



CITY OF GRAPEVINE, TEXAS
REGULAR JOINT MEETING OF
CITY COUNCIL AND PLANNING AND ZONING COMMISSION
TUESDAY, OCTOBER 16, 2018

GRAPEVINE CITY HALL, SECOND FLOOR
200 SOUTH MAIN STREET
GRAPEVINE, TEXAS

6:30 p.m.	Dinner – City Council Conference Room
7:00 p.m.	Call to Order of City Council Meeting – City Council Chambers
7:00 p.m.	Executive Session – City Council Conference Room
7:30 p.m.	Joint Regular Meeting – City Council Chambers

CALL TO ORDER: 7:00 p.m. – City Council Conference Room

EXECUTIVE SESSION:

1. City Council to recess to the City Council Conference Room to conduct a closed session relative to:
 - A. Real property relative to deliberation to the purchase, exchange, lease, sale or value of real property (City facilities, Public Works, and the 185 acres) pursuant to Section 551.072, Texas Government Code.
 - B. Conference with City Manager and Staff to discuss and deliberate commercial and financial information received from business prospects the City seeks to have locate, stay, or expand in the City; deliberate the offer of a financial or other incentive; with which businesses the City is conducting economic development negotiations pursuant to Section 551.087, Texas Government Code.

City Council to reconvene in open session in the City Council Chambers and take any necessary action relative to items discussed in Executive Session.

REGULAR MEETING: 7:30 p.m. – City Council Chambers

2. Invocation and Pledge of Allegiance: Commissioner Beth Tiggelaar

JOINT PUBLIC HEARINGS

3. Conditional Use Permit **CU18-22** (Paycom) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Johnson and Associates requesting a conditional use permit to allow multiple buildings in excess of 50 feet. The subject property is located at 3489 State Highway 121 and is currently zoned “CC” Community Commercial District.

4. Special Use Permit **SU18-03** and Planned Development Overlay **PD18-03** (OrthoMed Manual Therapy) – City Council and Planning Commission to conduct a public hearing relative to an application submitted by D. Yvette Abrego requesting a special use permit to allow massage services and a planned development overlay to allow, but not be limited to, deviation from parking requirements. The subject property is located at 250 North Main Street and is currently zoned “CN” Neighborhood Commercial District.
5. Historic Landmark District **HL18-02** (314 East Franklin Street) – City Council and Planning Commission to conduct a public hearing relative to an application submitted by Allan and Rose Paxton requesting designation as a historic landmark sub-district. The property is currently zoned “R-7.5” Single Family District.

Planning and Zoning Commission to recess to Planning and Zoning Commission Conference Room, Second Floor, to consider published agenda items.

City Council to remain in session in the Council Chambers to consider published business.

CITIZEN COMMENTS

6. Any person who is not scheduled on the agenda may address the City Council under Citizen Comments by completing a Citizen Appearance Request form with the City Secretary. In accordance with the Texas Open Meetings Act, the City Council is restricted in discussing or taking action during Citizen Comments.

PRESENTATIONS

7. Mayor Tate to present a proclamation to Grapevine-Colleyville Independent School District Council of PTAs declaring November “PTA Back the Future Month”.

NEW BUSINESS

8. Consider possible names for the Dallas Road Transit District and take any necessary action.
9. Consider a Landscape Architecture Contract for the landscape and construction documents for State Highways 360/121 Green Ribbon Project Phase V with Schrickel Rollins/Parkhill Smith and Cooper, **Ordinance No. 2018-078** appropriating funds and take any necessary action.

CONSENT AGENDA

Consent items are deemed to need little Council deliberation and will be acted upon as one business item. Any member of the City Council or member of the audience may request that an item be withdrawn from the consent agenda and placed before the City

Council for full discussion. Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations.

10. Consider renewal of an Interlocal Agreement with the Cities of Colleyville, Southlake and Keller for the Metroport Teen Court program. Chief Financial Officer recommends approval.
11. Consider the renewal of an annual contract for fire department uniforms with Galls, LLC. Fire Chief recommends approval.
12. Consider the award of an informal request for quote for fence panels from TS Distributors, Inc. Parks and Recreation Director recommends approval.
13. Consider the renewal of an annual contract for pavement marking services with Stripe-A-Zone. Public Works Director recommends approval.
14. Consider **Resolution No. 2018-079** authorizing the purchase and installation services for two microwave links for the Dove and Mustang elevated water storage tanks and the Water Treatment Plant from JTS. Public Works Director recommends approval.
15. Consider the construction contract for the Barton and Peach elevated water storage tank renovations and repainting to CFG Industries, LLC and consider **Ordinance No. 2018-079** appropriating funds. Public Works Director recommends approval.
16. Consider **Ordinance No. 2018-080** abandoning a 15-foot sewage lift station and utility sewer easement located on proposed Lot 1, Block 1, DCT Fellowship West Phase II. Public Works Director recommends approval.
17. Consider the minutes of the October 2, 2018 Regular City Council meeting. City Secretary recommends approval.

Pursuant to the Texas Open Meetings Act, Texas Government Code, Chapter 551.001 et seq, one or more of the above items may be considered in Executive Session closed to the public. Any decision held on such matter will be taken or conducted in open session following conclusion of the executive session.

PLANNING AND ZONING COMMISSION RECOMMENDATIONS

18. Conditional Use Permit **CU18-22** (Paycom) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2018-081**, if applicable, and take any necessary action.
19. **Preliminary Plat** of Lot 1, Block 1, Paycom – Consider the recommendation of the Planning and Zoning Commission and take any necessary action.

20. **Final Plat** of Lot 1, Block 1, Paycom – Consider the recommendation of the Planning and Zoning Commission and take any necessary action.
21. Special Use Permit **SU18-03** (OrthoMed Manual Therapy) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2018-082**, if applicable, and take any necessary action.
22. Planned Development Overlay **PD18-03** (OrthoMed Manual Therapy) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2018-083**, if applicable, and take any necessary action.
23. Historic Landmark District **HL18-02** (314 East Franklin Street) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2018-084**, if applicable, and take any necessary action.
24. **Final Plat** of The Reserve at Bear Creek – Consider the recommendation of the Planning and Zoning Commission and take any necessary action relative to an application submitted by DeOtte, Inc. requesting to plat property located at the northwest corner of State Highway 360 and Euless-Grapevine Road and currently zoned “R-TH” Townhouse District.
25. **Final Plat** of Lots 27 and 28, Block 1, Shamrock Shores Estates – Consider the recommendation of the Planning and Zoning Commission and take any necessary action relative to an application submitted by Sand Surveying Corporation requesting to plat property located at 1124 Tipperary Drive and currently zoned “R-7.5” Single Family District.

ADJOURNMENT

In accordance with the Open Meetings Law, Texas Government Code, Chapter 551, I hereby certify that the above agenda was posted on the official bulletin boards at Grapevine City Hall, 200 South Main Street and on the City’s website on October 12, 2018 by 5:00 p.m.

Tara Brooks
 Tara Brooks
 City Secretary



If you plan to attend this public meeting and you have a disability that requires special arrangements at the meeting, please contact the City Secretary’s Office at 817.410.3182 at least 24 hours in advance of the meeting. Reasonable accommodations will be made to assist your needs.



CITY OF GRAPEVINE, TEXAS
REGULAR PLANNING AND ZONING COMMISSION MEETING
TUESDAY, OCTOBER 16, 2018

GRAPEVINE CITY HALL, SECOND FLOOR
200 SOUTH MAIN STREET
GRAPEVINE, TEXAS 76051

-
- 7:00 p.m. Briefing Session –
Planning and Zoning Commission Conference Room
- 7:30 p.m. Joint Meeting with City Council - City Council Chambers
- 7:30 p.m. Regular Session - Planning and Zoning Commission Conference Room
-

CALL TO ORDER: 7:00 p.m. - Planning and Zoning Commission Conference Room

BRIEFING SESSION

1. Planning and Zoning Commission to conduct a briefing session to discuss all items scheduled on tonight's agenda. No action will be taken. Each item will be considered during the Regular Session which immediately follows the Joint Public Hearings.

JOINT MEETING WITH CITY COUNCIL: 7:30 p.m. - City Council Chambers

2. Invocation and Pledge of Allegiance: Commissioner Beth Tiggelaar

JOINT PUBLIC HEARING

3. Conditional Use Permit **CU18-22** (Paycom); **Preliminary Plat** of Lot 1, Block 1, Paycom; and **Final Plat** of Lot 1, Block 1, Paycom – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Johnson and Associates requesting a conditional use permit to allow multiple buildings in excess of 50 feet. The subject property is located at 3489 State Highway 121 and is currently zoned "CC" Community Commercial District.
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submitted by Allan and Rose Paxton requesting designation as a historic landmark sub-district. The property is currently zoned "R-7.5" Single Family District.

Planning and Zoning Commission to recess to Planning and Zoning Commission Conference Room, Second Floor, to consider published agenda items.

REGULAR SESSION: 7:30 p.m. (Immediately following Joint Public Hearings) – Planning and Zoning Commission Conference Room

NEW BUSINESS

6. Conditional Use Permit **CU18-22** (Paycom) – Consider the application and make a recommendation to City Council.
7. **Preliminary Plat** of Lot 1, Block 1, Paycom – Consider the application and make a recommendation to City Council.
8. **Final Plat** of Lot 1, Block 1, Paycom – Consider the application and make a recommendation to City Council.
9. Special Use Permit **SU18-03** (OrthoMed Manual Therapy) – Consider the application and make a recommendation to City Council.
10. Planned Development Overlay **PD18-03** (OrthoMed Manual Therapy) – Consider the application and make a recommendation to City Council.
11. Historic Landmark District **HL18-02** (314 East Franklin Street) – Consider the application and make a recommendation to City Council.
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13. **Final Plat** of Lots 27 and 28, Block 1, Shamrock Shores Estates – Consider the application submitted by Sand Surveying Corporation requesting to plat property located at 1124 Tipperary Drive and currently zoned "R-7.5" Single Family District, and make a recommendation to City Council.
14. Consider the minutes of the September 18, 2018 Regular Planning and Zoning Commission meeting.

NOTE: Following the adjournment of the Planning and Zoning Commission meeting, a representative will present the recommendations of the Planning and Zoning Commission to the City Council for consideration in the City Council Chambers.

ADJOURNMENT

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Tara Brooks

Tara Brooks
City Secretary



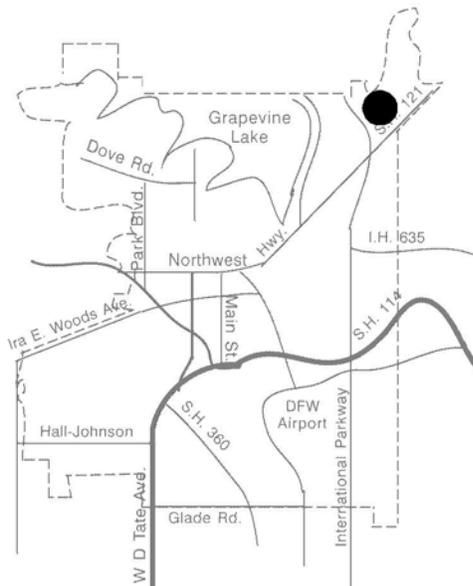
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TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER **BR**
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: OCTOBER 16, 2018

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF
CONDITIONAL USE APPLICATION CU18-22 PAYCOM



APPLICANT: Johnson and Associates

PROPERTY LOCATION AND SIZE:

The subject property is addressed as 3489 State Highway 121 and is proposed to be platted as Lot 1, Block 1, Paycom Addition. This property contains 13.1 acres and has approximately 977 feet of frontage along Kubota Drive and 535 feet of frontage along State Highway 121.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to exceed the maximum height limit of 50 feet for the district.

It is the applicant's intent to establish a new corporate campus on a 13-acre site that will occur in two phases. The first phase will be comprised of a 150,000 square foot, five stories in height (60-feet) office building and a 14,200 s.f. employee gymnasium. Required parking for this first phase of the project is 505 spaces and the applicant will be providing 614 surface parking spaces.

A later second phase is proposed that will add a second 150,000 s.f. structure that will also be five stories in height (60-feet) along with a seven level (six above grade) parking structure that is 58-feet in height. Required parking with the addition of the second

building is 1010 spaces and the applicant will be providing 1,853 spaces—approximately 1,540 of these spaces will be located within the parking structure and 313 spaces will be surface parking.

The subject site will have two points of controlled access, both from Kubota Drive. The main access to the Paycom site will be from a drive at the northeastern corner of the site. There will be a median break at this location that will allow two-way traffic both entering and exiting the site. The second access point will be approximately 790 feet to the south and will be right in-right out, only. Along with the controlled access entering the site, the applicant also proposes a wrought-iron fence, six feet in height that will secure the entire property.

PRESENT ZONING AND USE:

The subject property is currently zoned “CC” Community Commercial District and is undeveloped.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject and surrounding property was zoned “I-1” Light Industrial District prior to the 1984 City Rezoning. The area incorporating the D/FW Hilton to the north, Anderson-Gibson Road to the south and east to State Highway 26 and State Highway 121 North up to the Tarrant/Dallas County line was rezoned to “HCO” Hotel/Corporate Office during the 1984 City Rezoning. A 35-acre tract to the west of the subject site was rezoned to “CC” Community Commercial District (Z96-08) at the June 18, 1996 joint public hearing. The area to the east of the Tarrant/Dallas County line, south of Anderson-Gibson Road, as well as the area to the north of Anderson-Gibson Road east to State Highway 121 was rezoned to “PID” Planned Industrial Development during the 1984 City Rezoning. Zone Change Z85-23 approved October 1, 1985 rezoned a total of nine tracts in this area--one tract was rezoned to “R-MF-1” Multi-Family, one to “R-MF-2” Multi-Family; four tracts were rezoned to “CC” Community Commercial, one tract to “HCO” Hotel/Corporate Office, and another was rezoned to “LI” Light Industrial; one tract remained “PID” Planned Industrial Development. The approximate 28 acres currently zoned “R-20” Single Family Residential District located north and south of Anderson-Gibson Road was established during the Local Option Election of 1993. Zone Change Z95-04 rezoned three tracts in the north easternmost portion of the city from “LI” Light Industrial, “CC” Community Commercial, and “PID” Planned Industrial Development to “BP” Business Park District. Zone Change Z95-06 approved on August 15, 1995 placed deed restrictions on many of the tracts rezoned by Zone Change Z85-23. A portion of the subject property was rezoned from “PID” Planned Industrial Development to “BP” Business Park District (Z97-16) at the October 21, 1997 meeting. At Council’s July 20, 1999 meeting, two tracts of land previously rezoned from “PID” to “BP” at the October 21, 1997 meeting--approximately 20.413 acres and 36.710 acres were rezoned from “BP” Business Park

District to “CC” Community Commercial District for potential retail and commercial development. A zone change request (Z01-11) was considered at the August 21, 2001 on the subject site rezoning 55.9 acres of the subject property from “R-MF-1” Multifamily District and 107.3 acres from “CC” Community Commercial District to “BP” Business Park District for potential office/warehouse development. That request was withdrawn by the applicant. A later zone change request (Z01-15) was submitted on the subject property at Council’s November 20, 2001 meeting rezoning 55.9 acres from “R-MF-1” Multifamily District to “CC” Community Commercial District for potential commercial and office development.

At Council’s December 19, 2006 meeting a zone change request (Z06-15) and a planned development overlay (PD06-09) was considered and denied on the subject and surround property. The applicant (Toll Brothers) was attempting to rezone approximately 110 acres of the entire 162-acre “Hunt” tract for townhouse and single family development. At the Council’s July 21, 2009 meeting a zoning change (Z09-03) and a conditional use permit (CU09-17) were approved to rezone approximately 16.36 acres from “CC” Community Commercial District to “MXU” Mixed Use District for the development of a multi-phase apartment project and to allow on-premise consumption of alcoholic beverages in conjunction with a restaurant and hotel development—neither project were developed.

At the September 15, 2015 meeting a conditional use permit (CU15-38) was approved on the property the north of the subject site which allowed for the North American Headquarters of Kubota USA to exceed the maximum height allowed in the district and allowed for a building 78 feet in height for a portion of the headquarters building with the majority of the structure being 60 feet in height.

SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH: “CC” Community Commercial District—Kubota USA North American Headquarters
- SOUTH: “CC” Community Commercial District—vacant undeveloped property and State Highway 121 North
- EAST: “CC” Community Commercial District—vacant undeveloped property and State Highway 121 North
- WEST: “CC” Community Commercial District—vacant undeveloped property

AIRPORT IMPACT:

The subject property is located within "Zone B" Middle Zone of Effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map. In Zone B,

the following uses may be considered only if sound treatment is included in building design: multi-family apartments, motels, office buildings, movie theaters, restaurants, personal and business services. Single family residential and sound sensitive uses such as schools and churches should avoid this zone. The applicant's proposal is an appropriate use within this noise zone.

MASTER PLAN APPLICATION:

The Master Plan designates the subject property as a Commercial land use. The applicant's proposal is in compliance with the Master Plan.

THOROUGHFARE PLAN APPLICATION:

The subject site is proposed to be accessed from and have frontage on Kubota Drive. Kubota Drive is comprised of 100 feet of right-of-way developed as four lanes with a center median. Kubota Drive is not currently designated a Thoroughfare as shown on the City's Thoroughfare Plan. Although the subject site has frontage on State Highway 121 there is no drive access to/from State Highway 121.

/rs

CU18-22



CITY OF GRAPEVINE

CONDITIONAL USE APPLICATION

Form "A"

PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact

Johnson & Associates, Inc. on behalf of Paycom

Street address of applicant / agent:

1 East Sheridan Ave., Suite 200

City / State / Zip Code of applicant / agent:

Oklahoma City, OK 73104

Telephone number of applicant / agent:

(405) 235-8075

Fax number of applicant/agent

(405) 235-8078

Email address of applicant/agent

Mobile phone number of applicant/agent

(405) 627-2850

PART 2. PROPERTY INFORMATION

Street address of subject property

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Provided as attached sheet

Lot Block Addition

Size of subject property

13.1 Acres

571,667 Square footage

Present zoning classification:

CC, Community Commerical

Proposed use of the property:

Corporate Office Campus

Circle yes or no, if applies to this application

Outdoor speakers Yes No

Minimum / maximum district size for conditional use request:

Minimum size of C-C Community Commercial District is 5 Acres.

Zoning ordinance provision requiring a conditional use:

Building Height

PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:

The City of Grapevine

Street address of property owner:

200 S. Main Street

City / State / Zip Code of property owner:

Grapevine, TX 76051

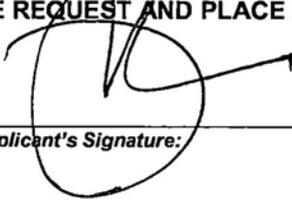
Telephone number of property owner:

(817) 410-3000

Fax number of property owner:

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY

Timothy W. Johnson, P.E. 
Print Applicant's Name: Applicant's Signature:

The State of Oklahoma
County Of Oklahoma
Before Me Rachel Whitcomb (notary) on this day personally appeared Timothy W Johnson (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 31st day of August, A.D. 2018.


Notary In And For State Of Texas Oklahoma
 RACHEL WHITCOMB
Notary Public
State of Oklahoma
Commission # 11001735 Expires 02/28/19

Print Property Owners Name: Property Owner's Signature:

The State Of Texas
County Of Tarrant
Before Me Susan Batte (notary) on this day personally appeared Jennifer Hibbs (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 6th day of September, A.D. 2018.

 SUSAN BATTE
Notary Public
State of Texas
ID # 324575-9
My Comm. Expires 06-23-2021


Notary In And For State Of Texas

ACKNOWLEDGEMENT

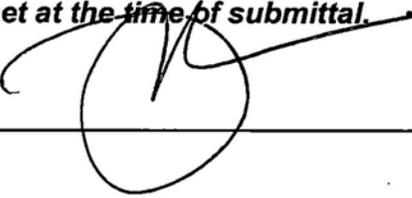
All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

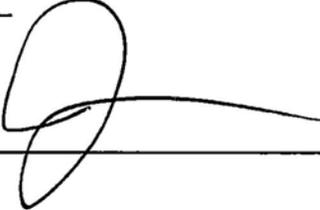
Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant _____


Date: August 31, 2018

Signature of Owner _____


Date: 9/6/18

ORDINANCE NO. 2018-081

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS ISSUING CONDITIONAL USE PERMIT CU18-22 TO EXCEED THE HEIGHT REQUIREMENT OF 50 FEET WITHIN THE "CC" COMMUNITY COMMERCIAL DISTRICT IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT FOR LOT 1, BLOCK 1, PAYCOM ADDITION (3489 STATE HIGHWAY 121) ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the

overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit No. CU18-22 to exceed the height requirement of 50 feet within the "CC" Community Commercial District in a district zoned "CC" Community Commercial District within the following described property: Lot 1, Block 1, Paycom Addition (3489 State Highway 121) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to

exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 16th day of October, 2018.

APPROVED:

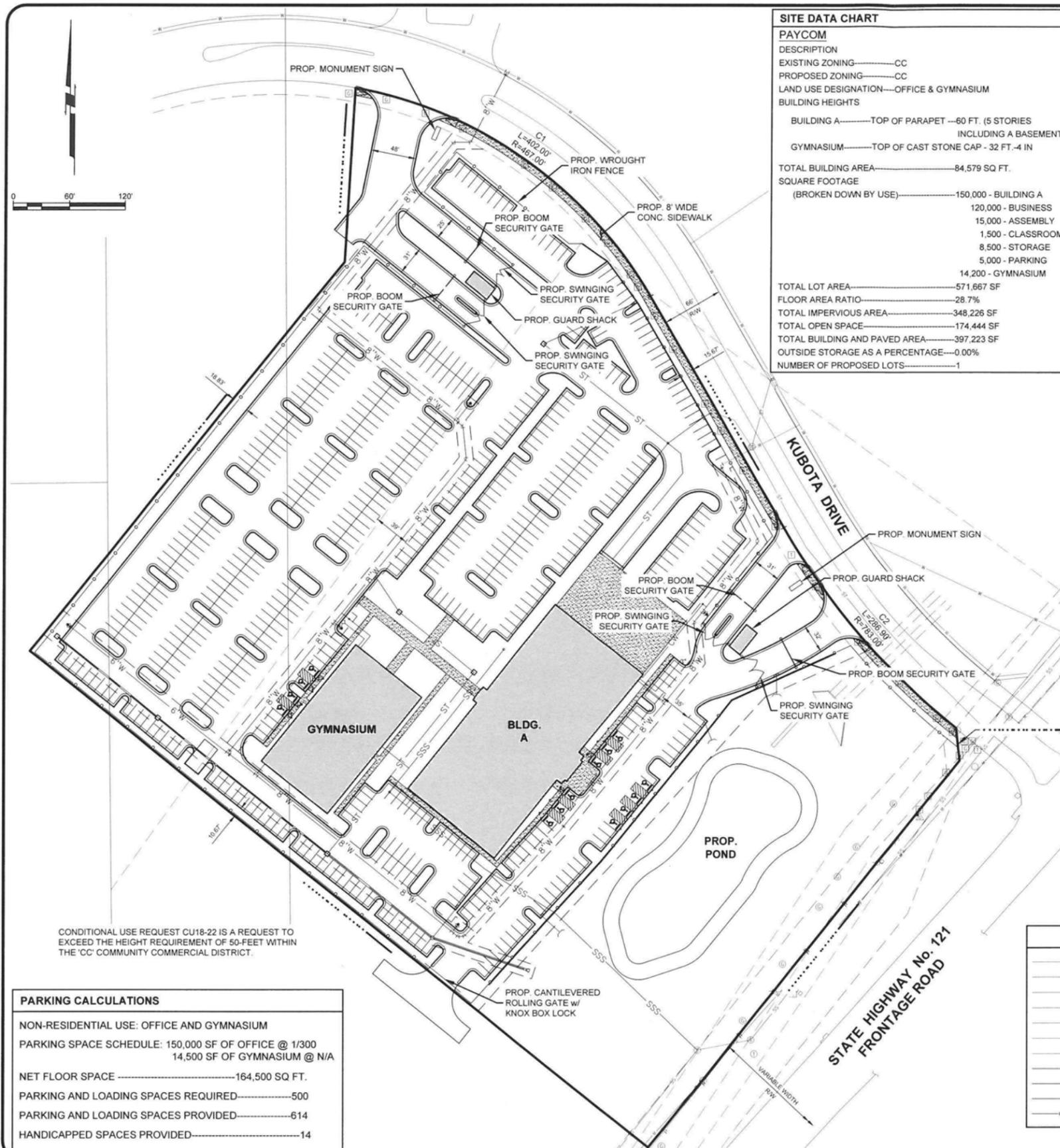
William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney



SITE DATA CHART	
PAYCOM	
DESCRIPTION	CC
EXISTING ZONING	CC
PROPOSED ZONING	CC
LAND USE DESIGNATION	OFFICE & GYMNASIUM
BUILDING HEIGHTS	
BUILDING A	TOP OF PARAPET — 60 FT. (5 STORIES INCLUDING A BASEMENT)
GYMNASIUM	TOP OF CAST STONE CAP - 32 FT. - 4 IN
TOTAL BUILDING AREA	84,579 SQ. FT.
SQUARE FOOTAGE (BROKEN DOWN BY USE)	150,000 - BUILDING A 120,000 - BUSINESS 15,000 - ASSEMBLY 1,500 - CLASSROOM 8,500 - STORAGE 5,000 - PARKING 14,200 - GYMNASIUM
TOTAL LOT AREA	571,667 SF
FLOOR AREA RATIO	28.7%
TOTAL IMPERVIOUS AREA	348,226 SF
TOTAL OPEN SPACE	174,444 SF
TOTAL BUILDING AND PAVED AREA	397,223 SF
OUTSIDE STORAGE AS A PERCENTAGE	0.00%
NUMBER OF PROPOSED LOTS	1

- GENERAL NOTES**
1. THE PROPERTY IS CURRENTLY ZONED 'CC' COMMUNITY COMMERCIAL.
 2. THE CURRENT LAND USE DESIGNATION AS CONTAINED IN THE COMPREHENSIVE MASTER PLAN IS COMMERCIAL.
 3. ALL REQUIREMENTS OF SECTION 25, COMMUNITY COMMERCIAL DISTRICT SHALL BE MET.
 4. ALL REQUIREMENTS OF SECTION 53, LANDSCAPING REGULATIONS SHALL BE MET.
 5. ALL REQUIREMENTS OF SECTION 56, OFF-STREET PARKING REQUIREMENTS SHALL BE MET.
 6. ALL REQUIREMENTS OF SECTION 60, SIGN STANDARDS SHALL BE MET.
 7. ALL DUMPSTERS SHALL BE SCREENED IN ACCORDANCE W/ SECTION 50 B.3. SECTION 50 B.3. REQUIRES ALL SOLID REFUSE DUMPSTERS TO BE VISUALLY SCREENED BY SOLID FENCE OR WALL ONE FOOT ABOVE THE REFUSE DUMPSTER NOT TO EXCEED 8 FEET IN HEIGHT ON ALL SIDES (EXCEPT THE SIDE USED FOR GARBAGE PICKUP). SUCH SIDES SHALL NOT BE REQUIRED TO BE SCREENED UNLESS THE SERVICE SIDE OF THE REFUSE STORAGE AREA IS VISIBLE FROM A RESIDENTIALLY ZONED DISTRICT.
 8. ALL LIGHTING MUST COMPLY W/ SECTION 55 OF THE GRAPEVINE ZONING ORDINANCE. LIGHTING ELEMENTS MUST NOT BE VISIBLE FROM A POINT FIVE (5) FEET ABOVE GROUND MEASURED AT ALL PROPERTY LINES. PHYSICAL TESTING OF ILLUMINATION LEVELS MUST BE PERFORMED TO VERIFY COMPLIANCE W/ PHOTOMETRIC STUDY. DOCUMENTATION SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT. NO OCCUPANCY, INCLUDING TEMPORARY OCCUPANCY WILL BE PERMITTED UNTIL THE ABOVE REQUIREMENTS ARE MET.
 9. ALL PARKING FOR DISABLED PERSONS SHALL BE DESIGNATED ACCORDING TO CHAPTER 23, SECTION 23.6 THROUGH 24.69 OF THE GRAPEVINE CODE OF ORDINANCES SHALL BE MET. THIS DESIGNATION IS THE BLUE HANDICAPPED SIGN REQUIREMENT.
 10. A TYPICAL PARKING SPACE DIMENSION IS 9 x 18 FEET.
 11. THE MINIMUM DRIVING LANE WIDTHS IN ALL PRIVATE PARKING LOTS FOR 90-DEGREE PARKING IS A MINIMUM OF 25 FEET.
 12. ALL REQUIRED OFF-STREET PARKING AND LOADING AND DRIVES, VEHICLE (AUTOS, TRUCKS, TRAILERS, BOATS, ETC.) SALES, DISPLAY AREAS AND OUTSIDE STORAGE AREAS IN ALL DISTRICTS SHALL BE PAVED TO A MINIMUM STANDARD EQUIVALENT TO 4 INCH CONCRETE SLAB W/ 6 INCHES x 6 INCHES BY 6 GAGE MESH WIRE OR A 2 INCH HOT MIX ASPHALTIC CONCRETE OVER 6 INCH CRUSHED ROCK BASE.
 13. MECHANICAL EQUIPMENT FOR THIS SITE PLAN SHALL BE ROOF MOUNTED. ALL MECHANICAL EQUIPMENT OVER FIVE HORSEPOWER MUST BE LOCATED A MINIMUM OF 120 FEET FROM THE CLOSEST RESIDENTIAL DISTRICT. ALL MECHANICAL EQUIPMENT, REGARDLESS OF HORSEPOWER, IS PROHIBITED FROM BEING LOCATED WITHIN THE REQUIRED OR ESTABLISHED FRONT YARD.
 14. ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
 15. ALL THE REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.
 16. ALL ON-SITE ELECTRICAL CONDUCTORS ASSOCIATED W/ NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.
 17. ALL EDGE OF PAVEMENT SHALL HAVE A 6" CONCRETE CURB, UNLESS NOTED OTHERWISE.
 18. THE MINIMUM PAVEMENT GRADE IS 0.50%. THE MAXIMUM PAVEMENT GRADE IS 10%.
 19. THE PROPOSED USE FOR LOT 1 IS A CORPORATE OFFICE CAMPUS.
 20. A FIRE HYDRANT WILL BE PLACED WITHIN ONE HUNDRED AND FIFTY FEET (150') OF THE PROPOSED FIRE DEPARTMENT CONNECTION (FDC). SAID FIRE HYDRANT WILL BE SHOWN ON THE CIVIL CONSTRUCTION PLANS.
 21. FENCE TO BE 6" WROUGHT IRON.
 22. CONDITIONAL USE REQUEST CU18-22 IS A REQUEST TO EXCEED THE MAXIMUM HEIGHT REQUIREMENT OF 50 FEET.
 23. ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL CONFORM TO THE SITE WORK SPECIFICATIONS. ANY WORK NOT COVERED IN THE SITE WORK SPECIFICATIONS SHALL CONFORM TO THE TEXAS DEPARTMENT OF TRANSPORTATION CONSTRUCTION SPECIFICATIONS, LATEST EDITION.
 24. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN CONSTRUCTION STAKING.
 25. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. ALL PAVEMENT STRIPING SHALL BE FOUR (4) INCHES WIDE, UNLESS SHOWN OTHERWISE ON THE PLANS.
 26. UNLESS OTHERWISE STATED IN THE GENERAL CONDITIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TESTING. THE RESULTS OF THE TESTS SHALL BE FORWARDED TO THE ENGINEER FOR HIS REVIEW AND APPROVAL.
 27. THE CONTRACTOR SHALL PROVIDE A MEDIUM BROOM FINISH ON ALL CONCRETE WALKS, RAMPS AND PAVING SURFACES UNLESS OTHERWISE NOTED.
 28. THE CONTRACTOR MUST FILE A "NOTICE OF INTENT" WITH THE APPROPRIATE ADMINISTRATIVE AGENCY PRIOR TO COMMENCING EARTHWORK, CLEARING OR DEMOLITION OPERATIONS.
 29. THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE ACCURACY OF ALL SITE PLAN DIMENSIONS AND MEASUREMENTS AND SHALL CONFIRM THE ACCURACY AND LOCATION OF THE PROJECT BOUNDARY PRIOR TO CONSTRUCTION. ANY DISCREPANCIES DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER-OF-RECORD FOR RESOLUTION PRIOR TO CONSTRUCTION.
 30. PARKING LOT LAYOUT IS PARALLEL AND PERPENDICULAR TO BUILDING ORIENTATION UNLESS OTHERWISE NOTED.

PARKING CALCULATIONS	
NON-RESIDENTIAL USE: OFFICE AND GYMNASIUM	
PARKING SPACE SCHEDULE: 150,000 SF OF OFFICE @ 1/300 14,500 SF OF GYMNASIUM @ N/A	
NET FLOOR SPACE	164,500 SQ. FT.
PARKING AND LOADING SPACES REQUIRED	500
PARKING AND LOADING SPACES PROVIDED	614
HANDICAPPED SPACES PROVIDED	14

LEGEND	
—	EXISTING WATER LINE
SS	EXISTING SAN SEWER LINE
ST	EXISTING STORM SEWER LINE
—	EXISTING OVERHEAD UTILITY LINE
—	EXISTING UNDERGROUND UTILITY LINE
—	EXISTING GAS LINE
—	EXISTING UNDERGROUND TELEPHONE SERVICE LINE
—	PROPOSED WATER LINE
SSS	PROPOSED SANITARY SEWER SERVICE LINE
—	PROPOSED STORM SEWER LINE
—	PROPOSED 6" WROUGHT IRON FENCE

CASE NAME: PAYCOM
CASE NUMBER: CU18-22
LOCATION: 3489 STATE HWY. 121 GRAPEVINE, TX 76051
PAYCOM ADDITION LOT 1 BLOCK 1

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: 10-03-18

SHEET: 2 OF 24

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

NO.	REVISIONS DESCRIPTION	DATE

THESE PLANS ARE PRELIMINARY IN NATURE AND ARE NOT A FINAL, SIGNED AND SEALED SET OF DOCUMENTS.

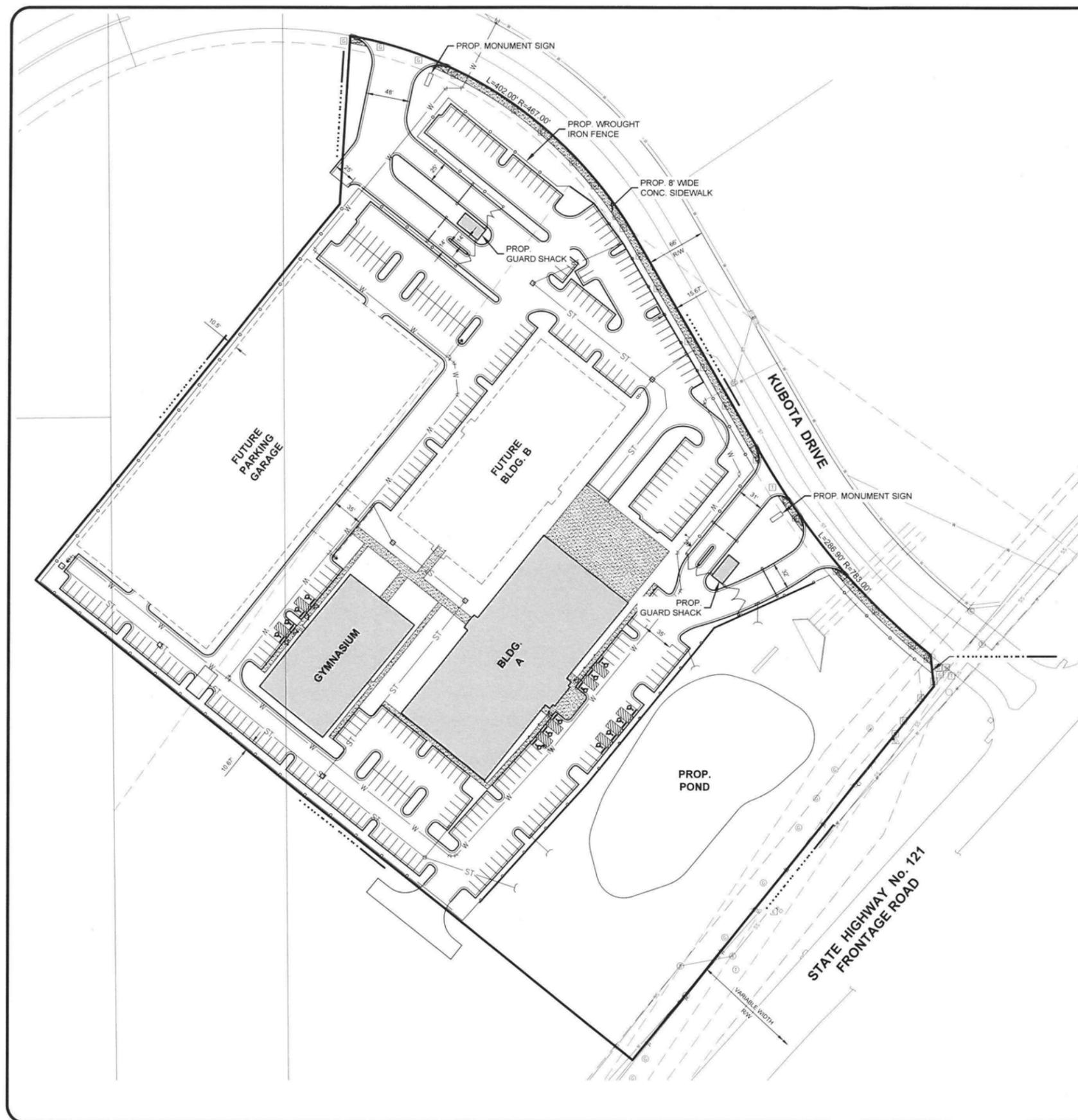
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Oklahoma City, OK 73104
(405) 235-8075 FAX (405) 235-8078 www.ja.com
Certificate of Authorization Pending Exp. Date Pending
ENGINEERS SURVEYORS PLANNERS

PAYCOM
GRAPEVINE, TEXAS
OVERALL SITE GENERAL LAYOUT
PHASE 1

Proj. No. _____
Date: 10-03-18
Scale: 1"=60'

Checked By: _____
Approved By: _____

SHEET NUMBER
2



SITE DATA CHART	
PAYCOM	
DESCRIPTION	
EXISTING ZONING	CC
PROPOSED ZONING	CC
LAND USE DESIGNATION	OFFICE & GYMNASIUM
BUILDING HEIGHTS	
BUILDING A & B	TOP OF PARAPET - 60 FT. (5 STORIES INCLUDING A BASEMENT)
GYMNASIUM	TOP OF CAST STONE CAP - 32 FT. - 4 IN
PARKING GARAGE	TOP OF STRUCTURE - 58 FT.
TOTAL BUILDING AREA	194,949 SQ. FT.
SQUARE FOOTAGE (BROKEN DOWN BY USE)	
	150,000 - BUILDING A & B (EACH)
	120,000 - BUSINESS
	15,000 - ASSEMBLY
	1,500 - CLASSROOM
	8,500 - STORAGE
	5,000 - PARKING
	14,200 - GYMNASIUM
	76,570 - PARKING GARAGE
	535,990 (7 STORIES, 6 ABOVE GRADE)
TOTAL LOT AREA	571,667 SF
FLOOR AREA RATIO	28.7%
TOTAL IMPERVIOUS AREA	348,226 SF
TOTAL OPEN SPACE	163,664 SF
TOTAL BUILDING AND PAVED AREA	408,003 SF
OUTSIDE STORAGE AS A PERCENTAGE	0.00%
NUMBER OF PROPOSED LOTS	1

PARKING CALCULATIONS	
NON-RESIDENTIAL USE: OFFICE AND GYMNASIUM	
PARKING SPACE SCHEDULE: 300,000 SF OF OFFICE @ 1/300	
14,500 SF OF GYMNASIUM @ N/A	
NET FLOOR SPACE	314,500 SQ. FT.
PARKING AND LOADING SPACES REQUIRED	1000
PARKING AND LOADING SPACES PROVIDED	1853
HANDICAPPED SPACES PROVIDED	38

CASE NAME: PAYCOM
CASE NUMBER: CU18-22
LOCATION: 3489 STATE HWY. 121 GRAPEVINE, TX 76051
PAYCOM ADDITION LOT 1 BLOCK 1

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: 10-03-18

SHEET: 3 OF 24

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

NO.	REVISIONS DESCRIPTION	DATE

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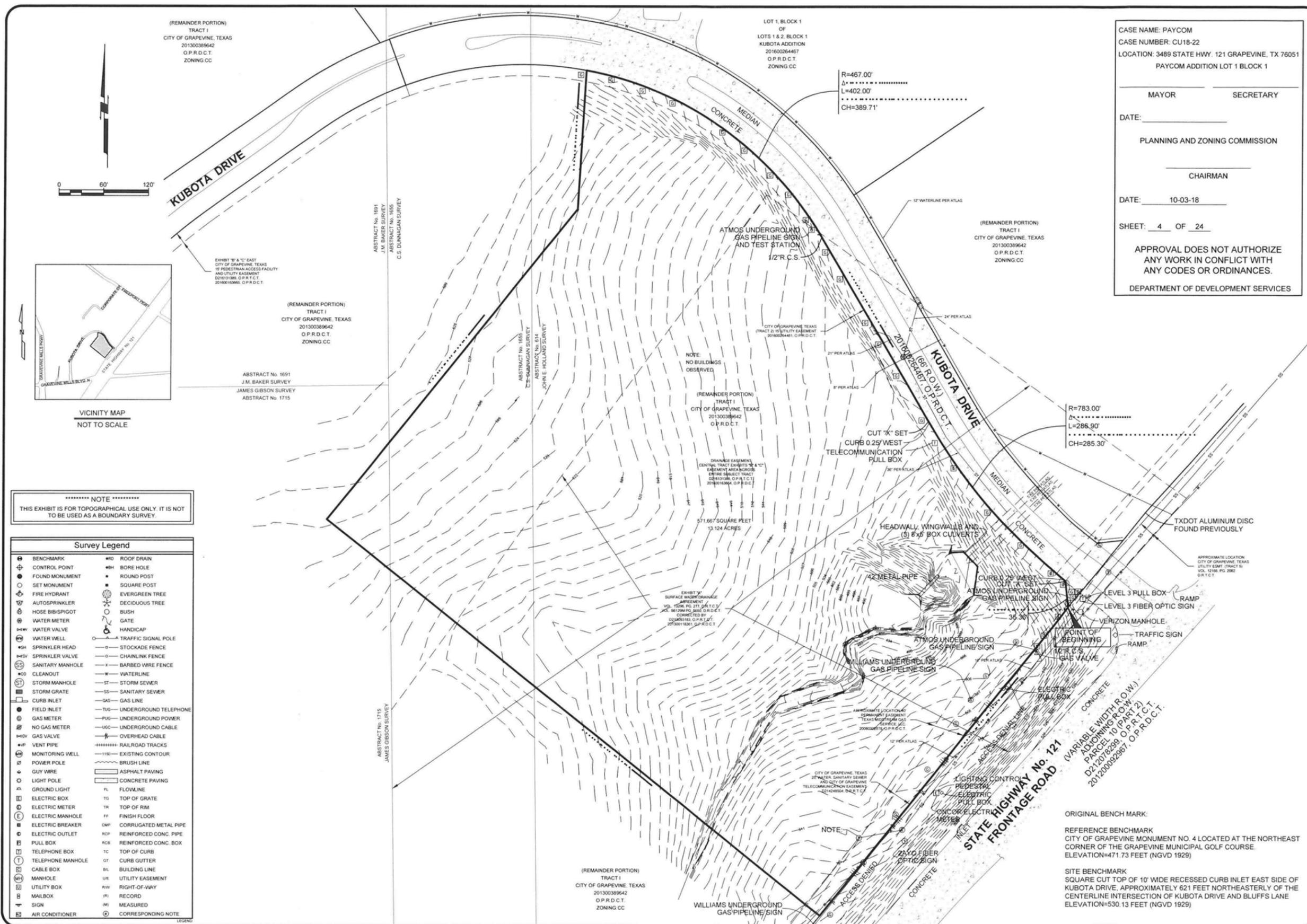


PAYCOM
GRAPEVINE, TEXAS
OVERALL MASTER PLAN

Proj. No. _____
Date: 10-03-18
Scale: 1"=60'

Checked By: _____
Approved By: _____

SHEET NUMBER
3



CASE NAME: PAYCOM
 CASE NUMBER: CU18-22
 LOCATION: 3489 STATE HWY. 121 GRAPEVINE, TX 76051
 PAYCOM ADDITION LOT 1 BLOCK 1

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: 10-03-18

SHEET: 4 OF 24

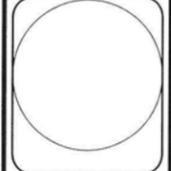
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 DEPARTMENT OF DEVELOPMENT SERVICES

NOTE
 THIS EXHIBIT IS FOR TOPOGRAPHICAL USE ONLY. IT IS NOT TO BE USED AS A BOUNDARY SURVEY.

