	\$3,664.00	\$1,877.00	\$1,965.00
<b>TOTAL</b>		\$2,487.48	\$3,808.26	\$4,606.60	\$5,402.00	\$7,688.00	\$8,278.00	\$4,037.00	\$4,414.00
<b>Mixed Use - Non Residential</b>	<b>10,000 SF</b>								
<b>RESTAURANT</b>									
<b>WATER</b>							\$19,215.00	\$14,396.00	\$16,317.00
<b>WASTEWATER</b>							\$18,318.00	\$15,012.00	\$15,656.00
<b>TOTAL RESTAURANT</b>							\$37,533.00	\$29,408.00	\$31,973.00
<b>Mixed Use - Non Residential</b>	<b>10,000 SF</b>								
<b>RETAIL</b>									
<b>WATER</b>							\$1,146.00	\$859.00	\$973.00
<b>WASTEWATER</b>							\$1,149.00	\$942.00	\$982.00
<b>TOTAL RETAIL</b>							\$2,295.00	\$1,801.00	\$1,955.00
<b>High Use Commercial</b>	<b>10,000 SF</b>								
<b>WATER</b>							\$19,215.00	\$14,396.00	\$16,317.00
<b>WASTEWATER</b>							\$18,318.00	\$15,012.00	\$15,656.00
<b>TOTAL</b>							\$37,533.00	\$29,408.00	\$31,973.00

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** JUNE 18, 2019

**SUBJECT:** APPROVAL OF AN ORDINANCE REAPPOINTING ALAN WAYLAND AS MUNICIPAL COURT JUDGE

**RECOMMENDATION:** City Council to consider an ordinance reappointing Judge Alan Wayland as the City's Municipal Judge for a two-year term beginning May 1, 2019.

**FUNDING SOURCE:** Funds are currently available in the FY 2019 Budget.

**BACKGROUND:** Prior to September 1, 1999 the operation of the Grapevine Municipal Court was governed by Section 30.01011 of the Texas Government Code. The Judge was required to be elected for a term of not less than two nor more than four years to be determined by City ordinance.

Upon passage of House Bill 731, effective September 1, 1999, the Texas Legislature repealed this law and replaced it with the Uniform Municipal Courts of Record Act (Section 30.00001 of the Texas Government Code), which now governs all Texas Municipal Courts of Record. Under this new law, which supercedes any City ordinance or Charter provision, the City Council must by ordinance appoint the Municipal Judge and must provide for the term of office to be either two or four years.

Judge Alan Wayland has served as the Municipal Court Judge since the retirement of David Florence on April 30, 2015 and he meets the qualifications for judge as required in Section 30.01014 GC.

The Municipal Judge is included as one of the City's employment positions which is appointed by the City Council. As with similar appointees, pay and benefits are established by the City Council each year during the approval of the fiscal year budget.

Staff recommends the reappointment of Judge Alan Wayland as the City's Municipal Judge for another two-year term.

ORDINANCE NO. 2019-032

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, REAPPOINTING JUDGE ALAN WAYLAND AS THE MUNICIPAL COURT JUDGE FOR A TWO (2) YEAR TERM; PROVIDING A SEVERABILITY CLAUSE; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine City Council wishes to reappoint the current Municipal Court Judge, the Honorable Alan Wayland, for an additional two (2) year term, commencing on May 1, 2019; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act and Chapter 211 of the Local Government Code; and

WHEREAS, the City Council deems the adoption of this ordinance to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated in the preamble are found to be true and correct and are incorporated herein for all purposes.

Section 2. That the City Council of the City of Grapevine hereby reappoints Judge Alan Wayland to serve a two (2) year term as Municipal Court Judge commencing on the first day of May, 2019.

Section 3. That the public importance of this measure creates an emergency and an imperative public necessity, and this ordinance shall take effect and be in full force and effect immediately upon its passage; and all ordinance and/or charter rules requiring ordinances to be considered and passed at more than one meeting or session are hereby dispensed with for the purpose of adopting this ordinance as an emergency ordinance, and this ordinance shall take effect and be in force and effect from and after its final passage, as provided by the Charter of the City.

