



CITY OF GRAPEVINE, TEXAS  
REGULAR JOINT MEETING OF  
CITY COUNCIL AND PLANNING AND ZONING COMMISSION  
TUESDAY, FEBRUARY 20, 2018

GRAPEVINE CITY HALL, SECOND FLOOR  
200 SOUTH MAIN STREET  
GRAPEVINE, TEXAS

---

6:00 p.m.	Dinner - City Council Conference Room
6:30 p.m.	Call to Order of City Council Meeting - City Council Chambers
6:30 p.m.	Executive Session - City Council Conference Room
7:30 p.m.	Joint Regular Meeting - City Council Chambers

---

**CALL TO ORDER: 6:30 p.m.** – City Council Chambers

**EXECUTIVE SESSION:**

1. City Council to recess to the City Council Conference Room to conduct a closed session relative to:
  - A. Real property relative to deliberation to the purchase, exchange, lease, sale or value of real property (City facilities, Public Works, and the 185 acres) pursuant to Section 551.072, Texas Government Code.
  - B. Conference with City Manager and Staff to discuss and deliberate commercial and financial information received from business prospects the City seeks to have locate, stay, or expand in the City; deliberate the offer of a financial or other incentive; with which businesses the City is conducting economic development negotiations pursuant to Section 551.087, Texas Government Code.

City Council to reconvene in open session in the City Council Chambers and take any necessary action relative to items discussed in Executive Session.

**REGULAR MEETING: 7:30 p.m.** – City Council Chambers

2. Invocation and Pledge of Allegiance: Commissioner Jim Fechter

**JOINT PUBLIC HEARING**

3. Zoning Change Application **Z18-01**, Conditional Use Permit **CU18-02**, and Planned Development Overlay **PD18-01** (The Preserve) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Greystar GP II, LLC requesting to rezone approximately 20.407 acres from “PCD” Planned Commerce Development District and “LI” Light Industrial District to “R-MF” Multi-family District for the development of a multifamily apartment complex. The applicant is also requesting a conditional use permit to allow three stories, a reduction to the parking requirements and a planned

development overlay to deviate from but not limited to building separation. The subject property is located at 101 East Glade Road.

Planning and Zoning Commission to recess to Planning and Zoning Commission Conference Room, Second Floor, to consider published agenda items.

City Council to remain in session in the Council Chambers to consider published business.

#### CITIZEN COMMENTS

4. Any person who is not scheduled on the agenda may address the City Council under Citizen Comments by completing a Citizen Appearance Request form with the City Secretary. In accordance with the Texas Open Meetings Act, the City Council is restricted in discussing or taking action during Citizen Comments.

#### CITY COUNCIL PUBLIC HEARING AND RELATED ITEMS

5. City Council to conduct a Public Hearing to receive public input relative to the proposed 44th Year Community Development Block Grant Program (CDBG) street reconstruction project.
6. Consider authorizing staff to submit an application to Tarrant County for the 44th Year Community Development Block Grant Program (CDBG) street reconstruction project and take any necessary action.

#### PRESENTATIONS

7. Chief Financial Officer to present monthly financial report.

#### NEW BUSINESS

8. Consider **Resolution No. 2018-013** authorizing the purchase of softball field lighting from Musco Lighting through an interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) and authorizing a finance contract with First Security Finance Inc. for financing of said purchase, and take any necessary action.

#### CONSENT AGENDA

Consent items are deemed to need little Council deliberation and will be acted upon as one business item. Any member of the City Council or member of the audience may request that an item be withdrawn from the consent agenda and placed before the City Council for full discussion. Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations.

9. Consider the mid-year appointments of Kosse Maykus and Neal Cooper to fill vacancies on the Building Board of Appeals. City Secretary recommends approval.
10. Consider renewal of an annual contract for office supplies with Office Depot, Inc. through an established Cooperative Agreement with The Cooperative Purchasing Network (TCPN). Chief Financial Officer recommends approval.
11. Consider **Resolution No. 2018-014** authorizing the purchase of a Toro Groundsmaster 3280 mower from Professional Turf Products, L.P. through an interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard). Golf Director recommends approval.
12. Consider **Resolution No. 2018-015** authorizing the purchase of VMware support services from SHI Government Solutions through an interlocal agreement with the State of Texas Department of Information Resources (DIR). Chief Technology Officer recommends approval.
13. Consider **Resolution No. 2018-016** authorizing a sole source purchase of pool furniture from Leisure Creations. Parks and Recreation Director recommends approval.
14. Consider the renewal of an annual contract for swimming pool maintenance services with Grapevine Pool and Spa. Parks and Recreation Director recommends approval.
15. Consider **Resolution No. 2018-017** authorizing the sole source purchase of a lightning warning system for the Parks and Recreation department from Perry Weather Consulting. Parks and Recreation Director recommends approval.
16. Consider the renewal of annual contracts for masonry services with Chibli Stone Works, Inc., Caststone Solutions Co. and Austin Masonry Construction. Parks and Recreation Director recommends approval.
17. Consider **Resolution No. 2018-018** authorizing the purchase of a bus from Creative Bus Sales through an interlocal agreement with the Houston-Galveston Area Council (H-GAC). Public Works Director recommends approval.
18. Consider **Resolution No. 2018-019** authorizing the purchase of a Ford vehicle from Chastang Ford through an interlocal agreement with the Houston-Galveston Area Council (H-GAC). Public Works Director recommends approval.
19. Consider **Resolution No. 2018-020** authorizing the purchase of Chevrolet Tahoes from Sam Pack's Five Star Chevrolet through an interlocal agreement with the State of Texas Term Contracts Program. Public Works Director recommends approval.