Survey Legend

⊕ BENCHMARK	⊕ ROOF DRAIN
⊙ CONTROL POINT	⊕ BORE HOLE
⊙ FOUND MONUMENT	⊕ ROUND POST
⊙ SET MONUMENT	⊕ SQUARE POST
⊕ FIRE HYDRANT	⊕ EVERGREEN TREE
⊕ AUTOSPRINKLER	⊕ DECIDUOUS TREE
⊕ HOSE BIB/SPIGOT	⊕ BUSH
⊕ WATER METER	⊕ GATE
⊕ WATER VALVE	⊕ HANDICAP
⊕ WATER WELL	⊕ TRAFFIC SIGNAL POLE
⊕ SPRINKLER HEAD	⊕ STOCKADE FENCE
⊕ SPRINKLER VALVE	⊕ CHAINLINK FENCE
⊕ SANITARY MANHOLE	⊕ BARBED WIRE FENCE
⊕ CLEANOUT	⊕ WATERLINE
⊕ STORM MANHOLE	⊕ STORM SEWER
⊕ STORM GRATE	⊕ SANITARY SEWER
⊕ CURB INLET	⊕ GAS LINE
⊕ FIELD INLET	⊕ UNDERGROUND TELEPHONE
⊕ GAS METER	⊕ UNDERGROUND POWER
⊕ NO GAS METER	⊕ UNDERGROUND CABLE
⊕ GAS VALVE	⊕ OVERHEAD CABLE
⊕ VENT PIPE	⊕ RAILROAD TRACKS
⊕ MONITORING WELL	⊕ EXISTING CONTOUR
⊕ POWER POLE	⊕ BRUSH LINE
⊕ GUY WIRE	⊕ ASPHALT PAVING
⊕ LIGHT POLE	⊕ CONCRETE PAVING
⊕ GROUND LIGHT	⊕ FLOWLINE
⊕ ELECTRIC BOX	⊕ TOP OF GRATE
⊕ ELECTRIC METER	⊕ TOP OF RIM
⊕ ELECTRIC MANHOLE	⊕ FINISH FLOOR
⊕ ELECTRIC BREAKER	⊕ CORRUGATED METAL PIPE
⊕ ELECTRIC OUTLET	⊕ REINFORCED CONC. PIPE
⊕ PULL BOX	⊕ REINFORCED CONC. BOX
⊕ TELEPHONE BOX	⊕ TOP OF CURB
⊕ TELEPHONE MANHOLE	⊕ CURB GUTTER
⊕ CABLE BOX	⊕ BUILDING LINE
⊕ MANHOLE	⊕ UTILITY EASEMENT
⊕ UTILITY BOX	⊕ RIGHT-OF-WAY
⊕ MAILBOX	⊕ RECORD
⊕ SIGN	⊕ MEASURED
⊕ AIR CONDITIONER	⊕ CORRESPONDING NOTE

NO.	REVISIONS DESCRIPTION	DATE



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PAYCOM
 GRAPEVINE, TEXAS
 TOPOGRAPHIC SURVEY

Proj. No.: _____
 Date: 10-03-18
 Scale: 1"=60'
 Checked By: _____
 Approved By: _____

SHEET NUMBER
4

CASE NAME: PAYCOM
CASE NUMBER: CU18-22
LOCATION: 3489 STATE HWY. 121 GRAPEVINE, TX 76051
PAYCOM ADDITION LOT 1 BLOCK 1

MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION
CHAIRMAN _____
DATE: 10-03-18
SHEET: 5 OF 24

APPROVAL DOES NOT AUTHORIZE
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DEPARTMENT OF DEVELOPMENT SERVICES

NO.	REVISIONS DESCRIPTION	DATE

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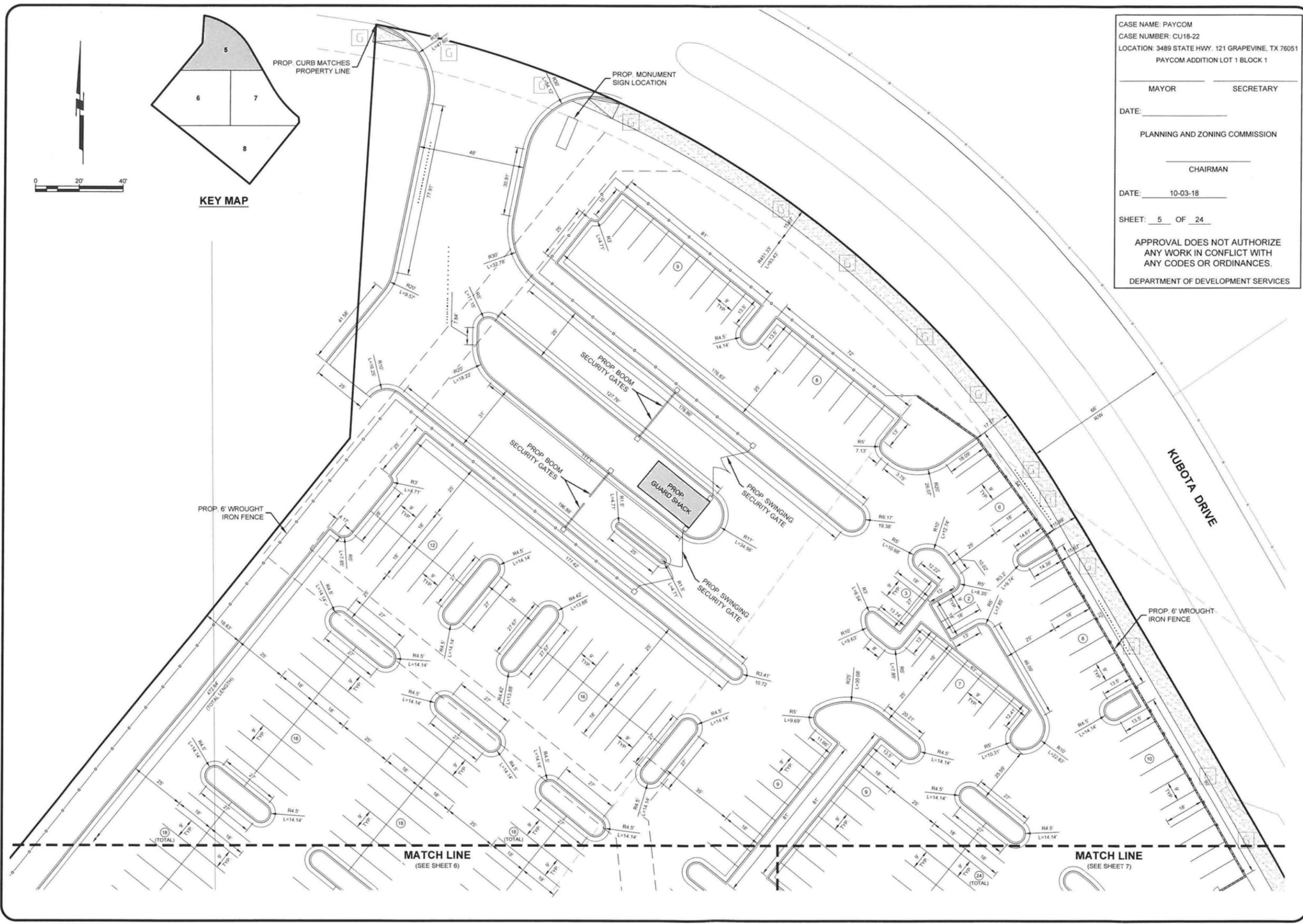
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PAYCOM
GRAPEVINE, TEXAS
SITE DIMENSIONAL PLAN

Proj. No.: _____
Date: 10-03-18
Scale: 1"=20'
Checked By: _____
Approved By: _____

SHEET NUMBER
5



CASE NAME: PAYCOM
 CASE NUMBER: CU18-22
 LOCATION: 3489 STATE HWY. 121 GRAPEVINE, TX 76051
 PAYCOM ADDITION LOT 1 BLOCK 1

MAYOR _____ SECRETARY _____

DATE: _____
 PLANNING AND ZONING COMMISSION

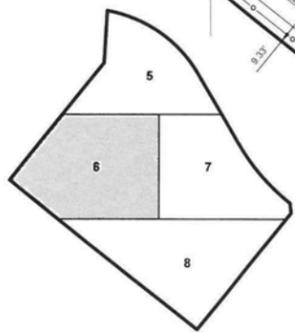
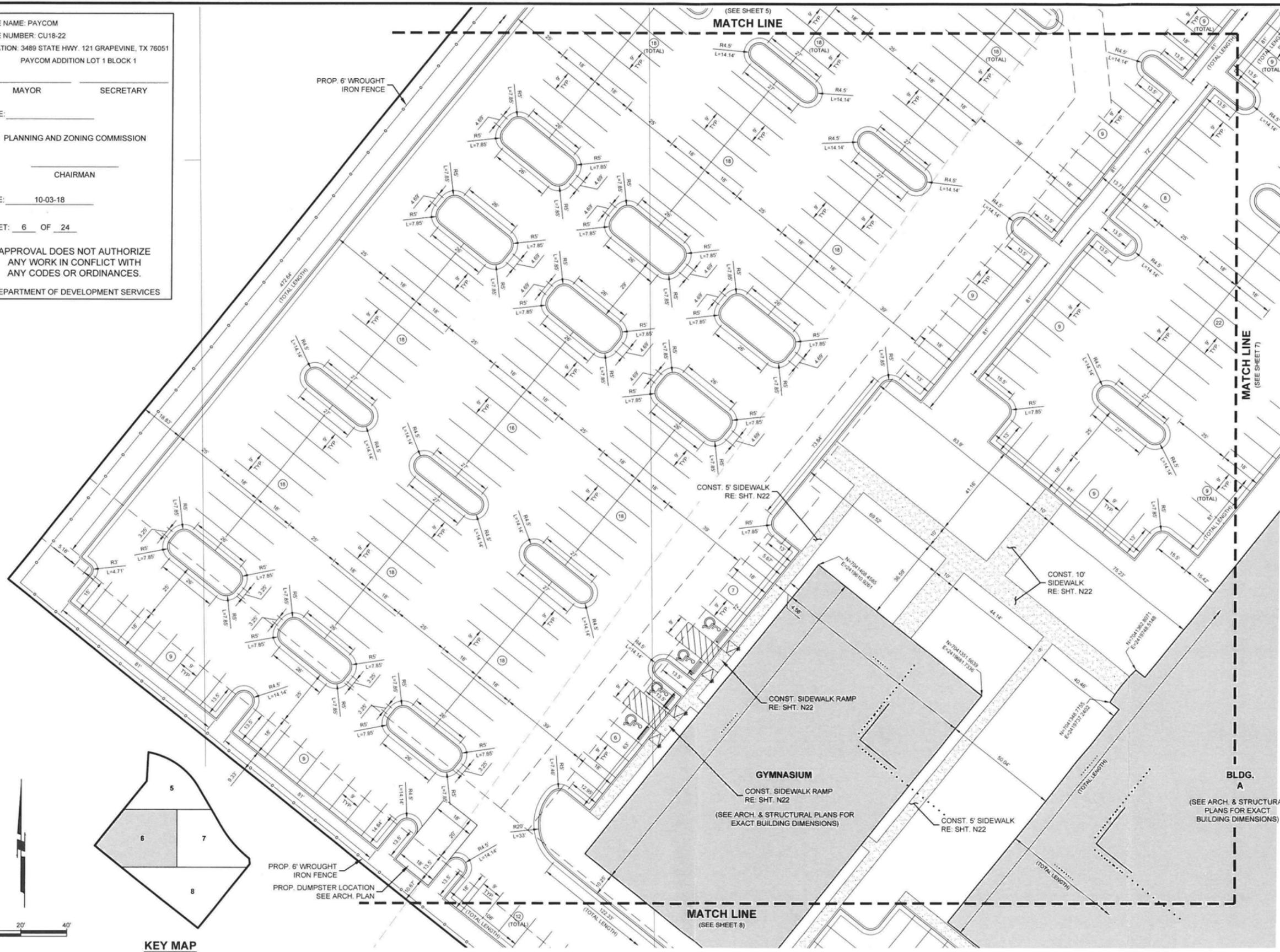
CHAIRMAN _____

DATE: 10-03-18

SHEET: 6 OF 24

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 ANY WORK IN CONFLICT WITH
 ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES



NO.	REVISIONS DESCRIPTION	DATE

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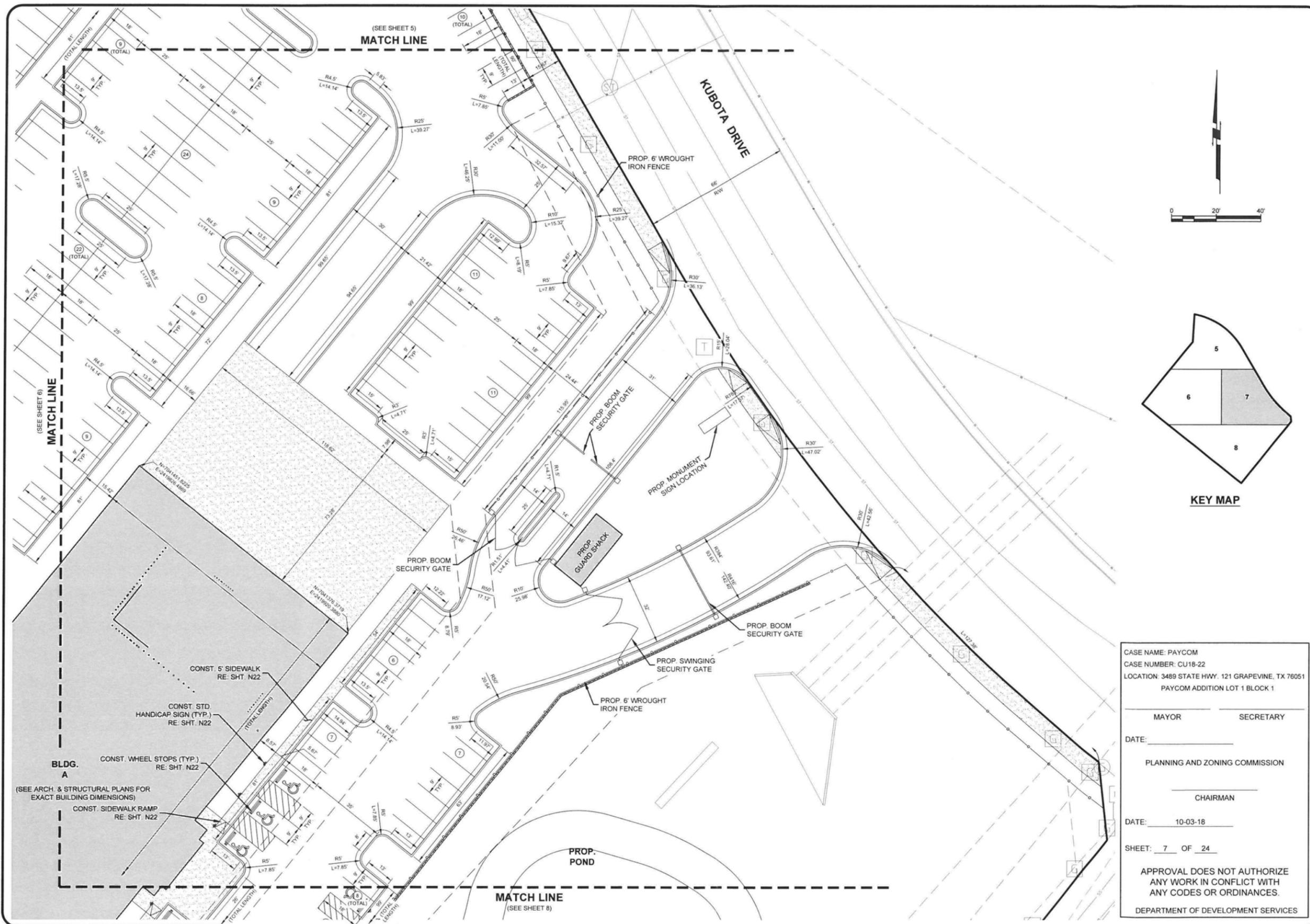
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PAYCOM
 GRAPEVINE, TEXAS
 SITE DIMENSIONAL PLAN

Proj. No.: _____
 Date: 10-03-18
 Scale: 1"=20'
 Checked By: _____
 Approved By: _____

SHEET NUMBER
6



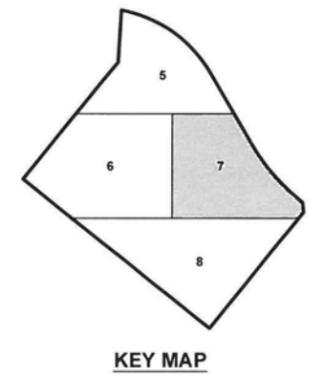
CASE NAME: PAYCOM
CASE NUMBER: CU18-22
LOCATION: 3489 STATE HWY. 121 GRAPEVINE, TX 76051
PAYCOM ADDITION LOT 1 BLOCK 1

MAYOR _____ SECRETARY _____
DATE: _____

PLANNING AND ZONING COMMISSION
CHAIRMAN _____

DATE: 10-03-18
SHEET: 7 OF 24

APPROVAL DOES NOT AUTHORIZE
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ANY CODES OR ORDINANCES.
DEPARTMENT OF DEVELOPMENT SERVICES



NO.	REVISIONS DESCRIPTION	DATE

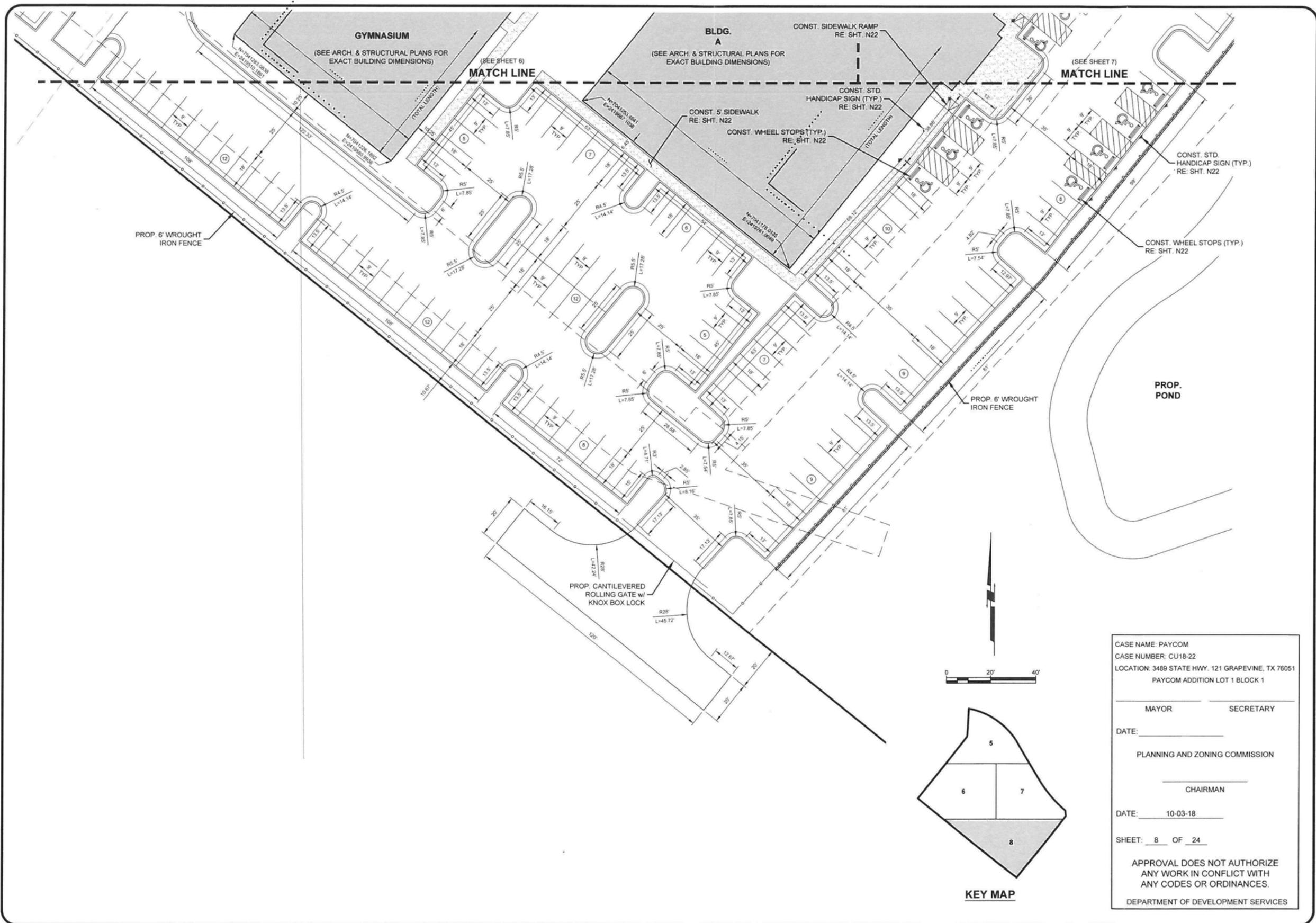
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PAYCOM
GRAPEVINE, TEXAS
SITE DIMENSIONAL PLAN

Proj No: _____
Date: 10-03-18
Scale: 1"=20'
Checked By: _____
Approved By: _____

SHEET NUMBER
7



NO.	REVISIONS DESCRIPTION	DATE

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CASE NAME: PAYCOM
CASE NUMBER: CU18-22
LOCATION: 3489 STATE HWY. 121 GRAPEVINE, TX 76051
PAYCOM ADDITION LOT 1 BLOCK 1

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: 10-03-18

SHEET: 8 OF 24

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

PAYCOM
GRAPEVINE, TEXAS
SITE DIMENSIONAL PLAN

Proj No.: _____
Date: 10-03-18
Scale: 1"=20'
Checked By: _____
Approved By: _____

SHEET NUMBER
8



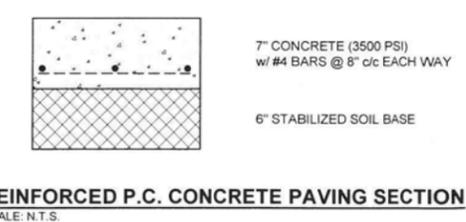
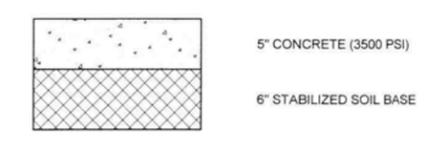
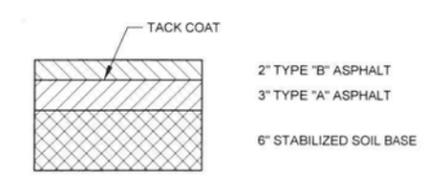
LEGEND

- PROPOSED ASPHALT PAVING
- PROPOSED CONCRETE PAVING
- PROPOSED REINFORCED CONCRETE PAVING
- PROPOSED SIDEWALK

- GRADING NOTES**
- ALL FILL AREAS SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY (OR AS DIRECTED IN THE GEOTECHNICAL REPORT).
 - CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION. DAMAGE TO ANY UTILITIES OR STRUCTURES DURING EXCAVATION AND CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ONE CALL UTILITY LOCATION NUMBER IS 1-800-522-6543.
 - THE CONTRACTOR SHALL SATISFY HIMSELF AS TO THE ACCURACY OF ALL MEASUREMENTS PRIOR TO CONSTRUCTION OF ANY PERMANENT STRUCTURE.
 - ALL SITE GRADING SHALL INCLUDE THE FOLLOWING:
 - A) TOP SOIL REMOVAL, STOCKPILE AND RE-SPREADING IN LANDSCAPE AREAS.
 - B) EXCAVATION AND COMPACTED EMBANKMENT SHALL BE ACCORDANCE WITH TYPICAL PAVING SECTIONS (12" CURB & 6" PAVING).
 - CONTRACTOR IS TO INSTALL ALL EROSION CONTROL MEASURES AS SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO CONSTRUCTION. (COST TO BE INCLUDED IN BID ITEM FOR EROSION CONTROL.)
 - CONTRACTOR TO INSTALL GRAVEL WASH BED TO RUN EQUIPMENT THROUGH AND SHALL REMOVE ALL EXCESS DEBRIS FROM TRUCKS BEFORE LEAVING SITE. CLEAN ALL DEBRIS FROM PUBLIC RIGHT-OF-WAY IMMEDIATELY.
 - ANY REMOVAL OF TREES (AS APPROVED BY OWNER), FENCING OR DEBRIS WITHIN THE LIMITS OF SITE GRADING SHALL BE DISPOSED OF BY GRADING CONTRACTOR. (COST TO BE INCLUDED IN BID ITEM FOR TREE REMOVAL.)
 - CONTRACTOR IS RESPONSIBLE FOR SOIL PREPARATION UNDER PROPOSED BUILDING FOUNDATION PER GEOTECHNICAL REPORT.

ORIGINAL BENCH MARK:
REFERENCE BENCHMARK
CITY OF GRAPEVINE MONUMENT NO. 4 LOCATED AT THE NORTHEAST CORNER OF THE GRAPEVINE MUNICIPAL GOLF COURSE.
ELEVATION=471.73 FEET (NGVD 1929)

SITE BENCHMARK
SQUARE CUT TOP OF 10' WIDE RECESSED CURB INLET EAST SIDE OF KUBOTA DRIVE, APPROXIMATELY 621 FEET NORTHEASTERLY OF THE CENTERLINE INTERSECTION OF KUBOTA DRIVE AND BLUFFS LANE.
ELEVATION=530.13 FEET (NGVD 1929)



CASE NAME: PAYCOM
CASE NUMBER: CU18-22
LOCATION: 3489 STATE HWY. 121 GRAPEVINE, TX 76051
PAYCOM ADDITION LOT 1 BLOCK 1

MAYOR _____ SECRETARY _____

DATE: _____
PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: 10-03-18

SHEET: 9 OF 24

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.
DEPARTMENT OF DEVELOPMENT SERVICES

NO.	REVISIONS DESCRIPTION	DATE

THESE PLANS ARE PRELIMINARY IN NATURE AND ARE NOT A FINAL, SIGNED AND SEALED SET OF DOCUMENTS.

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ENGINEERS SURVEYORS PLANNERS



PAYCOM
GRAPEVINE, TEXAS
PAVING PLAN

Proj No: _____
Date: 10-03-18
Scale: 1"=60'

Checked By: _____
Approved By: _____

SHEET NUMBER
9

ORIGINAL BENCH MARK:
REFERENCE BENCHMARK
CITY OF GRAPEVINE MONUMENT NO. 4 LOCATED AT THE NORTHEAST
CORNER OF THE GRAPEVINE MUNICIPAL GOLF COURSE.
ELEVATION=471.73 FEET (NGVD 1929)

SITE BENCHMARK
SQUARE CUT TOP OF 10" WIDE RECESSED CURB INLET EAST SIDE OF
KUBOTA DRIVE, APPROXIMATELY 621 FEET NORTHEASTERLY OF THE
CENTERLINE INTERSECTION OF KUBOTA DRIVE AND BLUFFS LANE
ELEVATION=530.13 FEET (NGVD 1929)

- GENERAL NOTES - UTILITIES
1. ALL UTILITY WORK SHALL COMPLY WITH CITY OF GRAPEVINE STANDARD SPECIFICATIONS AND BUILDING INSPECTIONS.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION. DAMAGE TO ANY UTILITIES OR STRUCTURAL DURING EXCAVATION AND CONSTRUCTION OF NEW UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ONE CALL UTILITY LOCATE IS 1-800-522-6543.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING UTILITY COMPANIES FOR NEW SERVICE CONNECTION.
 4. TRENCHING SHALL BE BACKFILLED WITH SAND UNDER ALL PAVED AREAS.
 5. GENERAL CONTRACTOR SHALL COORDINATE ALL UTILITY WORK FOR THIS SITE.
 6. CONTRACTOR SHALL COORDINATE SIZE AND EXACT ENTRANCE LOCATION OF ALL UTILITY SERVICE WITH ELECTRICAL AND MECHANICAL PLANS.
 7. ALL WATER LINES SHALL BE DR18 CLASS 150 C-900 PVC UNDER 16" AND DR18 CLASS 235 C-905 FOR 16" AND ABOVE, UNLESS SPECIFIED OTHERWISE.
 8. SANITARY SEWER PIPES SHALL BE A MINIMUM OF SDR35 PVC AND MEET ALL TCEQ AND NTCOG SEPARATION REQUIREMENTS.



LEGEND

— W —	EXISTING WATER LINE
— SS —	EXISTING SAN SEWER LINE
— ST —	EXISTING STORM SEWER LINE
— GAS —	EXISTING GAS LINE
— TUG —	EXISTING UNDERGROUND TELEPHONE SERVICE LINE
— ST —	PROPOSED PRIVATE STORM SEWER LINE
— SSS —	PROPOSED SAN. SEWER SERVICE LINE
— CW —	PROPOSED WATER SERVICE LINE
— FDC —	PROPOSED PRIVATE FIRE LINE FOR REMOTE FDC
— 6"W —	PROPOSED 6" WATER LINE
— 8"W —	PROPOSED 8" WATER LINE

CASE NAME: PAYCOM
CASE NUMBER: CU18-22
LOCATION: 3489 STATE HWY. 121 GRAPEVINE, TX 76051
PAYCOM ADDITION LOT 1 BLOCK 1

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: 10-03-18

SHEET: 11 OF 24

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

NO.	REVISIONS DESCRIPTION	DATE

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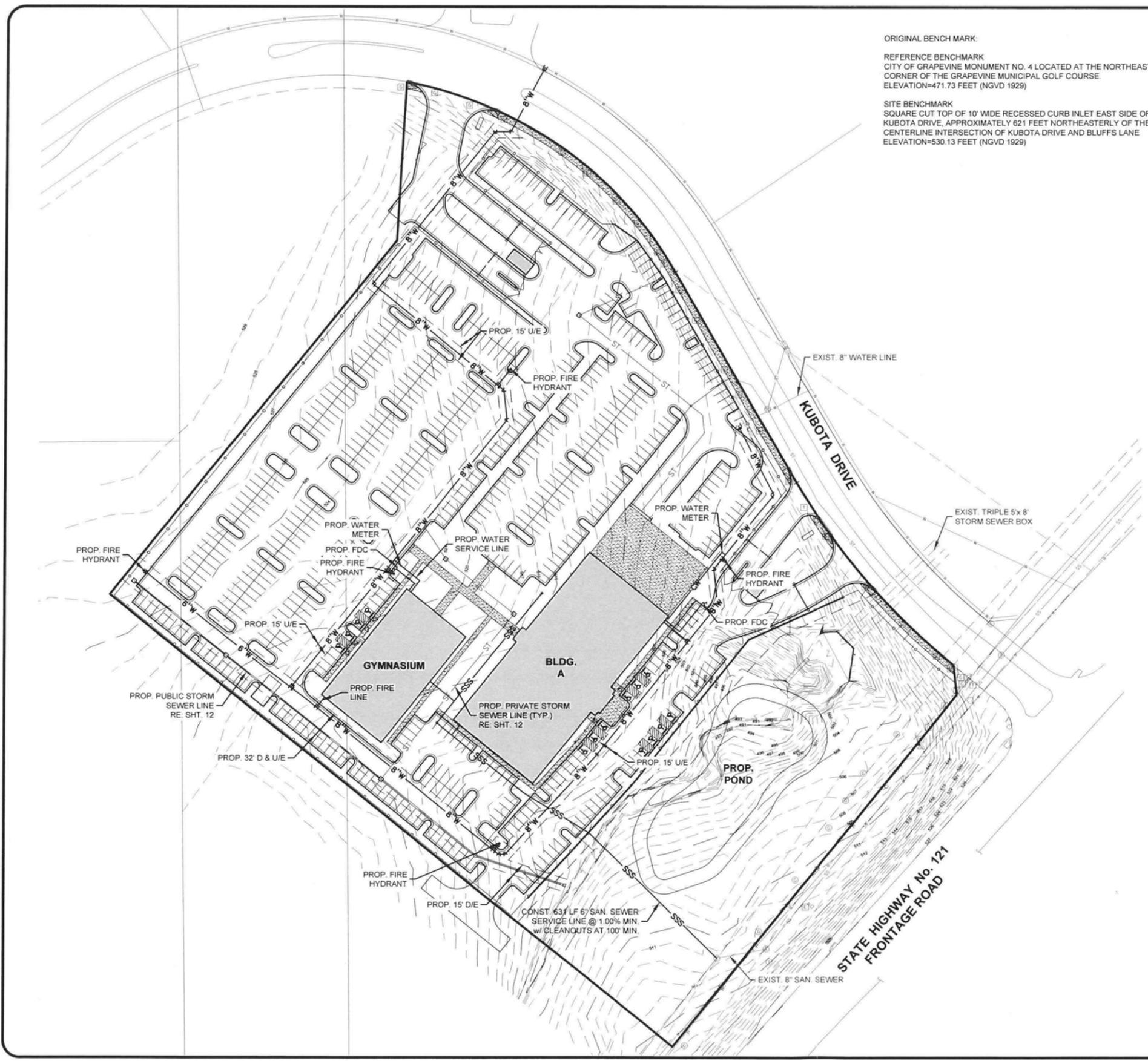
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PAYCOM
GRAPEVINE, TEXAS
UTILITY PLAN

Proj No: _____
Date: 10-03-18
Scale: 1"=60'
Checked By: _____
Approved By: _____

SHEET NUMBER
11



- GENERAL NOTES - UTILITIES
1. ALL UTILITY WORK SHALL COMPLY WITH CITY OF GRAPEVINE STANDARD SPECIFICATIONS AND BUILDING INSPECTIONS.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION. DAMAGE TO ANY UTILITIES OR STRUCTURAL DURING EXCAVATION AND CONSTRUCTION OF NEW UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ONE CALL UTILITY LOCATE IS 1-800-522-6543.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING UTILITY COMPANIES FOR NEW SERVICE CONNECTION.
 4. TRENCHING SHALL BE BACKFILLED WITH SAND UNDER ALL PAVED AREAS.
 5. GENERAL CONTRACTOR SHALL COORDINATE ALL UTILITY WORK FOR THIS SITE.
 6. CONTRACTOR SHALL COORDINATE SIZE AND EXACT ENTRANCE LOCATION OF ALL UTILITY SERVICE WITH ELECTRICAL AND MECHANICAL PLANS.



LEGEND

— W —	EXISTING WATER LINE
— SS —	EXISTING SAN. SEWER LINE
— ST —	EXISTING STORM SEWER LINE
— GAS —	EXISTING GAS LINE
— TUG —	EXISTING UNDERGROUND TELEPHONE SERVICE LINE
— ST —	PROPOSED PRIVATE STORM SEWER LINE
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CASE NAME: PAYCOM
CASE NUMBER: CU18-22
LOCATION: 3489 STATE HWY. 121 GRAPEVINE, TX 76051
PAYCOM ADDITION LOT 1 BLOCK 1

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: 10-03-18

SHEET: 12 OF 24

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

NO.	REVISIONS DESCRIPTION	DATE

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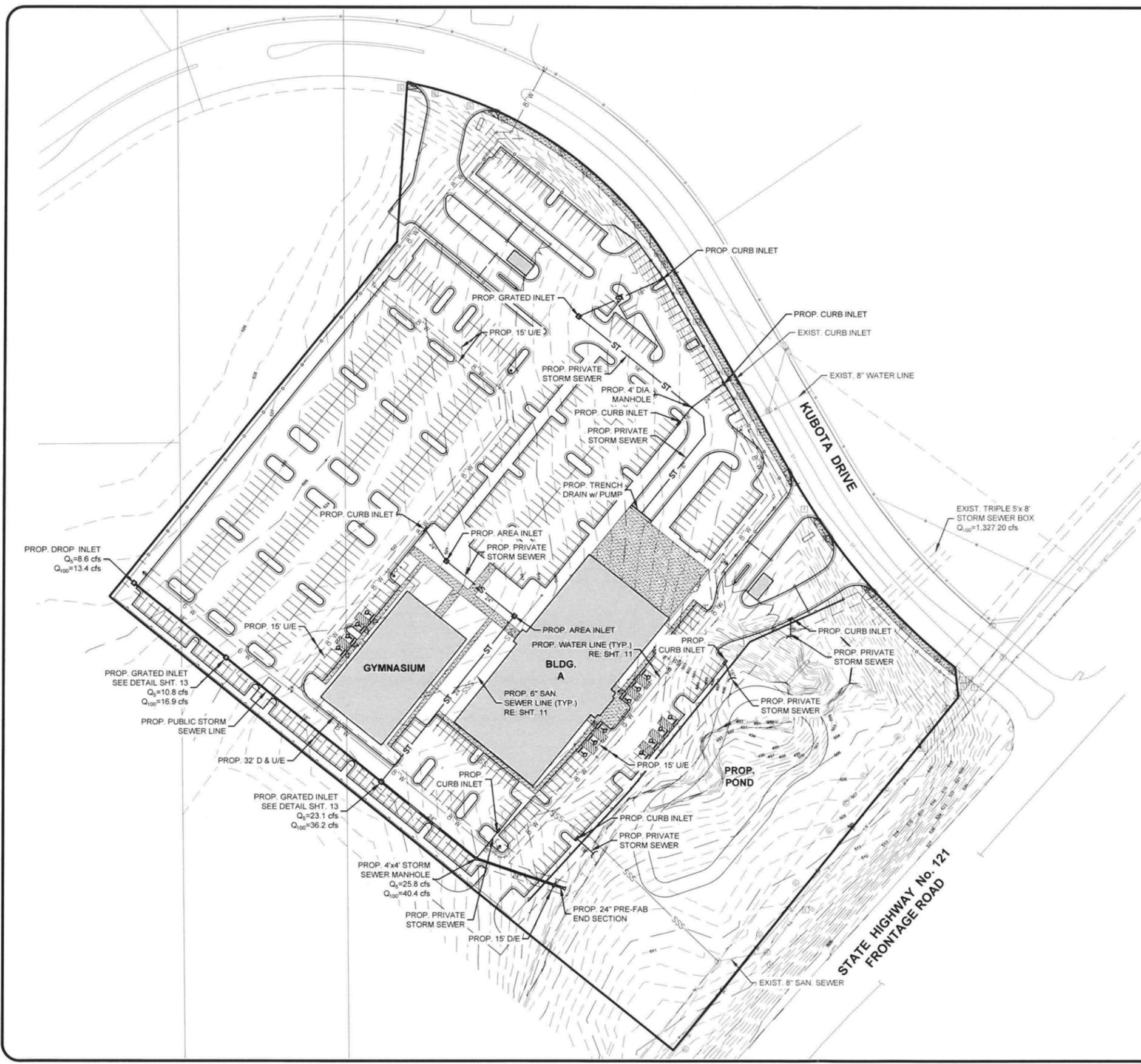
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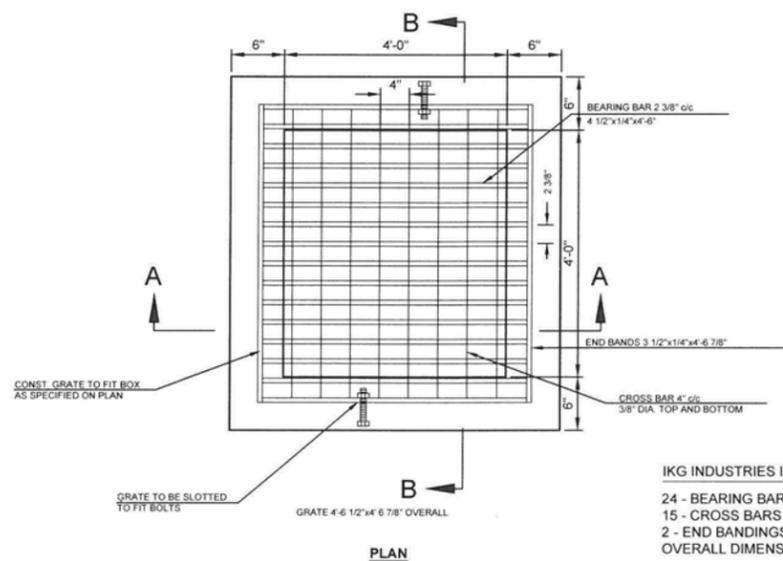


PAYCOM
GRAPEVINE, TEXAS
STORM SEWER PLAN

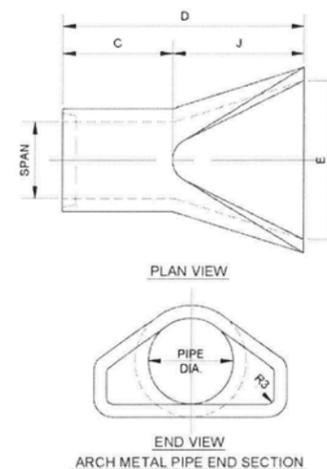
Proj No: _____
Date: 10-03-18
Scale: 1"=60'
Checked By: _____
Approved By: _____

SHEET NUMBER
12





IKG INDUSTRIES IRVING HEAVY-WELD STEEL GRATING TYPE HE
 24 - BEARING BARS 4 1/2"x1/4"x4'-6" LONG SPACED AT 2 3/8" c/c
 15 - CROSS BARS 3/8" DIA. & 4'-6 7/8" LONG SPACED AT 4" c/c AS SHOWN
 2 - END BANDINGS 3 1/2"x1/4"x4'-6 7/8" LONG
 OVERALL DIMENSIONS ARE 4'-6 1/2"x4' 6 7/8"



DIMENSIONS OF PRECAST END SECTION FOR PIPES

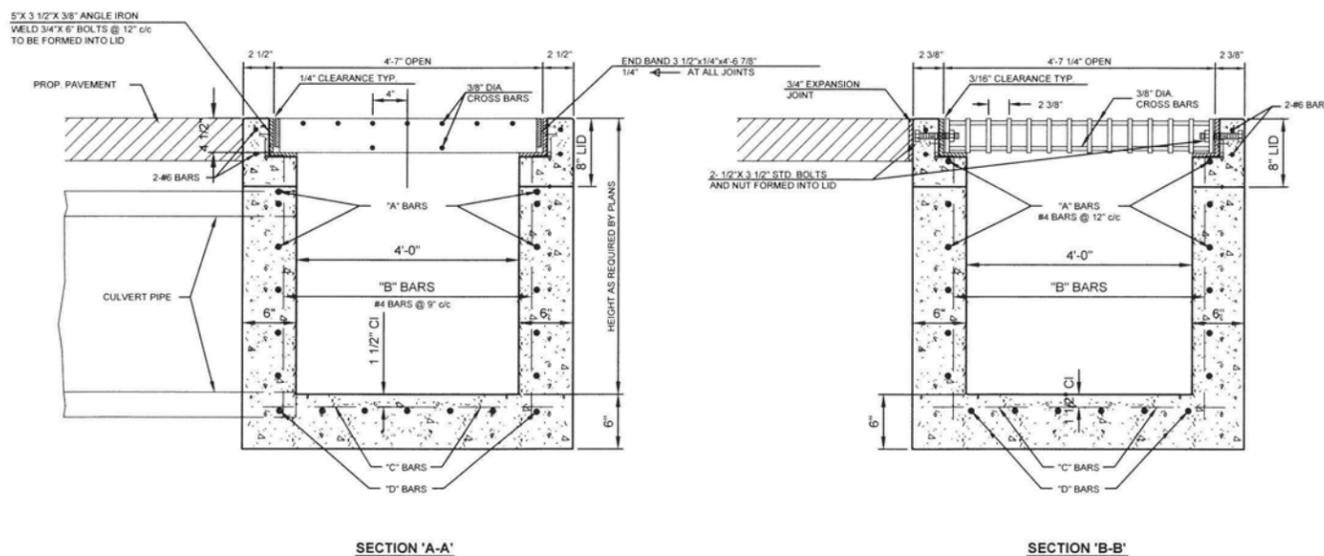
SPAN IN.	K IN.	J IN.	C IN.	D IN.	E IN.	T IN.	R3 IN.	R4 IN.	R5 IN.	SLOPE
18	9	27	46	73	36	2 1/2	3	3	6	3 TO 1
24	8 1/2	43 1/2	30	73 1/2	48	3	3	3	7	3 TO 1
30	12	54	19 3/4	73 3/4	60	3 1/2	3	3	8	3 TO 1
36	15	63	34 3/4	73 3/4	72	4	3	3	10 1/2	3 TO 1
42	21	63	35	98	78	4 1/2	3	3	10 1/2	3 TO 1
48	24	72	26	98	84	5	6	6	14	3 TO 1

GENERAL NOTES FOR PRECAST END SECTIONS:

1. WHEN PREFABRICATED END SECTIONS ARE OPTIONAL, THEY SHALL BE OF THE SAME MATERIALS AS THAT OF THE PIPE, WHICH THEY ARE INSTALLED.
2. DIMENSIONS SHOWN FOR PREFABRICATED END SECTIONS ARE SUBJECT TO MANUFACTURES TOLERANCES.
3. ANY STRUCTURAL EXCAVATION REQUIRED FOR INSTALLATION OF PREFABRICATED END SECTIONS SHALL BE INCLUDED IN THE PRICE BID FOR OTHER ITEMS OF WORK.