Section 4. That it is hereby declared to be the intention of the City Council of the City of Grapevine, that sections, paragraphs, clauses and phrases of this ordinance are severable, and if any phrase, clause, sentence, paragraph, or section of this ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality or invalidity shall not affect any of the remaining phrases, clauses, sentences, paragraphs, or sections of this ordinance since the same would have been enacted by the City Council of the City of Grapevine without

the incorporation in this ordinance of any such unconstitutional or invalid phrase, clause, sentence, paragraph or section.

Section 5. That this ordinance shall be in effect from and after its passing.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on the 18th day of June, 2019.

APPROVED:

\_\_\_\_\_  
William D. Tate  
Mayor

ATTEST:

\_\_\_\_\_  
Tara Brooks  
City Secretary

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** JUNE 18, 2019

**SUBJECT:** APPROVAL OF PAINTING THE EXTERIOR OF CVB HEADQUARTERS BUILDING

**RECOMMENDATION:** City Council to consider the approval for paint and stain of the Convention and Visitors Bureau Headquarters exterior facades, windows, doors, columns, railing and decorative metalwork by Ware Painting.

**FUNDING SOURCE:** Funds are available in account 115-43350-350-001 in the amount of \$25,775.

**BACKGROUND:** Scheduled maintenance and paint for CVB Headquarters building. Paint and stain colors on wood facades, doors, trim, ornamental metal and metal railing, to remain the same as original colors. Scheduled painting and repairs are required every 3 to 5 years to keep the wood windows, trim, facades and ornamental metal in appropriate condition.

Staff recommends approval.

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** JUNE 18, 2019

**SUBJECT:** APPROVAL TO ESTABLISH AN INTERLOCAL AGREEMENT WITH TARRANT COUNTY PRECINCT THREE MAINTENANCE DEPARTMENT

**RECOMMENDATION:** City Council to consider approval to establish an interlocal agreement with Tarrant County Precinct Three for liquid asphalt.

**FUNDING SOURCE:** This action has no material effect on City funds.

**BACKGROUND:** This request is for approval of an Interlocal Agreement between Tarrant County Precinct Three and the City of Grapevine in order to purchase liquid asphalt for the Public Works Street Department per contracts established by Tarrant County. The City is authorized by the Interlocal Cooperation Act Texas Government Code, Chapter 791 and Texas Local Government Code, Section 271.101 and 271.102, to enter into interlocal agreements for the performance of governmental functions and services.

Staff recommends approval.

LW

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER *BR*

**MEETING DATE:** JUNE 18, 2019

**SUBJECT:** APPROVAL OF A SLOPE EASEMENT ABANDONMENT ON THE SOUTH SIDE OF DALLAS ROAD FROM MAIN STREET TO JEAN STREET

**RECOMMENDATION:** City Council consider adopting an ordinance abandoning a variable width slope easement adjacent to the south side of Dallas Road from Main Street to Jean Street, and take any necessary action.

**FUNDING SOURCE:**

**BACKGROUND:** Property owners along the south side of Dallas Road from Main Street to Jean Street have made requests that the City abandon and vacate slope easements to help facilitate the developable building areas for those properties. The current request is being made by Mr. Rogers.

The slope easement was acquired prior to the construction of Dallas Road by the Texas Department of Transportation in the early 1990s. The easement provided an additional five feet of land for any grading work south of the Dallas Road right-of-way line.

Abandonment of the easement poses no negative impact to City facilities.

Staff has reviewed the request and has no objections.

Staff recommends approval.

ORDINANCE NO. 2019-033

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ABANDONING AND VACATING THE PUBLIC'S RIGHTS IN A SLOPE EASEMENT ON THE SOUTH SIDE OF DALLAS ROAD FROM MAIN STREET TO JEAN STREET IN THE CITY OF GRAPEVINE, TEXAS AS HEREINAFTER DESCRIBED DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the property owners of the south side of Dallas Road from Main Street to Jean Street, Grapevine, Tarrant County, Texas have requested that a variable width slope easement adjacent to Dallas Road, as herein after described be abandoned and vacated;

WHEREAS, the easement is not needed for City use and will not be needed in the future for City use; and

WHEREAS, abandoning and vacating the said slope easement will relieve the City of Grapevine, Texas from the cost and expense of maintaining said property; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act and Chapter 211 of the Local Government Code; and

WHEREAS, the City Council deems the adoption of this ordinance to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated in the preamble of this ordinance are true and correct and are hereby incorporated into the body of this ordinance as if copied in their entirety.