20. Consider **Resolution No. 2018-021** authorizing the purchase an articulating trench roller from Kirby-Smith Machinery, Inc. through an interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard). Public Works Director recommends approval.
21. Consider **Resolution No. 2018-022** authorizing the purchase of a pipe inspection camera system from Green Equipment Company through an interlocal agreement with the Houston-Galveston Area Council (H-GAC). Public Works Director recommends approval.
22. Consider **Resolution No. 2018-023** authorizing the purchase of a structural liner to repair of a sanitary sewer main from Fuquay, Inc. through an interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard). Public Works Director recommends approval.
23. Consider a contract for construction materials engineering services with Terracon Consultants, Inc. Public Works Director recommends approval.
24. Consider an agreement with The North Central Texas Council of Governments (NCTCOG) for The Regional Traffic Signal Data Sharing Program and **Ordinance No. 2018-018** transferring funds from the Capital Projects Streets Fund and appropriating funds in the Grant Fund. Public Works Director recommends approval.
25. Consider the award of an informal request for quote to purchase a replacement pump for the Dove Lift Station from Pump Solutions, Inc. Public Works Director recommends approval.
26. Consider the minutes of the February 6, 2018 Regular City Council meeting. City Secretary recommends approval.

Pursuant to the Texas Open Meetings Act, Texas Government Code, Chapter 551.001 et seq, one or more of the above items may be considered in Executive Session closed to the public. Any decision held on such matter will be taken or conducted in open session following conclusion of the executive session.

#### PLANNING AND ZONING COMMISSION RECOMMENDATIONS

27. Zoning Change Application **Z18-01** (The Preserve) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2018-019**, if applicable, and take any necessary action.
28. Conditional Use Permit **CU18-02** (The Preserve) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2018-020**, if applicable, and take any necessary action.

29. Planned Development Overlay **PD18-01** (The Preserve) – Consider the recommendation of the Planning and Zoning Commission and **Ordinance No. 2018-021**, if applicable, and take any necessary action.
30. **Preliminary Plat** of Lots 1 and 2, Block A, Glade 360 Addition – Consider the recommendation of the Planning and Zoning Commission relative to an application submitted by Paul Gardner, Silvertree Partners requesting a preliminary plat of property located at 101 East Glade Road.

## ADJOURNMENT

In accordance with the Open Meetings Law, Texas Government Code, Chapter 551, I hereby certify that the above agenda was posted on the official bulletin boards at Grapevine City Hall, 200 South Main Street and on the City's website on February 16, 2018 by 5:00 p.m.

  
Tara Brooks  
City Secretary



If you plan to attend this public meeting and you have a disability that requires special arrangements at the meeting, please contact the City Secretary's Office at 817.410.3182 at least 24 hours in advance of the meeting. Reasonable accommodations will be made to assist your needs.



CITY OF GRAPEVINE, TEXAS  
REGULAR PLANNING AND ZONING COMMISSION MEETING  
TUESDAY, FEBRUARY 20, 2018

GRAPEVINE CITY HALL, SECOND FLOOR  
200 SOUTH MAIN STREET  
GRAPEVINE, TEXAS 76051

- 
- 7:00 p.m. Briefing Session –  
Planning and Zoning Commission Conference Room
- 7:30 p.m. Joint Meeting with City Council - City Council Chambers
- 7:30 p.m. Regular Session - Planning and Zoning Commission Conference Room
- 

**CALL TO ORDER: 7:00 p.m.** - Planning and Zoning Commission Conference Room

**BRIEFING SESSION**

1. Planning and Zoning Commission to conduct a briefing session to discuss all items scheduled on tonight's agenda. No action will be taken. Each item will be considered during the Regular Session which immediately follows the Joint Public Hearings.