BASIS OF PAYMENT FOR PRECAST END SECTIONS:

- PRECAST CONCRETE CULVERT END SECTION - ROUNDED EA
- PRECAST CONCRETE CULVERT END SECTION - ELLIPTICAL EA
- PRECAST CONCRETE CULVERT END SECTION - ARCH EA



GRATE INLET

CASE NAME: PAYCOM
 CASE NUMBER: CU18-22
 LOCATION: 3489 STATE HWY. 121 GRAPEVINE, TX 76051
 PAYCOM ADDITION LOT 1 BLOCK 1

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: 10-03-18

SHEET: 13 OF 24

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.
 DEPARTMENT OF DEVELOPMENT SERVICES

REVISIONS

NO.	DESCRIPTION	DATE

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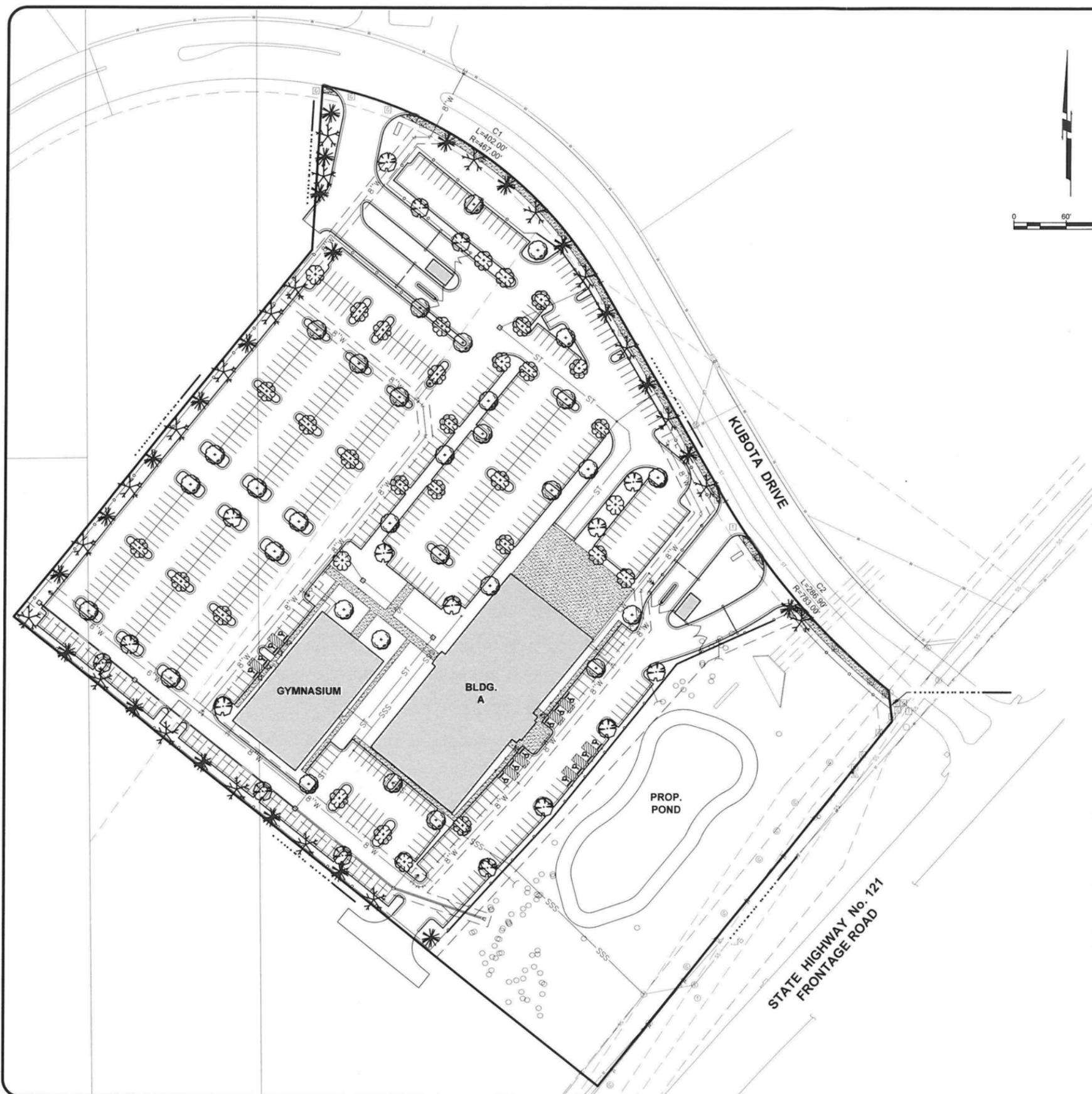
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 Certificate of Authorization Pending Exp. Date Pending
 ENGINEERS SURVEYORS PLANNERS

PAYCOM
 GRAPEVINE, TEXAS
 STORM SEWER DETAILS

Proj. No.: _____
 Date: 10-03-18
 Scale: 1"=6'

Checked By: _____
 Approved By: _____

SHEET NUMBER
13



- LANDSCAPING NOTES
1. ALL PLANTS TO HAVE MINIMUM 3" SHREDDED HARDWOOD MULCH.
 2. PROTECT ANY EXISTING PLANT MATERIALS FROM DAMAGE DURING CONSTRUCTION.
 3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION SYSTEM WHICH PROVIDES FULL COVERAGE TO ALL PLANT MATERIAL. THE SYSTEM SHALL INCLUDE A COMBINATION OF SPRAY HEADS AND ROTORS. THE IRRIGATION SYSTEM SHALL BE A DESIGN-BUILD SYSTEM.
 4. PROPOSED LANDSCAPE WILL NOT INTERFERE WITH OVERHEAD OR UNDERGROUND UTILITIES. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL OVERHEAD & UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES OCCURRING DURING THE CONSTRUCTION OF THE LANDSCAPE AND IRRIGATION IMPROVEMENTS AND IS RESPONSIBLE FOR REPAIR/REPLACEMENT AT CONTRACTORS OWN EXPENSE. PROPOSED LANDSCAPE WILL NOT INTERFERE WITH OVERHEAD OR UNDERGROUND UTILITIES.
 5. MAINTENANCE: THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT A PART OF THE LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE.
 6. ALL REQUIRED TREES TO BE SELECTED FROM THE APPROVED TREE LIST & BE A MINIMUM THREE INCHES IN DIAMETER (MEASURED 6" ABOVE GRADE) & SEVEN FEET IN HEIGHT AT THE TIME OF PLANTING.

PLANT SCHEDULE (CUMULATIVE)

KEY	BOTANICAL NAME	COMMON NAME	HEIGHT	QTY.
	Quercus Shumardii	Texas Red Oak	30'-35'	32
	Pistacia Chinensis	Chinese Pistache	40'-50'	32
	Cupressocyparis Leylandii	Leyland Cypress	20'-40'	22
	Magnolia Grandiflora	Southern Magnolia	60'-80'	17
	Ulmus Crassifolia	Cedar Elm	40'-50'	21
	Existing Tree per Tree Survey		N/A	73

TOTAL TREES PROVIDED 197

INTERIOR LANDSCAPE REQUIRED
PARKING AREA = 319,552 SF.
REQUIRED TREES = 80 ((319,552 x 0.10) / 400)

PERIMETER LANDSCAPE REQUIRED
2190 LF / 50 = 44 TREES

OPEN SPACE (NON-VEHICULAR)
163,664 / 2500 SF (28.6%) = 66 TREES**
**73 EXIST. TREES MEET OR EXCEED REQUIRED

CASE NAME: PAYCOM
CASE NUMBER: CU18-22
LOCATION: 3489 STATE HWY. 121 GRAPEVINE, TX 76051
PAYCOM ADDITION LOT 1 BLOCK 1

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: 10-03-18

SHEET: 15 OF 24

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.
DEPARTMENT OF DEVELOPMENT SERVICES

NO.	REVISIONS DESCRIPTION	DATE

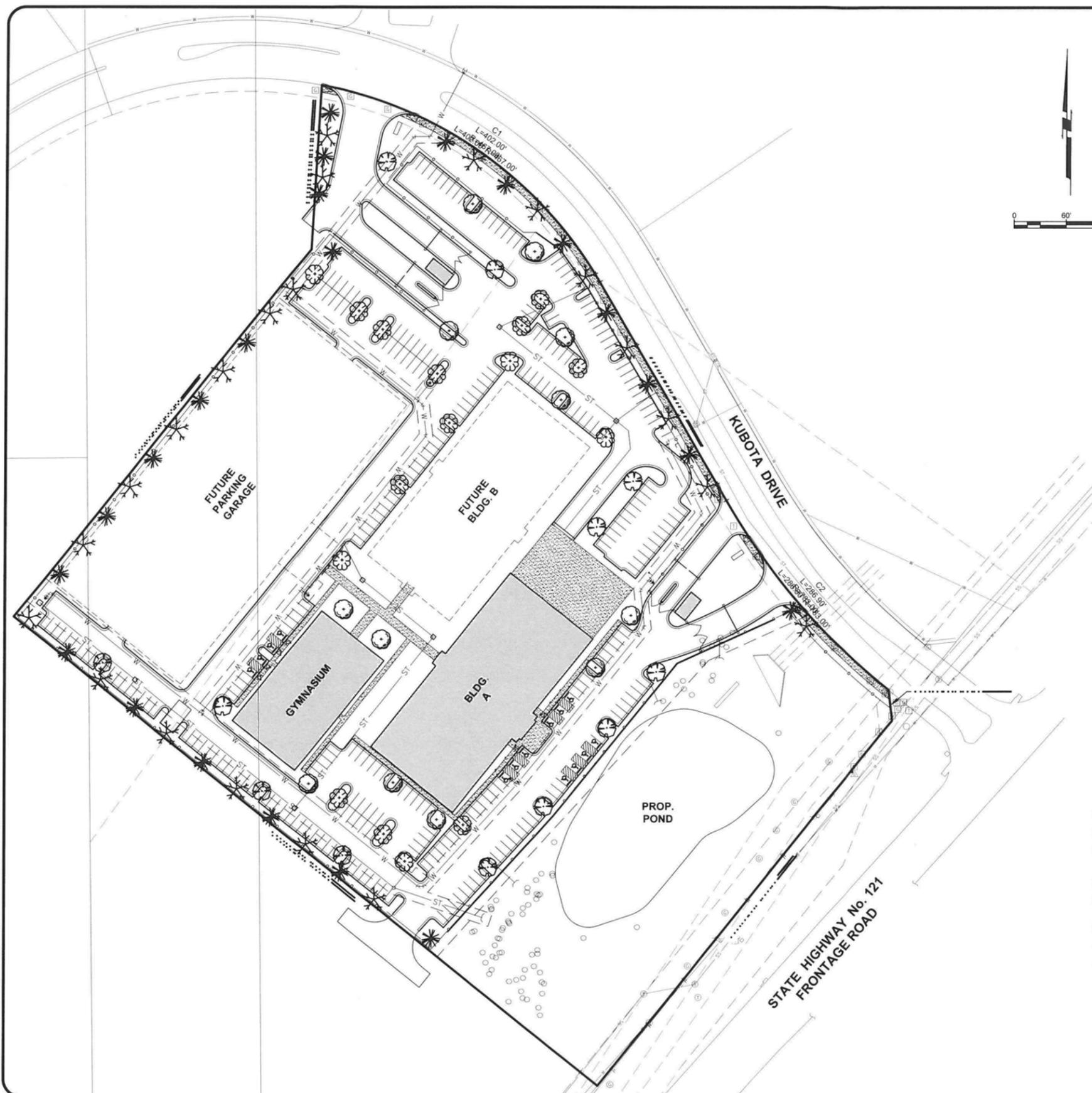
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PAYCOM
GRAPEVINE, TEXAS
LANDSCAPE PLAN
PHASE 1

Proj. No.:
Date: 10-03-18
Scale: 1"=60'
Checked By:
Approved By:

SHEET NUMBER
15



- LANDSCAPING NOTES
1. ALL PLANTS TO HAVE MINIMUM 3" SHREDED HARDWOOD MULCH.
 2. PROTECT ANY EXISTING PLANT MATERIALS FROM DAMAGE DURING CONSTRUCTION.
 3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION SYSTEM WHICH PROVIDES FULL COVERAGE TO ALL PLANT MATERIAL. THE SYSTEM SHALL INCLUDE A COMBINATION OF SPRAY HEADS AND ROTORS. THE IRRIGATION SYSTEM SHALL BE A DESIGN-BUILD SYSTEM.
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 5. MAINTENANCE: THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT A PART OF THE LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE.

PLANT SCHEDULE (CUMULATIVE)

KEY	BOTANICAL NAME	COMMON NAME	HEIGHT	QTY.
	Quercus Shumardii	Texas Red Oak	30'-35'	12
	Pistacia Chinensis	Chinese Pistache	40'-50'	16
	Cupressocyparis Leylandii	Leyland Cypress	20'-40'	22
	Magnolia Grandiflora	Southern Magnolia	60'-80'	12
	Ulmus Crassifolia	Cedar Elm	40'-50'	21
	Existing Tree per Tree Survey		N/A	73
				TOTAL TREES PROVIDED 156

INTERIOR LANDSCAPE REQUIRED
PARKING AREA = 141,852 SF.
REQUIRED TREES = 36 ((141,852 x 0.10) / 400)

PERIMETER LANDSCAPE REQUIRED
2190 LF / 50 = 44 TREES

OPEN SPACE (NON-VEHICULAR)
163,664 / 2500 SF (28.6%) = 66 TREES**
**73 EXIST. TREES MEET OR EXCEED REQUIRED

CASE NAME: PAYCOM
CASE NUMBER: CU18-22
LOCATION: 3489 STATE HWY. 121 GRAPEVINE, TX 76051
PAYCOM ADDITION LOT 1 BLOCK 1

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: 10-03-18

SHEET: 16 OF 24

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.
DEPARTMENT OF DEVELOPMENT SERVICES

NO.	REVISIONS DESCRIPTION	DATE

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Oklahoma City, OK 73104
(405) 235-8075 Fax (405) 235-8078 www.jac.com
Certified of Authorization Pending Exp. Date: Pending
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PAYCOM
GRAPEVINE, TEXAS
MASTER LANDSCAPE PLAN

Proj No: _____
Date: 10-03-18
Scale: 1"=60'
Checked By: _____
Approved By: _____

SHEET NUMBER
16

OWNER CERTIFICATE

STATE OF TEXAS
COUNTY OF DALLAS

WHEREAS, The City of Grapevine is the Owner of a 13.124 acre tract of land situated in the John E. Holland Survey, Abstract No. 614, the C.S. Dunnagan Survey, Abstract No. 1655, and the James Gibson Survey, Abstract No. 1715, City of Grapevine, Dallas County, Texas, being a portion of Tract 1 as described in deed to the City of Grapevine, Texas, recorded in 201300389642, Official Public Records, Dallas County, Texas (OPRDCT), and being more particularly described as follows:

BEGINNING at a 1/2" rebar capped Goodwin & Marshall set (hereafter referred to as 1/2" rebar capped set) at the intersection of the northwesterly right-of-way line of State Highway No. 121 (variable width R.O.W. adjoining R.O.W. per 20120029267, OPDCT) and the westerly right-of-way line of Kubota Drive (R.O.W. per 201600264457, OPDCT), said point lying in the southeasterly line of said City of Grapevine Tract 1, from which a TXDOT aluminum disc found previously bore N 3846'56" E, 164.26 feet.

THENCE S 3846'56" W, along the northwesterly right-of-way line of said State Highway No. 121 and the southeasterly line of said City of Grapevine Tract 1, a distance of 534.89 feet to a 1/2" rebar capped set at the most southerly corner of the herein described tract of land;

THENCE departing the northwesterly right-of-way line of said State Highway No. 121, across said City of Grapevine Tract 1, as follows:

N 5113'04" W, a distance of 854.50 feet;

N 3846'56" E, a distance of 537.86 feet;

N 03'14'43" E, a distance of 187.47 feet to a point in the southwesterly right-of-way line of said Kubota Drive (66' R.O.W. per 201600264457, OPDCT), said point lying in a curve to the right, having a radius of 467.00 feet;

THENCE along the southwesterly right-of-way line of said Kubota Drive, as follows:

Southeasterly, along said curve, having a central angle of 49'19"17", an arc distance of 402.00 feet, and a chord that bears S 54'52'18" E, 389.71 feet to a 1/2" rebar capped set at the end of said curve;

S 30'12'39" E, tangent to said curve, a distance of 288.19 feet to a cut X set on a concrete curb at the beginning of a tangent curve to the left, having a radius of 783.00 feet;

Southeasterly, along said curve, having a central angle of 20'59'38", an arc distance of 286.90 feet, and a chord that bears S 40'42'28" E, 285.30 feet to a cut X set on a concrete curb at the end of said curve;

S 06'13'04" E, non-tangent to said curve, a distance of 35.36 feet to the POINT OF BEGINNING and containing 571,667 square feet or 13.124 acres land.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS, THAT THE CITY OF GRAPEVINE, TEXAS, does hereby adopt this plat of LOT 1 BLOCK 1 PAYCOM, an addition to the City of Grapevine, Dallas County, Texas, and does hereby dedicate to the public use forever the right-of-way and easements shown hereon. The easements shown hereon are hereby reserved for the purposes as indicated. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of paving on the easements are the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed, or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using, or desiring to use same. Any City or franchised utility shall have the full right to remove and keep removed all or parts of any fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all City of franchised utilities shall at all times have the full right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone.

I have reviewed the City's Findings concerning dedications and I do agree that the statements are true and correct.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

Witness my hand this the _____ day of _____, 2018.

Owner _____

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned Notary Public in and for said county and state, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein and expressed and in the capacity therein stated.

Given under my hand and seal of office this the _____ day of _____, 2018.

Notary Public in and for the State of Texas
My Commission Expires _____

AVIGATION RELEASE

STATE OF TEXAS
COUNTY OF DALLAS

WHEREAS, the CITY OF GRAPEVINE TEXAS, hereinafter called "Owner" (whether one or more), is the owner of that certain parcel of land situated in the City of GRAPEVINE, Dallas County, Texas, being more particularly described as shown on this plat.

NOW THEREFORE, in consideration of the sum of ONE AND 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confessed, Owner does hereby waive, release, remise and quitclaim to the City of GRAPEVINE, Dallas County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas, Texas and Fort Worth, Texas, their successors and assigns, hereinafter called "Cities", for the use and benefit of the public and its agencies, any and all claims for damages of any kind to persons or property that Owner may suffer by reason of the passage and flight of all aircraft in the air space above Owner's Property above the height restriction as presently established by Ordinance No. 73-50 for the City of GRAPEVINE, known as the Airport Zoning Ordinance of the Dallas-Fort Worth International Airport, to an infinite height above same, whether such damage shall originate from noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft, landing, at, or taking off from, or operating at or on the Dallas-Fort Worth International Airport.

This instrument does not release the owners or operators of aircraft from liability for damage or injury to person or property caused by falling aircraft or falling physical objects from aircraft, except as stated herein with respect to noise, fumes, dust, fuel, and lubricant particles.

It is agreed that this Release shall be binding upon said owner and his heirs and assigns, and successors in interest to said property, and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of the county or counties in which the property is situated.

EXECUTED at _____, Texas, this _____ day of _____, 2018.

OWNER: _____

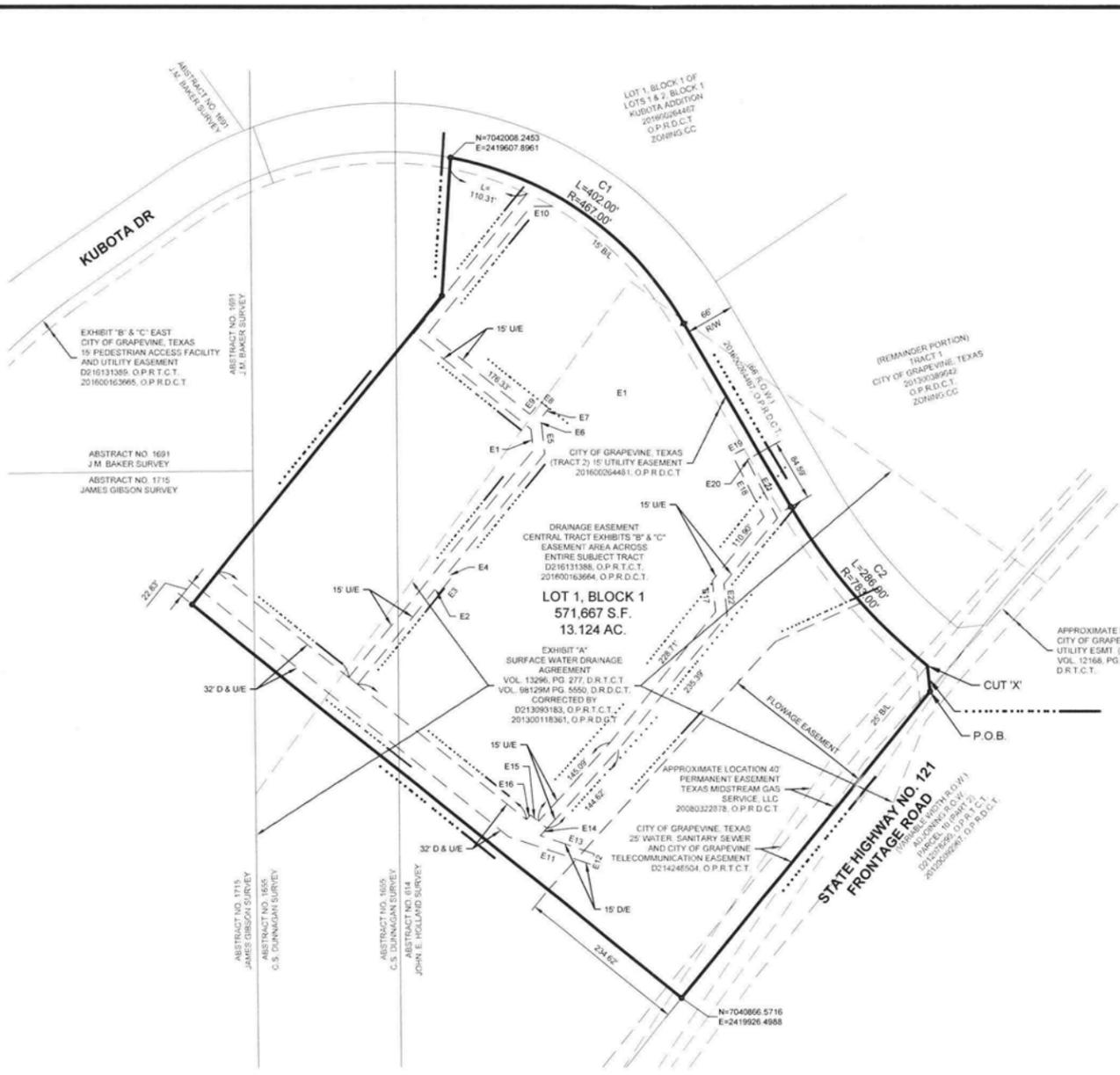
TITLE: _____

STATE OF TEXAS
COUNTY OF DALLAS

Before me _____ on this day personally appeared _____ known to me (or proved to me on the oath of _____ or through _____ (description of identity card or other document)) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this _____ day of _____, 2018.

Notary Signature _____



SURVEYOR'S CERTIFICATION

I, Joel S. Barton, of Goodwin and Marshall, Inc., a Registered Professional Land Surveyor of the State of Texas, do hereby declare that I prepared this plat from an actual and accurate survey on the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the State of Texas and the City of Grapevine.

Joel S. Barton
Registered Professional Land Surveyor No. 4914
Goodwin and Marshall, Inc.
2405 Mustang Drive
Grapevine, Texas 76051
metro (817) 329-4373

TYPICAL SIGHT TRIANGLE



Curve Table

Curve #	Length	Radius	Tangent	Chord Length	Chord Direction	Delta
C1	402.00'	467.00'	214.41'	389.71'	.....	.....
C2	286.90'	783.00'	145.08'	285.30'	.....	.....

Easement Table

Line #	Length	Direction
E1	29.14'	.....
E2	7.50'	.....
E3	28.00'	.....
E4	7.50'	.....
E5	41.57'	.....
E6	5.11'	.....
E7	22.00'	.....
E8	15.00'	.....
E9	22.00'	.....
E10	28.85'	.....
E11	117.66'	.....

Easement Table

Line #	Length	Direction
E12	15.00'	.....
E13	78.06'	.....
E14	13.63'	.....
E15	28.98'	.....
E16	8.00'	.....
E17	42.68'	.....
E18	94.58'	.....
E19	17.93'	.....
E20	3.72'	.....
E21	89.32'	.....
E22	42.68'	.....

- NOTES:**
- Bearings are referenced to Texas State Plane Coordinate System, North Central Zone, NAD83 as derived from Western Data Systems RTK Cooperative Network.
 - Property corners are 1/2" rebar capped Goodwin & Marshall set, unless otherwise noted.
 - The property platted hereon is subject to Airport Zoning Ordinance No. 71-100 of the Dallas-Fort Worth Regional Airport, recorded in volume 82173, Page 178, DRDCT and is a portion of the property referenced in Letter Agreement, recorded in Volume 12071, Page 960, DRDCT and Deed Restrictions, recorded in Volume 95168, Page 2455, DRDCT & volume 12071, Page 974, DRDCT, as affected by Release of obligations under Deed Restrictions, recorded in Volume 13225, Page 513, DRDCT.
 - All islands/medians within street rights-of-way, and arterial landscaping with its irrigation system, shall be maintained by the Property Owners Association within LOT 1 BLOCK 1 PAYCOM.
 - Maintenance of all common areas and private drainage easements within LOT 1 BLOCK 1 PAYCOM shall be the responsibility of the Property Owners Association. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that may cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown. Certain amenities such as, but not limited to, walks, benches, piers, and docks, shall be permitted if installed in a manner to meet the requirements specified above.
 - This property is not located in a FEMA designated floodplain.

PLANNING & ZONING COMMISSION

Date Approved: _____

Chairman: _____

Secretary: _____

GRAPEVINE CITY COUNCIL:

Date Approved: _____

Mayor: _____

City Secretary: _____

TOTAL NET PLATTED AREA = 571,667 SF
TOTAL EASEMENT = 43,424 SF
TOTAL RIGHT-OF-WAY DESIGNATION = 0

Preliminary, this document shall not be recorded for any purpose.
Issued for review 10-03-18.

FINAL PLAT
of
LOT 1 BLOCK 1 PAYCOM
BEING 1 COMMERCIAL LOT 13.124 ACRES SITUATED
IN THE JOHN E. HOLLARD SURVEY, ABSTRACT NO.
614 C.S. DUNNAGAN SURVEY, ABSTRACT NO. 1655
JAMES GIBSON SURVEY, ABSTRACT NO. 1715
CITY OF GRAPEVINE, DALLAS COUNTY, TEXAS
EXISTING AND PROPOSED ZONING: CC

LEGEND:

P.O.B. = POINT OF BEGINNING
UE = PUBLIC UTILITY EASEMENT
DE = PUBLIC DRAINAGE EASEMENT
D & UE = PUBLIC DRAINAGE & UTILITY EASEMENT

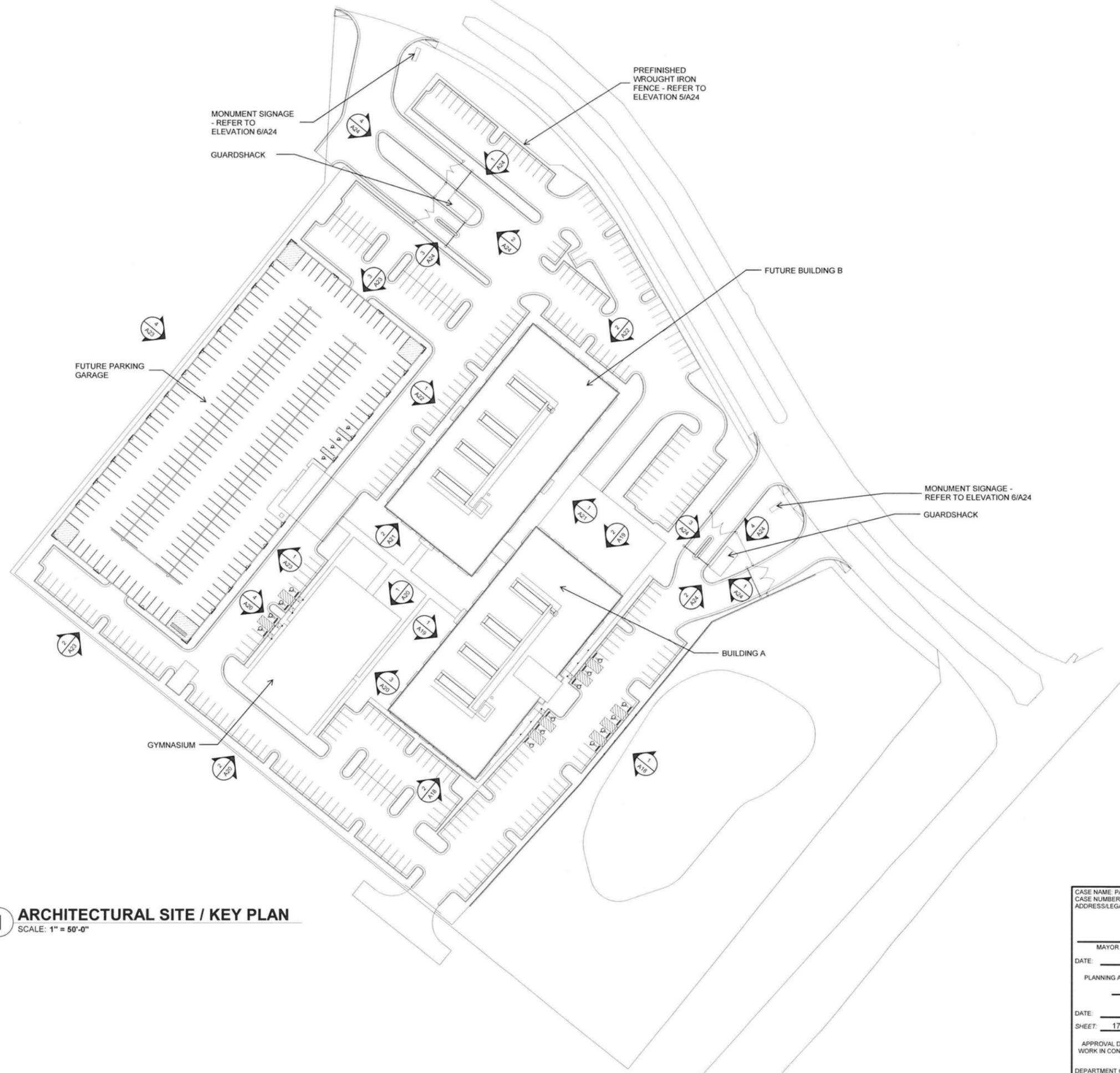
• DENOTES 1/2" REBAR w/ CAPSET
"GOODWIN & MARSHALL"

LAND SURVEYOR OF RECORD:
GOODWIN & MARSHALL, INC.
CIVIL ENGINEERS - PLANNERS - SURVEYORS
2405 MUSTANG DRIVE, GRAPEVINE, TEXAS 76051
METRO (817) 329-4373
TBPE REGISTRATION # F-2944
TBPLS # 10021700

JA
Johnson & Associates, Inc.
1 E. Sheridan Ave., Suite 200
Oklahoma City, OK 73104
(405) 235-8075 FAX (405) 235-8076 www.jaac.com
Certificate of Authorization: Pending Exp. Date: Pending
• ENGINEERS • SURVEYORS • PLANNERS •



PAYCOM
GRAPEVINE MASTERPLAN
 3489 STATE HIGHWAY 121, GRAPEVINE, TX 76051
 PAYCOM ADDITION, LOT 1, BLOCK 1
PAYCOM GRAPEVINE - ARCHITECTURAL SITE / KEY PLAN



1 ARCHITECTURAL SITE / KEY PLAN
 SCALE: 1" = 50'-0"

CASE NAME: PAYCOM
 CASE NUMBER: CU18-22
 ADDRESS/LEGAL: 3489 STATE HIGHWAY 121, GRAPEVINE, TX 76051
 PAYCOM ADDITION, LOT 1, BLOCK 1

MAYOR _____ SECRETARY _____
 DATE: _____
 PLANNING AND ZONING COMMISSION

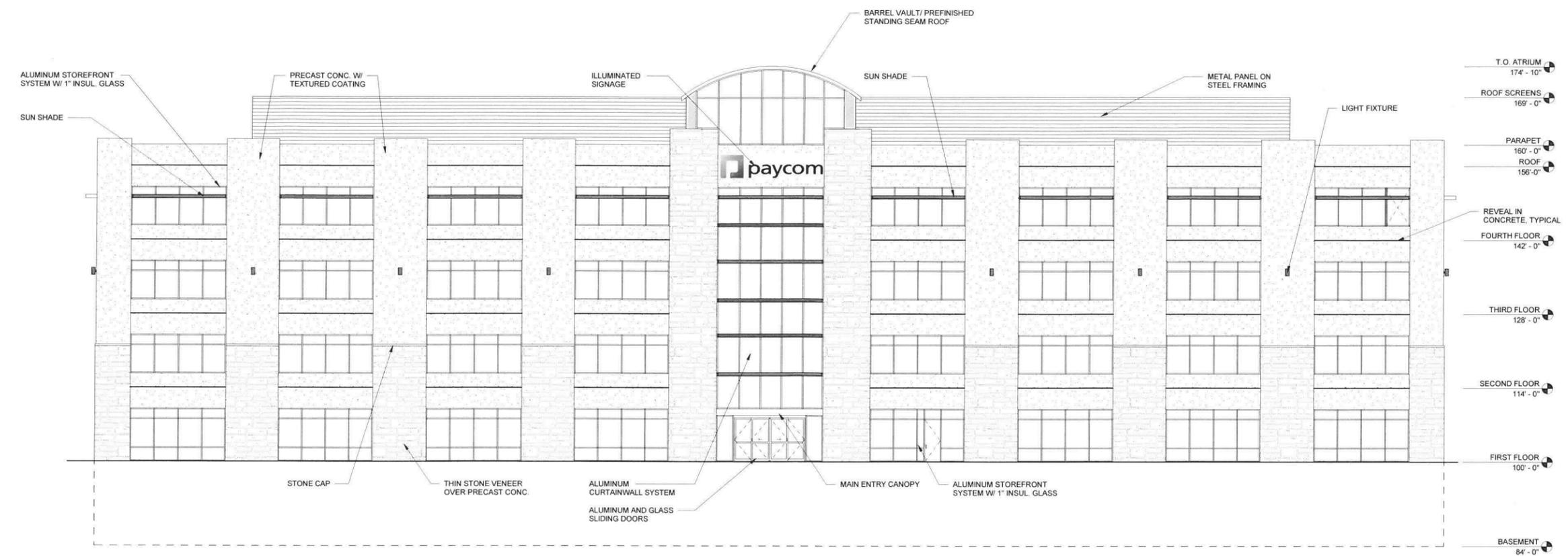
CHAIRMAN _____
 DATE: _____
 SHEET: 17 OF 24

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES
 DEPARTMENT OF DEVELOPMENT SERVICES

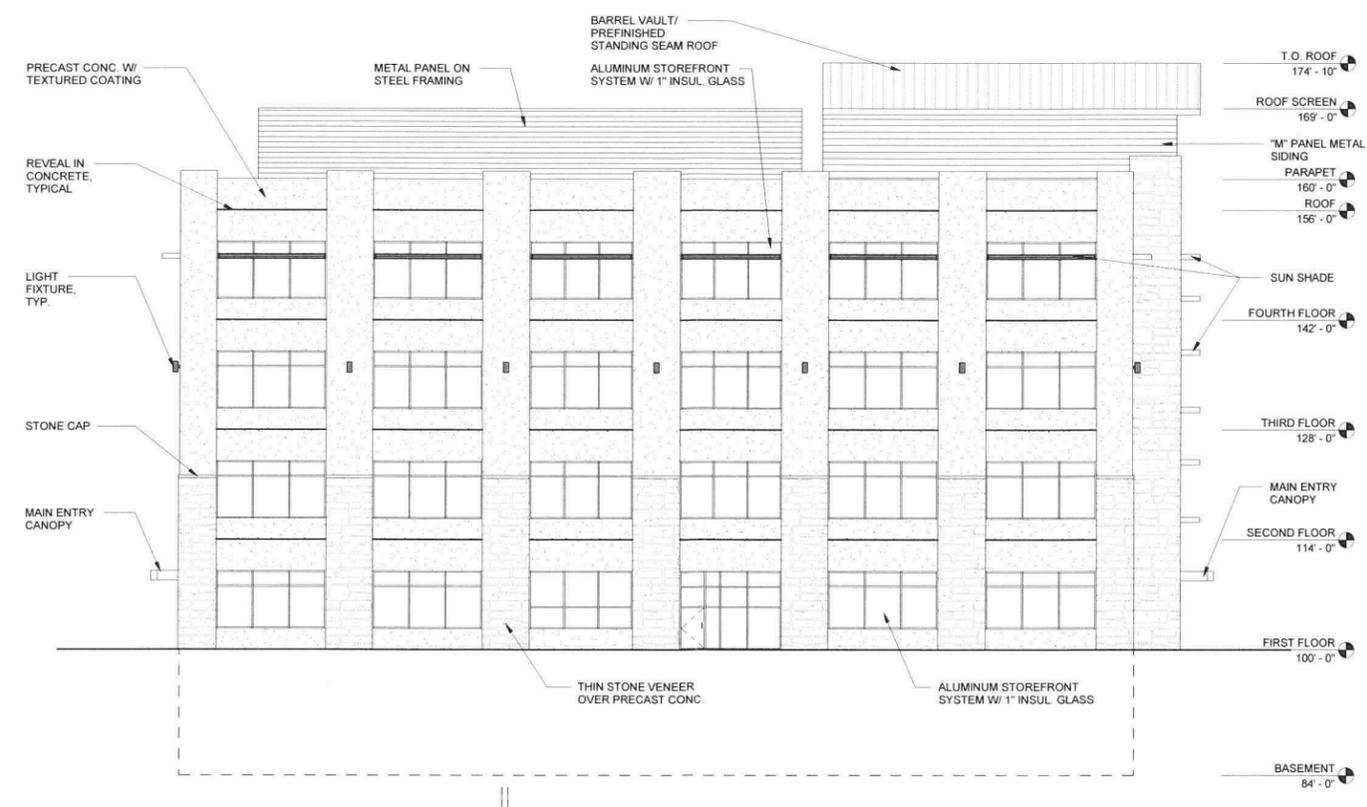
Revisions	
No.	Date

PROJ. NO.
1840
 DATE
10/03/2018
 SHEET NO.
A17

CONDITIONAL USE PERMIT APPLICATION



1 BUILDING A - SOUTHEAST ELEVATION
 SCALE: 3/32" = 1'-0"



2 BUILDING A - SOUTHWEST ELEVATION
 SCALE: 3/32" = 1'-0"

CASE NAME: PAYCOM
 CASE NUMBER: CU18-22
 ADDRESS/LEGAL: 3489 STATE HIGHWAY 121, GRAPEVINE, TX 76051
 PAYCOM ADDITION, LOT 1, BLOCK 1

MAYOR _____ SECRETARY _____
 DATE: _____
 PLANNING AND ZONING COMMISSION

CHAIRMAN _____
 DATE: _____
 SHEET: 18 OF 24

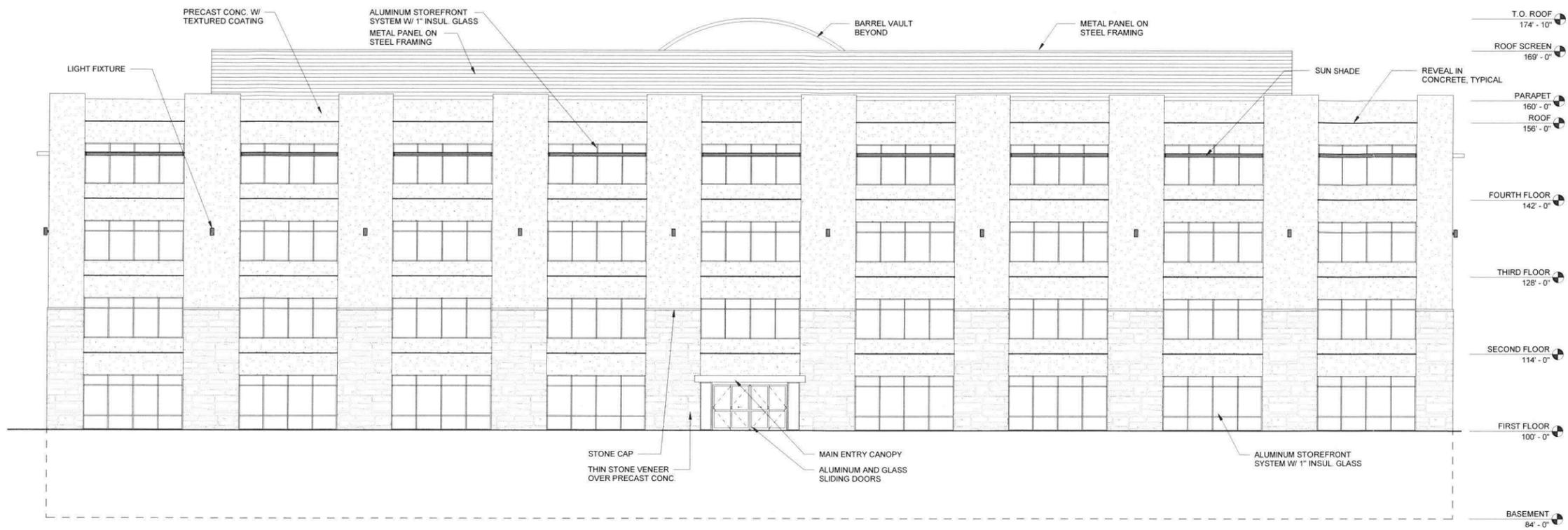
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES
 DEPARTMENT OF DEVELOPMENT SERVICES

CONDITIONAL USE PERMIT APPLICATION

PAYCOM
GRAPEVINE MASTERPLAN
 3489 STATE HIGHWAY 121, GRAPEVINE, TX 76051
 PAYCOM ADDITION, LOT 1, BLOCK 1
PAYCOM GRAPEVINE - BUILDING A ELEVATIONS

Revisions	
No.	Date

PROJ. NO.
1840
 DATE
10/03/2018
 SHEET NO.
A18



1 BUILDING A - NORTHWEST ELEVATION
 SCALE: 3/32" = 1'-0"



2 BUILDING A - NORTHEAST ELEVATION
 SCALE: 3/32" = 1'-0"

CASE NAME: PAYCOM
 CASE NUMBER: CU18-22
 ADDRESS/LEGAL: 3489 STATE HIGHWAY 121, GRAPEVINE, TX 76051
 PAYCOM ADDITION, LOT 1, BLOCK 1

MAYOR _____ SECRETARY _____
 DATE: _____
 PLANNING AND ZONING COMMISSION

CHAIRMAN _____
 DATE: _____
 SHEET: 19 OF 24

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES
 DEPARTMENT OF DEVELOPMENT SERVICES

Revisions	
No.	Date

PROJ. NO.
1840
 DATE
10/03/2018
 SHEET NO.
A19

CONDITIONAL USE PERMIT APPLICATION

PAYCOM
GRAPEVINE MASTERPLAN
 3489 STATE HIGHWAY 121, GRAPEVINE, TX 76051
 PAYCOM ADDITION, LOT 1, BLOCK 1
PAYCOM GRAPEVINE - BUILDING A ELEVATIONS



PAYCOM
 GRAPEVINE MASTERPLAN
 3489 STATE HIGHWAY 121, GRAPEVINE, TX 76051
 PAYCOM ADDITION, LOT 1, BLOCK 1
 PAYCOM GRAPEVINE - GYMNASIUM ELEVATIONS

CONDITIONAL USE PERMIT APPLICATION

Revisions

No.	Date

CASE NAME: PAYCOM
 CASE NUMBER: CU18-22
 ADDRESS LEGAL: 3489 STATE HIGHWAY 121, GRAPEVINE, TX 76051
 PAYCOM ADDITION, LOT 1, BLOCK 1

MAYOR _____ SECRETARY _____
 DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