Section 2. That the City of Grapevine's rights in the variable width slope easement bordering south side of Dallas Road from Main Street to Jean Street described in Exhibit "A", attached hereto and incorporated herein for all purposes, is hereby abandoned and vacated for City use and the same is hereby abandoned and vacated insofar as all City right, title, interest in and to said slope easement concerned.

Section 3. That the terms and provisions of this ordinance shall be deemed to be severable, and that if the validity of any section, subsection, word, sentence or phrase shall be held to be invalid, it shall not affect the remaining part of this ordinance.

Section 4. The fact that the easement is no longer needed by the public for public usage and would create a hardship or burden upon the City of Grapevine to keep open and maintain such easement creates an urgency and an emergency for the immediate preservation of the public health, safety, and general welfare which requires that this ordinance shall take effect immediately from and after its passage and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 18th day of June, 2019.

APPROVED:

\_\_\_\_\_  
William D. Tate  
Mayor

ATTEST:

\_\_\_\_\_  
Tara Brooks  
City Secretary

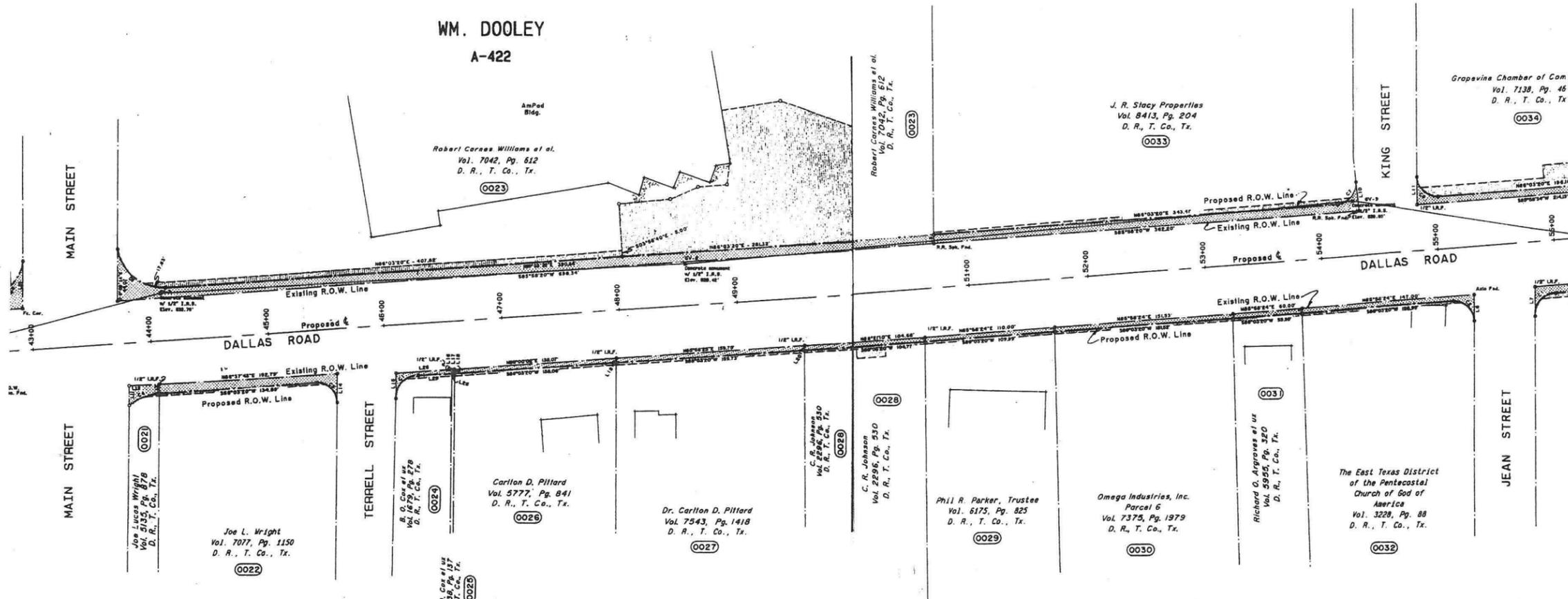
APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