**JOINT MEETING WITH CITY COUNCIL: 7:30 p.m.** - City Council Chambers

2. Invocation and Pledge of Allegiance: Commissioner Jim Fechter
3. Zoning Change Application **Z18-01**, Conditional Use Permit **CU18-02**, and Planned Development Overlay **PD18-01** (The Preserve) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Greystar GP II, LLC requesting to rezone approximately 20.407 acres from "PCD" Planned Commerce Development District and "LI" Light Industrial District to "R-MF" Multi-family District for the development of a multifamily apartment complex. The applicant is also requesting a conditional use permit to allow three stories, a reduction to the parking requirements and a planned development overlay to deviate from but not limited to building separation. The subject property is located at 101 East Glade Road.

**JOINT PUBLIC HEARING**

Planning and Zoning Commission to recess to Planning and Zoning Commission Conference Room, Second Floor, to consider published agenda items.

**REGULAR SESSION: 7:30 p.m.** (Immediately following Joint Public Hearings) –  
Planning and Zoning Commission Conference Room

## NEW BUSINESS

4. Zoning Change Application **Z18-01** (The Preserve) – Consider the application and make a recommendation to the City Council.
5. Conditional Use Permit **CU18-02** (The Preserve) – Consider the application and make a recommendation to the City Council.
6. Planned Development Overlay **PD18-01** (The Preserve) – Consider the application and make a recommendation to the City Council.
7. **Preliminary Plat** of Lots 1 and 2, Block A, Glade 360 Addition – Consider the recommendation an application submitted by Paul Gardner, Silvertree Partners requesting a preliminary plat of property located at 101 East Glade Road and make a recommendation to the City Council.
8. Consider the minutes of the January 16, 2018 Regular Planning and Zoning Commission meeting.

NOTE: Following the adjournment of the Planning and Zoning Commission meeting, a representative will present the recommendations of the Planning and Zoning Commission to the City Council for consideration in the City Council Chambers.

## ADJOURNMENT

In accordance with the Open Meetings Law, Texas Government Code, Chapter 551, I hereby certify that the above agenda was posted on the official bulletin boards at Grapevine City Hall, 200 South Main Street and on the City's website on February 16, 2018 by 5:00 p.m.

*Tara Brooks*

Tara Brooks  
City Secretary



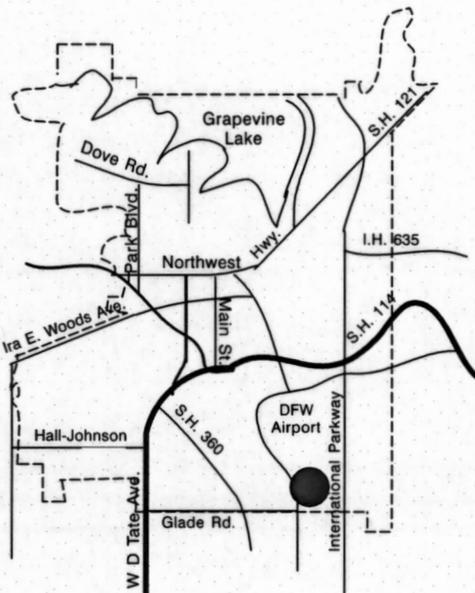
If you plan to attend this public meeting and you have a disability that requires special arrangements at the meeting, please contact the City Secretary's Office at 817.410.3182 at least 24 hours in advance of the meeting. Reasonable accommodations will be made to assist your needs.

TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE  
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>1372</sup>  
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: FEBRUARY 20, 2018

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF ZONE  
CHANGE APPLICATION Z18-01, CONDITIONAL USE  
APPLICATION CU18-02, AND PLANNED DEVELOPMENT  
OVERLAY PD18-01, THE PRESERVE



APPLICANT: Greystar GP II, LLC

PROPERTY LOCATION AND SIZE:

The subject property is addressed as 101 East Glade Road and is proposed to be platted Lot 1, Block A, Glade/360 Addition. The subject property comprises 20.4 acres and has approximately 367 feet of frontage along Glade Road and 1,240 feet of frontage along the northbound State Highway 360 service road.

REQUESTED ZONE CHANGE, CONDITIONAL USE, PLANNED DEVELOPMENT OVERLAY AND COMMENTS:

The applicant is requesting a zone change to rezone 14.34 acres from "LI" Light Industrial District and 6.07 acres from "PCD" Planned Commerce Development District to "R-MF" Multi-Family District for the development of a 399 unit multi-family project. The applicant is also seeking a conditional use permit to exceed the height regulations, vary from the parking requirements, and allow for a reduction in the front yard setback relative to the flexible design standards in the "R-MF" Multi-Family District. A planned development overlay is also being requested to deviate from but not be limited to the building separation requirements in the "R-MF" Multi-Family district.