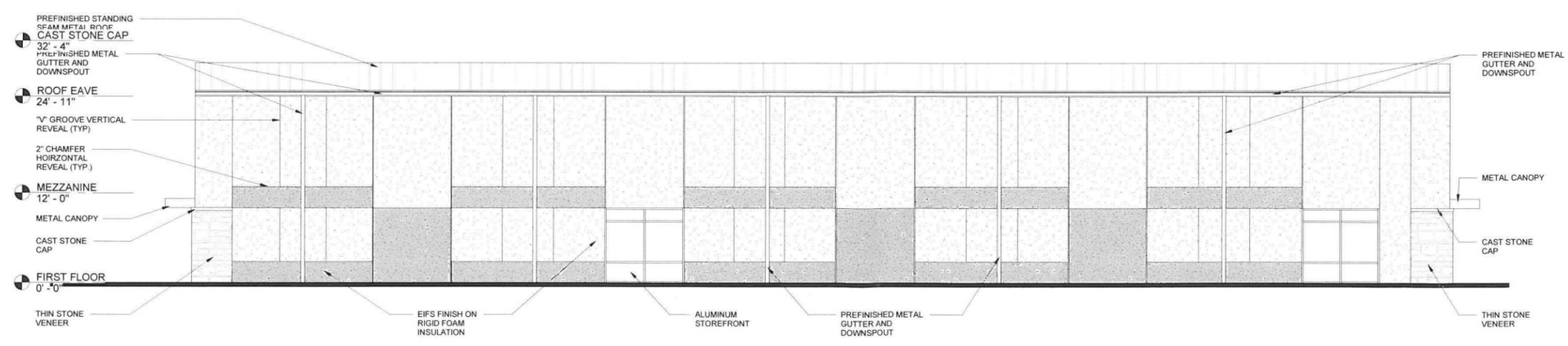
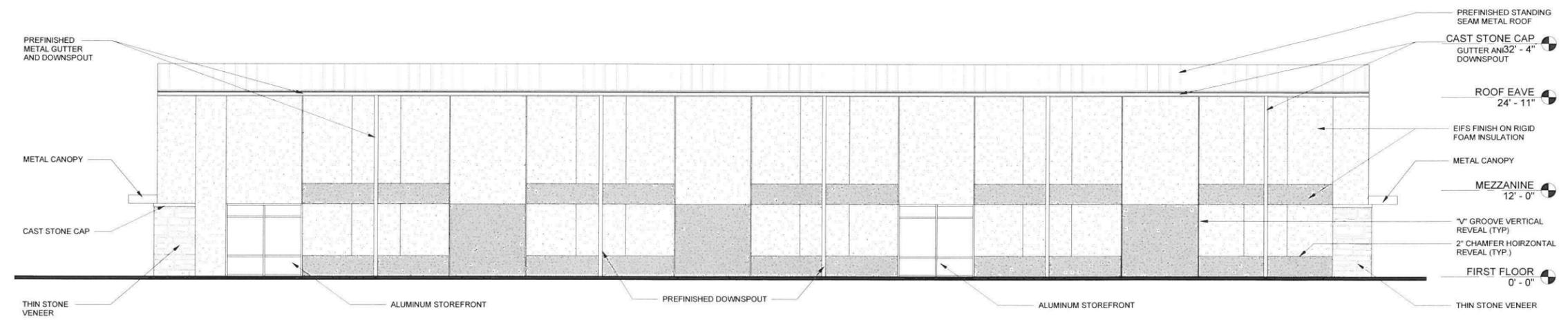
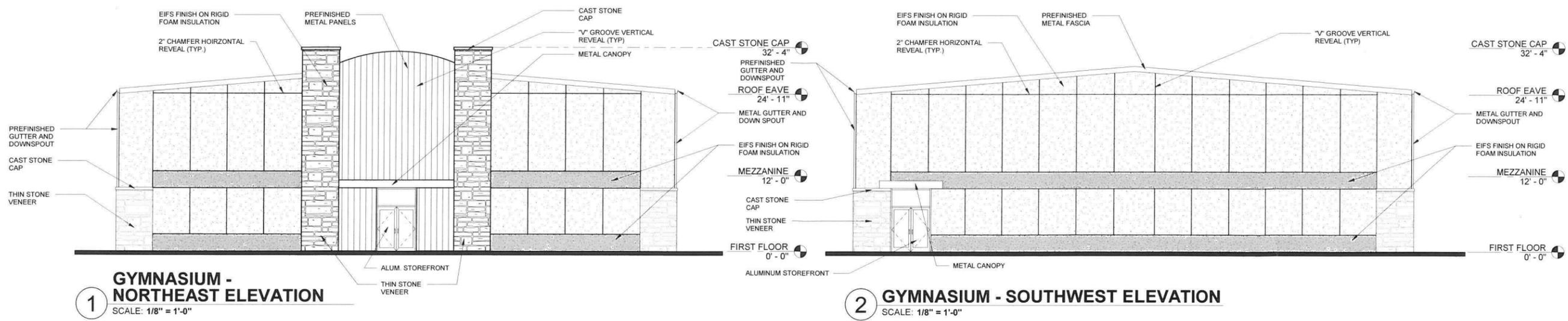
DATE: _____

SHEET: 20 OF 24

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

DEPARTMENT OF DEVELOPMENT SERVICES

PROJ. NO.
1840
 DATE
10/03/2018
 SHEET NO.
A20





1 FUTURE BUILDING B - SOUTHEAST ELEVATION
 SCALE: 3/32" = 1'-0"



2 FUTURE BUILDING B - SOUTHWEST ELEVATION
 SCALE: 3/32" = 1'-0"

CASE NAME: PAYCOM
 CASE NUMBER: CU18-22
 ADDRESS/LEGAL: 3489 STATE HIGHWAY 121, GRAPEVINE, TX 76051
 PAYCOM ADDITION, LOT 1, BLOCK 1

MAYOR _____ SECRETARY _____
 DATE: _____

PLANNING AND ZONING COMMISSION

 CHAIRMAN

DATE: _____
 SHEET: 21 OF 24

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES
 DEPARTMENT OF DEVELOPMENT SERVICES

Revisions	
No.	Date

PROJ. NO.
1840

DATE
10/03/2018

SHEET NO.
A21

CONDITIONAL USE PERMIT APPLICATION

PAYCOM
 GRAPEVINE MASTERPLAN
 3489 STATE HIGHWAY 121, GRAPEVINE, TX 76051
 PAYCOM ADDITION, LOT 1, BLOCK 1
 PAYCOM GRAPEVINE - FUTURE BUILDING B ELEVATIONS



1 FUTURE BUILDING B - NORTHWEST ELEVATION
 SCALE: 3/32" = 1'-0"



2 FUTURE BUILDING B - NORTHEAST ELEVATION
 SCALE: 3/32" = 1'-0"

CASE NAME: PAYCOM
 CASE NUMBER: CU18-22
 ADDRESS/LEGAL: 3489 STATE HIGHWAY 121, GRAPEVINE, TX 76051
 PAYCOM ADDITION, LOT 1, BLOCK 1

MAYOR _____ SECRETARY _____
 DATE: _____
 PLANNING AND ZONING COMMISSION

CHAIRMAN _____
 DATE: _____
 SHEET: 22 OF 24

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES
 DEPARTMENT OF DEVELOPMENT SERVICES

CONDITIONAL USE PERMIT APPLICATION

PAYCOM
 GRAPEVINE MASTERPLAN
 3489 STATE HIGHWAY 121, GRAPEVINE, TX 76051
 PAYCOM ADDITION, LOT 1, BLOCK 1
 PAYCOM GRAPEVINE - FUTURE BUILDING B ELEVATIONS

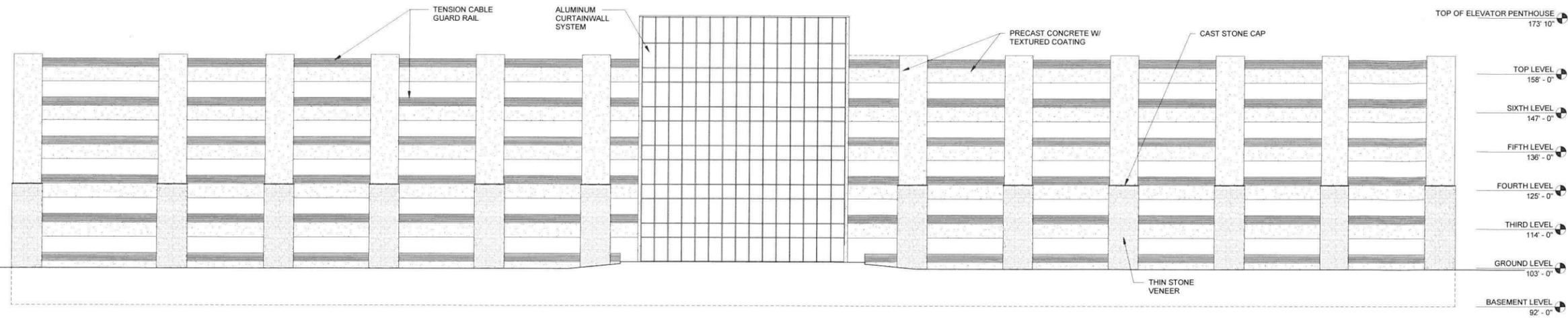
Revisions	
No.	Date

PROJ. NO.
1840
 DATE
10/03/2018
 SHEET NO.
A22

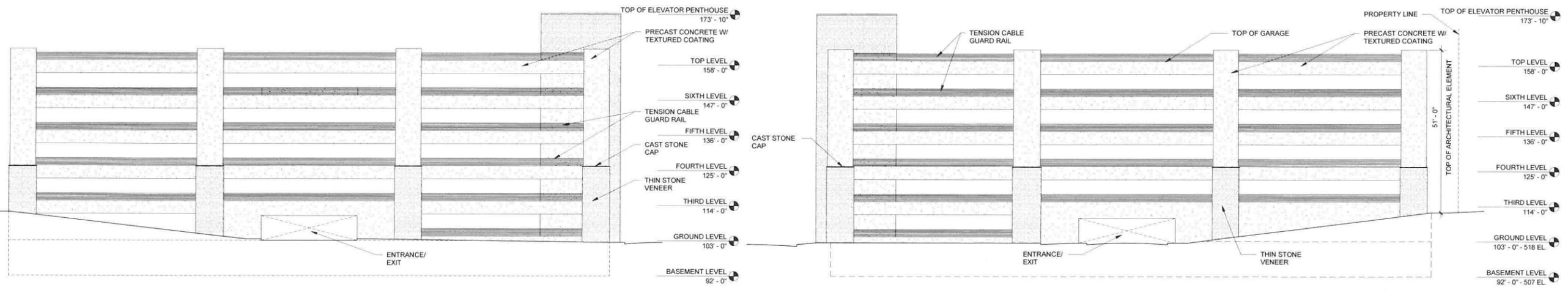


PAYCOM
 GRAPEVINE MASTERPLAN
 3489 STATE HIGHWAY 121, GRAPEVINE, TX 76051
 PAYCOM ADDITION, LOT 1, BLOCK 1
 PAYCOM GRAPEVINE - FUTURE GARAGE ELEVATIONS

CONDITIONAL USE PERMIT APPLICATION

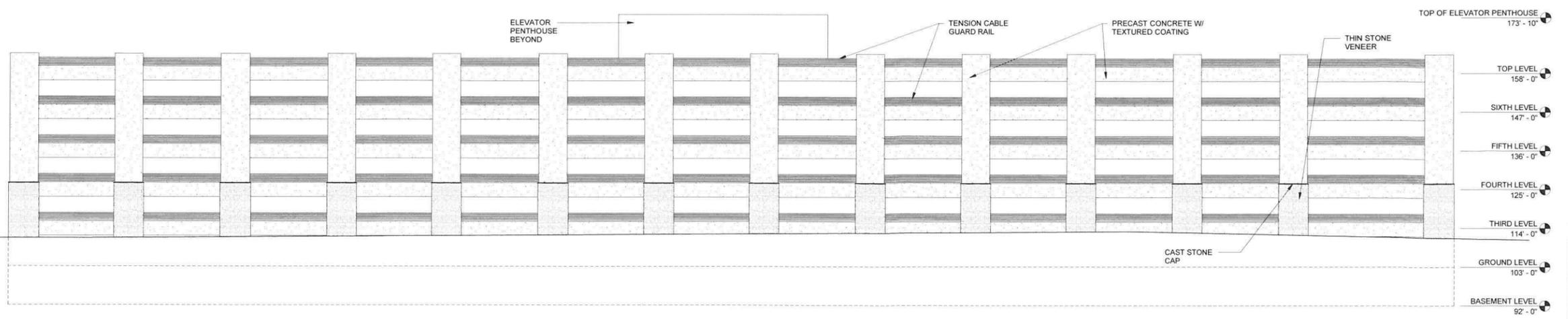


1 FUTURE PARKING GARAGE - SOUTHEAST ELEVATION
 SCALE: 1/16" = 1'-0"



2 FUTURE PARKING GARAGE - SOUTHWEST ELEVATION
 SCALE: 1/16" = 1'-0"

3 FUTURE PARKING GARAGE - NORTHEAST ELEVATION
 SCALE: 1/16" = 1'-0"



4 FUTURE PARKING GARAGE - NORTHWEST ELEVATION
 SCALE: 1/16" = 1'-0"

CASE NAME: PAYCOM
 CASE NUMBER: CU18-22
 ADDRESS/LEGAL: 3489 STATE HIGHWAY 121, GRAPEVINE, TX 76051
 PAYCOM ADDITION, LOT 1, BLOCK 1

MAYOR _____ SECRETARY _____
 DATE: _____
 PLANNING AND ZONING COMMISSION

CHAIRMAN _____
 DATE: _____
 SHEET: 23 OF 24

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES
 DEPARTMENT OF DEVELOPMENT SERVICES

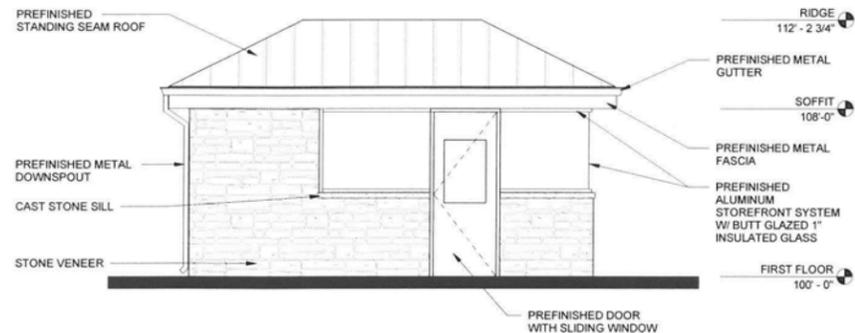
Revisions	
No.	Date

PROJ. NO.
1840
 DATE
10/03/2018
 SHEET NO.
A23

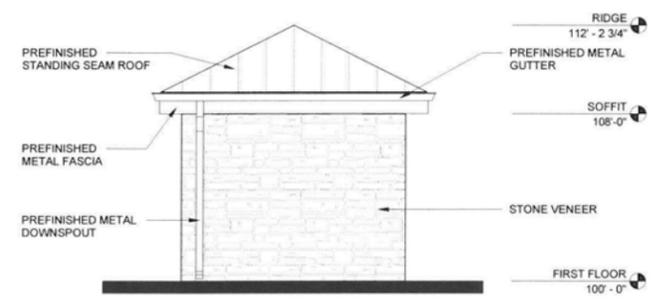


PAYCOM
 GRAPEVINE MASTERPLAN
 3489 STATE HIGHWAY 121, GRAPEVINE, TX 76051
 PAYCOM ADDITION, LOT 1, BLOCK 1
PAYCOM GRAPEVINE - GUARDSHACK, FENCE AND SIGN ELEVATIONS

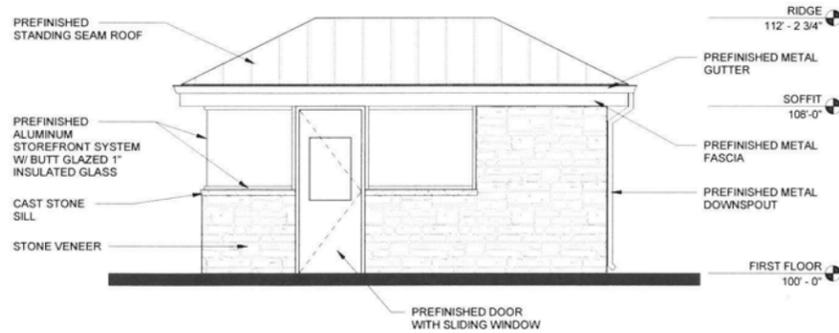
CONDITIONAL USE PERMIT APPLICATION



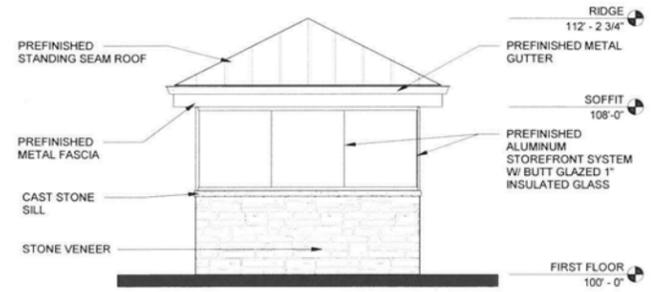
1 GUARDSHACK ELEVATION
 SCALE: 1/4" = 1'-0"



2 GUARDSHACK ELEVATION
 SCALE: 1/4" = 1'-0"

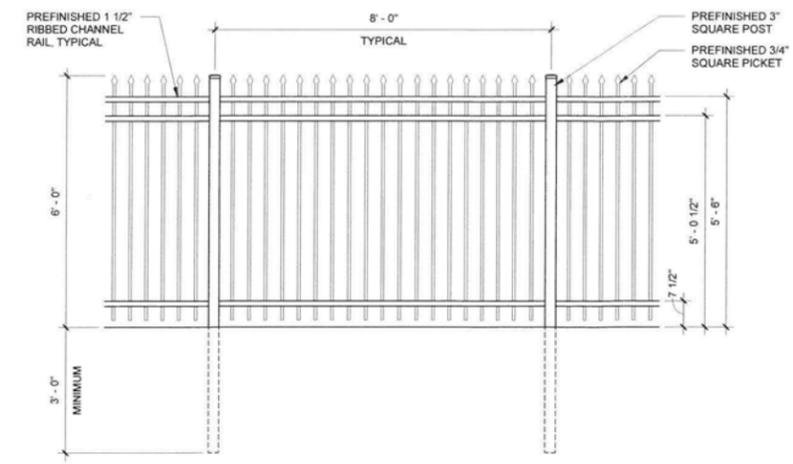


3 GUARDSHACK ELEVATION
 SCALE: 1/4" = 1'-0"

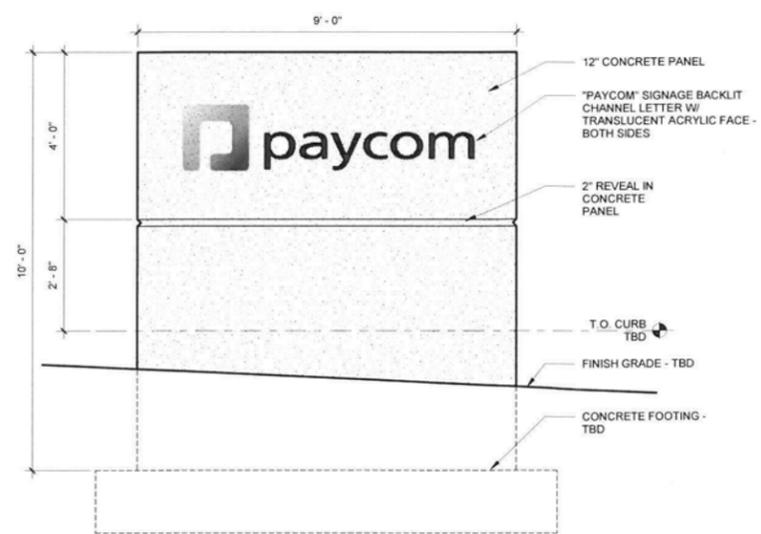


4 GUARDSHACK ELEVATION
 SCALE: 1/4" = 1'-0"

ELEVATIONS REPRESENT
 CONDITIONS AT BOTH PROPOSED
 GUARDSHACK LOCATIONS



5 TYPICAL WROUGHT IRON FENCE ELEVATION
 SCALE: 1/2" = 1'-0"



6 TYPICAL MONUMENT SIGN ELEVATION
 SCALE: 1/2" = 1'-0"

CASE NAME: PAYCOM
 CASE NUMBER: CU18-22
 ADDRESS/LEGAL: 3489 STATE HIGHWAY 121, GRAPEVINE, TX 76051
 PAYCOM ADDITION, LOT 1, BLOCK 1

MAYOR _____ SECRETARY _____
 DATE: _____
 PLANNING AND ZONING COMMISSION

CHAIRMAN _____
 DATE: _____
 SHEET: 24 OF 24

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES
 DEPARTMENT OF DEVELOPMENT SERVICES

Revisions	
No.	Date

PROJ. NO. 1840
 DATE 10/03/2018
 SHEET NO. **A24**



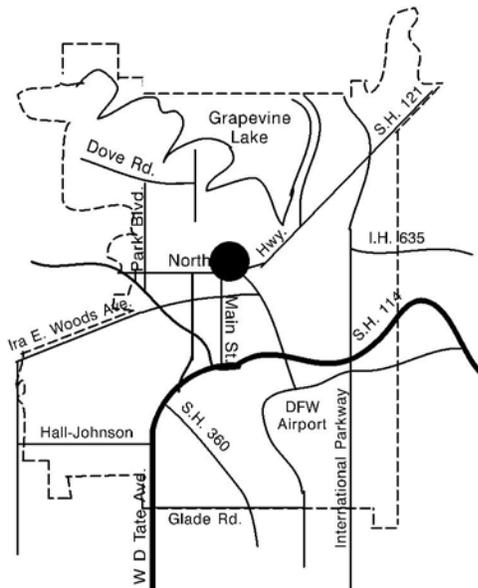


TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER ^{BZ}
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: OCTOBER 16, 2018

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF SPECIAL
USE APPLICATION SU18-03 AND PLANNED DEVELOPMENT
OVERLAY PD18-03 ORTHO MED MANUAL THERAPY



APPLICANT: D. Yvette Abrego

PROPERTY LOCATION AND SIZE:

The subject property is located at 250 North Main Street and platted as Lot 2R and Lot 3, North Main Street Shopping Center. The property contains approximately 1.58 acres and has approximately 371-feet of frontage along North Main Street.

REQUESTED SPECIAL USE, PLANNED DEVELOPMENT OVERLAY AND COMMENTS:

The applicant is requesting a special use permit to allow massage services. The applicant is also seeking a planned development overlay to deviate from, but not be limited to, the existing parking requirements.

The applicant intends to provide massage services for non-medical pain management and sports performance in a 450 square foot lease space within a multi-tenant retail structure, within the North Main Shopping Center.

Relative to the planned development overlay request, the applicant proposes a reduction in the amount of required parking, given the current mix of tenants with the building, from 112 spaces to 85 spaces. A parking study (see attached letter) provides a basis for the request to reduce the required parking. The analysis reveals that throughout the week, depending upon the time of day, the parking demand ranges from 59 spaces to 85 spaces,

therefore providing adequate parking for the subject site.

Most of the required parking can be attributed to two existing/former tenants: Back Porch Grill—42 spaces and Bikram Yoga—20 spaces. Currently, Back Porch Grill has ceased operations. The parking demand for Bikram Yoga to accommodate 40 students, with the exception of lunch time, is approximately 20 spaces.

PRESENT ZONING AND USE:

The property is currently zoned “CN” Neighborhood Commercial District and is developed as a retail shopping center.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject property and the property to the south was zoned “C-2” Community Business District prior to the 1984 City Rezoning. Across Main Street to the west the property currently occupied by Elliot’s Hardware was previously zoned “L-1” Limited Industrial District. The properties to the north and east were zoned “R-1” Single Family District. A conditional use permit (CU86-05) for on-premise alcohol beverage sales was approved by Council at their June 1, 1986 meeting for the Elks Lodge. A conditional use permit (CU96-26) was approved at the October 15, 1996 meeting for a small storage area expansion to one of the buildings within the shopping center and an extension was approved for this conditional use permit but was never constructed. A conditional use permit (CU02-58) to renovate the existing pole sign at the shopping center was approved by Council at their April 15, 2003 meeting. At the March 23, 2004 meeting, a conditional use request was approved (CU04-08, Ord. 2004-22) for a restaurant called the Back Porch Grill with on-premise alcohol beverage sales at the property addressed at 210 North Main Street. A subsequent conditional use request (CU06-10) at the Back Porch Grill was approved by the Site Plan Review Committee at their April 27, 2006 meeting which allowed for a small outdoor patio expansion. West of the subject site City Council at October 21, 2008 meeting approved Conditional Use Permit CU08-24 (Ord. 2008-56) to allow an addition to an existing building. The approval was conditional that the Site Plan Review Committee review the site plan, floor plan and building elevations. The Site Plan Review Committee at the December 17, 2008 meeting approved CU08-24 with a revised floor plan, small expansion and no reduction in parking. Conditional Use Permit CU09-08 (Ord. 2009-18) approved by City Council at the May 20, 2009 meeting approved an expansion to the existing Back Porch Grill.

SURROUNDING ZONING AND EXISTING LAND USE:

NORTH: “CN” Neighborhood Commercial District—single family residence

SOUTH: “HC” Highway Commercial District—multi-tenant retail development

EAST: “R-5.0” Zero-Lot-Line District—single family residences

WEST: “CN Neighborhood Commercial District and “HC” Highway Commercial District—VFW, vacant lot and Bank of the West

AIRPORT IMPACT:

The subject tract is located within “Zone A” zone of minimal effect as defined on the “Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs” map. Few activities will be affected by aircraft sounds in Zone A except for sound sensitive activities such as auditoriums, churches, schools, hospitals, and theaters. The applicant’s proposal is an appropriate use in this noise zone.

MASTER PLAN APPLICATION:

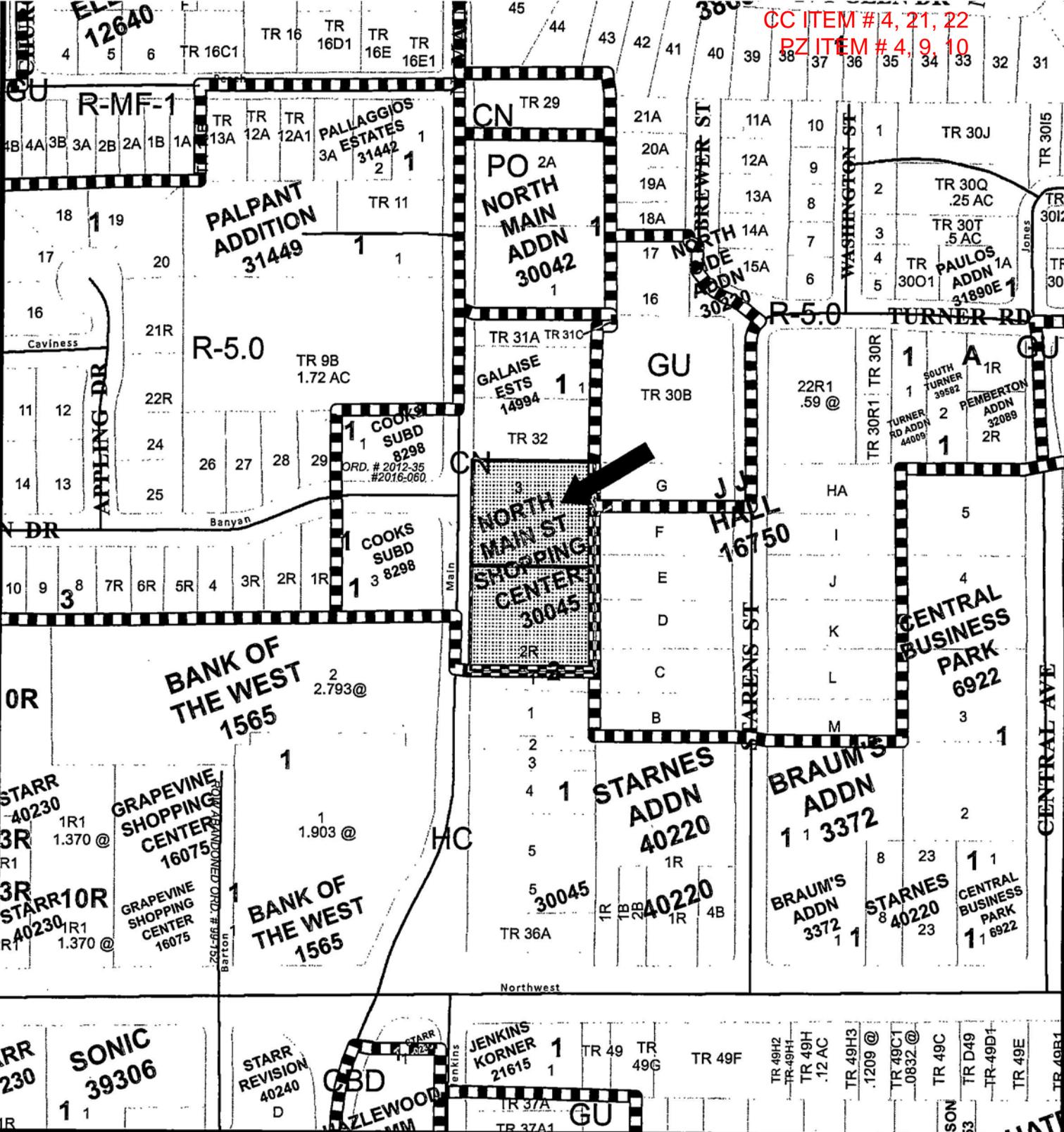
The Master Plan designates the subject property as a Low Intensity Commercial land use. The applicant’s request is in compliance with the Master Plan.

THOROUGHFARE PLAN APPLICATION:

The Thoroughfare Plan designates this segment of North Main Street as a Type F, Collector with a minimum 60-foot of right-of-way developed as 2 lanes.

/at

CC ITEM #4, 21, 22
PZ ITEM #4, 9, 10



Date Prepared: 10/3/2018

SU18-03/PD18-03 OrthoMed Manual Therapy

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

Sub 03



CITY OF GRAPEVINE

SPECIAL USE APPLICATION

Form "A"

PART 1. APPLICANT INFORMATION

Name of applicant / agent / company / contact

D. Yvette Abrego dba OrthoMed Manual Therapy

Street address of applicant / agent:

250 N Main St.

City / State / Zip Code of applicant / agent:

Grapevine, TX 76051

Telephone number of applicant / agent:

(956) 792-2304

Fax number of applicant / agent:

—

Email address of applicant / agent:

[REDACTED]

Mobile phone number of applicant / agent

(956) 792-2304

Applicant's interest in subject property:

Sublease room inside suite

PART 2. PROPERTY INFORMATION

Street address of subject property

250 NORTH MAIN STREET, GRAPEVINE, TX 76051

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot 1 Block Z Addition PHASE II, NORTH MAIN STREET ADDITION

Size of subject property

2.805 Acres

Square footage

Present zoning classification:

HC

Proposed use of the property:

HC ZONING WITH ALLOWED ORTHO THERAPY

Minimum / maximum district size for special use request:

Zoning ordinance provision requiring a special use:

PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:

MDT GRAPEVINE, LTD

Street address of property owner:

PO Box 802736

City / State / Zip Code of property owner:

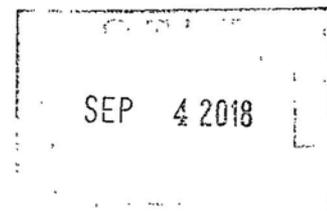
DAALLAS, TX 75380

Telephone number of property owner:

972-288-7833

Fax number of property owner:

972-288-7890



- Submit a letter describing the proposed special use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and special requirements or conditions imposed upon the particular special use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed special use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed special use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All conditional use and special use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or special use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

PART 4. SIGNATURE TO AUTHORIZE SPECIAL USE REQUEST AND PLACE A SPECIAL USE REQUEST SIGN ON THE SUBJECT PROPERTY

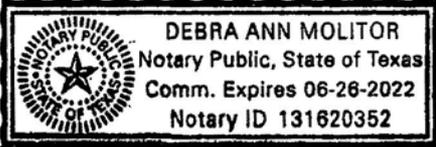
D. Yvette Abrego
Print Applicant's Name: _____

[Signature]
Applicant's Signature: _____

The State Of Texas
County Of Tarrant
Before Me Debra Molitor on this day personally appeared D. Yvette Abrego
(notary) (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 30 day of July, A.D. 2018.



[Signature]
Notary In And For State Of Texas

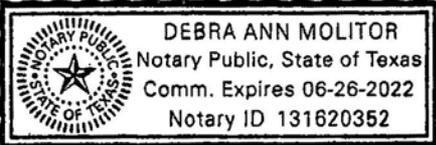
MDT GRAPEVINE, LTD
Print Property Owners Name: _____

[Signature]
Property Owner's Signature: _____

The State Of Texas
County Of Dallas
Before Me Debra Molitor on this day personally appeared Matt Talley
(notary) (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 2nd day of August, A.D. 2018.



[Signature]
Notary In And For State Of Texas

SEP 4 2018

SU18-03

ACKNOWLEDGEMENT

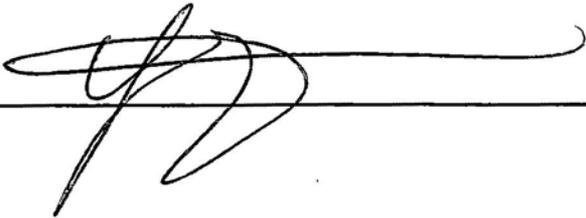
All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

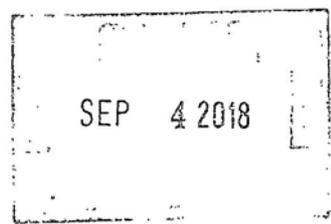
I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant _____ 

Date: 7/30/18

Signature of Owner _____ 

Date: 8/2/2018





CITY OF GRAPEVINE

PLANNED DEVELOPMENT OVERLAY APPLICATION

PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact

D. Yvette Abrego dba OrthoMed Manual Therapy

Street address of applicant / agent:

250 N. Main Street

City / State / Zip Code of applicant / agent:

Grapevine, TX 76051

Telephone number of applicant / agent:	Fax number of applicant / agent:
--	----------------------------------

856-792-2304	
---------------------	--

Email address of applicant / agent	Mobile phone number of applicant / agent
------------------------------------	--

	956-792-2304
--	---------------------

Applicant's interest in subject property:

sublease room inside the salon for medical massage therapy

PART 2. PROPERTY INFORMATION

Street address of subject property

250 North Main Street, Grapevine, Tx 76051

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot **1** Block **2** Addition **Phase II, North Main Street Addition**

Size of subject property

2.805 Acres Square footage

Present zoning classification:	Proposed use of the property:
--------------------------------	-------------------------------

HC	HC Zoning with allowed Ortho Therapy
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Minimum / maximum district size for request:

Zoning ordinance provision requesting deviation from:

PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:

MDT Grapevine, LTD

Street address of property owner:

P.O. Box 802736

City / State / Zip Code of property owner:

Dallas, TX 75380

Telephone number of property owner:	Fax number of property owner:
-------------------------------------	-------------------------------

972-288-7833	972-288-7890
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- Submit a letter describing the proposed Planned Development and note the request on the site plan document.
- Describe any special requirements or conditions that require deviation of the zoning district regulations.
- Describe whether the proposed overlay will, or will not cause substantial harm to the value, use or enjoyment of other property in the neighborhood.
- Describe how the proposed planned development will add to the value, use or enjoyment of other property in the neighborhood.
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All planned development overlay applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a planned development overlay can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for planned development overlay and acknowledge that all requirements of this application have been met at the time of submittal.

PART 4. SIGNATURE TO AUTHORIZE PLANNED DEVELOPMENT OVERLAY REQUEST AND PLACE A PLANNED DEVELOPMENT OVERLAY REQUEST SIGN ON THE SUBJECT PROPERTY

Dr. Yvette Abrego

Print Applicant's Name:

Applicant's Signature:

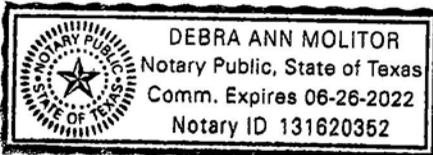
The State Of Texas

County Of Tarrant

Before Me Debra Molitor (notary) on this day personally appeared Dr. Yvette Abrego (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 30th day of July, A.D. 2018



Debra Ann Molitor
Notary In And For State Of Texas

MDT Grapevine, LTD

Print Property Owners Name:

Property Owner's Signature:

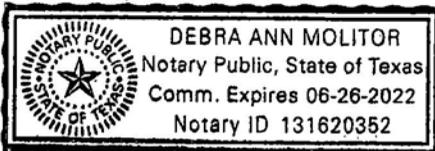
The State Of Texas

County Of Dallas

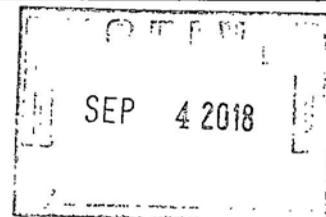
Before Me Debra Molitor (notary) on this day personally appeared Matt Talley (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 2nd day of August, A.D. 2018



Debra Ann Molitor
Notary In And For State Of Texas



PB18-03

ACKNOWLEDGEMENT

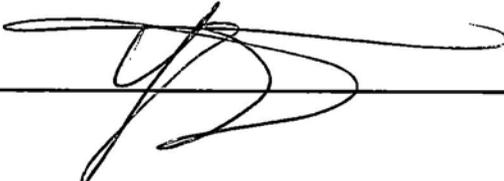
All Planned Development Overlay Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

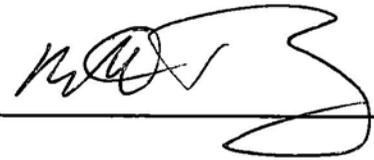
Any changes to a site plan (no matter how minor or major) approved with a planned development overlay can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

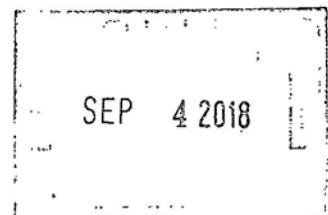
I have read and understand all of the requirements as set forth by the application for planned development overlay and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant _____ 

Date: 8/30/18

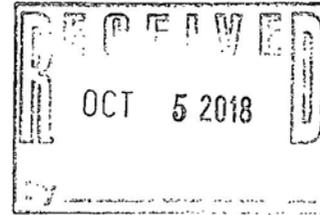
Signature of Owner _____ 

Date: 8/30/2018





City of Grapevine
 Development Services
 Planning Division
 200 S. Main St.
 Grapevine, TX 76051



RE: OrthoMed SUP/PD – 250 N. Main Street

To Whom It May Concern,

OrthoMed Manual Therapy is the applicant for this SUP. OrthoMed specializes in non-medicinal pain management and sports performance by incorporating massage and knowledge of kinesiology, anatomy, and physiology. The single therapist facility is currently sub-leasing an office inside of the SOI Eyebrow Salon located at 250 N. Main Street.

It has been brought to our attention that the use requires an SUP for operation inside of the City of Grapevine city limits. The City of Grapevine ordinance requires all massage facilities to obtain a special use permit prior to operation, and the purpose of this request is to allow the facility to sub-lease 450 SF inside the salon located at 250 N. Main Street.

The hours of operation of Orthomed are:

Monday Closed
 Tuesday 9:30 a.m. to 6:00 p.m.
 Wednesday 9:30 a.m. to 6:00 p.m.
 Thursday 9:30 a.m. to 6:00 p.m.
 Friday 9:30 a.m. to 6:00 p.m.
 Saturday Closed
 Sunday Closed

In conducting the parking analysis, we spoke to each tenant in the facility to determine their peak usage based on the hours of operation. We determined the highest use parking days are on Wednesday and Thursday. The following table breaks down the standard parking requirement for each use and then shows the alternating times the parking spaces will be used based on operating hours and times of day uses as provided by the tenants for these peak days.

Use	Total SF /Capacity	Standard Parking Requireme	MAXIMUM USE DAYS Wednesday and Thursday				
			Until 12 PM	12PM-2PM	2PM-4PM	4PM-6PM	After 6PM
210 - Back Porch Grill	3,104	42	4.20	42.00	21.00	25.20	42.00
220 - Redefined Coffee	1,738	19	19.00	14.25	9.50	9.50	3.80
230 - Cryo - X	1,162	8	8.00	8.00	8.00	8.00	6.00
240 - Bikram Yoga	3,993	20	20.00	10.00	20.00	20.00	18.00
250 - SOI Brow	1,788	9	5.40	5.40	9.00	9.00	6.30
250 - OrthoMed	450	3	2.10	2.10	2.10	2.10	-
260- Office	935	3	-	-	-	-	-
280- Green Light Driving	3,223	12	-	-	6.00	9.00	9.00
		116	59	82	76	83	85



In preparing the SUP site package, we were advise to submit a PD request for the parking deviation. The City code has an Exception Clause in Section 56. D, whereas Groups of uses requiring vehicle parking spaces may join in establishing group parking areas with capacity aggregating that required for each particular use. Where it can be established before the building official that parking for two (2) specific uses occurs at alternating periods, the parking space requirements of the use requiring the greater number of spaces may be applied to both uses in a combined parking area. We are requesting this exception.

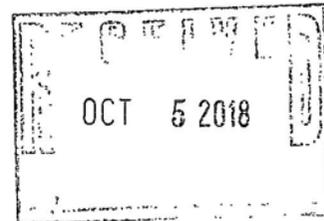
Our Analyses shows that throughout the peak days, the parking needed ranges from 59 to 85 spaces. The maximum of 85 parking spaces would be needed to meet the needs of the current tenants and the Orthomed Facility and there are currently 88 spaces. The Orthomed facility inside the SOI Eyebrow facility reduced the required parking number. This use is parked at a lower number per SF than the SOI use.

We respectfully request consideration of this exception and allow the use to be permitted.

Sincerely,

Evolving Texas

Applicant Representative



ORDINANCE NO. 2018-082

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS ISSUING CONDITIONAL USE PERMIT SU18-03 TO ALLOW FOR MASSAGE SERVICES IN A DISTRICT ZONED "CN" NEIGHBORHOOD COMMERCIAL DISTRICT FOR LOT 2R AND LOT 3R, BLOCK 2, NORTH MAIN STREET ADDITION, PHASE III (250 NORTH MAIN STREET) ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the

overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Special Use Permit No. SU18-03 to allow for massage services (OrthoMed Manual Therapy) in a district zoned "CN" Neighborhood Commercial District Regulations within the following described property: Lot 2R and Lot 3R, Block 2, North Main Street Addition, Phase III (250 North Main Street) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to

exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 16th day of October, 2018.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

ORDINANCE NO. 2018-083

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS ISSUING PLANNED DEVELOPMENT OVERLAY PD18-03 TO DEVIATE FROM, BUT NOT BE LIMITED TO, THE EXISTING PARKING REQUIREMENT LOT 2R AND LOT 3R, BLOCK 2, NORTH MAIN STREET ADDITION, PHASE III (250 NORTH MAIN STREET) ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS PLANNED DEVELOPMENT OVERLAY PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED UPON EACH DAY DURING OR ON WHICH A VIOLATION OCCURS; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a planned development overlay by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested planned development overlay should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking

and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested planned development overlay should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 41 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this planned development overlay, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the planned development overlay lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this planned development overlay and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this planned development overlay for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a planned development overlay in accordance with Section 41 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Planned Development Overlay PD18-03 to deviate from but not be limited to the existing parking requirement within the following described property: Lot 2R and Lot 3R, Block 2, North Main Street Addition, Phase III (250 North Main Street) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein planned development overlay.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safely from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of

land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 16th day of October, 2018.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

LOT 2R & 3 BLOCK 2 SITE SUMMARY TABLE

ZONING	"CN"	REQUIREMENTS
LOT AREA (SF)	68,746 SF	20,000 MIN
PARKING PROVIDED	88 SPACES	116 SPACES
BUILDING AREA (SF)	16,393 SF	-
IMPERVIOUS AREA (SF)	67,481 SF	-
LANDSCAPE AREA (SF)	1,265 SF	20% MIN.
HEIGHT OF BUILDING (FT)	23.6 FT	30 FT MAX
BUILDING COVERAGE (%)	23.8%	0.2 F.A.R.

CASE NAME: SU18-03/PD18-03
CASE ADDRESS: 250 N. MAIN ST. GRAPEVINE, TEXAS 76051
CURRENT/PROPOSED LEGAL DESCRIPTION: "CN" (NEIGHBORHOOD COMMERCIAL)

SECTION	REGULATION	PROPOSED DEVIATION	EXPLANATION
56	3, 4, 5	88 SPACES PROVIDED VS. 116 SPACES REQUIRED	PARKING VARIES PER TIME OF DAY BASED ON DIFFERENT MULTI-TENANT HOURS OF OPERATION.