EXHIBIT A

WM. DOOLEY  
A-422

WM. DOOLEY  
A-422



LINE BEARING	DISTANCE
5 S 0°05'11"E	12.20
6 S 0°05'11"E	11.18
7 N 89°53'50"E	21.25
8 S 0°05'11"E	11.00
9 N 89°53'50"E	21.25
10 S 0°05'11"E	30.10
11 N 0°05'11"E	17.32
12 N 87°14'13"E	24.70
13 S 0°05'11"E	8.00
14 S 0°05'11"E	24.47
15 W 0°05'11"E	21.73
16 S 0°05'11"E	3.77
17 N 89°53'50"E	2.00
18 S 0°05'11"E	3.78
19 S 0°05'11"E	3.91
20 S 0°05'11"E	4.23
21 OMITTED	
22 OMITTED	
23 S 0°05'14"W	9.00
24 S 0°05'14"W	8.37
25 S 0°05'14"W	40.18
26 N 89°53'50"E	47.00
27 S 89°03'20"W	21.28
28 S 89°03'20"W	2.00
29 S 89°03'20"W	29.00

CURVE DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
1 93°51'29"	18.00	19.25	29.49	S42°25'05"W	28.30
2 71°00'23"	25.00	17.83	30.98	S41°00'07"W	29.04
3 80°08'31"	18.00	18.83	27.06	S47°00'30"W	24.58
4 39°05'24"	40.00	14.20	27.29	S87°07'01"W	26.78
5 89°21'58"	40.00	27.77	48.54	N43°34'28"E	45.82
6 79°53'02"	40.00	33.48	55.77	S50°20'34"E	51.38

NOTES:  
 \* Indicates 1/2" Iron Rod Set unless otherwise noted.  
 All bearings, distances, and coordinates are based on the Texas Coordinate System, North Central Zone.  
 The scale factor is 0.9998465.

LEGEND

	PROPOSED CENTERLINE
	EXISTING R.O.W. LINE
	PROPOSED R.O.W. LINE
	R.O.W. TO BE ACQUIRED
	TEMPORARY CONSTRUCTION EASEMENT
	SLOPE EASEMENT
	DRAINAGE EASEMENT
	WATER LINE EASEMENT
	SANITARY SEWER EASEMENT

WEAVER & WALKER SURVEYORS, INC.  
 329 SOUTH FANNIN  
 TYLER, TEXAS 75702  
 PHONE: 214-592-8515 / METRO: 817-261-1958

ALIGNMENT MAP SHOWING  
 PROPOSED R.O.W. - DALLAS ROAD  
 STA. 40+00 TO 50+00  
 CITY OF GRAPEVINE  
 TARRANT COUNTY, TEXAS

DRAWN BY: CG/BG/MW DATE: DEC. 16, 1987  
 SCALE: 1" = 50' JOB NO.: 3139  
 DISC "BC" SHEET 5 OF 10 29E

**MEMO TO:** HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

**FROM:** BRUNO RUMBELOW, CITY MANAGER **BR**

**MEETING DATE:** JUNE 18, 2019

**SUBJECT:** APPROVAL OF CONTRACT FOR DESIGN OF WATER AND NATURAL GAS LINE EXTENSIONS AT THE GRAPEVINE GOLF COURSE AND APPROPRIATION ORDINANCE

**RECOMMENDATION:** City Council to consider a design contract with Baird, Hampton & Brown for the design of water and natural gas line extensions at the Grapevine Golf Course and consider an ordinance appropriating funds for engineering services.

**FUNDING SOURCE:** Upon approval, funds in an estimated amount of \$215,000 will be available in the Utility Enterprise Capital Fund 201.

**BACKGROUND:** The City of Grapevine identified a need to extend a public water line and a natural gas line to the existing Grapevine Golf Course and the proposed new clubhouse to enhance the capacity and reliability of the water line, including fire protection and to provide natural gas for the clubhouse and concourse.

It is proposed to extend an 8-inch water line and a 4-inch gas line from Grapevine Mills Parkway around the north side of the golf course. The water line will be 8,800 linear feet and will tie into an existing water line near Denton Creek. The gas line will be 5,200 linear feet and tie into the existing facilities and proposed clubhouse.

The water and gas will follow the same alignment due to permitting requirements on Corps of Engineers property. Designing the two together will help to avoid future utility conflicts with the water line.

Staff recommends approval.