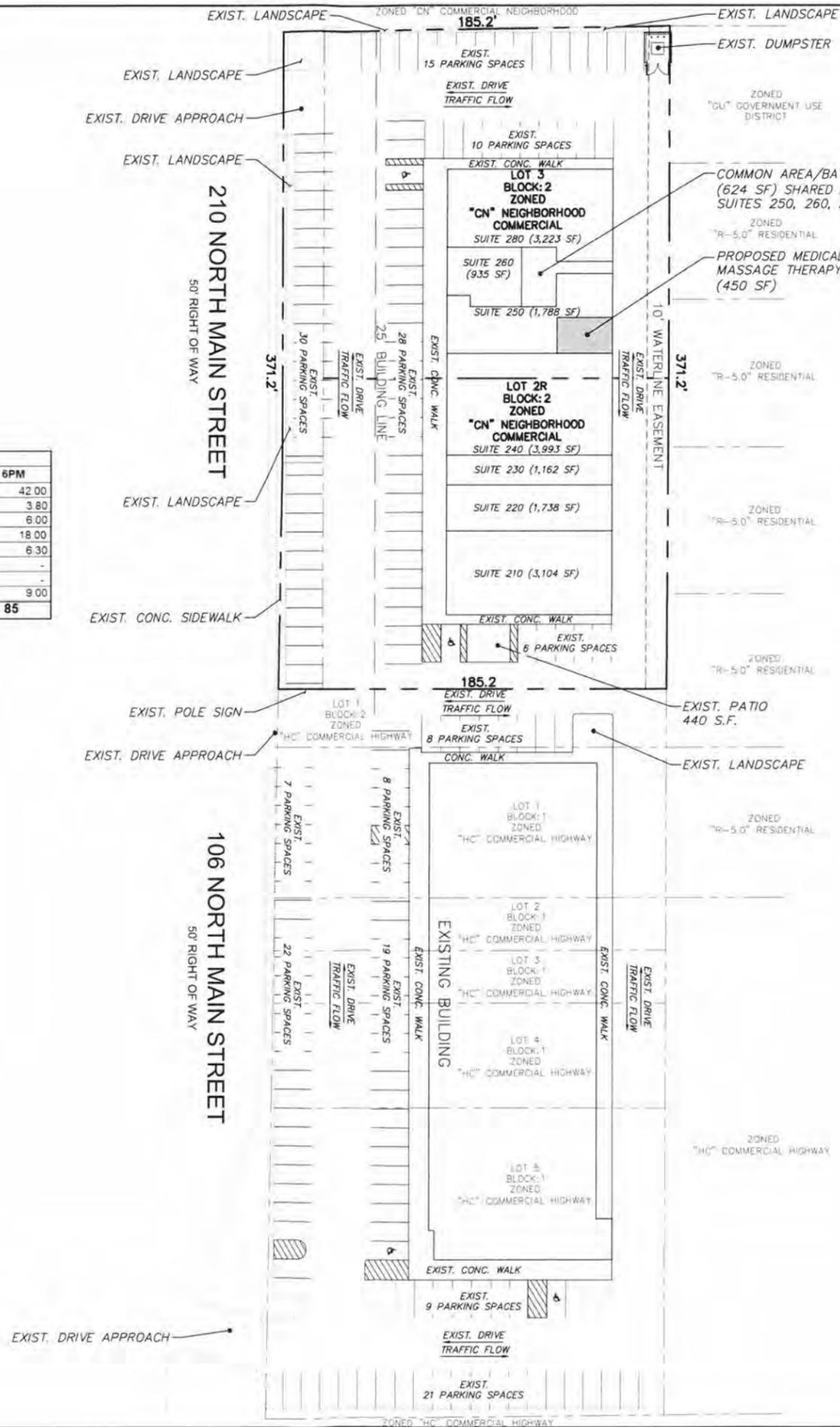
Use	Total SF /Capacity	Standard Parking Requirement	MAXIMUM USE DAYS Wednesday and Thursday					85
			Until 12 PM	12PM-2PM	2PM-4PM	4PM-6PM	After 6PM	
210 - Back Porch Grill	3,104	42	4.20	42.00	21.00	25.20	42.00	
220 - Redefined Coffee	1,738	19	19.00	14.25	9.50	9.50	3.80	
230 - Cryo - X	1,162	8	8.00	8.00	8.00	8.00	6.00	
240 - Bikram Yoga	3,993	20	20.00	10.00	20.00	20.00	18.00	
250 - SOI Brow	1,788	9	5.40	5.40	9.00	9.00	6.30	
250 - OrthoMed	450	3	2.10	2.10	2.10	2.10	-	
260 - Office	935	3	-	-	-	-	-	
280 - Green Light Driving	3,223	12	-	-	6.00	9.00	9.00	
		116	59	82	76	83	85	

THEREFORE, **85** SPACES IS THE PARKING REQUIREMENT FOR 210-280 N. MAIN ST. GRAPEVINE, TEXAS 76051

OrthoMed Manual Therapy

Address: 250 S. Main St. Grapevine, TX 76051

Hours: **Thursday 9:30AM-6PM**
Friday 9:30AM-5PM
Saturday Closed
Sunday Closed
Monday Closed
Tuesday 9:30AM-6PM
Wednesday 9:30AM-6PM



LEGEND

- EXISTING PAVEMENT MARKING
- EXISTING PAVEMENT
- EXISTING EASEMENT
- EXISTING BUILDING LINE

APPLICANT: D. YVETTE ABREGO - DBA - ORTHOMED MANUAL THERAPY, 250 N. MAIN ST. GRAPEVINE, TEXAS 76051 (956)-792-2304

OWNER: MDT GRAPEVINE, LTD, P.O. BOX 802736 DALLAS, TEXAS 75380 (972)-288-7833

APPLICANT REPRESENTATIVE: EVOLVING TEXAS, 420 THROCKMORTON STREET, SUITE 620 FORT WORTH, TEXAS 76102 (817)-529-2700

STREET ADDRESS: 250 N. MAIN STREET GRAPEVINE, TEXAS 76051

LEGAL DESCRIPTION: NORTH MAIN STREET ADDITION, PHASE II LOT 2R & 3, BLOCK 2

ZONING CLASSIFICATION: "CN" (NEIGHBORHOOD COMMERCIAL)

PROPOSED USE: MEDICAL MASSAGE THERAPY OFFICE

SITE PLAN SUBMITTAL DATE:

REASON FOR PROPOSED REQUEST: SPECIAL USE PERMIT 20-18-02 IS A REQUEST TO ALLOW MASSAGE SERVICES IN A DISTRICT ZONED "CN" NEIGHBORHOOD COMMERCIAL DISTRICT PLANNING DEVELOPMENT OVERLAY 0018-03 IS A REQUEST TO DEVIATE FROM, BUT NOT BE LIMITED TO THE EXISTING FARRING 0520 PERMITS



NO.	DATE	REVISIONS	COMMENTS

ORTHOMED
250 N. MAIN ST
GRAPEVINE, TEXAS 76051

SITE PLAN

CASE NAME: ORTHOMED SUP
CASE NUMBER: SU18-03/PD18-03
LOCATION: 250 N. MAIN ST. GRAPEVINE, TEXAS 76051

MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION
CHAIRMAN _____

SCALE: 1" = 30'
DRAWN BY: Joshua Chavez
DESIGNED BY: Joshua Chavez
CHECKED BY: Samantha Rendon
PROJECT NO.: 2018038
SHEET: 1 OF 1
DATE: SEPTEMBER 2018
SHEET: 1 OF 1

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

CASE NAME: SU18-03/PD18-03

CASE ADDRESS: 250 N. MAIN ST. GRAPEVINE, TEXAS 76051

CURRENT/PROPOSED LEGAL DESCRIPTION: "CN" (NEIGHBORHOOD COMMERCIAL)

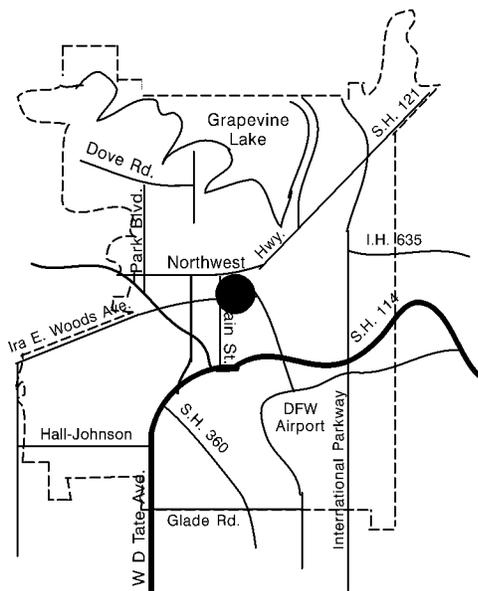
SECTION	REGULATION	PROPOSED DEVIATION	EXPLANATION
56	3, 4, 5	88 SPACES PROVIDED VS. 116 SPACES REQUIRED	PARKING VARIES PER TIME OF DAY BASED ON DIFFERENT MULTI-TENANT HOURS OF OPERATION.

TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*
J. SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: OCTOBER 16, 2018

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF HISTORIC
LANDMARK SUBDISTRICT HL18-02



APPLICANT: Allen and Rose Paxton

PROPERTY LOCATION AND SIZE:

The subject property is located at 314 East Franklin Street and platted as Lot E70'2 & 12' Alley, Block 30, City of Grapevine.

REQUESTED HISTORIC LANDMARK SUBDISTRICT AND COMMENTS:

The applicant is requesting a Historic Landmark Subdistrict designation for property located at 314 East Franklin Street and platted as Lot E70'2 & 12' Alley, Block 30, City of Grapevine.

The Historic Preservation Commission, at their July 25, 2018 meeting, adopted the preservation criteria for the subject property. On August 22, 2018, CA18-74 was approved to demolish the original 1940 Yancey Stark House, demolish the non-original additions to the outbuilding and construct a new one-story house and detached garage replicating the style of the original structure. See attached plans.

The structure is vacant and was recently purchased by Allan and Rose Paxton for the purpose of constructing a new period style house and detached garage to serve as their family home.

The Historic Landmark Designation for the property includes eight of 12 categories of historic significance to the City of Grapevine Historic Preservation ordinance. The original house contains a large living room a dining/kitchen area, small den, one bedroom and a hall bath. A second bedroom and bath were later added to the rear of the house. The existing Stark outbuilding located at the rear of the property is a contributing structure to the City of Grapevine's Original Town National Register Historic District, 1998. The cultural and historic significance for the City of Grapevine is that this is the place from which Mr. Robert Stark broadcast to the Pitcairn islands for over two decades. The outbuilding presently contains a small apartment with bathroom and kitchen.

PRESENT ZONING AND USE:

The property is currently zoned "R-7.5" Single Family Residential.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject property and the surrounding properties to the north, south, east, and west were zoned "R-1" Single Family District prior to the 1984 City Rezoning.

SURROUNDING ZONING AND EXISTING LAND USE:

NORTH: "R-7.5" Single Family Residential – residential structures

SOUTH: "R-7.5" Single Family Residential – residential structures

EAST: "R-7.5" Single Family Residential – residential structures

WEST: "R-7.5" Single Family Residential – residential structures

AIRPORT IMPACT:

The subject tract is located within "Zone A" Zone of Minimal Effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" Map. Few activities will be affected by aircraft sounds in "Zone A" except for sound sensitive activities such as auditoriums, churches, schools, hospitals, and theaters. The applicant's proposal is/is not an appropriate use in this noise zone.

MASTER PLAN APPLICATION:

The Master Plan designates the subject property as a "RL" Residential Low Density land use. The applicant's proposal is in compliance with the Master Plan.

**GRAPEVINE HISTORIC PRESERVATION COMMISSION
HISTORIC LANDMARK DESIGNATION FORM**

1. Name

Historic Yancey-Stark House
And/or common

2. Location

Address 314 East Franklin St. land survey
Location/neighborhood City of Grapevine block/lot 30 – Lot E60'2 # E10' W55' of 2 & 12' on east tract size

3. Current zoning

Residential, R-7.5 Single Family

4. Classification

Category	Ownership	Status	Present Use	
<input type="checkbox"/> district	<input type="checkbox"/> public	<input type="checkbox"/> occupied	<input type="checkbox"/> agriculture	<input type="checkbox"/> museum
<input checked="" type="checkbox"/> building(s)	<input checked="" type="checkbox"/> private	<input checked="" type="checkbox"/> unoccupied	<input type="checkbox"/> commercial	<input type="checkbox"/> park
<input type="checkbox"/> structure		<input type="checkbox"/> work in progress	<input type="checkbox"/> education	<input type="checkbox"/> residence
<input checked="" type="checkbox"/> site	Accessible		<input type="checkbox"/> Entertainment	<input type="checkbox"/> Religious
	<input type="checkbox"/> yes: restricted		<input type="checkbox"/> government	<input type="checkbox"/> scientific
	<input type="checkbox"/> yes: unrestr.		<input type="checkbox"/> industrial	<input type="checkbox"/> transportation
	<input type="checkbox"/> no		<input type="checkbox"/> military	<input type="checkbox"/> other

5. Ownership

Current owner: Allan Paxton phone: 214 676-1944
Address: P.O. Box 1305 city: Red Oak state: Texas zip: 75154

6. Form Preparation

Name & title Sallie Andrews, Consultant organization: City of Grapevine
Contact: Historic Preservation phone: 817 410-3197

7. Representation on Existing Surveys

Tarrant County Historic Resources National Register of Historic Places
 other Recorded Texas Historic Landmark
 Texas Archaeological Landmark

for office use only

8. Date Rec'd: _____ Survey Verified: Yes No

9. Field Chk date: _____ By: _____

10. Nomination
 Archaeological Structure District
 Site Structure & Site

11. Historic Ownership

original owner H. C. Yancey etux

significant later owner(s) Robert J. Stark etux

12. Construction Dates

Original 1940

alterations/additions c. 1950 bedroom and bath

13. Architect

original construction

alterations/additions Site Features

Natural

urban design

14. Physical Description

Condition
 excellent
 good
 fair

Check One:
 deteriorated
 ruins
 unexposed

Unaltered
 altered

Check One:
 Original site
 Moved (date: _____)

Describe present and original (if known) physical appearance; include style(s) of architecture, current condition and relationship to surrounding fabric (structures, objects, etc.). Elaborate on pertinent materials used and style(s) of architectural detailing, embellishments and site details.



View of 314 East Franklin Street, c. 2002

This house served as the home of Robert J. Stark and his wife from 1947 at 314 East Franklin Street. The house was originally one room wide and stretched the width of the lot. The house features side facing gables. The central block of the house has a wide triple window unit with 6 over 6 window panes allowing views to the street from the large living room. The living room block is flanked by paired 6 over 6 windows on the rooms to the left and right. The house has an asymmetrical design with a covered porch and side entry door that opens directly into the large living room. To the left is a dining and kitchen area with a rear porch. To the right beyond the living room is the master bedroom. A hall with bath and small den is to the rear. In the 1950s a second bedroom and bath were added to the back of the house.

In the rear of the property a 20 x 40 foot outbuilding contained a shortwave radio used by Mr. Stark to communicate weekly with the Pitcairn Islands. Due to this significance, the structure was designated contributing to the Original Town National Register Historic District, 1998.

NPS Form 10-900-a
(8-88)

OMB Approval No. 1024-0018

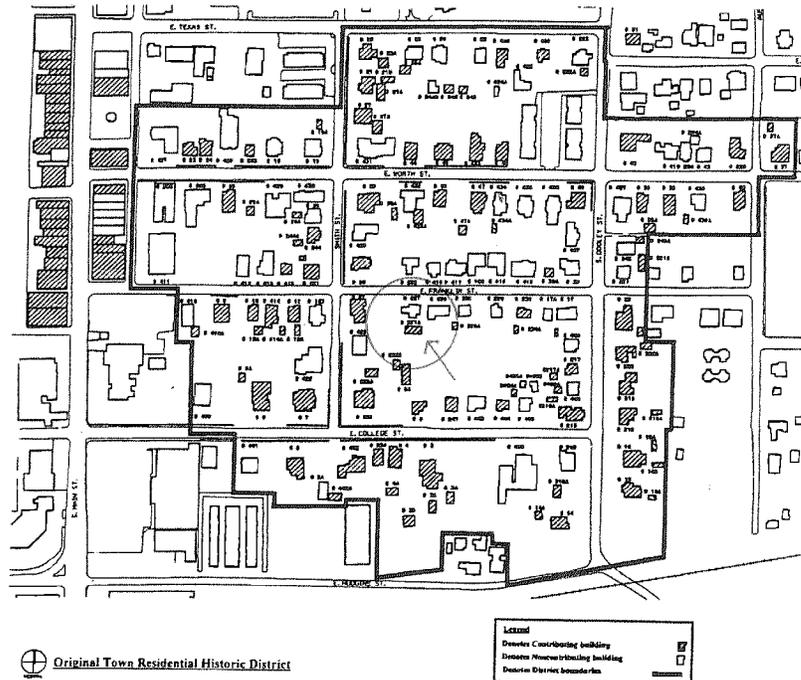
United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section MAP Page 19

Original Town Residential Historic District
Grapevine, Tarrant County, Texas

MAP SHOWING CONTRIBUTING AND NONCONTRIBUTING RESOURCES

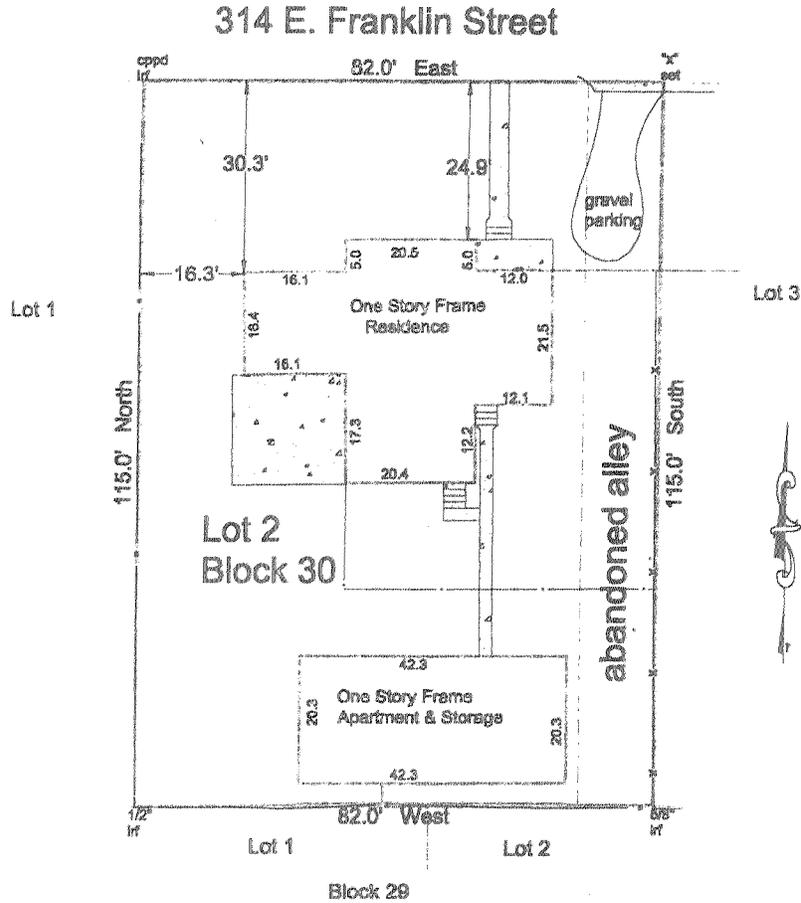


Map Showing Contributing Outbuilding at 314 East Franklin Street
Original Town National Register Historic District, Grapevine Texas 1998

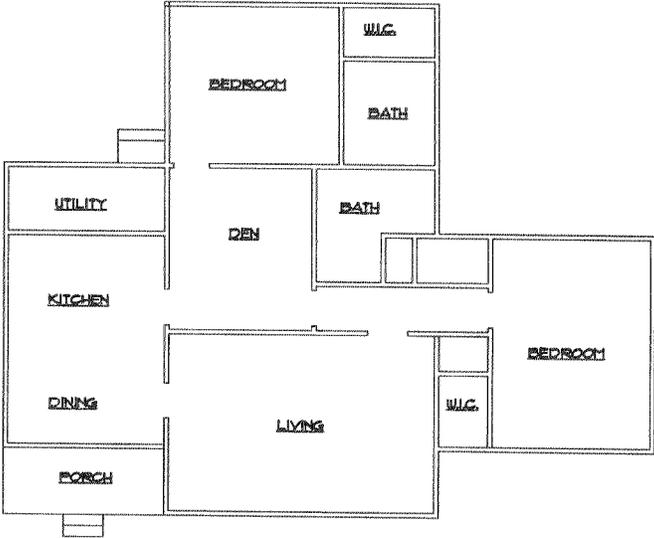
ADDRESS: 314 Franklin Street

PROPERTY DESCRIPTION:

All that certain lot, tract or parcel of land located in Tarrant County, Texas, described as follows:
Being THE East 60 ft. of Lot 2, Block 30, and the East 10 ft. of the West 55 ft. of Lot 2, Block 30 and a 12 ft. alley Abandoned by ordinance No. 61-24, YATES & JENKINS ADDITION, to the City of Grapevine, Tarrant County, Texas, as recorded in Volume 309, Page 71, Deed Records, Tarrant County, Texas, more particularly described by metes and bounds as follows:
BEGINNING at the SW corner of Lot 3, Block 30, of said addition said point also begin in the East line of a 12 ft. abandoned alley;
THENCE West 12ft. an iron pin in the W. line of said Alley continuing in all a total distance of 82.0 ft. to a iron pin for corner in the S line of Lot 2;
THENCE N. 115.0 ft. to an iron pin found for corner, said pin being in the S. line of Franklin Street;
THENCE E. along the S. line of said Street at 70.0 ft. an iron pin in the W. line of said Alley continuing in all a total distance of 82.0 ft to an iron pin for corner said pin being the NW corner of Lot 3, and in the E. line of said Alley;
THENCE E. along the E. line of said Alley a distance of 116.0ft. to the Point of Beginning.
NOTE: According to the FIRM Flood Insurance Rate Map #48439C0215 H, dated August 2, 1995, for Tarrant County, this property is NOT in the 100 year flood area and IS in Zone X. Zone X is defined by the Map Legend as: Areas determined to be outside 500-year flood plain.



Site Plan showing House and Contributing Outbuilding



EXISTING FLOOR PLAN

1/4"=1'-0"

Floor Plan of House,
c. 2018

15. Historical Significance

Statement of historical and cultural significance. Include: cultural influences, special events and important personages, influences on neighborhood, on the city, etc.

This property was originally owned by Mr. and Mrs. H. C. Yancey, from 1922 to 1945 when it was sold to C. T. Frank. The Yanceys owned the property at the corner of Smith and Franklin street and had a house there where they resided. They purchased both lots (501 Smith and 314 E. Franklin Street) at the same time in 1922. The Yanceys were community leaders and active in all areas of Grapevine.

In 1947 the property at 314 E. Franklin Street was purchased by Mr. and Mrs. Robert J. Stark. Mr. Stark was a photographer who had a shop at 409 South Main Street and he was also a transmitter operator at WFAA Radio located north of today's DFW Airport gates. On August 25, 1963, Bob and Velma Stark purchased Cole Florist Shop, Grapevine's first florist shop that had been in business for 25 years, from Christine Cole. The Starks moved the business to Main Street calling it "The Flower Shop." Mr. Stark was also a beloved Boy Scout leader who introduced the Scouts to photography and had a tremendous impact on their lives, including Jess Daniel and Dr. Mike Higgins who credits Mr. Stark for his interest in the electro-microscope. Mrs. Stark was the first Den Mother for Cub Pack 7; J. N. Wood was its first Cubmaster.



Scout Troop 7 at Scout Cabin in the park about 1949. BACK ROW: James Wheatley, Charles Wood, Jimmy Wood, Hugh Lee Higgins (Scout Master), and Robert G. Stark (Ass't. Scout Master). MIDDLE ROW: Mike Daniel, Rodney Thweatt, C.E. Stewart, Hal Nelson, Wil-

liam Buckner, Dickey Crews, Bobby Hurst, Don Austin. FRONT ROW: Billy Smith, Bobby Stewart, Johnny Barnett, Kenneth Landrith, Allison Thomas, Alan Cluck, Robert J. Stark, James Tate, Billy Fielder, Jerry Pirkle, Bobby Thweatt, Larry Pirkle.

Mr. Stark's hobby was radio, and he was a well-known ham radio operator. Important to Grapevine history, he, along with Dr. Joseph M. Allison, upon the death of Mayor B. R. Wall, took over Mayor Wall's work with the citizens of Pitcairn Island. Dr. Allison and Mrs. Stark kept in contact with the islanders who were over 7,000 miles away via letters and Stark's ham radio.

According to David Barnes, a Stark family friend, Mr. Stark had his ham radio equipment in the out-building located behind the Stark residence at 314 E. Franklin Street. A large radio tower was placed on the west end of the building and a "radio beam" on the tower enabled Mr. Stark to communicate all the way to Pitcairn Island. David Barnes' father, Paul Barnes, was also a radio operator who worked at WFAA Radio. Paul Barnes also had a separate building behind his family home where he worked with his radio equipment at 907 East Texas Street.



According to an article in the January 6, 1972 Grapevine Sun, he contacted Pitcairn Island at 3 p.m. most Tuesdays and invited all Grapevine citizens interested in Pitcairn Island to join him for the conversations.



R. J. STARK RETIRES

Robert J. (Bob) Stark, a transmitter operator in the WFAA Radio Plant Department is retiring after 30 years service.

Mr. Stark, who plans to help his wife with Grapevine Park Store, said retirement will allow him to devote more time to collecting fossils, fishing and doing a little traveling.

Although he is retiring, Mr. Stark is not entirely getting out of radio as he plans to continue working with amateur radio. He invites his friends to drop around some Tuesday about 3 p.m. and listen in on his ham radio schedule with Tom Christian on Pitcairn Island.

According to a January 12, 1964, article in the Fort Worth Star-Telegram, "But even more interesting is the role of Robert Stark, a Grapevine resident who has powerful radio equipment in his home. Stark as an almost weekly contact with Pitcairn. Using coded messages, Stark communicates with Tom Christian, a descendant of the Mutiny leader. The Grapevine man says he handles all kinds of business for the islanders. Recently Stark ordered fishing spears for the Pitcairn residents who made their living chasing yellow fin tuna. He frequently

has requests for price information on other equipment islanders used. Just before Christmas, Stark had a message from Christian saying that watermelons were getting ripe. 'We have a standing joke about watermelons,' said Stark. Since growing seasons are reversed, residents of Pitcairn can grow the melons during our winter months.

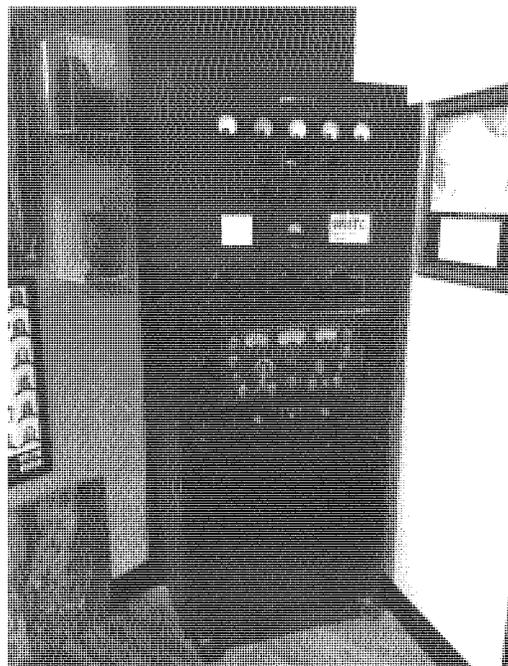


LONG-DISTANCE FEASIBILITY — Robert Stark uses equipment which allows direct communication with Pitcairn Islands 2,000 miles from Grapevine.

“Carrying on the tradition of Grapevine helpfulness, it was Stark who led other hams in the United States in providing strong radio equipment for Pitcairn. ‘Dr. Allison was really the first to suggest it and made the first contribution,’ said Stark.”

Mr. Stark’s radio log and the transmitter he used are in the Grapevine Historical Museum. His call letters were W50LG. Tom Christian’s call letters on Pitcairn Island were VR6TC.

The cultural and historic significance for Grapevine is that the house and the outbuilding at 314 East Franklin is the place from which Mr. Stark broadcast to the Pitcairn islands for over two decades.



Mr. Stark’s Radio in the Grapevine Historical Museum

Tom Christian and his wife visited Grapevine and were hosted by Dr. Allison. They met their many friends and benefactors upon their visit to the United States. For many years, and for many people in Grapevine, “Mutiny on the Bounty” was a very real and intimate part of Grapevine history.

16. Bibliography

17. Attachments

- District or Site map
- Site Plan
- Photos (historic & current)
- Additional descriptive material
- Footnotes
- Other (_____)

Designation Merit

A. Character, interest or value as part of the development, heritage or cultural characteristics of the City of Grapevine, State of Texas of the United States.	<u> X </u>	G. Identification as the work of an architect or master builder whose individual work has influenced the development of the city.	<u> </u>
B. Location as the site of a significant historical event.	<u> X </u>	H. Embodiment of elements of architectural design, detail, materials or craftsmanship which represent a significant architectural innovation.	<u> </u>
C. Identification with a person or persons who significantly contributed to the culture and development of the city.	<u> X </u>	I. Relationship to other distinctive buildings, sites or areas which are eligible for preservation according to a plan based on historic, cultural or architectural motif.	<u> X </u>
D. Exemplification of the cultural, economic, social or historical heritage of the city	<u> X </u>	J. Unique location of singular physical characteristics representing an established and familiar visual feature of a neighborhood, community or the city.	<u> </u>
E. Portrayal of the environment of a group of people in an era of history characterized by a distinctive architectural style.	<u> X </u>	K. Archaeological value in that it has produced or can be expected to produce data affecting theories of historic or prehistoric value.	<u> </u>
F. Embodiment of distinguishing characteristics of an architectural type or specimen.	<u> X </u>	L. Value as an aspect of community sentiment or public pride.	<u> X </u>

Recommendation

The Grapevine Township Revitalization Program requests the Grapevine Historic Preservation Commission to deem this nominated landmark meritorious of designation as outlined in Chapter 39, City of Grapevine Comprehensive Zoning Ordinance.

Further, the Grapevine Historic Preservation Commission endorses the Preservation Criteria, policy recommendations and landmark boundary as presented by the City of Grapevine Development Services Department.

 Sean Shope, Chair
 Grapevine Historic Preservation Commission

 David Klempin
 Historic Preservation Officer

 Scott Williams, Director
 Development Services Department

Historical Marker

The Grapevine Historic Preservation Commission and the Grapevine Historical Society have a cooperative marker program for properties that are officially (individually or located within) designated Historic Landmark Sub-districts. Please indicate if you are interested in obtaining one or both markers for your property. There is no fee for either of the markers, however, the Grapevine Historical Society will only fund two (2) of the medallion and text plaque (second option), per year, on a first come, first serve basis.

Check One:

- Yes, I am interested in obtaining a bronze Historic Landmark Plaque for my property from the Historic Preservation Commission. I understand there is no fee for this plaque.
 - No, I am not interested in obtaining a marker for my property.
-
- Yes, I am interested in obtaining a bronze Historic Marker (medallion and text plaque) for my property from the Grapevine Historical Society.

Below for office use only



- Historic Preservation Commission's Historic Landmark Plaque.

- Historic Preservation Commission's Historic District Plaque.



- Grapevine Historical Society's Historic Landmark Marker.



THE ED AND GRADY KEELING HOUSE
This 1912 house of late Victorian design with early, Arts and Crafts elements was the first home of William Edward and Grady Wood Keeling. The house retains much of its original construction and architectural character. Its unique design features a porch with Tuscan columns that wraps around the front bedroom, with the entrance at the end of the porch. Ed's father, J.E. Keeling purchased The Grapevine Sun in 1897. The Keeling family owned and published The Grapevine Sun until 1976, spanning three generations.

1999

The Keeling House has been designated a Historic Landmark by the City of Grapevine Historic Preservation Commission, 1998
Grapevine Historic Preservation Ordinance, Appendix G, Code of Ordinances

- o Historic Landmark Marker, existing GHS marker.



THE ED AND GRADY KEELING HOUSE
This 1912 house of late Victorian design with early, Arts and Crafts elements was the first home of William Edward and Grady Wood Keeling. The house retains much of its original construction and architectural character. Its unique design features a porch with Tuscan columns that wraps around the front bedroom, with the entrance at the end of the porch. Ed's father, J.E. Keeling purchased The Grapevine Sun in 1897. The Keeling family owned and published The Grapevine Sun until 1976, spanning three generations.

1999

The Keeling House is located in the College Street Historic District, designated by the Grapevine Historic Preservation Commission, 1998
Grapevine Historic Preservation Ordinance, Appendix G, Code of Ordinances

- o Historic District Marker, existing GHS marker.



THE ED AND GRADY KEELING HOUSE
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1999

The Keeling House has been designated a Historic Landmark by the City of Grapevine Historic Preservation Commission, 1998
Grapevine Historic Preservation Ordinance, Appendix G, Code of Ordinances

- o Historic Landmark Marker, new GHS marker.



THE ED AND GRADY KEELING HOUSE
This 1912 house of late Victorian design with early, Arts and Crafts elements was the first home of William Edward and Grady Wood Keeling. The house retains much of its original construction and architectural character. Its unique design features a porch with Tuscan columns that wraps around the front bedroom, with the entrance at the end of the porch. Ed's father, J.E. Keeling purchased The Grapevine Sun in 1897. The Keeling family owned and published The Grapevine Sun until 1976, spanning three generations.

1999

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Grapevine Historic Preservation Ordinance, Appendix G, Code of Ordinances

- o Historic District Marker, new GHS marker.

Design Guidelines

**Yancey-Stark House
314 East Franklin Street
Grapevine, Texas**

Grapevine Township Revitalization Project, Inc.
City of Grapevine
200 S. Main
Grapevine, Texas 76051

July 25, 2018

Table of Contents

PREFACE

I. SITE

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- Driveways, Parking Lots
- Service and Mechanical Areas
- Fences

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- Preservation
- Exterior Finishes
- Windows

III. EMBELLISHMENTS

- Awnings-Canopies
- Exterior Lighting

IV. NEW BUILDING CONSTRUCTION

- Infill
- Additions to Historic Buildings

Preface



314 East Franklin Street

This house served as the home of Robert J. Stark and his wife from 1947 at 314 East Franklin Street. The house was originally one room wide and stretched the width of the lot. The house features side facing gables. The central block of the house has a wide triple window unit with 6 over 6 window panes allowing views to the street from the large living room. The living room block is flanked by paired 6 over 6 windows on the rooms to the left and right. The house has an asymmetrical design with a covered porch and side entry door that opens directly into the large living room. To the left is a dining and kitchen area with a rear porch. To the right beyond the living room is the master bedroom. A hall with bath and small den is to the rear. In the 1950s a second bedroom and bath were added to the back of the house.

In the rear of the property a 20 x 40 foot outbuilding contained a shortwave radio used by Mr. Stark to communicate weekly with the Pitcairn Islands. Due to this significance, the structure was designated contributing to the Original Town National Register Historic District, 1998.

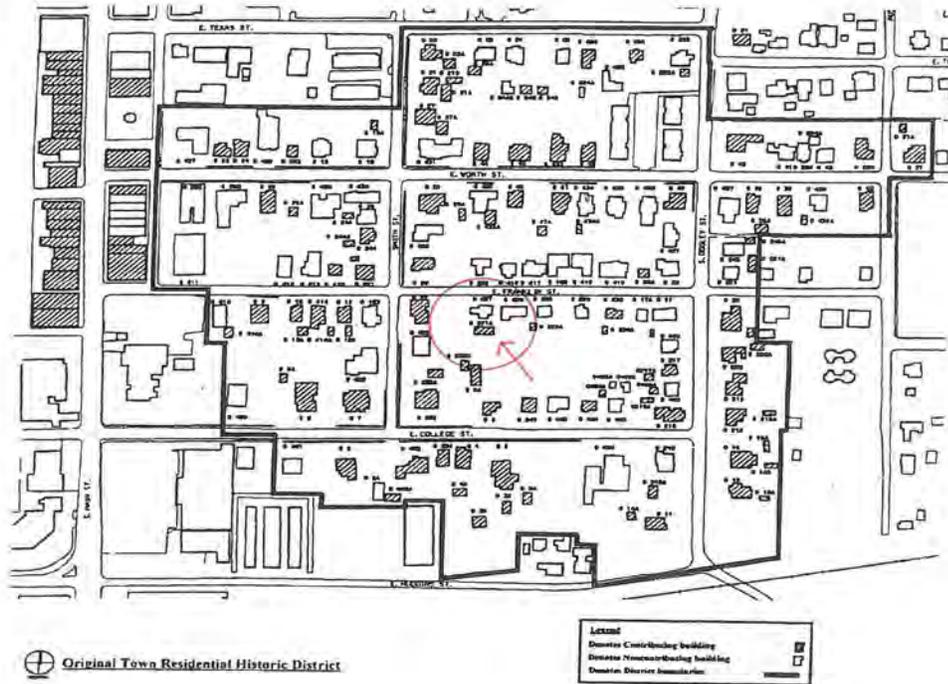
United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section MAP Page 19

Original Town Residential Historic District
Grapevine, Tarrant County, Texas

MAP SHOWING CONTRIBUTING AND NONCONTRIBUTING RESOURCES

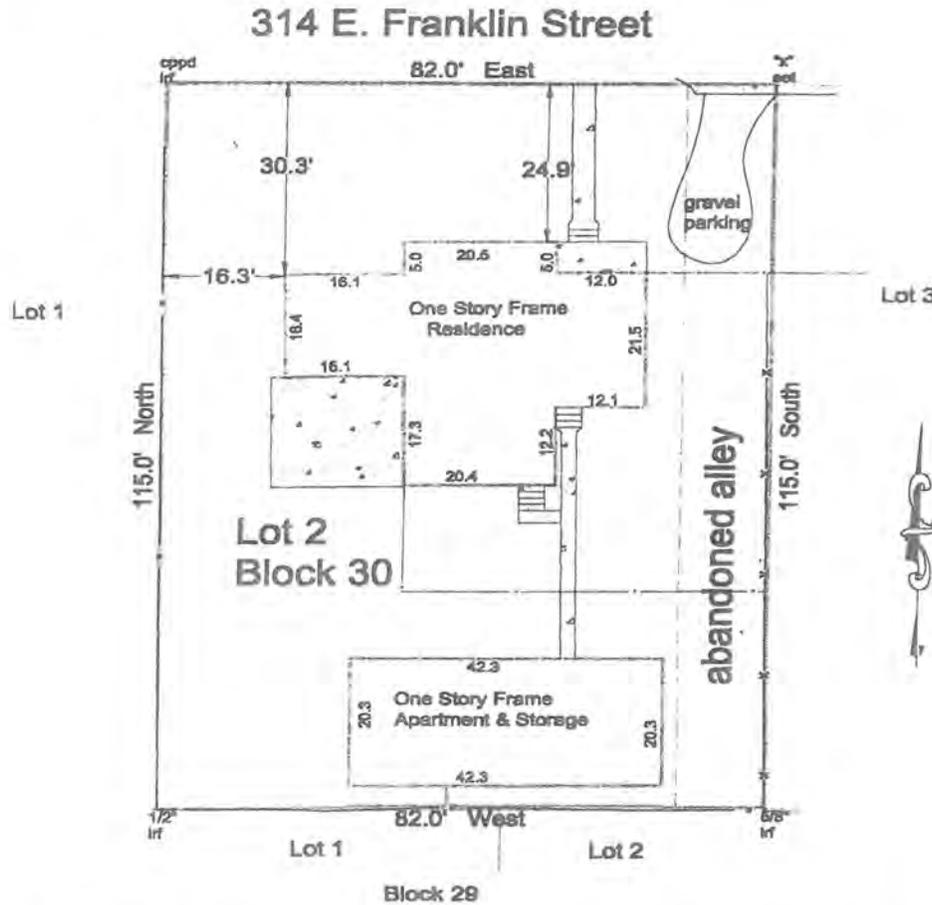


Map Showing Contributing Outbuilding at 314 East Franklin Street
Original Town National Register Historic District, Grapevine Texas 1998

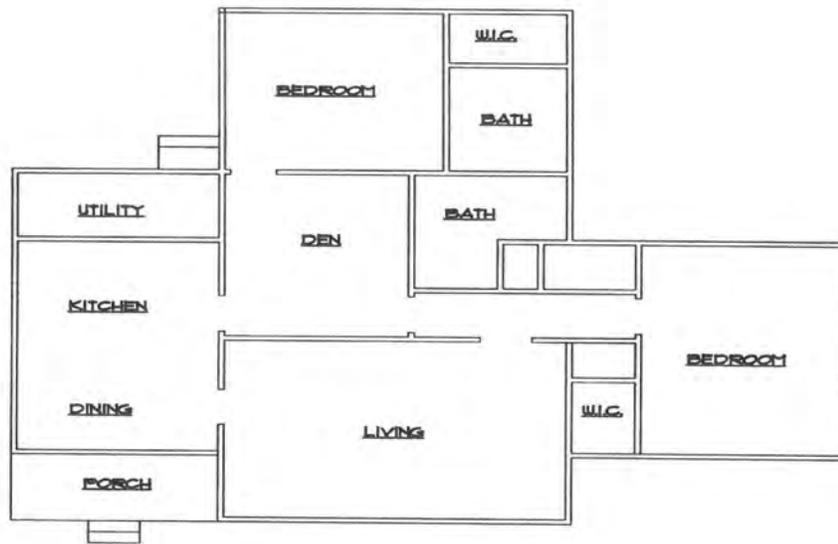
ADDRESS: 314 Franklin Street

PROPERTY DESCRIPTION:

All that certain lot, tract or parcel of land located in Tarrant County, Texas, described as follows:
Being THE East 60 ft. of Lot 2, Block 30, and the East 10 ft. of the West 55 ft. of Lot 2, Block 30 and a 12 ft. alley Abandoned by ordinance No. 61-24, YATES & JENKINS ADDITION, to the City of Grapevine, Tarrant County, Texas, as recorded in Volume 309, Page 71, Deed Records, Tarrant County, Texas, more particularly described by metes and bounds as follows:
BEGINNING at the SW corner of Lot 3, Block 30, of said addition said point also begin in the East line of a 12 ft. abandoned alley;
THENCE West 12 ft. an iron pin in the W. line of said Alley continuing in all a total distance of 82.0 ft. to a iron pin for corner in the S. line of Lot 2;
THENCE N. 115.0 ft. to an iron pin found for corner, said pin being in the S. line of Franklin Street;
THENCE E. along the S. line of said Street at 70.0 ft. an iron pin in the W. line of said Alley continuing in all a total distance of 82.0 ft to an iron pin for corner said pin being the NW corner of Lot 3, and in the E. line of said Alley;
THENCE E. along the E. line of said Alley a distance of 116.0 ft. to the Point of Beginning.
NOTE: According to the FIRM Flood Insurance Rate Map #48439C0215 H, dated August 2, 1995, for Tarrant County, this property is NOT in the 100 year flood area and IS in Zone X. Zone X is defined by the Map Legend as: Areas determined to be outside 500-year flood plain.



Site Plan showing House and Contributing Outbuilding



EXISTING FLOOR PLAN
1/4" = 1'-0"

**Floor Plan of House,
c. 2018**

This property was originally owned by Mr. and Mrs. H. C. Yancey, from 1922 to 1945 when it was sold to C. T. Frank. The Yanceys owned the property at the corner of Smith and Franklin Streets and had a house there where they resided. They purchased both lots (501 Smith and 314 E. Franklin Street) at the same time in 1922. The Yanceys were community leaders and active in all areas of Grapevine.

In 1947 the property at 314 E. Franklin Street was purchased by Mr. and Mrs. Robert J. Stark. Mr. Stark was a photographer who had a shop at 409 South Main Street and he was also a transmitter operator at WFAA Radio located north of today's DFW Airport gates. On August 25, 1963, Bob and Velma Stark purchased Cole Florist Shop, Grapevine's first florist shop that had been in business for 25 years, from Christine Cole. The Starks moved the business to Main Street calling it "The Flower Shop." Mr. Stark was also a beloved Boy Scout leader who introduced the Scouts to photography and had a tremendous impact on their lives, including Jess Daniel and Dr. Mike Higgins who credits Mr. Stark for his interest in the electro-microscope. Mrs. Stark was the first Den Mother for Cub Pack 7; J. N. Wood was its first Cubmaster.



Scout Troop 7 at Scout Cabin in the park about 1949. BACK ROW: James Wheatley, Charles Wood, Jimmy Wood, Hugh Lee Higgins (Scout Master), and Robert G. Stark (Ass't. Scout Master). MIDDLE ROW: Mike Daniel, Rodney Thweatt, C.E. Stewart, Hal Nelson, Wil-

liam Buckner, Dickey Crews, Bobby Hurst, Don Austin. FRONT ROW: Billy Smith, Bobby Stewart, Johnny Barnett, Kenneth Landrith, Allison Thomas, Alan Cluck, Robert J. Stark, James Tate, Billy Fielder, Jerry Pirkle, Bobby Thweatt, Larry Pirkle.

Mr. Stark's hobby was radio, and he was a well-known ham radio operator. Important to Grapevine history, he, along with Dr. Joseph M. Allison, upon the death of Mayor B. R. Wall, took over Mayor Wall's work with the citizens of Pitcairn Island. Dr. Allison and Mrs. Stark kept in contact with the islanders who were over 7,000 miles away via letters and Stark's ham radio.

According to David Barnes, a Stark family friend, Mr. Stark had his ham radio equipment in the outbuilding located behind the Stark residence at 314 E. Franklin Street. A large radio tower was placed on the west end of the building and a "radio beam" on the tower enabled Mr. Stark to communicate all the way to Pitcairn Island. David Barnes' father, Paul Barnes, was also a radio operator who worked at WFAA Radio. Paul Barnes also had a separate building behind his family home where he worked with his radio equipment at 907 East Texas Street.



According to an article in the January 6, 1972 Grapevine Sun, he contacted Pitcairn Island at 3 p.m. most Tuesdays and invited all Grapevine citizens interested in Pitcairn Island to join him for the conversations.



According to a January 12, 1964, article in the Fort Worth Star-Telegram, "But even more interesting is the role of Robert Stark, a Grapevine resident who has powerful radio equipment in his home. Stark as an almost weekly contact with Pitcairn. Using coded messages, Stark communicates with Tom Christian, a descendant of the Mutiny leader. The Grapevine man says he handles all kinds of business for the islanders. Recently Stark ordered fishing spears for the Pitcairn residents who made their living chasing yellow fin tuna. He frequently has requests for price information on other equipment islanders used. Just before Christmas, Stark had a message from Christian saying that watermelons were getting ripe. 'We have a standing joke about watermelons,' said Stark. Since growing seasons are reversed, residents of Pitcairn can grow the melons during our winter months.



LONG-DISTANCE FRIENDSHIP— Robert Stark, uses equipment which allows him to communicate with Pitcairn residents 7,000 miles from Grapevine.

“Carrying on the tradition of Grapevine helpfulness, it was Stark who led other hams in the United States in providing strong radio equipment for Pitcairn. ‘Dr. Allison was really the first to suggest it and made the first contribution,’ said Stark.”

Mr. Stark’s radio log and the transmitter he used are in the Grapevine Historical Museum. His call letters were W50LG. Tom Christian’s call letters on Pitcairn Island were VR6TC.

The cultural and historic significance for Grapevine is that the house and the outbuilding at 314 East Franklin is the place from which Mr. Stark broadcast to the Pitcairn islands for over two decades.



Mr. Stark's Radio in the Grapevine Historical Museum

Tom Christian and his wife visited Grapevine and were hosted by Dr. Allison. They met their many friends and benefactors upon their visit to the United States. For many years, and for many people in Grapevine, "Mutiny on the Bounty" was a very real and intimate part of Grapevine history.

SITE

Retain the historic relationships between buildings, landscaping features and open space. Avoid rearranging the site by moving or removing buildings and site features, such as walks, drives and fences that help define the residence's historic value.

SETBACKS

Building setbacks should be consistent with adjacent buildings or with the style of the building. Setbacks are an important ingredient in creating an attractive streetscape. Buildings should be set back to a line that is consistent with their neighbors and land use. For example, a residential setback should retain the setback of adjacent and nearby structures, with landscaping along the street right-of-way.

Residential buildings with a commercial use in residential areas should be set back in a manner consistent with setbacks of neighboring or similar residential structures.

Maintain building orientation pattern, with the front facade facing the street. Maintain spacing patterns between buildings.

DRIVEWAYS, PARKING LOTS AND VACANT SITES

Driveways should be located perpendicular to the street; no circular drives shall be allowed (unless proven with historic documentation) in front or corner side yard, so that the character of the landscaped yard can be reinforced.

New parking lots for commercial uses should not be located adjacent to sidewalks in the district.

Off-street parking lots should not be allowed to interrupt the continuity of landscaped front or corner side yards. This is important to both the preservation of historic character, and to the strengthening of the residential district.

Screen existing parking lots from streets and pedestrian areas in the Historic District. Existing parking lots located adjacent to streets and sidewalks may be screened to the height of car hoods. This will provide a certain level of continuity of the building façade line; it will screen unsightly views; and it will provide a level of security by allowing views to and from the sidewalk.

FENCES

Historically, fences around historic houses defined yards and the boundary around property and gardens. Wood picket fences, wood rail fences and barbed wire or decorative wire fences were the common fence types in Grapevine. Traditionally, picket fences surrounded the front of the house while rail and wire fences surrounded the

agricultural portions of the property. Maintain historic fences.

New fences. Simple wood picket fences, wood and wire and wrought iron fences are appropriate. Avoid chain-link fences, privacy fences and concrete block fences for the street sides of property. Wood privacy fences may be allowed when installed in the rear yard and behind the front façade of a property. Utilitarian/privacy fences should not be installed in front of a historic building or beyond the line of the front façade of a historic building.

Replacing fences. If replacement is required due to deterioration, remove only those portions of historic fences that are damaged beyond repair and replace in-kind, matching the original in material, design and placement. If replacement is necessary for non-historic fences, or new fences are proposed, locate and design the fence in such a way that will compliment the historic boundary of the property without concealing the historic character of the property.

SERVICE AND MECHANICAL AREAS

Service and mechanical areas and equipment should be screened from the street and other pedestrian areas.

All garbage and equipment storage areas should be screened from the street.

Mechanical equipment, including satellite dishes, shall not be located in front or corner side yards or should be set back from the edges of roofs, and screened so that they are not visible to pedestrians and do not detract from the historic character of buildings.

BUILDING FABRIC

PRESERVATION

Preserve, stabilize, and restore original building form, ornament and materials.

Any missing or severely deteriorated elements may be replaced with replicas of the original. Ensure that roof, window, porch and cornice treatments are preserved, or when preservation is not possible duplicate the original building element.

When rehabilitating, remove non-historic alterations.

Often, "modern" renovations conceal the original facade details. If not, the original style may be recreated through the use of historic photographs.

Where replication of original elements is not possible, a new design consistent with the original style of the building may be used.

Reconstruction of building elements should reflect the size, scale, material and level of detail of the original design.

Preserve older renovations that have achieved historic significance. Older structures or additions may have, at some time, been renovated with such care and skill that the renovation itself is worthy of preservation. Usually, such renovations may date from before 1940.

EXTERIOR FINISHES

Original wood finishes should be maintained and painted or, when necessary, replaced in kind. Modern synthetic siding materials such as vinyl or metal bear little resemblance to historic siding materials. The application of such modern synthetic materials often involves the removal of original decorative elements such as cornice, corner boards, brackets, window and door trim, etc. New synthetic siding shall not be installed; removal of existing such materials is not required, but strongly encouraged, to restore historic patina, finish and appearance.

Original asbestos siding should be maintained and painted, or when necessary, replaced with synthetic siding to match the existing asbestos siding. The removal of asbestos siding over existing wood siding is not required, but strongly encouraged, to restore historic patina, finish and appearance.

Original masonry surfaces should be maintained and not be painted, unless severe deterioration of the brick or stone can be shown to require painting. If the color or texture of replacement brick or stone cannot be matched with existing, painting may be an appropriate treatment.

Paint colors should be complimentary to each other and the overall character of the house. When possible, research the original paint color and finishes of the building's historic period; the right colors respect the historic building.

The Historic Preservation Commission shall adopt, as necessary, a paint palette(s) appropriate to the district's character, which may be proposed and approved through the Minor Exterior Alteration application process. Any colors proposed outside the adopted palette may be reviewed by the Commission in the regular Certificate of Appropriateness process.

WINDOWS

Original window framing and lites (panes of glass) configurations should be preserved and maintained or replaced in kind.

When replacement is necessary, do so within existing historic opening. Replacement of non-original windows should consider the use of historically appropriate wood windows. Use same sash size to avoid filling in or enlarging the original opening. Clear or very slightly tinted window glass may be used. No reflective or heavily tinted glass shall be used.

Should the owner wish to install security bars, they should be installed on the interior of

windows and doors.

Storm windows. The use of interior storm windows is encouraged. Storm windows are available which can be installed on the interior of windows. This helps to preserve the exterior historic character of the building.

Should storm windows need to be installed on the exterior of the historic windows, storm windows constructed of wood and configured to match the historic sashes (i.e. one over one sashes) are recommended.

If metal storm windows are installed, paint to blend with surrounding elements.

EMBELLISHMENTS

AWNINGS-CANOPIES

New awnings and canopies should not be installed above windows or doors.

EXTERIOR LIGHTING

Lighting is an important element in residential areas. Fixtures should be consistent with the historic character of the house.

Appropriate incandescent light fixtures to the style of the district should be used.

Avoid exposed lighting of any kind unless part of a historic fixture.

NEW BUILDING CONSTRUCTION

INFILL

The Secretary of the Interior's guidelines for new buildings in historic districts encourage similarity of form and materials, but not actual replication. New construction proposals and the rehabilitation of non-historic buildings will be reviewed based on these Criteria. Judgement will be based on the compatibility of the design within the context of the property's adjacent and nearby historic buildings.

The design of new buildings should have key elements of the building's historic period of significance including massing, scale, fenestration and materials.

Infill buildings should not be absolute reproductions, and appear as clearly contemporary. Only when a previously demolished historic Grapevine building can be accurately replicated may a reproduction be considered.

Infill buildings between historic buildings should be similar in setback, roof form, cornice line and materials, to one of the adjacent buildings. Relate height of new building to the heights of adjacent structures. Avoid new buildings that tower over existing ones.

Horizontal wood siding (either novelty, tongue and groove, shiplap or equivalent) and brick are appropriate exterior building finishes for the historic house. Fake brick or stone or gravel aggregate materials shall never be used.

ADDITIONS TO HISTORIC BUILDINGS

Additions to historic buildings should replicate the style of the main building if possible; otherwise they should adhere to the general style with simplified details.

As a minimum, new additions should reflect the massing, roof shape, bay spacing, cornice lines and building materials of the primary structure.

All new wood or metal materials should have a painted finish except on some 20th century buildings where the use of unpainted aluminum or steel was part of the original design and should be maintained.

A new addition should, if at all possible, be located at the rear of the historic building. If this is not possible, the addition may be added to the side if it is recessed at least 18 inches from the historic building facade or a connection is used to separate old from new.

New vertical additions should be set back from primary facades so as not to be readily apparent from the facing street.

When reproducing elements that were originally part of a historic building they should be replicated when evidence of the actual detail has been documented by photographs, drawings, or remaining physical evidence. If no evidence exists, elements typical of the architectural style may be used. Historic photographs can provide information on the original elements of the building.

ORDINANCE NO. 2018-084

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, DESIGNATING HISTORIC LANDMARK SUBDISTRICT HL18-02 IN ACCORDANCE WITH SECTION 39 OF ORDINANCE NO. 82-73 (APPENDIX "D" OF THE CODE OF ORDINANCES), DESIGNATING THE AREA OF 314 EAST FRANKLIN STREET AND LEGALLY DESCRIBED AS LOT E70'2 AND 12' ALLEY, BLOCK 30, CITY OF GRAPEVINE, ABSTRACT 422, WILLIAM DOOLEY SURVEY AND MORE SPECIFICALLY DESCRIBED HEREIN, IN A DISTRICT ZONED "R-7.5" SINGLE FAMILY DISTRICT; PROVIDING FOR THE ADOPTION OF THE 314 EAST FRANKLIN STREET HISTORIC DISTRICT PRESERVATION CRITERIA; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND A ZONING CHANGE AND AMENDMENT THEREIN MADE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made by the Grapevine Historic Preservation Commission requesting a historic landmark subdistrict designation by making application for same with the Planning and Zoning Commission of the City of Grapevine, Texas as required by State statutes and the zoning ordinances of the City of Grapevine, Texas and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested historic landmark subdistrict designation should be granted or denied; safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control, protection of adjacent property from flood or water damages, noise producing elements and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood, location, lighting and types of signs and relation of signs to traffic control and adjacent property, street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood, adequacy of parking as determined by requirements of this ordinance for off-street parking facilities, location of ingress and egress points for parking

and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust, effect on the promotion of health and the general welfare, effect on light and air, the effect on the transportation, water sewerage, schools, parks and other facilities; and

WHEREAS, all of the requirements of Section 39 of Appendix "D" of the Code of Ordinances have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered, among other things, the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this city;

WHEREAS, the City Council of the City of Grapevine, Texas does find that there is a public necessity for the granting of this historic landmark subdistrict, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and does find that the historic landmark subdistrict designation lessens the congestion in the streets, helps secure safety from fire, panic and other dangers; promotes health and the general welfare; provides adequate light and air; prevents the overcrowding of land; avoids undue concentration of population; facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas has determined that there is a necessity and need for this historic landmark subdistrict designation and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified; and, therefore, feels that historic landmark subdistrict designation for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas and helps promote the general health, safety, and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby designate a historic landmark subdistrict (HL18-02) in accordance with Section 39 of Ordinance No. 82-73, being the Comprehensive Zoning Ordinance of the City of Grapevine, Texas same being also known as Appendix "D" of the City Code of Grapevine, Texas, in a district zoned "R-7.5" Single Family District within the following described property: 314 East Franklin Street and platted as Lot E70'2 and 12' Alley, Block 30, City of Grapevine, Abstract 422, William Dooley Survey, more fully and completely described in Exhibit "A", attached hereto and made a part of hereof; and, in addition thereto, the adoption of the 314 East Franklin Street Historic District Preservation Guidelines as conditions, regulations and safeguards in

connection with the said historic landmark subdistrict, a copy of said criteria being attached hereto and labeled Exhibit "B".

Section 2. That the City Manager is hereby directed to correct the official zoning map of the City of Grapevine, Texas to reflect the "H" zoning designation.

Section 3. That in all other respects, the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinances and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future, to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. That this ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. That any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed two thousand dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety

and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 16th day of October 2018.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 16, 2018

SUBJECT: DALLAS ROAD TRANSIT CORRIDOR NAMING

RECOMMENDATION: Council to consider approval of possible names for the Dallas Road Transit District.

FUNDING SOURCE: NA

BACKGROUND: MMGY Global has conducted a study to determine possible names for the Dallas Road Transit District. Stewart Colovin with MMGY Global will present their study and suggest possible names for the District.

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 16, 2018

SUBJECT: LANDSCAPE ARCHITECTURE SERVICES CONTACT

RECOMMENDATION: City Council to approve a landscape architecture contract to Schrickel Rollins/Parkhill Smith and Cooper for the landscape and construction documents for State Highways 360/121 Green Ribbon Project Phase V, and an ordinance appropriating funds and take any necessary action.

FUNDING SOURCE: Upon approval of the attached appropriation ordinance, funds will be available in the Grant Fund in an amount not to exceed \$98,500.

BACKGROUND: Several areas throughout the DFW Connector corridor were not included in Texas Department of Transportation's (TxDOT) landscape plan for the project. These are highly visible areas where supplemental landscaping will enhance the look of Grapevine.

Staff presented the idea to Council at the July 16, 2013 meeting to hire a Landscape Architect to design several areas of the Connector project. A fully comprehensive plan that is phased and vetted by the City Council will facilitate budgeting and grant applications as well as promote a more uniform theme throughout the corridor.

Since 2013, Schrickel Rollins and Associates (dba: Shrickel Rollins/Parkhill Smith & Cooper) has designed Phases I through IV. Recently, Phase III was completed along State Highway 114, with limits from Ira E. Woods Avenue to William D. Tate Avenue. Staff has received positive comments from citizens, visitors, and merchants regarding these landscape improvements along the State Highway 114 corridor. Phase IV construction along FM 2499 will begin in November 2018. The landscape architecture services contract is for Phase V includes the merger of State Highway 360 and State Highway 121 including a section of Stone Myers Parkway.

See attached proposal. Staff recommends approval.

October 2, 2018

EXHIBIT A

Scope of Services
Grapevine, Texas
Phase V – Hwy. 360/Hwy. 121 Landscape Improvements
TXDOT Green Ribbon Project

1. Scope of Project

The project consists of the Preliminary Design and Construction Documents for landscape improvements. The City of Grapevine is planning and developing a multi-phase project that consists of landscape improvements and gateway signage within the TxDOT R.O.W. The areas of the improvements include SH 26, SH 114, SH 360, FM 2499 and I-635. The primary purpose of this project is to announce the arrival into the City of Grapevine, which is bordered by DFW Airport and six other cities. The sense of arrival will be reinforced by the use of landscape enhancements, irrigation (Green Ribbon Funded items) and possible unfunded items. The first four phases of the City-wide gateway initiative consisted of landscaping, mow strips and irrigation along SH 114, between the Bridge over SH 26 down to Texas Trail Bridge and along FM 2499.

The scope of work (basic services) consists of landscape planting design, irrigation layout and electrical service for the irrigation system, per TxDOT format.

The project budget for construction exclusive of fees for professional services will be approximately \$1,000,000. If the project budget is modified during the course of the project, related professional services fees will be adjusted proportionately. No adjustments will be made to budget or fees without prior written approval by the Owner.

2. Topographic Survey/Base Sheet Preparation

Topographic and existing utility information (visible above ground) for the area will be provided by Schrickel, Rollins/PSC (Consultant). Existing trees will be located and identified if the tree is three inches (3") in caliper or greater. Spot grades of adjoining hard surfaces and median curbs will be shown. This is for median and parkway only. Deed or boundary research will not be provided, nor will boundary lines or right of way line ties. Right of way lines will be provided by the City. City of Grapevine plans will be shown and identified by objects located above ground.

3. Review Existing Plans

Collect and review applicable existing plans and studies relevant to the project area to define preliminary issues, to identify conflicting findings, and to identify supplemental data requirements. This effort will include a review of the existing corridor master plan, roadway improvement plans by TxDOT, and related ordinances.

4. Data Gathering/Field Observation

The Landscape Architect will perform a detailed site inventory and photo documentation of existing conditions, including existing infrastructure and existing development adjacent to the site. City staff will help locate existing utilities and irrigation service within the proposed landscape area.

5. Preliminary Design

The Landscape Architect will prepare the Preliminary Design for this phase of the project based on the project budget.

X:\PENDING PROJECT NUMBER\01_SRA\TXDOT Green Ribbon - Ph V\Architectural Letter Agreement - TxDOT Green Ribbon - Phase V (Hwy360-Hwy121).docm

The Landscape Architect will hold a maximum of four (4) meetings with the CITY's representative and other designated representatives throughout the Preliminary Design development to communicate progress and discuss pertinent issues. The Preliminary Design will be revised at the direction of the CITY's representative. A rough opinion of probable cost will be prepared at the completion of the Preliminary Design.

The Preliminary Design will consist of an opinion of probable cost and an overall plan view.

6. Construction Documents

Based on the approved Preliminary Design and any further adjustments in the scope and quality of the project or in the construction budget authorized by the CITY, construction documents consisting of drawings and specifications will set forth in detail the requirements for the construction of the project. The Landscape Architect will advise the CITY's representative of any adjustments to previous opinions of construction cost indicated by changes in requirements or general market conditions.

The Landscape Architect will submit documents and opinions of construction cost to the CITY's representative at intervals of 30, 60 and 90% of completion for review. The CITY's representative will respond with written comments advising any changes to be made. Specifications will be written to reference TxDOT standard specifications.

The Landscape Architect will prepare a list of construction bid items and compute estimated quantities. The opinion of probable cost of construction will be computed based on current unit prices and estimated quantities.

The Landscape Architect will provide general notes, specifications and special provisions, which are applicable to the project.

7. Bidding

This Landscape Architect will provide/perform the following Bidding Services.

- A. The Landscape Architect will attend the Prebid conference if requested.
- B. Assist CITY staff in preparing the advertisement for bids.
- C. Answer questions from Bidders and prepare addenda as necessary.
- D. Assist CITY as required in opening bids.
- E. Provide bid tabulations and bid analysis as required by TxDOT.
- F. Evaluate the lowest bidder. Bid evaluation will include the contractor's:
 1. Past work history;
 2. Financial resources; and
 3. Physical resources to produce the project.
- G. A summary of the bid analysis will be provided to CITY for use in selection and award of the construction contract.
- H. Compensation for Bidding shall be approximately three (3%) percent of the lump sum fee shown in Item 13 - Fees.

8. Construction Administration

The Landscape Architect will provide/perform the following Construction Administration services. Said services to be provided after execution of a contract between CITY, TxDOT and the Contractor selected by TxDOT. The Landscape Architect will provide information relating to review of submittals, shop drawings, and requests for information.

- A. Landscape Architect will provide/perform the following Construction Administration services:
 1. A total of three (3) meetings/site visits with owner/contractor including:
 - a. Preconstruction Conference.
 - b. Field observation/construction progress shall be provided for the purpose of ascertaining for the CITY that the work is in substantial or general conformance with the contract

- documents and design intent;
- i. Should nonconforming or defective work be observed, the Landscape Architect will endeavor to immediately inform the CITY's representative that conforming or remedial action is required.
 - ii. A schedule of key construction observation visits will be developed for approval and reference by CITY.
 - iii. Conduct coordination meetings with contractors, TxDOT inspection personnel, and CITY representative to discuss strategy, problem areas, progress, and any required coordination. Prepare a summary of these meetings and distribute them to both CITY and the contractor.
- c. Placement and layout of improvements;
 - d. Field observation/construction progress;
2. Review submittal information for the purpose of ascertaining conformance with the design intent and construction documents.
 3. Provide written responses to requests for information or clarification.
 4. Prepare and process change orders, if required.
 5. Assist CITY in conducting the substantial completion and final completion observations.
 6. When complete, recommend final acceptance of work.
- B. Landscape Architect's status during construction:
Landscape Architect will not be responsible for Contractor's means, methods, techniques, sequences, procedures or schedules of construction or the safety precautions and programs incident hereto. Landscape Architect will not be responsible for Contractor's failure to perform or furnish the work in accordance with the construction documents. Landscape Architect will not be responsible for any delays in the execution of the work caused by the Contractor.

9. Optional Additional Services

The Landscape Architect will provide services not identified in this Basic Scope of Services upon receipt of authorization from the CITY's representative. Additional Services will be provided on an hourly rate basis with a mutually agreed "not to exceed" total. Such Additional Services may include the following or other services:

Design Phase

- A. Design of facilities beyond the original scope and/or budget identified in the description of services.
- B. Location of underground utilities, SUE.
- C. Establishment of the boundary lines and Right of Way Lines.
- D. Design of Signalization Systems and/or traffic studies.
- E. Representation in arbitration, mediation, litigation, depositions or similar legal processes.
- F. Environmental assessment or environmental impact study.
- G. Permits
- H. Public / Stakeholder meetings
- I. SWPPP
- J. TxDOT Administrative Tools
 1. Scope Development Tool
 2. Biological Evaluation Form
 3. PCR for Historical Studies

Construction Phase

- A. Preparation of Change Orders as required which expand the original Scope of Services.
- B. Site observation visits.

10. Exclusions

The following services are not included in the contract:

- A. Geotechnical Testing and Recommendations.
- B. Drainage, Hydrology and Hydraulics Studies.
- C. Right-Of-Way Map
- D. Parcel Information
- E. Deeds and/or easements
- F. Title Insurance Policies
- G. Coordination with FEMA and USACE
- H. Value Engineering
- I. Letters of Authority
- J. Bonding & Insurance

11. Reimbursable Expenses

The following items, if provided, shall be considered reimbursable or additional to this contract.

- A. Permit or filing fees.
- B. Printing and other reproduction costs beyond those set forth in this contract.
- C. Special courier services.
- D. Review and inspection fees related to Texas Department of Licensing and Regulations.

12. Services Provided by the Owner

The City will provide the following services in the performance of the project.

- A. The City will manage the TXDOT Plan Development Review Checklist and Process which includes:
 - 1. Scope Development Tool
 - 2. Biological Evaluation Form
 - 3. PCR for Historical Studies
- B. Provide any existing data the City has on file concerning the project, if available.
- C. Provide any available as-built plans for existing facilities, if available.

- D. Assist the Consultant, as necessary, in obtaining any required data and information from local utility companies.
- E. Provide Standard City Details and Specifications in digital format.
- F. Assist the Consultant by requiring appropriate utility companies to expose underground utilities within the right-of-way or easements, when required.
- G. Give prompt written notice to the Consultant whenever City observes or otherwise becomes aware of any development that affects the scope or timing of the Consultant’s services.
- H. The City will secure the services of an independent laboratory for Construction Phase Testing.
- I. The City will assign with a staff person who will serve as the project manager, liaison with TXDOT, and Local Government Representative who will manage the project and coordinate the project with TXDOT.

13. Fees

A. Basic Professional Planning and Design Services including:

(Based on a construction budget of approximately \$1,000,000)

Construction Documents	
30%	\$14,000.00
60%	\$18,000.00
90%	\$21,500.00
Final	\$14,000.00
Bidding	\$ 2,500.00
Meetings (2) Required –	\$ 1,500.00
Construction Administration	\$ 4,250.00
Reimbursable Expenses	<u>\$ 250.00</u>
 Subtotal Planning and Design Services	 \$76,000.00
 Topographic Survey	 \$ 13,500.00
Environmental Documentation for TxDOT	<u>\$ 5,000.00</u>
Scope Development Tool, Biological Evaluation	
Form, and Associated Documentation	
Cultural Resources Abbreviated Desktop Evaluation	
Electrical Service for Primary Power	<u>\$ 4,000.00</u>
 Total Basic Services	 \$ 98,500.00

The Basic Planning and Design Services fee of \$76,000.00 is for the described project with a maximum Construction Budget of approximately \$1,000,000.00. The Basic Services fee shall be increased or decreased proportionally based on the Construction Budget authorized by the City. The proposed fee will be adjusted if the budget is increased by more than 5% or decreased by less than 5% of the Construction Budget stated herein.

B. Optional Additional Services (upon request)

(2) Added meetings - hourly including prep time (Cost not to exceed)	\$ 3,000.00
Total Optional Additional Services	\$3,000.00

Sincerely,

SCHRICKEL ROLLINS/PSC (A/E)

CITY OF GRAPEVINE (OWNER)

By _____
Victor W. Baxter, RLA
Sector Director

Accepted By: _____

Title: _____

Date: _____

IN DUPLICATE

Enclosures

"The Texas Board of Architectural Examiners, P.O. Box 12337, Austin, Texas 78711-2337 or 333 Guadalupe, Suite 2-350, Austin, Texas 78701-3942, (512) 305-9000, www.tbae.state.tx.us has jurisdiction over complaints regarding the professional practices of persons registered as landscape architects in Texas.

ORDINANCE NO. 2018-078

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS AUTHORIZING THE APPROPRIATION OF \$98,500 FROM THE QUALITY OF LIFE FUND AND TRANSFER TO THE GRANT FUND AND APPROPRIATE IN THE GRANT FUND FOR LANDSCAPE ARCHITECTURE SERVICES FOR THE STATE HIGHWAYS 360/121 GREEN RIBBON PROJECT - PHASE V; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, a Master Agreement between the City of Grapevine and the State of Texas was adopted by Resolution No. 2000-60 on November 21, 2000 and the agreement states the general terms and conditions for transportation projects developed through this Local Transportation Project Advance Funding Agreement; and

WHEREAS, the Texas Transportation Commission passed Minute Order 115005, that provides for the development of, and funding for, landscape improvements at the merger of State Highways 360/121 including a section of Stone Myers Parkway in the City of Grapevine; and

WHEREAS, the landscape architecture firm of Schrickel Rollins and Associates, Inc. (dba: Schrickel Rollins/Parkhill Smith & Cooper) has designed Phases I thru IV of this project; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this ordinance to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine approves the appropriation of \$98,500.00 in the Quality of Life Fund to be transferred to the Grant Fund and appropriated in the Grant Fund for the landscape and signage master plan and construction documents for the State Highways 360/121 Green Ribbon Project - Phase V.

Section 3. The fact that the present ordinances and regulations of the City of Grapevine, Texas are inadequate to properly safeguard the health, safety, morals,

peace and general welfare of the public creates an emergency which requires that this ordinance become effective from and after the date of its passage, and it is accordingly so ordained.

Section 4. That this ordinance shall become effective from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 16th day of October, 2018.

APPROVED:

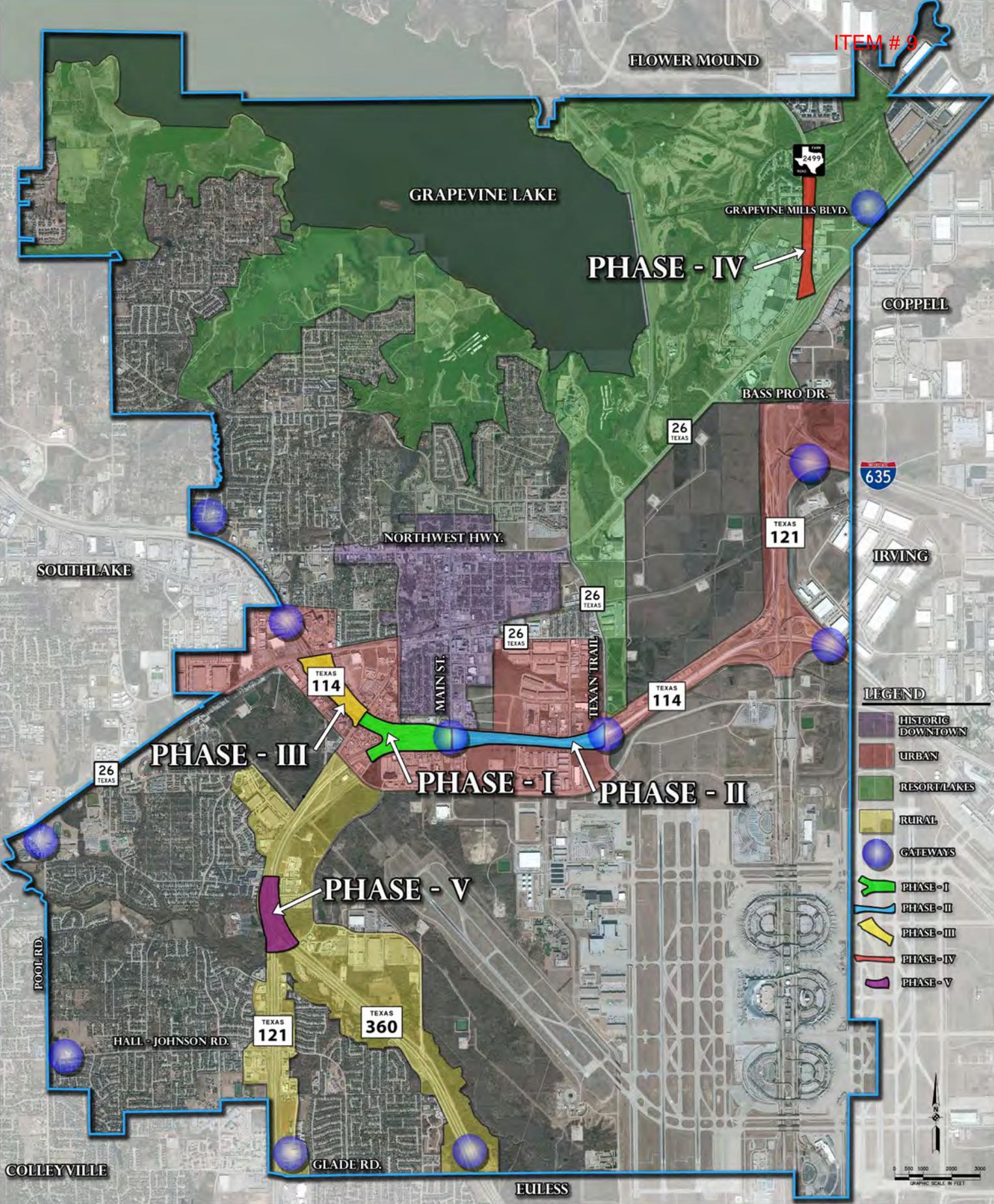
William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

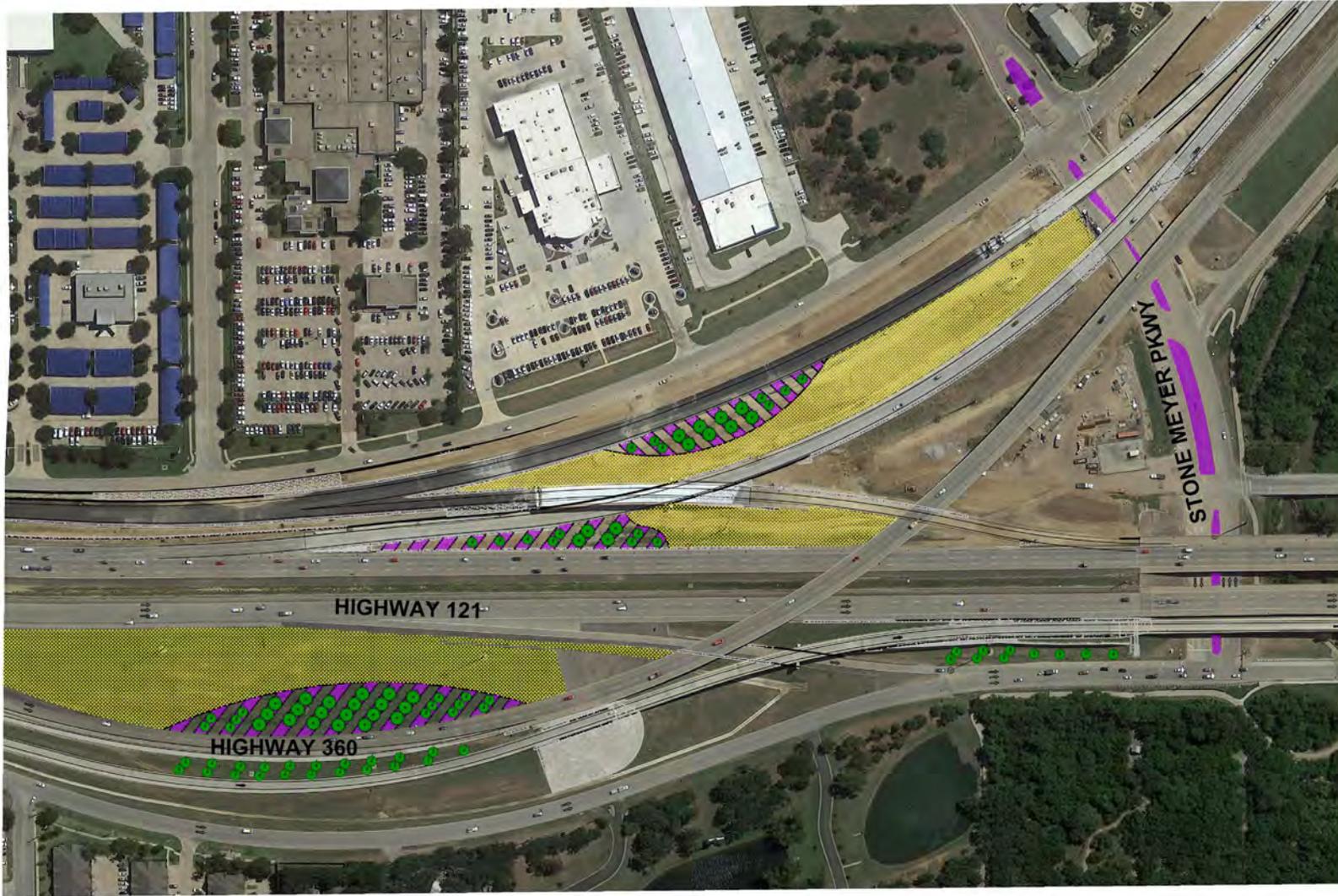
City Attorney



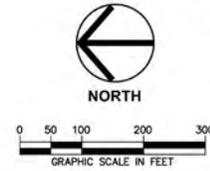
GRAPEVINE GATEWAYS & LANDSCAPE ENHANCEMENTS -

Zone Map & Project Locations





- LEGEND:**
- SHRUB/ORNAMENTAL AREAS
 - BUFFALO GRASS
 - WILDFLOWER AREA

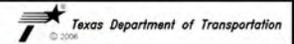


ITEM #9
CITY OF GRAPEVINE
GREEN RIBBON PROJECT



HWY 121 / 360
 @ STONE MEYER PKWY
 LANDSCAPE ENHANCEMENTS

PHASE - 5
SCHEMATIC PLAN



SRA Schickel, Rollins and Associates, Inc.
 Landscape Architecture - Civil Engineering - Planning
 1911 Coppas Drive West Suite 300
 Arlington, Texas 76010 Phone: 817.948.1276
 Fax: 817.948.1243

DRAWN:	SCALE:	1" = 150'	
CHECKED:	SRA JOB NO:	3596	
FEDERAL AND PROJECT NO:			
6 NH XXXX(XXX)			
STATE:	DIST:	COUNTY:	HIGHWAY NO.:
TEXAS	FTW	TARRANT	HWY 121/360
CONTROL:	SECTION:	JOB:	SHEET NO.:
XXXX	XX	XXX	1

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 16, 2018

SUBJECT: RENEWAL OF INTERLOCAL AGREEMENT FOR TEEN COURT

RECOMMENDATION: City Council to consider renewal of an Interlocal Agreement with the cities of Colleyville, Southlake and Keller for the Metroport Teen Court program.

FUNDING SOURCE: Funds are available in Municipal Court Professional Services account 100-44540-107-001 in the amount of \$36,000.

BACKGROUND: City Council authorization for participation in the Teen Court program occurred on August 16, 1994 and the program began operations on September 1, 1994 as the CGS (Colleyville, Grapevine, Southlake) Teen Court. The program now includes Keller and is referred to as Metroport Teen Court. Teen Court is a volunteer program which provides juvenile misdemeanor offenders an alternative to the Criminal Justice System. Kristin White is the Teen Court Coordinator. Historical activity for the Metroport Teen Court is attached.

Staff recommends approval.

MEMORANDUM

September 27, 2018

TO: Cindy Eteaki, Court Manager, City of Grapevine

FROM: Kristin White, Southlake Court Manager/ Teen Court Coordinator

SUBJECT: Approval of the Metroport Teen Court 2018-2019 Interlocal

Attached is the 2018-2019 Teen Court Interlocal for your review. The City of Southlake is grateful for Grapevine's contribution of \$36,000 and its continued support of the Metroport Teen Court program. The operating budget includes supplies and training materials plus staff.

Metroport Teen Court currently reports an 88% rate of successful completion, as compared to the North Texas average of 75%. Questions on these data may be directed to Kristin White at kwhite@ci.southlake.tx.us.

Historical Activity for the Metroport Teen Court as listed below:

<u>Year</u>	<u>Total Referrals</u>	<u>Grapevine Referrals</u>
1996-1997	694	157
1997-1998	775	264
1998-1999	534	207
1999-2000	571	189
2000-2001	583	155
2001-2002	633	234
2002-2003	817	283
2003-2004	1061	317
2004-2005	958	242
2005-2006	1212	339
2006-2007	1239	368
2007-2008	1139	449
2008-2009	1151	428
2009-2010	1064	370
2010-2011	1024	223
2011-2012	1062	250
2012-2013	914	223
2013-2014	773	162
2014-2015	760	148
2015-2016	761	134
2016-2017	717	151
2017-2018	636*	108*

*Numbers are calculated as of 9/25/18 and not the entire fiscal year.

Metroport Teen Court Proposed Budget 2019

<u>Line Item</u>	<u>FY19 Projections</u>	<u>Colleyville</u>	<u>Grapevine</u>	<u>Keller</u>	<u>Southlake</u>
Regular Earnings/Benefits *	\$120,000	\$30,000	\$30,000	\$30,000	\$30,000
Contract Labor - Security **	\$12,000	\$3,000	\$3,000	\$3,000	\$3,000
Overtime/Part-time staffing	\$5,000	\$1,250	\$1,250	\$1,250	\$1,250
Software/Hardware	\$1,000	\$250	\$250	\$250	\$250
Supplies/Equipment - Office	\$1,000	\$250	\$250	\$250	\$250
Postage	\$500	\$125	\$125	\$125	\$125
Printing	\$1,000	\$250	\$250	\$250	\$250
Licenses/Professional Memberships	\$100	\$25	\$25	\$25	\$25
Travel Conf Meals	\$550	\$55	\$55	\$55	\$385
Mileage	\$1,200	\$300	\$300	\$300	\$300
Registration (Training/Certifications)	\$2,250	\$325	\$325	\$325	\$1,275
Travel/Lodging	\$750	\$150	\$150	\$150	\$300
Pre-employment Phys	\$80	\$20	\$20	\$20	\$20
Total	\$145,430	\$36,000	\$36,000	\$36,000	\$37,430

* This amount includes (2) full time employees plus benefits as well as partial salaries for 2 additional employees.

** Includes 2 uniformed officers for security detail each Tuesday evening for Teen Court sessions.

INTERLOCAL AGREEMENT

AMONG

**CITY OF COLLEYVILLE, CITY OF GRAPEVINE, CITY OF KELLER,
AND CITY OF SOUTHLAKE**

This Interlocal Agreement (“Agreement”), entered into effective on the 1st day of October, 2018, by and among the City of Colleyville, the City of Grapevine, City of Keller, and the City of Southlake, all municipal corporations of the State of Texas (herein called “Cities” or “each participating City”), the parties acting herein under the authority and pursuant to the terms of Chapter 791, INTERLOCAL COOPERATION CONTRACTS, Texas Government Code, **WITNESSETH THAT:**

WHEREAS, the City Councils of the Cities of Colleyville, Grapevine, Keller, and Southlake jointly find that it will be in the publics’ best interest to enter into this Agreement for the purposes set forth herein below.

NOW, THEREFORE, it is mutually agreed between each participating City that:

1. Teen Court is a volunteer program which allows juvenile misdemeanor offenders an alternative to the criminal justice system while allowing them also to assume responsibility for their own actions through their involvement in the judicial process and community services in order that their offenses will not be recorded as a conviction on their driving record. Bringing juvenile offenders to a jury of their peers and to the community for constructive punishment will provide the juveniles with an understanding of the judicial system and a realization of their roles and responsibilities in the community.

2. The community will benefit from this interaction in that, through Teen Court, the community is afforded a unique opportunity to become involved in the education of juvenile offenders and will benefit from the community services provided to the community by the juvenile offenders.

3. A Teen Court Advisory Board shall be appointed by the respective governing bodies comprised of two (2) members at large from each participating City and one (1) city council member from each participating City as each so chooses all of whom are voting members. The role and duties of the Teen Court Advisory Board shall be established by the

Municipal Court Judges in the participating Cities.

4. The name of the program established by this Agreement shall be the "METROPORT Teen Court Program." The City of Southlake shall employ teen court staff to administer and coordinate the activities of the METROPORT Teen Court Program, under the direction of the Southlake Municipal Court Manager.

5. This Agreement shall be executed in separate counterparts for each participating city, which counterparts shall be valid and binding as if the original. Each participating city, as its contribution for participating in the METROPORT Teen Court Program, shall pay to the City of Southlake \$36,000.00 ("Service Fee") upon such participating City's execution of this Agreement. It is expressly agreed that such payment fairly compensates the City of Southlake for the performance of services contemplated under this Agreement. Each participating City shall make this payment from current revenues available to that City.

6. The scope of responsibilities of the Teen Court Staff shall be established by the City of Southlake.

7. The term of this Agreement shall be for a period of (12) twelve months beginning October 1, 2018, and ending September 30, 2019. If the parties have failed to adopt a new Agreement by the expiration date of this Agreement, this Agreement shall be deemed to continue on the same terms and conditions until such time as the new Agreement is adopted for the ensuing year, unless any party terminates its participation in this Agreement as provided below. In such event, this Agreement shall continue in effect until either the City of Southlake or all other participating Cities have terminated this Agreement. Upon renewal or continuation of this Agreement, each participating City shall pay the Service Fee to the City of Southlake for the ensuing year.

8. Any party hereto may terminate its participation in this Agreement without recourse or liability upon thirty (30) days written notice to the other party.

9. By execution of this Agreement, each party represents to the other that:

- a. In performing its duties and obligations hereunder, it will be carrying out one or more governmental functions or services which it is authorized to perform; and

- b. The undersigned officer or agent of the party has been properly authorized by that party's governing body to execute this Agreement and that any necessary resolutions extending such authority have been duly passed and are now in effect.
- 11. This Agreement is made pursuant to Chapter 791 and Subchapter E, Chapter 418, Texas Government Code. It is agreed that in the execution of this Agreement, no party waives any immunity or defense that would otherwise be available to it, against claims arising from the exercise of governmental powers and functions.

ATTEST:

City Secretary, City of Colleyville Date _____
Mayor, City of Colleyville Date

City Secretary, City of Grapevine Date _____
Mayor, City of Grapevine Date

City Secretary, City of Keller Date _____
Mayor, City of Keller Date

City Secretary, City of Southlake Date _____
Mayor, City of Southlake Date

Approved as to form and legality:

City Attorney, City of Colleyville

City Attorney, City of Grapevine

City Attorney, City of Keller

City Attorney, City of Southlake

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 16, 2018

SUBJECT: APPROVAL TO RENEW AN ANNUAL CONTRACT FOR THE PURCHASE OF FIRE DEPARTMENT UNIFORMS

RECOMMENDATION: City Council to consider the renewal of an annual contract for fire department uniforms with Galls, LLC for the Fire Department.

FUNDING SOURCE: Upon approval, funds for this purchase will be available in account 100-42220-210-003 (Clothing/Uniform Supplies) for an annual estimated amount of \$55,000.

BACKGROUND: The purpose of this contract is to establish fixed pricing for Fire Department uniforms on an as-needed basis. The Fire Department and Purchasing reviewed the contract for specification compliance and pricing and determined that this contract would provide the best product, service and pricing for meeting the needs of the City.

Purchases will be made as required and in accordance with an interlocal agreement with the City of Frisco, Texas as allowed by Texas Local Government Code, Section 271 and Texas Government Code, Chapter 791.

The City of Frisco, Texas solicited competitive bids for Fire Department Uniforms. Bids were submitted and based on the best value criteria; Galls LLC, was awarded the contract by the Frisco City Council on August 5, 2014. The term of the contract was for one-year with four, one-year optional renewals. If approved, this will be for the final renewal available.

Staff recommends approval.

JS/LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 16, 2018

SUBJECT: APPROVAL FOR THE AWARD OF AN INFORMAL REQUEST FOR QUOTE FOR FENCE PANELS

RECOMMENDATION: City Council to consider approval for the award of an informal request for quote for fence panels from TS Distributors, Inc. for the Parks and Recreation Department.

FUNDING SOURCE: Upon Council approval, funds are available in account 121-48850-312-020-1700010 (Improvement other than Buildings/Dog Park) for an amount not to exceed \$34,803.

BACKGROUND: This purchase is for wire mesh fence panels for Bear Creek Dog Park.

Quotes were taken in accordance with City Purchasing policy. Formal bids and advertisements are not required for purchases under \$50,000. Three vendors submitted quotations. TS Distributors, Inc. submitted the lowest responsive and responsible quote meeting specifications.

TS Distributors, Inc. \$34,803
Metaltech-Omega \$53,302
Jamieson Fence Supply \$68,892

Staff recommends approval.

BG/BS

ITEM # 12



MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 16, 2018

SUBJECT: APPROVAL TO RENEW AN ANNUAL CONTRACT FOR PAVEMENT MARKING SERVICES

RECOMMENDATION: City Council to consider the renewal of an annual contract for pavement marking services with Stripe-A-Zone for the Public Works Department.

FUNDING SOURCE: Upon approval, funds will be available in account 174-43301-415-093 (Street Maintenance Capital Replacement/Transportation Infrastructure Maintenance) for an annual estimated amount of \$100,000.