ORDINANCE NO. 2019-034

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE APPROPRIATION OF AN ESTIMATED AMOUNT OF \$215,000 IN THE UTILITY ENTERPRISE CAPITAL FUND; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City Council of the City of Grapevine desires to install a water line and gas line to the Grapevine Golf Course; and

WHEREAS, funding for the design phase of the water line and gas line improvements is available in the Utility Enterprise Capital Fund; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act and Chapter 211 of the Local Government Code; and

WHEREAS, the City Council deems the adoption of this ordinance to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council hereby authorizes an estimated amount of \$215,000 be appropriated in the Utility Enterprise Capital Fund for the design of the water line and gas line to the Grapevine Golf Course.

Section 3. That the terms and provisions of this ordinance shall be deemed to be severable, and that if the validity of any section, subsection, word, sentence or phrase shall be held to be invalid, it shall not affect the remaining part of this ordinance.

Section 4. That the fact that the present ordinances and regulations of the City of Grapevine, Texas are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety, and general welfare which requires that this ordinance shall take effect immediately from and after its passage and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 18th day of JUNE, 2019.

APPROVED:

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William D. Tate  
Mayor

ATTEST:

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Tara Brooks  
City Secretary

APPROVED AS TO FORM:

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City Attorney

STATE OF TEXAS  
COUNTY OF TARRANT  
CITY OF GRAPEVINE

The City Council of the City of Grapevine, Texas met in Regular Session on this the 4th day of June, 2019 in the City Council Chambers, Second Floor, 200 South Main Street, with the following members present:

Darlene Freed	Mayor Pro Tem
Sharron Rogers	Council Member
Chris Coy	Council Member
Duff O'Dell	Council Member
Paul Slechta	Council Member
Leon Leal	Council Member

constituting a quorum, with Mayor William D. Tate being absent and with the following members of the City Staff:

Bruno Rumbelow	City Manager
Jennifer Hibbs	Assistant City Manager
John F. Boyle, Jr.	City Attorney
Tara Brooks	City Secretary

Call to Order

Mayor Pro Tem Freed called the meeting to order at 7:01 p.m.

Item 1. Executive Session

Mayor Pro Tem Freed announced the City Council would recess to the City Council Conference Room to conduct a closed session regarding:

- A. Consultation with and legal advice from the City Attorney regarding pending litigation (Morrissey, et al. v. Grapevine – Cause No. 348-303736-18), pursuant to Section 551.071, Texas Government Code.
- B. Real property relative to deliberation to the purchase, exchange, lease, sale or value of real property (City property, Public Works, the 185 acres and Lonesome Dove Exchange) pursuant to Section 551.072, Texas Government Code.
- C. Conference with City Manager and Staff to discuss and deliberate commercial and financial information received from business prospects the City seeks to have locate, stay, or expand in the City; deliberate the offer of a financial or other incentive; with which businesses the City is conducting economic development negotiations pursuant to Section 551.087, Texas Government Code.

The City Council recessed to the City Council Conference Room and began the closed session at 7:05 p.m. The closed session ended at 7:22 p.m.

Upon reconvening in open session in the Council Chambers, Mayor Pro Tem Freed asked if there was any action necessary relative to Sections 551.071, 551.072 or 551.087. City Manager Bruno Rumbelow stated there was no action necessary.

NOTE: City Council continued with the Regular portion of the Agenda in open session in the City Council Chambers.

Mayor Pro Tem Freed called the regular meeting to order at 7:30 p.m.

## **REGULAR MEETING**

### Item 2. Invocation

Council Member Chris Coy delivered the invocation.

### Item 3. Posting the Colors and the Pledges of Allegiance

Scout Troop from Lakeview District posted the Colors and lead the Pledges of Allegiance.

### Item 4. Citizen Comments

There was no one wishing to speak during citizens comments.

## PRESENTATIONS

### Item 5. Mayor Pro Tem and Grapevine Fire Department to present the Citizen Services award to Dr. Matt Taylor.

Mayor Pro Tem Freed recognized Dr. Matt Taylor with the Citizen Services award for his use of CPR to help save a patron at Grapevine CrossFit Box on March 15, 2019.

Dr. Taylor thanked the City and discussed how he learned his CPR skills while working for the Parks and Recreation Department when he was in high school and college.

Fire Chief Darrell Brown asked everyone to learn CPR and download the Pulse Point app to help their fellow citizens.

### Item 6. Mayor Pro Tem to recognize the Grapevine High School Lady Mustangs Golf Team for winning the 5A State Championship.

Mayor Pro Tem Freed recognized the Grapevine High School Lady Mustangs Golf Team members Anny Tanner, Anna Takahashi, Gabi Tomanka, Jillian Corey, and Audrey Jackson; Coach Bryan Humphreys and Assistant Coaches Brandon Thomas and Michael Seibert for winning their third consecutive 5A State Championship title.

Coach Humphreys stated how proud he was of his team and thanked the City for their support.

Item 7. Public Works Director to present department update.

Public Works Director Bryan Beck described the work of the Administration and Engineering division. Assistant Public Works Director of Operations Keith Miertschin described the work of the Public Works Operations Divisions and introduced the respective managers for each division: Fleet Services Division, Pat Hughes; Facilities Division, Chad Hester; Traffic Division, Francis Bishop; Streets and Drainage Division, Kirk Howard; Utilities Division, Jimmy Didehbandi; and Environmental Services Division, Dewey Stoffels.

NEW BUSINESS

Item 8. Consider **Ordinance No. 2019-030** authorizing the issuance of City of Grapevine, Texas General Obligation Refunding and Improvement Bonds, Series 2019; awarding the sale thereof; levying a tax payment thereof; authorizing the execution and delivery of a paying agent/registrar agreement; approving the official statement; and enacting provisions incident and relating to the subject and purposes of this ordinance.

Chief Financial Officer Greg Jordan announced the City received an upgrade to its Moody's rating to Aa1. The issuance and sale of the General Obligation Improvement Bonds in the amount of \$24,700,000 includes the projects approved by the voters on November 7, 2017, which included the Animal Shelter Facility project, Fire Station No. 2 and new Fire Station No. 3 projects; and the Grapevine Municipal Golf Course project.

Additionally, this action will authorize the refunding of Series 2009 and 2009 A Certificates of Obligation for estimated savings of \$676,000.

Motion was made to approve Ordinance No. 2019-30 authorizing the issuance of City of Grapevine, Texas General Obligation Refunding and Improvement Bonds, Series 2019; awarding the sale thereof; levying a tax payment thereof; authorizing the execution and delivery of a paying agent/registrar agreement; approving the official statement; and enacting provisions incident and relating to the subject and purposes of this ordinance.

Motion: Coy  
 Second: Slechta  
 Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta  
 Nays: None  
 Approved: 6-0

ORDINANCE NO. 2019-030

AN ORDINANCE PROVIDING FOR THE ISSUANCE OF \$28,860,000  
 CITY OF GRAPEVINE, TEXAS, GENERAL OBLIGATION REFUNDING  
 AND IMPROVEMENT BONDS, SERIES 2019; AWARDING THE SALE

THEREOF; LEVYING A TAX IN PAYMENT THEREOF; AUTHORIZING THE EXECUTION AND DELIVERY OF A PAYING AGENT/REGISTRAR AGREEMENT; APPROVING THE OFFICIAL STATEMENT; AND ENACTING PROVISIONS INCIDENT AND RELATING TO THE SUBJECT AND PURPOSES OF THIS ORDINANCE

Consent Agenda

Consent items are deemed to need little Council deliberation and were acted upon as one business item. Any member of the City Council or member of the audience may request that an item be withdrawn from the consent agenda and placed before the City Council for full discussion. Council Member Rogers requested item 14 be removed from the consent agenda. Item 14 was considered after the remaining consent items.

Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations.

Item 9. Consider an annual contract for workforce management cloud hosting with Kronos, Inc. for the Fire Department.

Fire Chief Brown recommended approval of the annual contract for workforce management cloud hosting for the Fire Department's automated payroll software in an amount not to exceed \$16,396.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell  
Second: Slechta  
Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta  
Nays: None  
Approved: 6-0

Item 10. Consider the purchase of personal protective equipment from North America Fire Equipment Company, Inc.

Fire Chief Brown recommended approval of the fire personal protective equipment for an amount not to exceed \$214,450.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell  
Second: Slechta  
Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta  
Nays: None  
Approved: 6-0

Item 11. Consider for the purchase of two generators from Cummins Southern Plains, LLC for the Fire Department.