BACKGROUND: The purpose of this contract is to establish fixed pricing for pavement marking services for the Public Works Department on an as-needed basis. The Public Works Department and Purchasing reviewed the contract for specification compliance and pricing and determined that this contract would provide the best service and pricing for meeting the needs of the City.

Purchases will be made as required and in accordance with an interlocal agreement with City of Grand Prairie, Texas as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

The City of Grand Prairie, Texas solicited bids which they awarded a contract to Stripe-a-Zone on August 16, 2016. Only one bid was received and the pricing submitted was fair and reasonable. The contract was for an initial one-year period with four, one-year renewal options. If approved, this will be for the second renewal.

Staff recommends approval.

FB/LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 16, 2018

SUBJECT: APPROVAL OF A RESOLUTION FOR THE PURCHASE AND INSTALLATION SERVICES FOR TWO MICROWAVE LINKS FOR THE DOVE AND MUSTANG ELEVATED WATER STORAGE TANKS AND WATER TREATMENT PLANT COMMUNICATIONS

RECOMMENDATION: City Council to consider a resolution authorizing the purchase and installation services for two microwave links for the Dove and Mustang elevated water storage tanks and Water Treatment Plant from JTS.

FUNDING SOURCE: Funds for this purchase are available in account 200-43360-534-000 (Water Supply Infrastructure Maintenance) for a total amount not to exceed \$90,565.

BACKGROUND: This purchase is required to make a critical connection to the City computer network and the City infrastructure/personnel at the Water Treatment Plant. The new connection will replace existing radios that are at end of life and beginning to cause operational interference and failure with the network connection at the Water Treatment Plant. This new link will be installed in advance of the Peach elevated water storage elevated tank maintenance project to ensure continuity of operations at the Water Treatment Plant and will provide more reliable, consistent and secure network connection to the entire communications network.

This purchase will be made in accordance with an existing interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to JTS. The IT Department and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would best meet the needs of the City.

Staff recommends approval.

TALW

RESOLUTION NO. 2018-079

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE TWO MICROWAVE LINKS AND INSTALLATION SERVICES THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791 to enter into an interlocal agreement with other qualified agencies in the State of Texas; and

WHEREAS, The Local Government Purchasing Cooperative (BuyBoard) is a qualified purchasing cooperative program as authorized by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791; and

WHEREAS, the City of Grapevine, Texas has established an interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) and wishes to utilize established contracts meeting all State of Texas bidding requirements; and

WHEREAS, The Local Government Purchasing Cooperative (BuyBoard) has an established contract No. 498-15, Technology Equipment and Supplies, Software, Telecommunications Products, and Asset Disposal and Recovery, with JTS; and

WHEREAS, the City of Grapevine, Texas has a need for the purchase and installation services for two microwave links for the Dove and Mustang elevated water storage tanks and water treatment plant communications; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase and installation services of two microwave links for the Dove and Mustang elevated water storage tanks and water treatment plant communications from JTS through an interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) for an amount not to exceed \$90,565.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of said two microwave links.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 16th day of October, 2018.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 16, 2018

SUBJECT: CONSTRUCTION CONTRACT FOR THE BARTON AND PEACH ELEVATED WATER STORAGE TANK RENOVATIONS, REPAIRS AND REPAINTING AND AN APPROPRIATION ORDINANCE

RECOMMENDATION: City Council consider the construction contract for the Barton and Peach elevated water storage tank renovations and repainting to CFG Industries, LLC and consider an ordinance appropriating the funds.

FUNDING SOURCE: Upon approval of the attached appropriation ordinance, funds in the amount of \$131,000 will be available in the Utility Enterprise Capital Fund account 201-43360-000-000-180106 Maintenance and Repair.

BACKGROUND: On March 20, 2018, a design contract was awarded to DeltaTek Engineering to prepare construction plans for the painting and rehabilitation of Peach and Barton elevated water towers.

Painting systems used on storage tanks typically last 12 to 15 years. Additional maintenance will be performed while both tanks are out of service including upgrades to comply with recent regulatory agency requirements.

Bids were opened on September 20, 2018 with six bids received as follows:

CFG Industries, LLC	\$1,452,850.00
Viking Industrial Painting	\$1,708,270.00
N.G. Painting Inc.	\$1,668,750.00
M.K. Painting Inc.	\$1,756,000.00
Classic Protective Coatings, Inc.	\$2,195,125.00
TMI Coatings Inc.	\$3,355,000.00

DeltaTek Engineering has reviewed the bids and concurs staff's recommendation to award to CFG Industries, LLC.

The City Council has previously appropriated \$1,700,000 to support both projects. With the two tanks being consolidated into one construction contract, an additional \$131,000 is required to support the design construction and construction related services.

The contractor has 180 days to complete the project after notice to proceed.

Staff recommends approval.

	Barton Elevated Water Storage Tank	Peach Elevated Water Storage Tank	Total
Construction Contract	\$ 679,350.00	\$ 773,500.00	\$ 1,452,850.00
Additional construction related service	\$ 108,696.00	\$ 123,760.00	\$ 232,456.00
Cost to date	\$ 73,361.00	\$ 72,250.00	\$ 145,611.00
Total	\$ 861,407.00	\$ 969,510.00	\$ 1,830,917.00
Appropriation March 20, 2018	\$ 700,000.00	\$ 1,000,000.00	\$ 1,700,000.00
Appropriation Needed	\$ 161,407.00	\$ (30,490.00)	\$ 130,917.00
Rounded Appropriation			\$ 131,000.00

ORDINANCE NO. 2018-079

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, REVISING THE ADOPTED CAPITAL IMPROVEMENTS BUDGET FOR THE FISCAL YEAR ENDING IN 2019; PROVIDING FOR \$131,000 IN THE UTILITY ENTERPRISE CAPITAL FUND; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City Council of the City of Grapevine desires to paint and maintain the Peach and Barton Elevated Water Storage Tanks; and

WHEREAS, funding for the total of the construction phase services for the Peach and Barton Elevated Water Storage Tanks and construction contingency is not currently included in the Fiscal Year 2018-2019 Capital Improvements Plan Budget; and

WHEREAS, Ordinance No. 2018-024 and Ordinance No. 2018-025 were approved by City Council on March 20, 2018 appropriating \$1,700,000 of released impact fees in the Utility Enterprise Capital Fund; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act and Chapter 211 of the Local Government Code; and

WHEREAS, the City Council deems the adoption of this ordinance to be in the best interests of the health, safety, and welfare of the public.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council hereby authorizes an amount of \$131,000 from the Utility Enterprise Capital Fund for the Peach and Barton Elevated Water Storage Tanks improvements.

Section 3. That a copy of the revised Fiscal Year 2018-2019 Capital Improvements Plan budget document shall be kept on file in the office of the City Secretary and on the City of Grapevine website.

Section 4. That the terms and provisions of this ordinance shall be deemed to be severable, and that if the validity of any section, subsection, word, sentence or phrase shall be held to be invalid, it shall not affect the remaining part of this ordinance.

Section 5. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 16th day of October, 2018.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

John F. Boyle, Jr.
City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 16, 2018

SUBJECT: 15 FOOT WIDE SEWAGE LIFT STATION AND UTILITY EASEMENT ABANDONMENT – 3193 BASS PRO DRIVE

RECOMMENDATION: City Council consider adopting an ordinance abandoning a 15-foot wide sewage lift station and utility easement on proposed Lot 1, Block 1, DCT Fellowship West Phase II, and take any necessary action.

FUNDING SOURCE:

BACKGROUND: The property owner located at 3193 Bass Pro Drive has requested the City abandon a 15-foot wide sewage lift station and utility easement that is no longer in use. The sewage lift station and utility easement was dedicated by separate instrument in October, 2000 for a sanitary sewer force main facility.

Staff recommends approval.

ORDINANCE NO. 2018-080

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ABANDONING AND VACATING A 15-FOOT SEWAGE LIFT STATION AND UTILITY EASEMENT ON PROPOSED LOT 1, BLOCK 1, DCT FELLOWSHIP WEST PHASE II ADDITION IN THE CITY OF GRAPEVINE, TEXAS AS HEREINAFTER DESCRIBED; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the property owner of the proposed Lot 1, Block 1, DCT Fellowship West Phase II located at 3193 Bass Pro Drive, City of Grapevine, Tarrant County, Texas has requested that a 15-foot sewage lift Station and utility easement of said lot, as herein after described, be abandoned and vacated; and

WHEREAS, the easement is not needed for public use and will not be needed in the future for public use; and

WHEREAS, abandoning and vacating the said easement will relieve the City of Grapevine, Texas from the cost and expense of maintaining said property; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this ordinance to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the 13,216 square foot sewage lift station and utility easement located on proposed Lot 1, Block 1, DCT Fellowship West Phase II in Exhibits "1" and "2", attached hereto and incorporated herein for all purposes, is hereby abandoned and vacated for public use and the same is hereby abandoned and vacated insofar as all public right, title, interest in and to said right of way is concerned.

Section 3. That the terms and provisions of this ordinance shall be deemed to be severable, and that if the validity of any section, subsection, word, sentence or phrase shall be held to be invalid, it shall not affect the remaining part of this ordinance.

Section 4. The fact that the easement is no longer needed by the public for public usage and would create a hardship or burden upon the City of Grapevine to keep open and maintain such easement creates an urgency and an emergency for the immediate preservation of the public health, safety, and general welfare which requires that this ordinance shall take effect immediately from and after its passage and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 16th day of October, 2018.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

APPROVED AS TO FORM:

City Attorney

EXHIBIT No. 1

PARTIAL EASEMENT ABANDONMENT

Part of DCT Freeport West Phase II, LLC
James Gibson Survey, Abstract No. 586
City of Grapevine, Tarrant County, Texas

DESCRIPTION, of a 13,216 square foot (0.303 acre) tract of land situated in the James Gibson Survey, Abstract No. 586, City of Grapevine, Tarrant County, Texas; said tract being part of that tract of land described in Special Warranty Deed to DCT Freeport West Phase II, LLC recorded in Instrument No. D217098792 of the Official Public Records of Tarrant County Texas; said tract also being part of a 15-foot wide sewage lift station and utility easement recorded in Instrument No. D200242925 of said Official Public Records; said 13,216 square foot (0.303 acre) tract being more particularly described as follows (bearing system is based on the State Plane Coordinate System, North American Datum of 1983 (2011), Texas North Central Texas, Zone 4202. Distances shown have been adjusted to surface by applying the Tarrant County TxDOT combined scale factor of 1.00012):

COMMENCING, at a 5/8-inch iron rod with "PACHECO KOCH" cap found in the north right-of-way line of Bass Pro Drive (a variable width right-of-way), said point being the southwest corner of said DCT Freeport West Phase II, LLC tract and the southeast corner of Lot 1, Block 2, Genesis Addition, an addition to the City of Grapevine, Texas according to the plat recorded in Instrument No. D204303185 of said Official Public Records; said point being the beginning of a curve to the left;

THENCE, in a easterly direction, along the said north line of Bass Pro Drive, the south line of said DCT Freeport West Phase II, LLC Tract and said curve to the left, having a central angle of 00 degrees, 02 minutes, 33 seconds, a radius of 11,416.66 feet, a chord bearing and distance of North 89 degrees, 03 minutes, 47 seconds East, 15.15 feet, an arc distance of 15.15 feet the **POINT OF BEGINNING**; said point being on the said north right-of-way line of Bass Pro Drive and being on the west line of said 15-foot wide sewage lift station and utility easement;

THENCE, North 00 degrees, 31 minutes, 41 seconds West, departing the said north line of Bass Pro Drive and the said south line of the DCT Freeport West Phase II, LLC tract and along the west line of said sewage lift station and utility easement, a distance of 881.02 feet to a point for corner in the north line of said DCT Freeport West Phase II, LLC tract; from said point a 1/2-inch iron rod with "PACHECO KOCH" cap found for the northwest corner of said DCT Freeport West Phase II, LLC tract bears South 89 degrees, 28 minutes, 30 seconds West, a distance of 15.10 feet;

THENCE, North 89 degrees, 28 minutes, 30 seconds East, departing the west line of said sewage lift station and utility easement and along the said north line of the DCT Freeport West Phase II, LLC tract, a distance of 15.00 feet to a point for corner in the east line of said sewage lift station and utility easement;

THENCE, South 00 degrees, 31 minutes, 41 seconds East, departing the said north line of the DCT Freeport West Phase II, LLC tract and along the east line of said sewage lift station and utility easement, a distance of 880.89 feet to a point for corner in the said north line of Bass Pro Drive;

THENCE, South 88 degrees, 58 minutes, 57 seconds West, along the said north line of Bass Pro Drive and the south line of said DCT Freeport West Phase II, LLC tract, a distance of 6.53 feet to a "+" cut in concrete found on the beginning of a tangent curve to the right;

Application for Abandonment of
A Public Right-of-Way/Easement

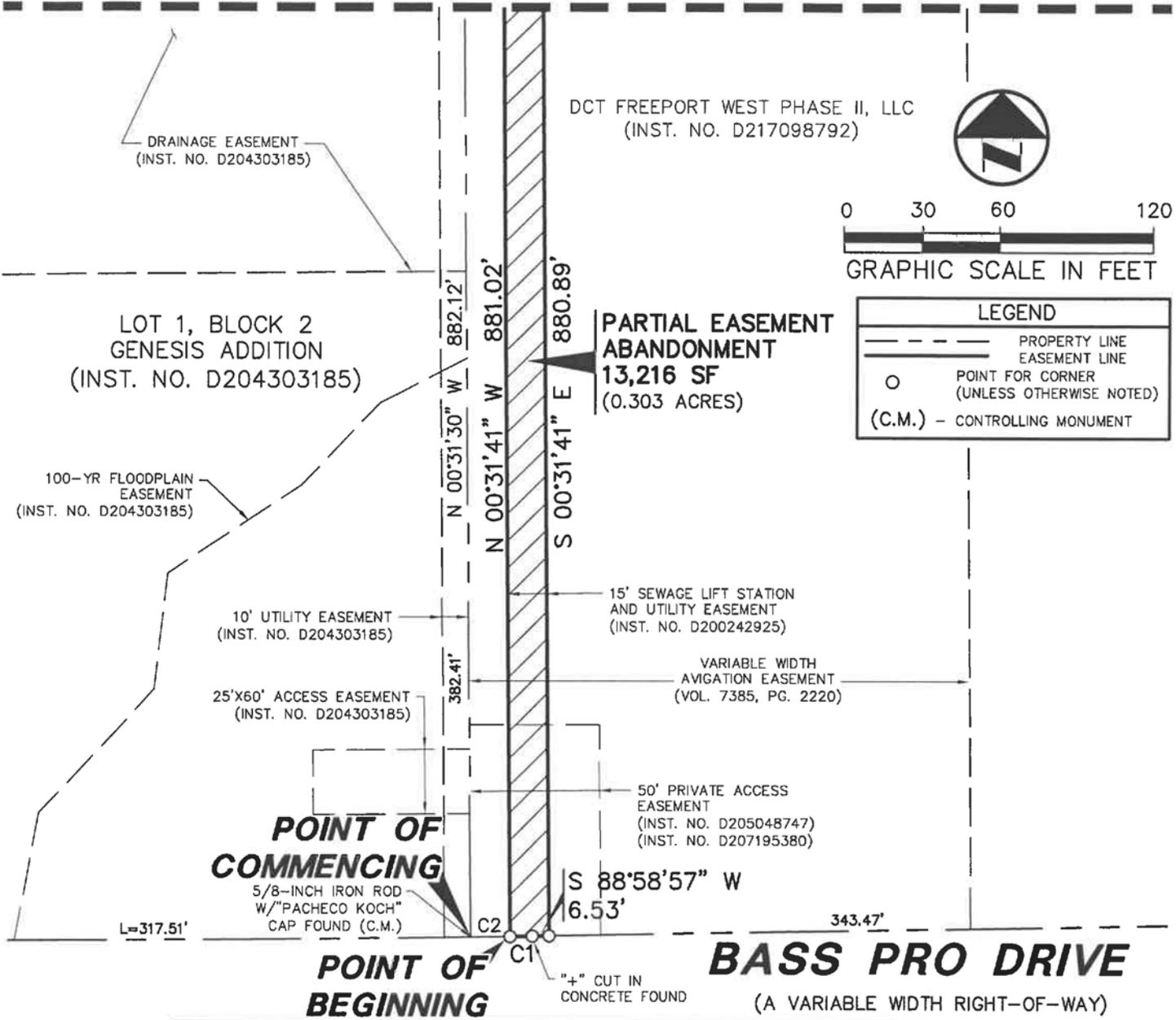
Address: 3193 Bass Pro Drive, Grapevine, TX

Legal Description: Part of 12.878 Acres, Proposed Lot 1, Block 1, of DCT Fellowship West,
Phase II, in the James Gibson Sur. Abst. No. 586, Tarrant County, TX.

EXHIBIT NO. 2

Attached is one copy of a plat or detailed sketch of the public right-of-way/easement sought to be abandoned in the above mentioned application, showing the surrounding area to the nearest streets in all directions, abutting lots, the block or blocks in which the portion of the public right-of-way/easement sought to be vacated is situated, and the addition or subdivision in which the portion of the public right-of-way/easement sought to be vacated is situated, and the addition or subdivision in which the portion of the public right-of-way/easement sought to be abandoned is situated.

MATCH LINE (SEE PAGE 4)



LEGEND

- PROPERTY LINE
- - - EASEMENT LINE
- POINT FOR CORNER (UNLESS OTHERWISE NOTED)
- (C.M.) - CONTROLLING MONUMENT

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD
C1	0°02'33"	11,416.65	8.47'	4.24'	S 89°00'13" W	8.47'
C2	0°04'34"	11,416.66	15.15'	7.57'	N 89°03'47" E	15.15'

NOTES:

1. A metes and bounds description of even survey date herewith accompanies this plat of survey.
2. Bearing system is based on the State Plane Coordinate System, North American Datum of 1983 (2011), Texas North Central Texas, Zone 4202. Distances shown have been adjusted to surface by applying the Tarrant County TxDOT combined scale factor of 1.00012.

PARTIAL EASEMENT ABANDONMENT

PART OF
DCT FREEPORT WEST PHASE II, LLC
JAMES GIBSON SURVEY, ABSTRACT NO. 586,
CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS
PAGE 3 OF 4

Pacheco Koch 7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM F-14439
TX REG. SURVEYING FIRM LS-10193805

DRAWN BY	CHECKED BY	SCALE	DATE	JOB NUMBER
RMT	JEC/MCB	1"=60'	JULY 2017	2768-17.228

M:\DWG-27\2768-17.228\DWG\SURVEY C3D 2015\2768-17.228EX1.DWG 8/7/2017 8:55 AM KLARA

EXHIBIT NO. 2

ITEM # 16

LOT 1, BLOCK 1
WATER OAKS EVENT CENTER
(INST. NO. D215041532)

15' SEWAGE LIFT STATION
AND UTILITY EASEMENT
(INST. NO. D200242925)

PART OF
FELLOWSHIP OF LAS COLINAS
(VOL. 94091, PG. 1680)
(VOL. 11578, PG. 1111)



1/2-INCH IRON ROD
W/"PACHECO KOCH"
CAP FOUND (C.M.)

S 89°28'30" W
15.10'

N 89°28'30" E
15.00'

TRACT A
VARIABLE WIDTH
DRAINAGE EASEMENT
(VOL. 8792, PG. 996)

0 30 60 120

GRAPHIC SCALE IN FEET

LEGEND

- PROPERTY LINE
- - - EASEMENT LINE
- POINT FOR CORNER
(UNLESS OTHERWISE NOTED)
- (C.M.) - CONTROLLING MONUMENT

201.22'

DCT FREEPORT WEST PHASE II, LLC
(INST. NO. D217098792)

LOT 5, BLOCK 2
GENESIS ADDITION
(INST. NO. D207195455)

10' UTILITY EASEMENT
(INST. NO. D207195455)

DRAINAGE EASEMENT
(INST. NO. D207195455)

**PARTIAL EASEMENT
ABANDONMENT**
13,216 SF
(0.303 ACRES)

15' SEWAGE LIFT STATION
AND UTILITY EASEMENT
(INST. NO. D200242925)

428.02'

NOTES:

1. A metes and bounds description of even survey date herewith accompanies this plat of survey.
2. Bearing system is based on the State Plane Coordinate System, North American Datum of 1983 (2011), Texas North Central Texas, Zone 4202. Distances shown have been adjusted to surface by applying the Tarrant County TxDOT combined scale factor of 1.00012.

MATCH LINE (SEE PAGE 3)

The undersigned, Registered Professional Land Surveyor, hereby certifies that this plat of survey accurately sets out the metes and bounds of the abandonment tract described.



JEC
Jonathan E. Cooper
Registered Professional
Land Surveyor No. 5369

Date

8-7-2017



7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM F-14439
TX REG. SURVEYING FIRM LS-10193805

DRAWN BY	CHECKED BY	SCALE	DATE	JOB NUMBER
RMT	JEC/MCB	1"=60'	JULY 2017	2768-17.228

PARTIAL EASEMENT ABANDONMENT

PART OF
DCT FREEPORT WEST PHASE II, LLC
JAMES GIBSON SURVEY, ABSTRACT NO. 586,
CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS
PAGE 4 OF 4

STATE OF TEXAS
COUNTY OF TARRANT
CITY OF GRAPEVINE

The City Council of the City of Grapevine, Texas met in Regular Session on this the 2nd day of October, 2018 in the City Council Chambers, Second Floor, 200 South Main Street, with the following members present:

William D. Tate	Mayor
Darlene Freed	Mayor Pro Tem
Sharron Rogers	Council Member
Mike Lease	Council Member
Chris Coy	Council Member
Duff O'Dell	Council Member
Paul Slechta	Council Member

constituting a quorum, and with the following members of the City Staff:

Bruno Rumbelow	City Manager
Jennifer Hibbs	Assistant City Manager
Matthew C.G. Boyle	Assistant City Attorney
Tara Brooks	City Secretary

Call to Order

Mayor Tate called the meeting to order at 5:16 p.m.

Item 1. Executive Session

Mayor Tate announced the City Council would recess to the City Council Conference Room to conduct a closed session regarding:

- A. Real property relative to deliberation to the purchase, exchange, lease, sale or value of real property (City facilities, Public Works, the 185 acres, and 420 East College Street) pursuant to Section 551.072, Texas Government Code.
- B. Conference with City Manager and Staff to discuss and deliberate commercial and financial information received from business prospects the City seeks to have locate, stay, or expand in the City; deliberate the offer of a financial or other incentive; with which businesses the City is conducting economic development negotiations pursuant to Section 551.087, Texas Government Code.

The City Council recessed to the City Council Conference Room and began the closed session at 5:20 p.m. Council Member O'Dell joined the meeting at 5:20 p.m. The closed session ended at 5:41 p.m.

Upon reconvening in open session in the Council Chambers, Mayor Tate asked if there was any action necessary relative to Sections 551.072 or 551.087.

Regarding Section 551.087, City Manager Rumbelow requested approval of an Economic Development and Incentive Agreement with the Weitzman Group and authorize the City Manager to execute same and all other associated documents and to take all other necessary action.

Motion was made to approve an Economic Development and Incentive Agreement with the Weitzman Group and authorize the City Manager to execute same and all other associated documents and to take all other necessary action.

Motion: Lease

Second: Slechta

Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta

Nays: None

Approved: 7-0

NOTE: City Council continued with the Regular portion of the Agenda in open session in the City Council Chambers.

Mayor Tate called the regular meeting to order at 5:44 p.m.

REGULAR MEETING

Item 2. Invocation

Council Member Mike Lease delivered the invocation.

Item 3. Posting the Colors and the Pledges of Allegiance

Boy Scout Troop 1905 posted the colors and led the Pledges of Allegiance.

Item 4. Citizen Comments

There was no one wishing to speak during the citizen comments.

PRESENTATIONS

Item 5. Mayor Tate to present a proclamation declaring October 2, 2018 as "National Night Out."

Mayor Tate announced that following the meeting, Council would be visiting neighborhoods throughout the City. He then presented the proclamation for National Night Out to Chief Mike Hamlin who announced the Police Department was excited to be able to share this evening with the community.

NEW BUSINESS

Item 6. Consider **Resolution No. 2018-078** authorizing a Project Utility Adjustment Agreement and subsequent work specific Utility Adjustment Agreement Amendments with NorthGate Constructors for the necessary relocation and adjustment of City water and wastewater facilities due to the 635/121 Interchange construction, and **Ordinance No. 2018-072** appropriating the funds.

Public Works Director Bryan Beck presented this item to Council. The 635/121 Interchange is the fifth phase of the DFW Connector project, specifically called the Connect 4 project. This agreement will allow NorthGate Constructors to design and construct the City's utilities throughout the project to coincide with their construction. The proposed ordinance will appropriate \$4,500,000 from the Utility Enterprise Capital Fund for funding of this project.

Council Member Rogers abstained from this item and filed an Affidavit of Conflict of Interest with the City Secretary.

Motion was made to approve Resolution No. 2018-078 authorizing a Project Utility Adjustment Agreement with NorthGate Constructors.

Motion: Freed
Second: Coy
Ayes: Tate, Freed, Lease, Coy, O'Dell, and Slechta
Nays: None
Abstains: Rogers
Approved: 6-0-1

RESOLUTION NO. 2018-078

A RESOLUTION OF THE CITY OF GRAPEVINE CITY COUNCIL APPROVING A PROJECT UTILITY ADJUSTMENT AGREEMENT; AUTHORIZING EXPENDITURES FOR THE PERFORMANCE OF SAID WORK; AND DECLARING AN EFFECTIVE DATE

Motion was made to approve Ordinance No. 2018-072 appropriating the funds for the 635/121 Interchange project.

Motion: Coy
Second: Slechta
Ayes: Tate, Freed, Lease, Coy, O'Dell, and Slechta
Nays: None
Abstains: Rogers
Approved: 6-0-1

ORDINANCE NO. 2018-072

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, REVISING THE ADOPTED CAPITAL IMPROVEMENTS BUDGET FOR THE FISCAL YEAR ENDING IN 2019, PROVIDING FOR THE TRANSFER OF THE FUNDS; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Consent Agenda

Consent items are deemed to need little Council deliberation and were acted upon as one business item. Any member of the City Council or member of the audience may request that an item be withdrawn from the consent agenda and placed before the City Council for full discussion. There were no requests to remove any items from the consent agenda.

Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations.

Item 7. Consider the renewal of an annual contract for enterprise sourcing services with Ion Wave Technologies, Inc. for the Fiscal Services Department.

Chief Financial Officer Greg Jordan recommended approval of the annual contract for enterprise sourcing services to automate the process of creating, issuing, awarding bids and managing contracts for an amount not to exceed \$21,400.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
Second: Coy
Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta
Nays: None
Approved: 7-0

Item 8. Consider the renewal of an annual contract for financial system support services with STW, Inc.

Chief Financial Officer Jordan recommended approval of an annual contract for financial system support services for an annual estimated amount of \$35,070.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
Second: Coy
Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta
Nays: None
Approved: 7-0

Item 9. Consider the appropriation and transfer of funds to Public Agencies Retirement Services (PARS) for the purpose of funding the Other Post-Employment Benefits (OPEB) Trust and Ordinance No. 2018-073 appropriating the funds.

Chief Financial Officer Jordan recommended approval of the transfer of funds for the purpose of funding the Other Post-Employment Benefits. Government Accounting Standards Board Statement 45 requires the City to account for its OPEB costs, which include the City's retiree healthcare and death related benefits. This action increases the formal reserve fund for retiree health care, and it provides a positive balance to offset the long-term reportable liability required by GASB.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell

Second: Coy

Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta

Nays: None

Approved: 7-0

ORDINANCE NO. 2018-073

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS; APPROPRIATING \$500,000.00 FROM THE TRUST AND AGENCY FUND UNAPPROPRIATED FUND BALANCE; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 10. Consider the renewal of annual contracts for trees and large shrubs with Fannin Tree Farm, Southwest Wholesale Nursery, and Unique Landscaping Design and Construction.

Parks and Recreation Director Kevin Mitchell recommended approval of the annual contracts for the purchase of trees and large shrubs for an estimated annual amount of \$355,000.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell

Second: Coy

Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta

Nays: None

Approved: 7-0

Item 11. Consider the first amendment to the interlocal agreement for asphalt overlay work with Tarrant County.

Public Works Director Beck recommended approval of the first amendment to the interlocal agreement with Tarrant County for asphalt overlay work on Boyd Drive and

Dove Loop Road. Due to weather delays the completion date of the original agreement needs to be extended to March 31, 2019.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell

Second: Coy

Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta

Nays: None

Approved: 7-0

Item 12. Consider an amendment to the contract for land acquisition services with Teague, Nall, and Perkins, Inc.

Public Works Director Beck recommended approval of the amendment to the contract with Teague, Nall and Perkins, Inc. for land acquisition services, to include surveying, appraisal, negotiation, title curative, and closing support, for an amount not to exceed \$50,000.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell

Second: Coy

Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta

Nays: None

Approved: 7-0

Item 13. Consider a procurement contract for providing ultraviolet disinfection equipment at the Wastewater Treatment Plant with Enviro-line Company, Inc. and **Ordinance No. 2018-074** appropriating the funds.

Public Works Director Beck recommended approval of the procurement contract to provide ultraviolet disinfection equipment at the Wastewater Treatment Plant in the amount of \$297,100 and appropriation of the funds in the Fiscal Year 2018 Capital Improvements Budget.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell

Second: Coy

Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta

Nays: None

Approved: 7-0

ORDINANCE NO. 2018-074

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, REVISING THE ADOPTED CAPITAL IMPROVEMENTS BUDGET FOR THE FISCAL YEAR ENDING IN 2018; PROVIDING FOR THE TRANSFER OF

THE FUNDS; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 14. Consider a developers agreement with CPR-GREP Elan Grapevine Owner, L.P. for The Preserve and Ordinance No. 2018-075 amending the Fiscal Year 2018 Capital Budget.

Public Works Director Beck recommends approval of the developers agreement with CPR-GREP Elan Grapevine Owner, LP for The Preserve. The developer is required to extend an 8-inch water line under State Highway 360 and north to connect to the existing system at Euless-Grapevine Road at its sole cost. The City requires a 12" water line to support future development. The City will pay additional costs associated with this oversizing betterment estimated at \$148,000. In addition, the developer is required to provide for the construction of two lanes of Glade Road from State Highway 360 east to the DFW Airport boundary. The City will pay for approximately one half of the asphalt transition for the project not to exceed \$40,000.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
Second: Coy
Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta
Nays: None
Approved: 7-0

ORDINANCE NO. 2018-075

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, REVISING THE ADOPTED CAPITAL IMPROVEMENTS BUDGET FOR THE FISCAL YEAR ENDING IN 2018; PROVIDING FOR \$40,000 IN THE CAPITAL PROJECT STREETS FUND AND \$148,000 IN THE UTILITY ENTERPRISE CAPITAL FUND; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 15. Consider Ordinance No. 2018-076 amending the Grapevine Code of Ordinances Chapter 23 Traffic, Article V Parking, prohibiting parking on the north side of West Franklin Street from South Church Street to South Barton Street and the east side of South Church Street from West Dallas Road to West Nash Street.

Public Works Director Beck recommended approval of the amendment to the Grapevine Code of Ordinances to prohibit parking on the north side of West Franklin Street from South Church Street to South Barton Street and the east side of South Church Street from West Dallas Road to West Nash Street.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
Second: Coy

Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta
Nays: None
Approved: 7-0

ORDINANCE NO. 2018-076

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AMENDING THE GRAPEVINE CODE OF ORDINANCES BY AMENDING CHAPTER 23 TRAFFIC, ARTICLE V PARKING, SECTION 23-63 NO PARKING ZONES; AUTHORIZING THE ERECTION OF TRAFFIC REGULATION SIGNS; REPEALING CONFLICTING ORDINANCES; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO HUNDRED DOLLARS (\$200.00); PROVIDING A SEVERABILITY CLAUSE; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 16. Consider Ordinance No. 2018-077 abandoning a partial utility easement on Lot 3A, Block A, Kelley Addition.

Public Works Director Beck recommended approval of the abandonment of 2.5 feet of a 7.5 foot utility easement located along the back property line of Lot 3A, Block A, Kelley Addition.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell
Second: Coy
Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta
Nays: None
Approved: 7-0

ORDINANCE NO. 2018-077

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ABANDONING AND VACATING A PARTIAL UTILITY EASEMENT ON LOT 3A, BLOCK A, KELLEY ADDITION IN THE CITY OF GRAPEVINE, TEXAS AS HEREINAFTER DESCRIBED; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 17. Consider the minutes of the September 18, 2018 Regular City Council meeting.

City Secretary Tara Brooks recommended approval of the minutes as provided.

Motion was made to approve the consent agenda as presented.

Motion: O'Dell

Second: Coy
Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta
Nays: None
Approved: 7-0

ADJOURNMENT

Motion was made to adjourn the meeting at 5:53 p.m.

Motion: Rogers
Second: Lease
Ayes: Tate, Freed, Rogers, Lease, Coy, O'Dell, and Slechta
Nays: None
Approved: 7-0

Passed and approved by the City Council of the City of Grapevine, Texas on this the 16th day of October, 2018.

APPROVED:

William D. Tate
Mayor

ATTEST:

Tara Brooks
City Secretary

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,
AND THE PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 16, 2018

SUBJECT: PRELIMINARY PLAT APPLICATION
LOT 1, BLOCK 1, PAYCOM

PLAT APPLICATION FILING DATE..... October 9, 2018

APPLICANT Timothy Johnson, Johnson & Associates, Inc.

REASON FOR APPLICATION Platting property to build
Multiple office buildings

PROPERTY LOCATION Southwest corner of State Highway 121
and Kubota Drive

ACREAGE 13.124 acres

ZONING CC – Community Commercial

NUMBER OF LOTS One (1) Lot

PREVIOUS PLATTING No

CONCEPT PLAN CU18-22

SITE PLAN No

OPEN SPACE REQUIREMENT No

AVIGATION RELEASE Yes

PUBLIC HEARING REQUIRED No

**PLAT INFORMATION SHEET
PRELIMINARY PLAT APPLICATION
LOT 1, BLOCK 1, PAYCOM**

I. GENERAL:

- The applicant, Timothy Johnson with Johnson & Associates is preliminary platting 13.124 acres into one (1) community commercial lot. The property is located at 3489 State Highway 121.

II. STREET SYSTEM:

- The development has access to State Highway 121 and Kubota Drive.
- Abutting roads: on the City Thoroughfare Plan:
 not on the City Thoroughfare Plan:

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 15.00 / LF		

Periphery Street Fees are not due: All perimeter roads constructed to City Standard.

III. STORM DRAINAGE SYSTEM:

- The site drains southeast.
- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for: Part of H/A Grapevine

- Water and Wastewater Impact Fees are due prior to the issuance of building permits for:

- Single Family Residential (\$ 2,414/ Lot)
- Multifamily (\$ 1,134/ Unit)
- Hotel (\$ 43,632/ Acre)
- Corporate Office (\$ 20,523/ Acre)
- Government (\$ 4,414/ Acre)
- Commercial / Industrial (\$ 5,739 / Acre)

- Open Space Fees are not required for: Lot 1, Block 1, Paycom

- Open Space Fees are due prior to the issuance of building permits and/or any public infrastructure improvements for:

- R-5.0, R-TH, Zero Lot District (\$ 1,416.00 / Lot)
- R-7.5, Single Family District (\$ 1,146.00 / Lot)
- R-12.5, Single Family District (\$ 1,071.00 / Lot)
- R-20.0, Single Family District (\$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
 - Front building line
 - Allowing a setback of 3 feet for the rear property line for an accessory building
 - Lot width & depth
 - Max. Impervious Area
 - Landscaping Regulations, allowing no landscape buffer between the edge of the parking area and the adjacent property line.
- The following items associated with this plat are not in accordance with the current subdivision standards:
 - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
 - Length of cul-de-sac street exceeds the 600-foot limit:
 - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
 - The right-of-way provides for future widening of public streets that will serve the development of this site.
 - The onsite utility easements provide for a utility network to serve the development of this site.
 - The onsite drainage easements provide for a drainage network to serve the development of this site.

- The onsite access easements provide cross access capabilities to this site and surrounding property.
- The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:

- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
- The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
- The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
- The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
- The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
- All of the dedications benefit the development to at least the extent of the impact of such on the development.

VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Preliminary Plat of Lot 1, Block 1, Paycom."

PROPERTY DESCRIPTION

STATE OF TEXAS:
COUNTY OF DALLAS:

WHEREAS, The City of Grapevine is the Owner of a 13.124 acre tract of land situated in the John E. Holland Survey, Abstract No. 614, the C.S. Dunnagan Survey, Abstract No. 1655, and the James Gibson Survey, Abstract No. 1715, City of Grapevine, Dallas County, Texas, being a portion of Tract I as described in deed to the City of Grapevine, Texas, recorded in 201300389642, Official Public Records, Dallas County, Texas (OPRDCT), and being more particularly described as follows:

BEGINNING at a 1/2" rebar capped Goodwin & Marshall set (hereafter referred to as 1/2" rebar capped set) at the intersection of the northwesterly right-of-way line of State Highway No. 121 (variable width R.O.W., adjoining R.O.W. per 201200092967, OPRDCT) and the westerly right-of-way line of Kubota Drive (R.O.W. per 201600264467, OPRDCT), said point lying in the southeasterly line of said City of Grapevine Tract I, from which a TXDOT aluminum disc found previously bore N 3846°56' E, 164.26 feet;

THENCE S 3846°56' W, along the northwesterly right-of-way line of said State Highway No. 121 and the southeasterly line of said City of Grapevine Tract I, a distance of 534.89 feet to a 1/2" rebar capped set at the most southerly corner of the herein described tract of land;

THENCE departing the northwesterly right-of-way line of said State Highway No. 121, across said City of Grapevine Tract I, as follows:

N 5113°04' W, a distance of 854.50 feet;

N 3846°56' E, a distance of 537.86 feet;

N 0314°43' E, a distance of 187.47 feet to a point in the southwesterly right-of-way line of said Kubota Drive (66' R.O.W. per 201600264467, OPRDCT), said point lying in a curve to the right, having a radius of 467.00 feet;

THENCE along the southwesterly right-of-way line of said Kubota Drive, as follows:

Southeasterly, along said curve, having a central angle of 49°19'17", an arc distance of 402.00 feet, and a chord that bears S 545°2'18" E, 389.71 feet to a 1/2" rebar capped set at the end of said curve;

S 3012°39' E, tangent to said curve, a distance of 288.19 feet to a cut X set on a concrete curb at the beginning of a tangent curve to the left, having a radius of 783.00 feet;

Southeasterly, along said curve, having a central angle of 205°38", an arc distance of 286.90 feet, and a chord that bears S 404°22' E, 285.30 feet to a cut X set on a concrete curb at the end of said curve;

S 0613°04' E, non-tangent to said curve, a distance of 35.36 feet to the POINT OF BEGINNING and containing 571,667 square feet or 13.124 acres of land.

Closure for the above legal description is N73°10'21"W 0.0085'

ORIGINAL BENCH MARK:

REFERENCE BENCHMARK
CITY OF GRAPEVINE MONUMENT NO. 4 LOCATED AT THE NORTHEAST CORNER OF THE GRAPEVINE MUNICIPAL GOLF COURSE.
ELEVATION=471.73 FEET (NGVD 1929)

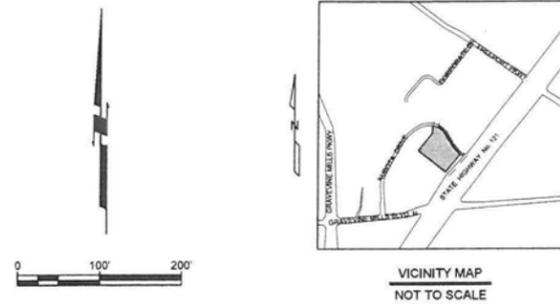
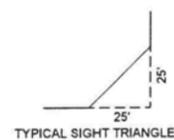
SITE BENCHMARK
SQUARE CUT TOP OF 10" WIDE RECESSED CURB INLET EAST SIDE OF KUBOTA DRIVE, APPROXIMATELY 621 FEET NORTHEASTERLY OF THE CENTERLINE INTERSECTION OF KUBOTA DRIVE AND BLUFFS LANE
ELEVATION=530.13 FEET (NGVD 1929)

UTILITY LEGEND

- EXISTING WATER LINE
- SS — EXISTING SANITARY SEWER LINE
- W — PROPOSED WATER LINE
- ST — PROPOSED STORM SEWER LINE
- ♦ — PROPOSED FIRE HYDRANT

LEGEND:

- P.O.B. = POINT OF BEGINNING
- U/E = PUBLIC UTILITY EASEMENT
- D/E = PUBLIC DRAINAGE EASEMENT



NOTES:

1. All islands/medians within street rights-of-way, and arterial landscaping with its irrigation system, shall be maintained by the Property Owners Association within LOT 1 BLOCK 1 PAYCOM.
2. Maintenance of all common areas and private drainage easements within LOT 1 BLOCK 1 PAYCOM shall be the responsibility of the Property Owners Association. No structures, storage of material, grading, fill, or other obstructions, including fences, either temporary or permanent, that may cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown. Certain amenities such as, but not limited to, walks, benches, piers, and docks, shall be permitted if installed in a manner to meet the requirements specified above.
3. Intended use is corporate office campus.

PLANNING & ZONING COMMISSION

Date Approved: _____

Chairman: _____

Secretary: _____

GRAPEVINE CITY COUNCIL:

Date Approved: _____

Mayor: _____

City Secretary: _____

OWNER:
CITY OF GRAPEVINE
200 S. MAIN ST.
GRAPEVINE, TX, 76051

DEVELOPER:
PAYCOM
7501 W. MEMORIAL RD.
OKC, OK, 73142
ATTN: SHANNON BEGNEL
1-405-722-6900

TOTAL ACRES = 13.124

TOTAL UNITS = 1

Preliminary, this document shall not be recorded for any purpose.
Issued for review 10-03-18.

PRELIMINARY PLAT
of

LOT 1 BLOCK 1 PAYCOM

BEING 1 COMMERCIAL LOT 13.124 ACRES SITUATED IN THE JOHN E. HOLLARD SURVEY, ABSTRACT NO. 614 C.S. DUNNAGAN SURVEY, ABSTRACT NO. 1655 JAMES GIBSON SURVEY, ABSTRACT NO. 1715 CITY OF GRAPEVINE, DALLAS COUNTY, TEXAS EXISTING AND PROPOSED ZONING: CC

LAND SURVEYOR OF RECORD:
GOODWIN & MARSHALL, INC.
CIVIL ENGINEERS - PLANNERS - SURVEYORS
2405 MUSTANG DRIVE, GRAPEVINE, TEXAS 76051
METRO (817) 329-4373
TBPE REGISTRATION # F-2944
TBPLS # 10021700

Johnson & Associates, Inc.
1 E. Sheridan Ave., Suite 200
Oklahoma City, OK 73104
(405) 235-8078 FAX: (405) 235-8078 www.ja-inc.com
Certificate of Authorization: Pending Exp. Date: Pending
ENGINEERS - SURVEYORS - PLANNERS

RECEIVED
OCT 10 2018

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 16, 2018

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multiple office buildings

PROPERTY LOCATION Southwest corner of State Highway 121
and Kubota Drive

ACREAGE 13.124 acres

ZONING CC – Community Commercial

NUMBER OF LOTS One (1) Lot

PREVIOUS PLATTING No

CONCEPT PLAN CU18-22

SITE PLAN No

OPEN SPACE REQUIREMENT No

AVIGATION RELEASE Yes

PUBLIC HEARING REQUIRED No

**PLAT INFORMATION SHEET
FINAL PLAT APPLICATION
LOT 1, BLOCK 1, PAYCOM**

I. GENERAL:

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III. STORM DRAINAGE SYSTEM:

- The site drains southeast.
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 - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
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 - The onsite utility easements provide for a utility network to serve the development of this site.
 - The onsite drainage easements provide for a drainage network to serve the development of this site.

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- The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:

- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
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- The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
- All of the dedications benefit the development to at least the extent of the impact of such on the development.

VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Final Plat of Lot 1, Block 1, Paycom."

OWNER CERTIFICATE

STATE OF TEXAS,
COUNTY OF DALLAS:

WHEREAS, The City of Grapevine is the Owner of a 13.124 acre tract of land situated in the John E. Holland Survey, Abstract No. 1655, the C.S. Dunnagan Survey, Abstract No. 1655, and the James Gibson Survey, Abstract No. 1715, City of Grapevine, Dallas County, Texas, being a portion of Tract 1 as described in deed to the City of Grapevine, Texas, recorded in 201300389642, Official Public Records, Dallas County, Texas (OPRDCT); and being more particularly described as follows:

BEGINNING at a 1/2" rebar capped Goodwin & Marshall set (hereafter referred to as 1/2" rebar capped set) at the intersection of the northwesterly right-of-way line of State Highway No. 121 (variable width R.O.W. adjoining R.O.W. per 20120092867, OPRDCT) and the westerly right-of-way line of Kubota Drive (R.O.W. per 201600264467, OPRDCT), said point lying in the southwesterly line of said City of Grapevine Tract 1, from which a TXDOT aluminum disc found previously bore N 3848°56' E, 154.26 feet;

THENCE S 3848°56' W, along the northwesterly right-of-way line of said State Highway No. 121 and the southwesterly line of said City of Grapevine Tract 1, a distance of 534.89 feet to a 1/2" rebar capped set at the most southerly corner of the herein described tract of land;

THENCE departing the northwesterly right-of-way line of said State Highway No. 121, across said City of Grapevine Tract 1, as follows:

N 511°30' W, a distance of 854.50 feet;

N 3848°56' E, a distance of 537.86 feet;

N 031°43' E, a distance of 187.47 feet to a point in the southwesterly right-of-way line of said Kubota Drive (66' R.O.W. per 201600264467, OPRDCT), said point lying in a curve to the right, having a radius of 467.00 feet;

THENCE along the southwesterly right-of-way line of said Kubota Drive, as follows:

Southwesterly, along said curve, having a central angle of 49°19'17", an arc distance of 402.00 feet, and a chord that bears S 545°21'8" E, 389.71 feet to a 1/2" rebar capped set at the end of said curve;

S 301°23' E, tangent to said curve, a distance of 285.19 feet to a cut X set on a concrete curb at the beginning of a tangent curve to the left, having a radius of 783.00 feet;

Southwesterly, along said curve, having a central angle of 209°38', an arc distance of 286.90 feet, and a chord that bears S 404°22'8" E, 285.30 feet to a cut X set on a concrete curb at the end of said curve;

S 061°30' E, non-tangent to said curve, a distance of 35.36 feet to the POINT OF BEGINNING and containing 571.667 square feet or 13.124 acres of land.