Fire Chief Brown and Public Works Director Beck recommend approval of the purchase of two generators and two auto transfer switches for Fire Stations 1 and 4 for a total amount not to exceed \$96,620.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell  
Second: Slechta  
Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta  
Nays: None  
Approved: 6-0

Item 12. Consider the renewal of an annual contract for magazine print services with JG Media.

Parks and Recreation Director Kevin Mitchell recommended approval of the renewal for the annual contract for magazine print services to include the design, layout, production and distribution of the Parks and Recreation Department's activity magazine for an annual amount not to exceed \$113,280.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell  
Second: Slechta  
Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta  
Nays: None  
Approved: 6-0

Item 13. Consider the purchase of a directional drill from Vermeer of Texas.

Public Works Director Beck recommended approval of a directional drill for a total amount not to exceed \$140,026 to be used to support the joint Fiber Project between the City and GCISD.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell  
Second: Slechta  
Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta  
Nays: None  
Approved: 6-0

Item 15. Consider the minutes of the May 21, 2019 Regular City Council meeting.

City Secretary Tara Brooks recommended approval of the minutes as provided.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell  
Second: Slechta  
Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta  
Nays: None  
Approved: 6-0

Item 14. Consider an amendment to the contract for construction materials and engineering services with Terracon Consultants, Inc.

Public Works Director Beck answered questions from Council and explained the additional \$250,000 will cover engineering services for projects to include road projects for Boyd Drive, Nolen Drive, the Nash and Berry intersection and Shadybrook Drive; utilities projects; the bond program to include Fire Stations 1, 2, 3 and 4, the Animal Shelter and the Golf Course; the gun range environmental assessment; the Palace Theater; and parks projects to include the softball facility, green ribbon projects, Bessie Mitchell House and the dog park.

Motion was made to approve the amendment to the contract for construction materials and engineering services.

Motion: Rogers  
Second: Slechta  
Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta  
Nays: None  
Approved: 6-0

ADJOURNMENT

Motion was made to adjourn the meeting at 8:23 p.m.

Motion: O'Dell  
Second: Slechta  
Ayes: Freed, Rogers, Lease, Coy, O'Dell, and Slechta  
Nays: None  
Approved: 6-0

Passed and approved by the City Council of the City of Grapevine, Texas on this the 18th day of June, 2019.

APPROVED:

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Darlene Freed  
Mayor Pro Tem

ATTEST:

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Tara Brooks  
City Secretary

STATE OF TEXAS  
COUNTY OF TARRANT  
CITY OF GRAPEVINE

The Planning and Zoning Commission of the City of Grapevine, Texas met in Regular Session on this the 21<sup>st</sup> day of May 2019 in the Planning and Zoning Conference Room, 200 South Main Street, 2nd Floor, Grapevine, Texas with the following members present-to-wit:

Larry Oliver	Chairman
B J Wilson	Vice-Chairman
Monica Hotelling	Member
Beth Tiggelaar	Member
Dennis Luers	Member
Robert Rainwater	Alternate

constituting a quorum with Jimmy Fechter, Gary Martin and Traci Hutton absent and the following City Staff:

Ron Stombaugh	Development Services Assistant Director
John Robertson	Engineering Manager
Albert Triplett, Jr.	Planner II
Susan Batte	Planning Technician

CALL TO ORDER

Chairman Oliver called the meeting to order at 7:00 p.m.

**BRIEFING SESSION**

ITEM 1.

Chairman Oliver announced the Planning and Zoning Commission would conduct a work session relative to the following cases:

CU19-08	THE PIT
CU19-09	MCMILLIAN JAMES
CU19-10	STELLINI TRATTORIA
CU19-13	GREAT WOLF

Chairman Oliver closed the Briefing Session at 7:09 p.m.

## JOINT PUBLIC HEARINGS

Mayor Tate called the meeting to order at 7:30 p.m. in the City Council Chambers. Items 2-10 of the Joint Public Hearings were held in the City Council Chambers. The Planning and Zoning Commission recessed to the Planning and Zoning Conference Room, Second Floor to consider published agenda items.

### PLANNING AND ZONING COMMISSION REGULAR SESSION

#### CALL TO ORDER

Chairman Oliver called the Planning and Zoning Commission deliberation session to order at 8:05 p.m.