Closure for the above legal description is N73°10'21"W 0.0085'

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS, THAT THE CITY OF GRAPEVINE, TEXAS, does hereby adopt this plat LOT 1 BLOCK 1 PAYCOM, an addition to the City of Grapevine, Dallas County, Texas, and does hereby dedicate to the public use forever the right-of-way and easements shown hereon. The easements shown hereon are hereby reserved for the purposes as indicated. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of paving on the easements are the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed, or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using, or desiring to use same. Any City or franchised utility shall have the full right to remove and keep removed all or parts of any fences, trees, shrubs, or other improvements which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all City of franchised utilities shall at all times have the full right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, petting, maintaining, and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone.

I have reviewed the City's Findings concerning dedications and I do agree that the statements are true and correct.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

Witness my hand this _____ day of _____, 2018.

Owner _____

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned Notary Public in and for said county and state, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein and expressed and in the capacity therein stated.

Given under my hand and seal of office this _____ day of _____, 2018.

Notary Public in and for the State of Texas
My Commission Expires _____

AVIGATION RELEASE

STATE OF TEXAS
COUNTY OF DALLAS:

WHEREAS, THE CITY OF GRAPEVINE TEXAS, hereinafter called "Owner" (whether one or more), is the owner of that certain parcel of land situated in the City of GRAPEVINE, Dallas County, Texas, being more particularly described as shown on this plat;

NOW THEREFORE, in consideration of the sum of ONE AND 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confessed, Owner does hereby waive, release, remise and quitclaim to the City of GRAPEVINE, Dallas County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas, Texas and Fort Worth, Texas, their successors and assigns, hereinafter called "Cities", for the use and benefit of the public and its agencies, any and all claims for damages of any kind to persons or property that Owner may suffer by reason of the passage and flight of all aircraft in the air space above Owner's Property above the height restriction as presently established by Ordinance No. 73-50 for the City of GRAPEVINE, known as the Airport Zoning Ordinance of the Dallas-Fort Worth International Airport, to an infinite height above same, whether such damage shall originate from noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft, landing at, or taking off from, or operating at or on the Dallas-Fort Worth International Airport.

This instrument does not release the owners or operators of aircraft from liability for damage or injury to person or property caused by falling aircraft or falling physical objects from aircraft, except as stated herein with respect to noise, fumes, dust, fuel, and lubricant particles.

It is agreed that this Release shall be binding upon said owner and his heirs and assigns, and successors in interest to said property, and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of the county or counties in which the property is situated.

EXECUTED at _____ Texas, this _____ day of _____, 2018.

OWNER _____

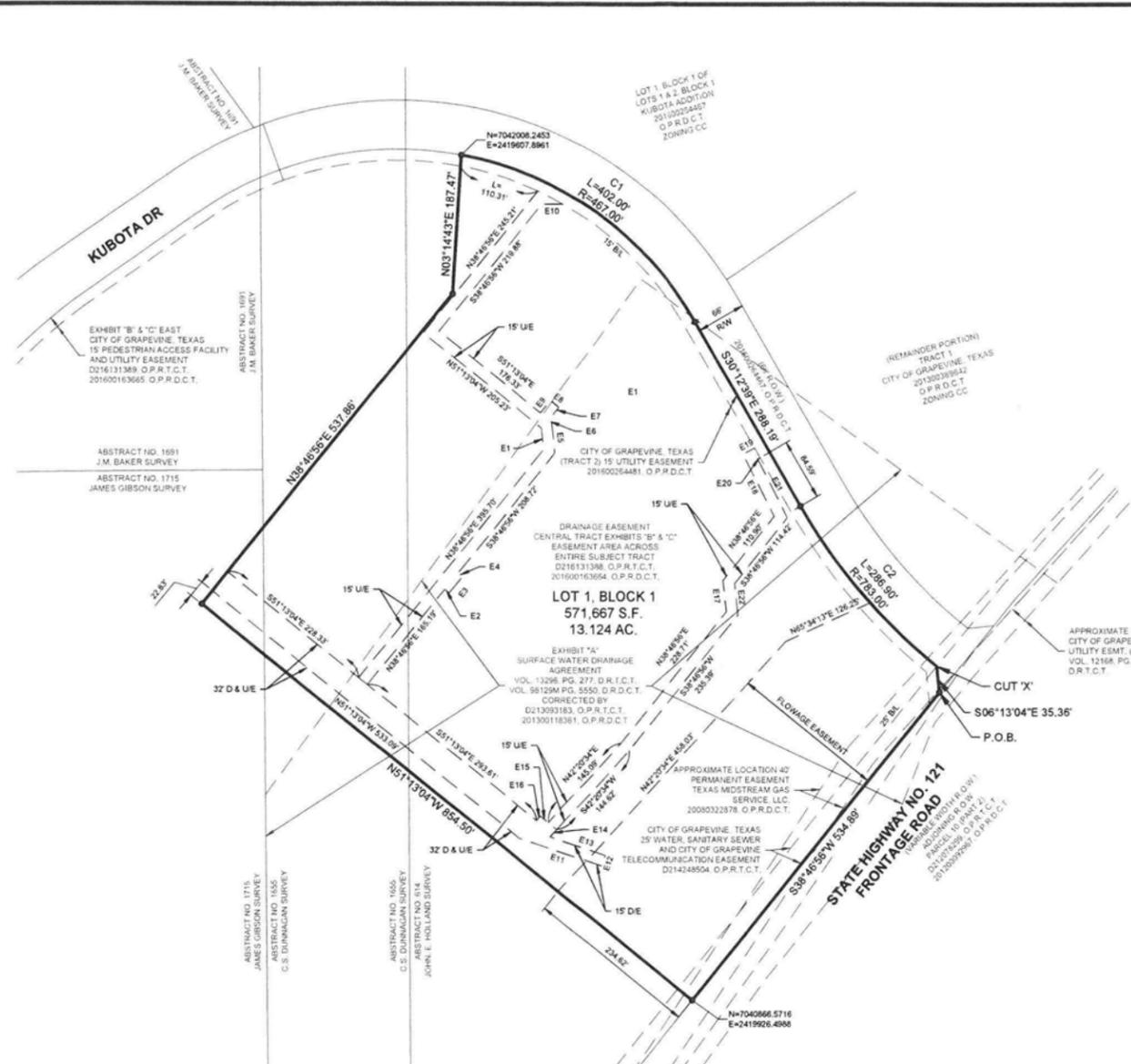
TITLE _____

STATE OF TEXAS
COUNTY OF DALLAS

Before me _____ on this day personally appeared _____ (description of identity card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this _____ day of _____, 2018.

Notary Signature _____



Curve Table

Curve #	Length	Radius	Tangent	Chord Length	Chord Direction	Delta
C1	402.00	467.00	214.41	389.71	S54°52'18"E	049°19'17"
C2	286.90	783.00	145.08	285.30	S40°42'28"E	020°59'38"

Easement Table

Line #	Length	Direction
E1	29.14	N06°13'04"E
E2	7.50	S51°13'04"E
E3	28.00	S38°48'56"E
E4	7.50	S51°13'04"E
E5	41.57	S06°13'04"E
E6	5.11	S51°13'04"E
E7	22.00	S38°48'56"E
E8	15.00	S51°13'04"E
E9	22.00	N38°48'56"E
E10	28.85	N90°00'00"W
E11	117.66	N71°24'03"W

Easement Table

Line #	Length	Direction
E12	15.00	S18°35'57"W
E13	78.06	S71°24'03"E
E14	13.63	S42°20'34"W
E15	28.86	S51°13'04"E
E16	8.00	N38°48'56"E
E17	42.68	N06°13'04"W
E18	94.58	N27°12'11"W
E19	17.89	N62°47'49"E
E20	3.72	S62°47'49"W
E21	89.32	S27°12'11"E
E22	42.68	S06°13'04"E

- NOTES:**
- Bearings are referenced to Texas State Plane Coordinate System, North Central Zone, NAD83 as derived from Western Data Systems RTK Cooperative Network.
 - Property corners are 1/2" rebar capped Goodwin & Marshall set, unless otherwise noted.
 - The property platted hereon is subject to Airport Zoning Ordinance No. 71-100 of the Dallas-Fort Worth Regional Airport, recorded in volume 82173, Page 178, DRDCT and is a portion of the property referenced in Letter Agreement, recorded in Volume 12071, Page 960, DRDCT and Deed Restrictions, recorded in Volume 95168, Page 2405, DRDCT & volume 12071, Page 874, DRDCT, as affected by Release of obligations under Deed Restrictions, recorded in Volume 13225, Page 513, DRDCT.
 - All islands/medians within street right-of-way, and aerial landscaping with its irrigation system, shall be maintained by the Property Owners Association within LOT 1 BLOCK 1 PAYCOM.
 - Maintenance of all common areas and private drainage easements within LOT 1 BLOCK 1 PAYCOM shall be the responsibility of the Property Owners Association. No structures, storage of material, grading, fill, or other obstructions, including fences, other temporary or permanent, that may cause a blockage of flow or an adverse effect on the functioning of the storm water facility, shall be placed within the common areas intended for the use of conveyance of storm water, and/or drainage easements shown. Certain amenities such as, but not limited to, walks, benches, piers, and docks, shall be permitted if installed in a manner to meet the requirements specified above.
 - This property is not located in a FEMA designated floodplain.

PLANNING & ZONING COMMISSION

Date Approved: _____

Chairman: _____

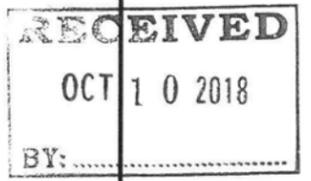
Secretary: _____

GRAPEVINE CITY COUNCIL:

Date Approved: _____

Mayor: _____

City Secretary: _____



TOTAL NET PLATTED AREA = 571.667 SF
TOTAL EASEMENT = 43.424 SF
TOTAL RIGHT-OF-WAY DESIGNATION = 0

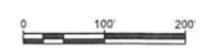
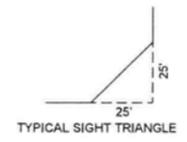
Preliminary, this document shall not be recorded for any purpose.
Issued for review 10-03-18.

FINAL PLAT
of
LOT 1 BLOCK 1 PAYCOM
BEING 1 COMMERCIAL LOT 13.124 ACRES SITUATED
IN THE JOHN E. HOLLARD SURVEY, ABSTRACT NO. 1655
614 C.S. DUNNAGAN SURVEY, ABSTRACT NO. 1655
JAMES GIBSON SURVEY, ABSTRACT NO. 1715
CITY OF GRAPEVINE, DALLAS COUNTY, TEXAS
EXISTING AND PROPOSED ZONING: CC

SURVEYOR'S CERTIFICATION

I, Joel S. Barton, of Goodwin and Marshall, Inc., a Registered Professional Land Surveyor of the State of Texas, do hereby declare that I prepared this plat from an actual and accurate survey on the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the State of Texas and the City of Grapevine.

Joel S. Barton
Registered Professional Land Surveyor No. 4914
Goodwin and Marshall, Inc.
2405 Mustang Drive
Grapevine, Texas 76051
metro (817) 329-4373



LEGEND:

P.O.B. = POINT OF BEGINNING
UE = PUBLIC UTILITY EASEMENT
DE = PUBLIC DRAINAGE EASEMENT
D & UE = PUBLIC DRAINAGE & UTILITY EASEMENT

* DENOTES 1/2" REBAR W/ CAPSET "GOODWIN & MARSHALL"

LAND SURVEYOR OF RECORD:
GOODWIN & MARSHALL, INC.
CIVIL ENGINEERS - PLANNERS - SURVEYORS
2405 MUSTANG DRIVE, GRAPEVINE, TEXAS 76051
METRO (817) 329-4373
TBP REGISTRATION # F-2944
TBP#S # 10021700

JA
Johnson & Associates, Inc.
1 E. Sheridan Ave., Suite 200
Oklahoma City, OK 73104
(405) 235-8075 FAX (405) 235-8071 www.jaoks.com
Certificate of Authorization Pending Exp. Date Pending
ENGINEERS - SURVEYORS - PLANNERS

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 16, 2018

SUBJECT: FINAL PLAT APPLICATION
THE RESERVE AT BEAR CREEK

PLAT APPLICATION FILING DATE..... October 16, 2018

APPLICANT Clayton Redinger, DeOtte, Inc.

REASON FOR APPLICATION Platting unplatted property
to build townhomes

PROPERTY LOCATION Northwest corner of SH360 and
Eules Grapevine Road

ACREAGE..... 13.646

ZONING R-TH

NUMBER OF LOTS 69 Residential Lots
Eight (8) Common Area Lots

PREVIOUS PLATTING No

CONCEPT PLAN No

SITE PLAN Z18-03; PD18-02

OPEN SPACE REQUIREMENT Yes

AVIGATION RELEASE Yes

PUBLIC HEARING REQUIRED No

**PLAT INFORMATION SHEET
FINAL PLAT APPLICATION
THE RESERVE AT BEAR CREEK**

I. GENERAL:

- The applicant, Clayton Redinger is platting 13.64 acres into 69 townhome lots. The property is located at 4201 State Highway 360.

II. STREET SYSTEM:

- The development has access to State Highway 360.
- ALL abutting roads: are on the City Thoroughfare Plan: Eules Grapevine Road
 are not on the City Thoroughfare Plan: SH 360

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 15.00 / LF		

Periphery Street Fees are not due:

Development is required to construct sidewalk along SH360.

III. STORM DRAINAGE SYSTEM:

- The site drains northeast towards Bear Creek.
- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for:
- Water and Wastewater Impact Fees are due prior to the issuance of building permits for: The Reserve at Bear Creek
 - Single Family Residential (\$ 2,414/ Lot)
 - Multifamily (\$ 1,134/ Unit)
 - Hotel (\$ 43,632/ Acre)
 - Corporate Office (\$ 20,523/ Acre)
 - Government (\$ 4,414/ Acre)
 - Commercial / Industrial (\$ 5,739 / Acre)
- Open Space Fees are not required for:
- Open Space Fees are due prior to the issuance of building permits and/or any public infrastructure improvements for: The Reserve at Bear Creek
 - R-5.0, R-TH, Zero Lot District (\$ 1,416.00 / Lot)
 - R-7.5, Single Family District (\$ 1,146.00 / Lot)
 - R-12.5, Single Family District (\$ 1,071.00 / Lot)
 - R-20.0, Single Family District (\$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
 - Front building line
 - Allowing a setback of 3 feet for the rear property line for an accessory building
 - Lot width & depth
 - Max. Impervious Area
 - Landscaping Regulations, allowing no landscape buffer between the edge of the parking area and the adjacent property line.
- The following items associated with this plat are not in accordance with the current subdivision standards:
 - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
 - Length of cul-de-sac street exceeds the 600-foot limit:
 - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
- The right-of-way provides for future widening of public streets that will serve the development of this site.
 - The onsite utility easements provide for a utility network to serve the development of this site.
 - The onsite drainage easements provide for a drainage network to serve the development of this site.
 - The onsite access easements provide cross access capabilities to this site and surrounding property.

- The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:

- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
- The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
- The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
- The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
- The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
- All of the dedications benefit the development to at least the extent of the impact of such on the development.

VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Final Plat of The Reserve at Bear Creek."

CURNES PARTNERS, LP
VOLUME 13681, PG. 181, D.R.T.C.T.

Line	Bearing	Distance
L-1	N 69°37'31" E	10.87
L-2	N 76°16'15" E	71.70
L-3	S 44°22'13" E	41.52
L-4	S 51°52'44" E	40.90
L-5	S 43°41'12" E	43.69
L-6	S 51°11'43" E	47.24
L-7	S 09°50'39" E	64.41
L-8	S 29°51'17" E	11.69
L-9	S 09°50'39" E	23.54
L-10	S 00°32'55" E	20.62
L-11	N 40°22'12" E	90.27
L-12	S 40°22'12" W	165.83
L-13	N 40°22'12" E	154.67
L-14	S 40°22'12" W	155.73
L-15	N 40°22'12" E	152.35
L-16	N 44°15'12" W	20.00
L-17	N 89°10'03" W	13.48
L-18	N 03°27'59" W	13.85
L-19	N 49°37'48" W	14.38
L-20	N 88°44'00" E	28.99
L-21	N 03°44'43" E	7.26
L-22	N 14°23'40" E	20.00
L-23	N 18°38'31" E	20.00
L-24	N 29°26'05" E	8.28
L-25	N 49°37'48" W	7.86
L-26	N 34°33'25" W	32.73
L-27	N 63°35'23" W	32.71
L-28	N 30°33'11" W	32.62
L-29	N 63°01'09" W	32.70
L-30	N 85°02'49" W	20.03
L-31	N 66°04'04" W	2.80
L-32	N 14°39'30" W	19.97
L-33	N 40°22'12" E	28.00
L-34	N 25°15'20" E	36.44
L-35	N 67°14'16" W	19.98
L-36	N 03°54'05" W	22.49
L-37	N 84°54'40" E	14.25
L-38	N 01°40'34" W	14.85
L-39	N 87°16'47" E	13.66
L-40	N 04°29'02" W	14.18
L-41	N 84°14'44" E	14.42
L-42	N 02°27'25" W	14.67
L-43	N 84°38'29" E	22.49
L-44	N 03°54'05" W	22.49
L-45	N 87°16'47" E	13.66
L-46	N 04°29'02" W	14.18
L-47	N 84°38'29" E	22.49
L-48	N 54°12'35" E	7.64
L-49	N 57°26'38" E	39.75
L-50	N 55°29'04" E	39.26

Curve	Arc	Radius	Central Angle	Chord
C-1	76.57	150.00	29°14'57"	N 55°00'02" E 76.75
C-2	57.99	500.00	6°38'44"	N 72°56'53" E 57.99
C-3	129.50	125.00	59°21'32"	S 74°02'59" E 123.09
C-4	39.09	1000.00	2°14'22"	S 45°29'24" E 39.08
C-5	74.03	1000.00	4°14'29"	S 48°43'50" E 74.01
C-6	17.94	1000.00	1°01'40"	S 51°21'54" E 17.94
C-8	21.05	1000.00	1°12'22"	S 44°17'23" E 21.05
C-9	74.09	1000.00	4°14'43"	S 47°00'56" E 74.08
C-10	35.90	1000.00	2°03'26"	S 50°10'00" E 35.90
C-11	90.21	125.00	41°21'04"	S 30°31'11" E 88.27
C-12	41.21	254.00	9°17'44"	S 05°11'49" E 41.16
C-13	158.09	41.00	220°55'07"	N 70°05'22" W 76.83
C-14	33.51	32.00	60°00'00"	S 10°22'12" W 32.00
C-15	43.98	42.00	60°00'00"	S 49°37'48" E 42.00
C-16	33.51	32.00	60°00'00"	N 70°22'12" E 32.00
C-17	33.51	32.00	60°00'00"	S 10°22'12" W 32.00
C-18	43.98	42.00	60°00'00"	S 49°37'48" E 42.00
C-19	33.51	32.00	60°00'00"	N 70°22'12" E 32.00
C-20	74.22	1000.00	4°15'09"	N 49°45'10" W 74.20
C-21	68.76	1000.00	3°56'23"	N 45°39'24" W 68.75

Site Data Summary Chart		
Townhome Lots	69	
Common Areas	8	
Residential Lots	31.80%	4.34 ac.
Open Space	49.67%	6.78 ac.
R.O.W.	18.53%	2.53 ac.
Gross Acreage	100.00%	13.65 ac.
Site Data		
Gross Acreage	13.65 ac.	
Gross Density (lots / Acre)	5.05	
Lot Summary		
Residential Lots	69	
Minimum Lot Size	2,423 s.f.	
Average Lot Size	2,739 s.f.	
Common Areas	8	
Zoning & Current Use		
Existing Zoning:	R-7.5	
Proposed Zoning:	Planned Development Overlay / R-TH	
Current Use:	Vacant	
Proposed Use:	Townhome Residential	

AVIGATION RELEASE
THE STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS Main Street Joint Venture, hereinafter called "Owner" (whether one or more), is the owner of that certain parcel of land situated in the City of Grapevine, Tarrant County, Texas, being more particularly described as shown on this plat.

NOW THEREFORE, in consideration of the sum of ONE AND 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confessed, Owner does hereby waive, release, remise and quitclaim to the City of Grapevine, Tarrant County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas, Texas and Fort Worth, Texas, their successors and assigns, hereinafter called "Cities", for the use and benefit of the public and its agencies, any and all claims for damages of any kind to persons or property that Owner may suffer by reason of the passage and flight of all aircraft in the air space above Owner's property above the height restriction as presently established by Ordinance No. 73-50 for the City of Grapevine, known as the Airport Zoning Ordinance of the Dallas-Fort Worth International Airport, to an infinite height above same, whether such damage shall originate from noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft, landing at, or taking off from, or operating at or on the Dallas-Fort Worth International Airport.

This instrument does not release the owners or operators of aircraft from liability for damage or injury to person or property caused by falling aircraft or falling physical objects from aircraft, except as stated herein with respect to noise, fumes, dust, fuel, and lubricant particles.

It is agreed that this Release shall be binding upon said owner and his heirs and assigns, and successors in interest to said property; and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of the county or counties in which the property is situated.

EXECUTED this ____ day of _____, 20 ____.

Main Street Joint Venture

MILLER SURVEYING
EST. 1965



PLANNING & ZONING COMMISSION:

Date Approved: _____

Chairman: _____

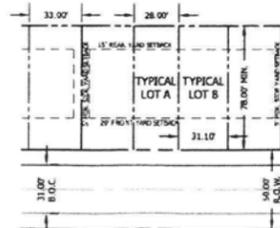
Secretary: _____

GRAPEVINE CITY COUNCIL:

Date Approved: _____

Mayor: _____

City Secretary: _____



STATE OF TEXAS
COUNTY OF TARRANT

WHEREAS Main Street Joint Venture is the owner of a tract of land out of the J. H. Hughes Survey, Abstract No. 822-1/2 and situated in the City of Grapevine, Tarrant County, Texas, and surveyed by Miller Surveying, Inc. of Hurst, Texas in April of 2018, said tract being a portion of the same tract of land described in the deed to Main Street Joint Venture recorded in Volume 9163, Page 2355 of the Deed Records of Tarrant County, Texas and being more particularly described by metes and bounds as follows:

Beginning at a 5/8 inch steel rod found for the intersection of the northerly boundary line of said Main Street tract the westerly right-of-way line of Euleess-Grapevine Road;

Thence South 11 degrees 27 minutes 53 seconds West with said westerly right-of-way line a distance of 9.58 feet to a 5/8 inch steel rod found;

Thence South 04 degrees 08 minutes 06 seconds West continuing with said right-of-way line a distance of 199.96 feet to a 5/8 inch steel rod found;

Thence South 89 degrees 52 minutes 09 seconds West continuing with said right-of-way line a distance of 10.00 feet to a 5/8 inch steel rod found;

Thence South 00 degrees 07 minutes 51 seconds West continuing with said right-of-way line a distance of 350.50 feet to a 1/2 inch "MILLER 5665" capped steel rod set;

Thence South 11 degrees 10 minutes 45 seconds East continuing with said right-of-way line a distance of 175.27 feet to a 5/8 inch steel rod found;

Thence South 00 degrees 32 minutes 55 seconds East continuing with said northeasterly right-of-way line a distance of 249.61 feet to a TxDOT monument found for the intersection of said westerly right-of-way line and the northeasterly right-of-way line of State Highway 360;

Thence South 75 degrees 19 minutes 24 seconds West with said northeasterly right-of-way line a distance of 48.42 feet to a TxDOT monument found;

Thence North 63 degrees 59 minutes 11 seconds West continuing with said northeasterly right-of-way line a distance of 2.23 feet to a TxDOT monument found;

Thence North 49 degrees 37 minutes 48 seconds West continuing with said northeasterly right-of-way line a distance of 1143.13 feet to a TxDOT monument found;

Thence North 41 degrees 14 minutes 51 seconds West continuing with said northeasterly right-of-way line a distance of 101.44 feet to a TxDOT monument found;

Thence North 49 degrees 31 minutes 55 seconds West continuing with said northeasterly right-of-way line a distance of 250.04 feet to 1/2 inch "MILLER 5665" capped steel rod set in the northerly boundary line of said Main Street tract from which a 1/2 inch capped steel rod found bears South 49 degrees 31 minutes 55 seconds East at 0.92 feet;

Thence North 89 degrees 21 minutes 08 seconds East with said northerly boundary line a distance of 1167.70 feet to the point of beginning and containing 13.6464 acres of land, more or less.

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS, THAT Main Street Joint Venture does hereby adopt this plat of RESERVE AT BEAR CREEK, an addition to the City of Grapevine, Tarrant County, Texas, and do hereby dedicate to the public use forever the right-of-way and easements shown hereon. The easements shown hereon are hereby reserved for the purposes as indicated. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of paving on the easements are the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed, or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using, or desiring to use same. Any City or franchised utility shall have the full right to remove and keep removed all or parts of any fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all City or franchised utilities shall at all times have the full right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone.

We have reviewed the City's Findings concerning dedications and I do agree that the statements are true and correct.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

Witness my hand this ____ day of _____, 20 ____.

Main Street Joint Venture

STATE OF TEXAS
COUNTY OF TARRANT

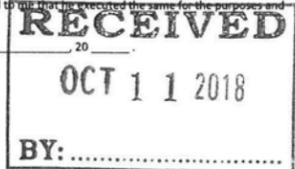
Before me, A Notary Public in and for said County and State, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this ____ day of _____, 20 ____.

Notary Public for the State of Texas

Printed Name

My Commission Expires



I, Jason B. Rawlings, of Miller Surveying, Inc., a Registered Professional Land Surveyor of the State of Texas, do hereby declare that I prepared this plat from an actual and accurate survey on the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the State of Texas and the City of Grapevine.

Jason B. Rawlings, RPLS No. 5665



MILLER
Surveying, Inc.

Commercial • Residential • Municipal
430 Mid Cities Blvd. 817-577-1052
Hurst, Texas 76054 TxLSF No. 10100400
millersurvey.net

Final Plat of
THE RESERVE AT BEAR CREEK
An addition to the City of Grapevine, Tarrant County, Texas

Consisting of 69 Townhome Lots and 8 Common Area Lots and containing 13.646 acre of land out of the J. H. HUGHES SURVEY, ABSTRACT NO. 822-1/2
Currently Zoned TH • Plat Prepared in August 2018

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: OCTOBER 16, 2018

SUBJECT: FINAL PLAT APPLICATION
LOTS 27 AND 28, BLOCK 1, SHAMROCK SHORES ESTATES

PLAT APPLICATION FILING DATE..... October 9, 2018

APPLICANT Jeremie Cole, Sand Surveying Corporation

REASON FOR APPLICATION Platting property to build
two (2) residential homes

PROPERTY LOCATION 1124 Tipperary Drive

ACREAGE..... 0.5245 acres

ZONING R-7.5

NUMBER OF LOTS Two (2) Lots

PREVIOUS PLATTING No

CONCEPT PLAN No

SITE PLAN No

OPEN SPACE REQUIREMENT Yes

AVIGATION RELEASE Yes

PUBLIC HEARING REQUIRED No

**PLAT INFORMATION SHEET
FINAL PLAT APPLICATION
LOTS 27 AND 28, BLOCK 1, SHAMROCK SHORES ESTATES**

I. GENERAL:

- The applicant, Jeremie Cole with Sands Surveying Corporation is final platting a 0.5 acre site into two (2) residential lots. The tract was parceled as part of Shamrock Shores Estates in the early 50's. The plat of Shamrock Shores Estates was never recorded at Tarrant County. The property is located at 1124 Tipperary Drive.

II. STREET SYSTEM:

- The development has access to Tipperary Drive, privately maintained access and drainage and public utility easement.
- Abutting roads: on the City Thoroughfare Plan:
 not on the City Thoroughfare Plan:

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 15.00 / LF		

Periphery Street Fees are not due:

III. STORM DRAINAGE SYSTEM:

- The existing stormwater runoff flows east to Grapevine Lake.
- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for:
- Water and Wastewater Impact Fees are due prior to the issuance of building permits for: Lots 27 & 28, Block 1, Shamrock Shores Estates
 - Single Family Residential (\$ 2,414/ Lot)
 - Multifamily (\$ 1,134/ Unit)
 - Hotel (\$ 43,632/ Acre)
 - Corporate Office (\$ 20,523/ Acre)
 - Government (\$ 4,414/ Acre)
 - Commercial / Industrial (\$ 5,739 / Acre)
- Open Space Fees are not required for:
- Open Space Fees are due prior to the issuance of building permits and/or any public infrastructure improvements for: Lots 27 & 28, Block 1, Shamrock Shores Estates
 - R-5.0, R-TH, Zero Lot District (\$ 1,416.00 / Lot)
 - R-7.5, Single Family District (\$ 1,146.00 / Lot)
 - R-12.5, Single Family District (\$ 1,071.00 / Lot)
 - R-20.0, Single Family District (\$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
 - Front building line
 - Allowing a setback of 3 feet for the rear property line for an accessory building
 - Lot width & depth
 - Max. Impervious Area
 - Landscaping Regulations, allowing no landscape buffer between the edge of the parking area and the adjacent property line.
- The following items associated with this plat are not in accordance with the current subdivision standards:
 - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
 - Length of cul-de-sac street exceeds the 600-foot limit:
 - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
- The right-of-way provides for future widening of public streets that will serve the development of this site.
 - The onsite utility easements provide for a utility network to serve the development of this site.
 - The onsite drainage easements provide for a drainage network to serve the development of this site.
 - The onsite access easements provide cross access capabilities to this site and surrounding property.

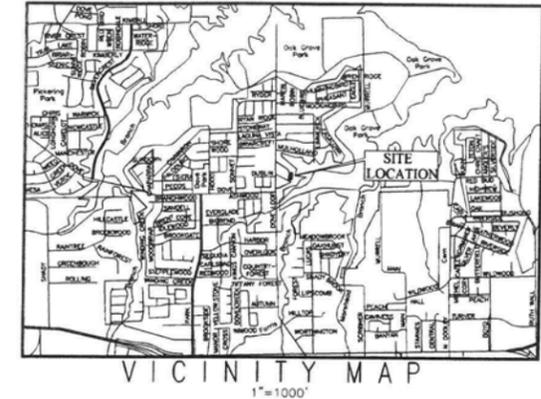
- The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:

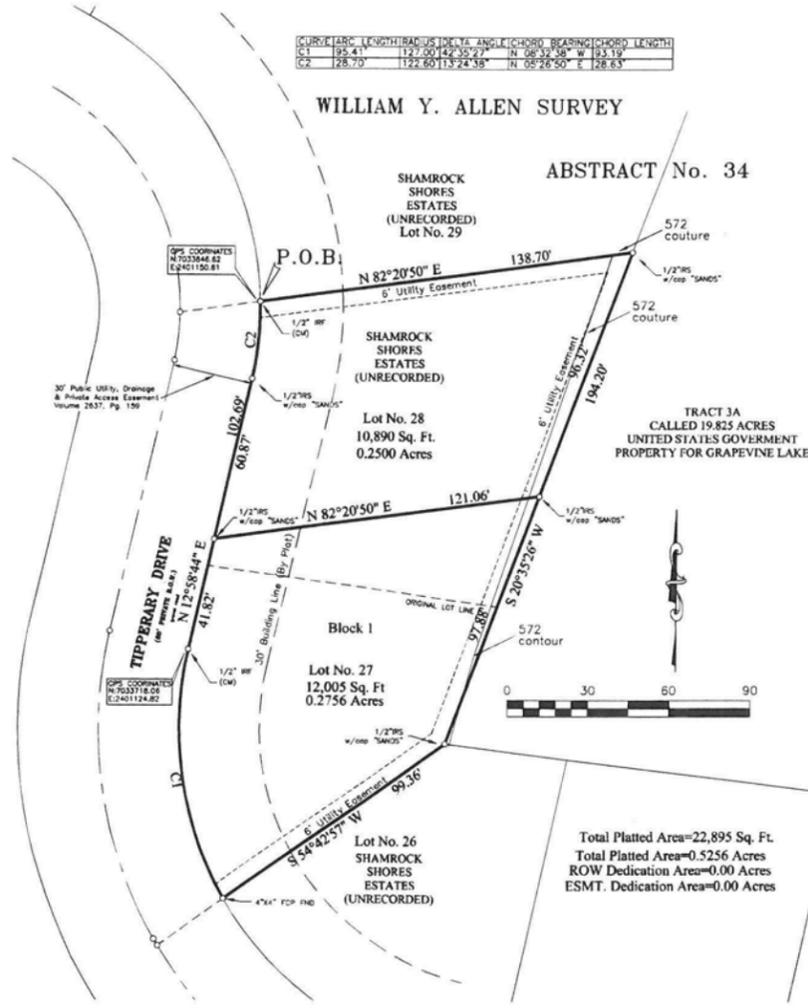
- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
- The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
- The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
- The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
- The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
- All of the dedications benefit the development to at least the extent of the impact of such on the development.

VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Final Plat of Lots 27 & 28, Block 1, Shamrock Shores Estates."



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	195.41'	127.00'	142.35° 27'	N 08° 32' 36" W	93.19'
C2	28.70'	122.60'	113.24° 38'	N 05° 26' 50" E	28.63'



OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS, Abba Professional Group, LLC is the owner of a 0.5256 acre tract of land situated in the William Y. Allen Survey, Abstract 34, in the City of Grapevine, Tarrant County, Texas and being all of that certain called 0.526 acre tract of land described deed in from Wayland Blackshear to Abba Professional Group, LLC and recorded in County Clerk's File No. D218088160 of the Deed records of Tarrant County, Texas and also being known as Lot 27 & Lot 28, Block 1, of Shamrock Shores Estates (unrecorded plat) an addition to the City of Grapevine Tarrant County, Texas said 0.5256 acres to be more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the Northwest corner of said Lot 28 and the Southwest corner of Lot 29 and being in the East line of Tipperary Drive a (60' Private Right-of-Way)

THENCE North 82°20'50" East with the North line of said Lot 28 and the South line of Lot 29 a distance of 138.70 feet to a 1/2" iron rod with plastic cap marked "SANDS" set for corner at the Northeast corner of said Lot 28 and the Southeast corner said Lot 29 and being in the East line of that certain called Tract 3A, 19.825 acre tract of land to United States Government Property for Grapevine Lake;

THENCE South 20°35'26" West with the East line of said Lot 28 and the West line of said U.S.A. Property a distance 194.20 feet to a 1/2" iron rod with plastic cap marked "SANDS" set for corner at the Southeast corner of Lot 27 same being the Northwest corner of Lot 26;

THENCE South 54°42'57" West with the South line of Lot 27 and the West line of Lot 26 a distance of 99.36 feet to 1/2" iron rod found for corner at the beginning of a non-tangent curve to the right and being in the East line of said Tipperary Drive;

THENCE in a Northwesterly direction with the East line of Tipperary Drive and with said curve to the right having a radius of 127.00 feet, whose chord bears North 08°32'08" West - 93.19 feet for an arc length of 95.41 feet to a 1/2" iron rod found for corner in the West line of Lot 27;

THENCE North 12°58'44" East with said East and West lines a distance of 102.69 feet to a 1/2" iron rod with plastic cap marked "SANDS" set for corner at the beginning of a curve to the left;

THENCE in a Northwesterly direction with the East line of said Tipperary Drive and with said curve to the left having a radius of 122.60 feet, whose chord bears North 05°26'50" East - 28.63 feet for an arc length of 28.70 feet back to the POINT OF BEGINNING and CONTAINING 22,846 Square Feet, or 0.5256 acres of land more or less.

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS, THAT

Abba Professional Group, LLC does hereby adopt this FINAL PLAT of LOT 27 and LOT 28, BLOCK 1, SHAMROCK SHORES ESTATES, City of Grapevine, Tarrant County, Texas and does hereby dedicate to the public use forever the right-of-way and easements shown hereon. The easements shown hereon are hereby reserved for the purposes as indicated. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of paving on the easements are the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed, or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using, or desiring to use same. Any City or franchised utility shall have the full right to remove and keep removed all or parts of any fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all City or franchised utilities shall at all times have the full right of way ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone.

I have reviewed the City's Findings concerning dedications and I do agree that the statements are true and correct. This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

Witness my hand this the _____ day of _____, 2018.

By:
Abba Professional Group, LLC

STATE OF TEXAS §
COUNTY OF TARRANT §

Before me, undersigned Notary Public in and for said county and state, on this day personally appeared Leon Leon, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this the _____ day of _____, 2018.

Notary Public, State of Texas

My Commission Expires _____

OWNER:
Abba Professional Group, LLC
3012 Redbird Lane, Grapevine
Texas 76051
PH 214-536-0004
leon@abbaprofessional.com

THE STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS, Abba Professional Group, LLC, hereinafter called, is the owner of that certain parcel of land situated in the City of Grapevine, Tarrant County, Texas, being more particularly described as shown on this plat.

NOW THEREFORE, in consideration of the sum of ONE AND 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confessed, Owner does hereby waive, release, remise and quitclaim to the City of Grapevine, Tarrant County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas, Texas and Fort Worth, Texas, their successors and assigns, hereinafter called "Cities", for the use and benefit of the public and its agencies, any and all claims for damages of any kind to persons or property that Owner may suffer by reason of the passage and flight of all aircraft in the air space above Owner's property above the height restriction as presently established by Ordinance No. 73-50 for the City of Grapevine, known as the Airport Zoning Ordinance of the Dallas-Fort Worth International Airport, to an infinite height above same, whether such damage shall originate from noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft, landing at, or taking off from, or operating at or on the Dallas-Fort Worth International Airport.

This instrument does not release the owners or operators of aircraft from liability for damage or injury to person or property caused by falling aircraft or falling physical objects from aircraft, except as stated herein with respect to noise, fumes, dust, fuel, and lubricant particles.

It is agreed that this Release shall be binding upon said owner and his heirs and assigns, and successors in interest to said property; and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of the county or counties in which the property is situated.

EXECUTED at _____, Texas, this _____ day of _____, 2018.

OWNER: _____

TITLE: _____

STATE OF TEXAS §
COUNTY OF TARRANT §

Before me, undersigned Notary Public in and for said county and state, on this day personally appeared _____ known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this the _____ day of _____, 2018.

Notary Public, State of Texas

My Commission Expires _____

SURVEYOR'S CERTIFICATION:

I, J. Scott Cole, of Sands Surveying, a Registered Professional Land Surveyor of the State of Texas, do hereby declare that I prepared this plat from an actual and accurate survey on the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the State of Texas and the City of Grapevine.

J. Scott Cole R.P.L.S. No. 5411
Sands Surveying

STATE OF TEXAS §
COUNTY OF TARRANT §

Before me, undersigned Notary Public in and for said county and state, on this day personally appeared _____ known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this the _____ day of _____, 2018.

Notary Public, State of Texas

My Commission Expires _____



J. Scott Cole
Registered Professional
Land Surveyor No. 5411

PLANNING & ZONING COMMISSION

Date Approved: _____
Chairman: _____
Secretary: _____

GRAPEVINE CITY COUNCIL:

Date Approved: _____
Mayor: _____
City Secretary: _____

RECEIVED

OCT 10 2018

BY: _____

FINAL PLAT
OF
LOT 27 & LOT 28, BLOCK 1
SHAMROCK SHORES ESTATES
William Y. Allen Survey, Abstract No. 34
City of Grapevine
Tarrant County, Texas

R-7.5 2 LOTS

SANDS SURVEYING CORPORATION
2154 W. Northwest Highway Suite 204
Dallas, Texas 75220
(214) 919-7883 ph
(817) 803-6139 fax
www.SSCTX.net

SCALE: 1"=30'
DATE: 7/18/2018
W.D.: 1810531
DRAWN BY: JSC
CHECKED BY: SC

COPYRIGHT © 2018 Sands Surveying Corporation
All Rights Reserved
Texas Registration No. 101-0011

FLOOD NOTE:

By graphic platting only, this property is in Zone X of the Flood Insurance Rate Map, Community Panel No. 48439C0105 K, which bears an Effective date of September 26, 2009 and is not in a Special Flood Hazard Area. As shown on the FEMA website (<http://msc.fema.gov>) by FIRette created on September 10, 2018 we have learned this community does currently participate in the program. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

STATE OF TEXAS
COUNTY OF TARRANT
CITY OF GRAPEVINE

The Planning and Zoning Commission of the City of Grapevine, Texas met in Regular Session on this the 18th day of September 2018 in the Planning and Zoning Conference Room, 200 South Main Street, 2nd Floor, Grapevine, Texas with the following members present-to-wit:

Larry Oliver	Chairman
B J Wilson	Vice-Chairman
Monica Hotelling	Member
Jimmy Fechter	Member
Gary Martin	Member
Beth Tiggelaar	Member
Dennis Luers	Member
Robert Rainwater	Alternate

constituting a quorum with Traci Hutton absent and the following City Staff:

Ron Stombaugh	Development Services Assistant Director
John Robertson	Engineering Manager
Albert Triplett, Jr.	Planner II
Susan Batte	Planning Technician

CALL TO ORDER

Chairman Oliver called the meeting to order at 7:00 p.m.

BRIEFING SESSION

ITEM 1.

Chairman Oliver announced the Planning and Zoning Commission would conduct a work session relative to the following cases:

Z18-05 703 East Wall Street

Chairman Oliver closed the Briefing Session at 7:10 p.m.

JOINT PUBLIC HEARINGS

Mayor Pro-Tem Freed called the meeting to order at 7:30 p.m. in the City Council Chambers. Items 2-3 of the Joint Public Hearings were held in the City Council

Chambers. The Planning and Zoning Commission recessed to the Planning and Zoning Conference Room, Second Floor to consider published agenda items.

PLANNING AND ZONING COMMISSION REGULAR SESSION

CALL TO ORDER

Chairman Oliver called the Planning and Zoning Commission deliberation session to order at 7:38 p.m.

ITEM 4. ZONE CHANGE REQUEST Z18-05 703 EAST WALL STREET

First for the Commission to consider and make recommendation to City Council was zone change application Z18-05 submitted by Neal Cooper for property located at 703 East Wall Street and proposed to be platted as Lots 1 & 2, Block 1, K Palms. The applicant was requesting to rezone 0.302 acres from HC Highway Commercial District to R-5.0 Zero-Lot-Line District for the development of two single-family detached residential lots.

In the Commission's deliberation session, Dennis Luers moved to approve zone change application Z18-05. Monica Hotelling seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Fechter, Martin, Tiggelaar and Luers
Nays: None

ITEM 5. FINAL PLAT – LOTS 1 AND 2, BLOCK 1, K PALMS

Next for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Final Plat Application of Lots 1 and 2, Block 1, K Palms. The applicant was final platting 0.302 acres for the development of two residential structures.

In the Commission's deliberation session, Dennis Luers moved to approve the Statement of Findings and Final Plat Application of Lots 1 and 2, Block 1, K Palms. B J Wilson seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Fechter, Martin, Tiggelaar and Luers
Nays: None

ITEM 6. FINAL PLAT – LOT 1, BLOCK 1, TREVINO

Next for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Final Plat Application of Lot 1, Block 1, Trevino. The applicant was final platting 0.5087 acres for the development of a residential structure.

In the Commission's deliberation session, B J Wilson moved to approve the Statement of Findings and Final Plat Application of Lot 1, Block 1, Trevino. Gary Martin seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Fechter, Martin, Tiggelaar and Luers
Nays: None

ITEM 7. CONSIDERATION OF MINUTES

Next for the Commission to consider were the minutes of the August 21, 2018, Planning and Zoning Public Hearing.

Jimmy Fechter moved to approve the August 21, 2018 Planning and Zoning Public Hearing minutes with the correction on Item 5, voting should have read:

Ayes: Oliver, Hotelling, Fetcher, Luers, Rainwater and Hutton
Nays: Tiggelaar

Monica Hotelling seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Hotelling, Fechter, Tiggelaar and Luers
Nays: None
Abstain: Wilson and Martin

ADJOURNMENT

With no further business to discuss, Jimmy Fechter moved to adjourn the meeting at 7:41 p.m. Monica Hotelling seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Fechter, Martin, Tiggelaar and Luers
Nays: None

PASSED AND APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF GRAPEVINE, TEXAS ON THIS THE 16TH DAY OF OCTOBER 2018.

APPROVED:

CHAIRMAN

ATTEST:

PLANNING TECHNICIAN