#### ITEM 11. CONDITIONAL USE PERMIT CU19-08 THE PIT

First for the Commission to consider and make recommendation to the City Council was conditional use permit CU19-08 submitted by Matthew Holtman for property located at 3451 Foxfire Lane. The applicant was requesting a conditional use permit to allow for the development of a soccer field complex with stadium lighting and final plat of Lot 1, Block 1, Grapevine Soccer Complex.

The applicant's request to withdrawn the conditional use application was accepted during the joint public hearing.

#### ITEM 12 – FINAL PLAT – LOT 1, BLOCK 1, GRAPEVINE SOCCER COMPLEX

Next for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Final Plat Application of Lot 1, Block 1, Grapevine Soccer Complex. The applicant was final platting 18.929 acres for the development of a soccer complex.

In the Commission's deliberation session, Monica Hotelling moved to deny the Statement of Findings and Final Plat Application of Lot 1, Block 1, Grapevine Soccer Complex. B J Wilson seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Tiggelaar, Luers and Rainwater  
Nays: None

#### ITEM 13. CU19-09 – MCMILLIAN JAMES

Next for the Commission to consider and make recommendation to City Council was conditional use application CU19-09 submitted by Big Red Dog for property located at 1044 and 1046 Texan Trail and platted as Lots 5R and 6, Block 1, Grapevine Station

Addition. The applicant was requesting a conditional use permit to amend the previously approved site plan of CU15-36 (Ord. 15-49) for a planned business park specifically to allow for the development of a 27,103 square foot office warehouse.

In the Commission's deliberation session, Dennis Luers moved to approve conditional use application CU19-09. Monica Hotelling seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Tiggelaar, Luers and Rainwater  
Nays: None

ITEM 14. CU19-10 – STELLINI TRATTORIA

Next for the Commission to consider and make recommendation to City Council was conditional use application CU19-10 submitted by NTX Pizza Concepts for property located at 400 East Dallas Road #100 and #200 and platted as Lot R1, Block 2, Hilltop Addition. The applicant was requesting a conditional use permit to amend the previously approved site plan of PD16-01 (Ord. 16-36) specifically to allow the possession, storage, retail sales, and on-premise consumption of alcoholic beverages (beer, wine, and mixed beverages) in conjunction with a restaurant, and the possession, storage, retail sales and off-premise consumption of alcoholic beverages (beer and wine only) in conjunction with a market.

In the Commission's deliberation session, Dennis Luers moved to approve conditional use application CU19-09. Monica Hotelling seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Tiggelaar, Luers and Rainwater  
Nays: None

ITEM 15 & 16. CU19-13 & SU19-01 – GREAT WOLF LODGE

Next for the Commission to consider and make recommendation to City Council was conditional use application CU19-13 submitted by Great Wolf Lodge for property located at 100 Great Wolf Drive and platted as Lot 1R, Block 1R, Great Wolf of Grapevine. The applicant was requesting a conditional use permit to amend the previously approved site plan of CU14-18 (Ord. 2014-28) for a planned commercial center in conjunction with a hotel and water park, specifically to allow for a gated entry and security guard building. The applicant is also requesting a special use permit to allow for paid parking in the "CC" Community Commercial District.

In the Commission's deliberation session, B J Wilson moved to approve conditional use application CU19-13 with the condition that the applicant shall disable the controlled

access device in the event that vehicular traffic is observed backing onto State Highway 26. Monica Hotelling seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Tiggelaar, Luers and Rainwater  
Nays: None

In the Commission's deliberation session, B J Wilson moved to approve special use application SU19-01. Monica Hotelling seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Tiggelaar, Luers and Rainwater  
Nays: None

#### ITEM 17. CONSIDERATION OF MINUTES

Next for the Commission to consider were the minutes of the April 16, 2019, Planning and Zoning Public Hearing.

B J Wilson moved to approve the April 16, 2019 Planning and Zoning Public Hearing minutes as written. Dennis Luers seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Tiggelaar, Luers and Rainwater  
Nays: None

#### ADJOURNMENT

With no further business to discuss, Dennis Luers moved to adjourn the meeting at 8:17 p.m. Monica Hotelling seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Tiggelaar, Luers and Rainwater  
Nays: None

PASSED AND APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF GRAPEVINE, TEXAS ON THIS THE 21<sup>ST</sup> DAY OF MAY 2019.

APPROVED:

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CHAIRMAN

ATTEST:

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PLANNING TECHNICIAN