It is the applicant's intent to develop a 399 unit, gated, multi-family complex on approximately 20 acres beginning at the southwest corner of Glade Road and State

Highway 360 and continuing northward approximately 1,200 feet along the State Highway 360 service road. This project, consisting of 399 units (19.6 dwelling units/acre) will have two primary points of access—one at the easternmost edge of the property along Glade Road and a second point of access near the northernmost boundary of the site along the northbound State Highway 360 service road.

This development will consist of 256, one bedroom units ranging from 705-1,020 net square feet in size; 102, two bedroom units ranging from 1,092-1,268 net square feet in size; and 20, three bedroom units 1,393 net square feet in size. Also as part of this project the applicant intends to develop 21 brownstone-style apartments that are three-stories in height and resemble a product similar to an attached townhome with attached garages and guest parking; these brownstone apartments will range from 1,310-1,747 square feet in size.

The flexible design standards within the conditional use section of the "R-MF" Multi-Family District, allow through the conditional use process, consideration of height in excess of the two-story, 35 feet maximum as stated in the district, as well as a reduction in the required parking and reduction of the front yard setback. All of the structures in this project other than the clubhouse will be three stories and 39 feet in height. Total required parking for this project is 798 spaces; the applicant has conducted a parking study which recommends a ratio of 1.60 spaces/unit (639 total units). The applicant is providing 685 spaces in the form of 347 surface spaces, 100 carport spaces, 140 garages spaces, and 90 tandem spaces (behind garages). An additional eight spaces have been provided for people who wish to walk the on-site trail that do not live on the property. Relative to the reduced front yard setback, although the buildings are set back well beyond the minimum 40 foot requirement, the applicant has added driveway access and public parking along this portion of the frontage along East Glade Road.

The "R-MF" Multi-Family District regulations require a minimum building separation of 50 feet for structures that are arranged face-to-face or back-to-back. The applicant is seeking a planned development overlay to slightly reduce this separation to 39 feet between buildings 4 and 8 and a separation of 46 feet between buildings 3 and 9 in order to provide a more efficient arrangement of the structures on the site relative to the existing topography.

Two monument signs are proposed, one located near the Glade/State Highway 360 intersection and the other near the entrance to the property from State Highway 360. Both signs are 6' in height, 60 square feet in size. Usable recreational open space provided by the applicant in the form of hiking trails, nature preserve areas, a dog park, and pool area in in excess of 200,000 square feet - 99,750 square feet is required.

Contained in your packet, along with the site specific exhibits, is an affidavit of compliance signed and sealed by the project architect stating the project is in compliance with the recently adopted Design Standards Manual for Multi-Family and Vertical Mixed Use Development. Specifically, this project is located within District 1, State Highway

360/Airport District. This district has ten, district specific standards which the affidavit and accompanying checklist demonstrate compliance along with the general standards required of all districts. Along with the affidavit and checklist is a set of exhibits that graphically demonstrate compliance with specific elements of the design standards.

**PRESENT ZONING AND USE:**

The property is currently zoned "PCD" Planned Commerce Development District and "LI" Light Industrial District and is undeveloped.

**HISTORY OF TRACT AND SURROUNDING AREA:**

The subject property was zoned "I-2" Heavy Industrial District prior to the 1984 City Rezoning. The property to the north was zoned "R-1" Single Family District prior to the 1984 City Rezoning. At a February 3, 1997 meeting the Council approved a zone change (Z97-20) and a conditional use permit (CU97-73) on the subject site rezoning approximately 14.34 acres from "PCD" Planned Commerce Development District to "LI" for outside storage in conjunction with an office/warehouse development that never materialized. At the September 15, 2015 meeting the Council considered and denied a zoning change and a conditional use permit to rezone approximately 68 acres from "LI" Light Industrial District and "PCD" Planned Commerce Development District to "R-MF" Multi-Family District for a two-phase multi-family project on the subject site comprised of 714 total units.

**SURROUNDING ZONING AND EXISTING LAND USE:**

- NORTH: "PCD" Planned Commerce Development District and D/FW International Airport—vacant undeveloped property and vacant undeveloped airport property
- SOUTH: City of Euless and D/FW International Airport
- EAST: D/FW International Airport—vacant undeveloped airport property
- WEST: State Highway 360 right-of-way

**AIRPORT IMPACT:**

A portion of the subject tract is not located within any of the noise zones as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map and an approximate equal portion of the tract is located within "Zone A" Zone of Minimal Effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" Map. Few activities will be affected by aircraft sounds in "Zone A" except for sound sensitive activities such as auditoriums, churches, schools, hospitals, and theaters. The applicant's proposal is an appropriate use in this noise zone.

MASTER PLAN APPLICATION:

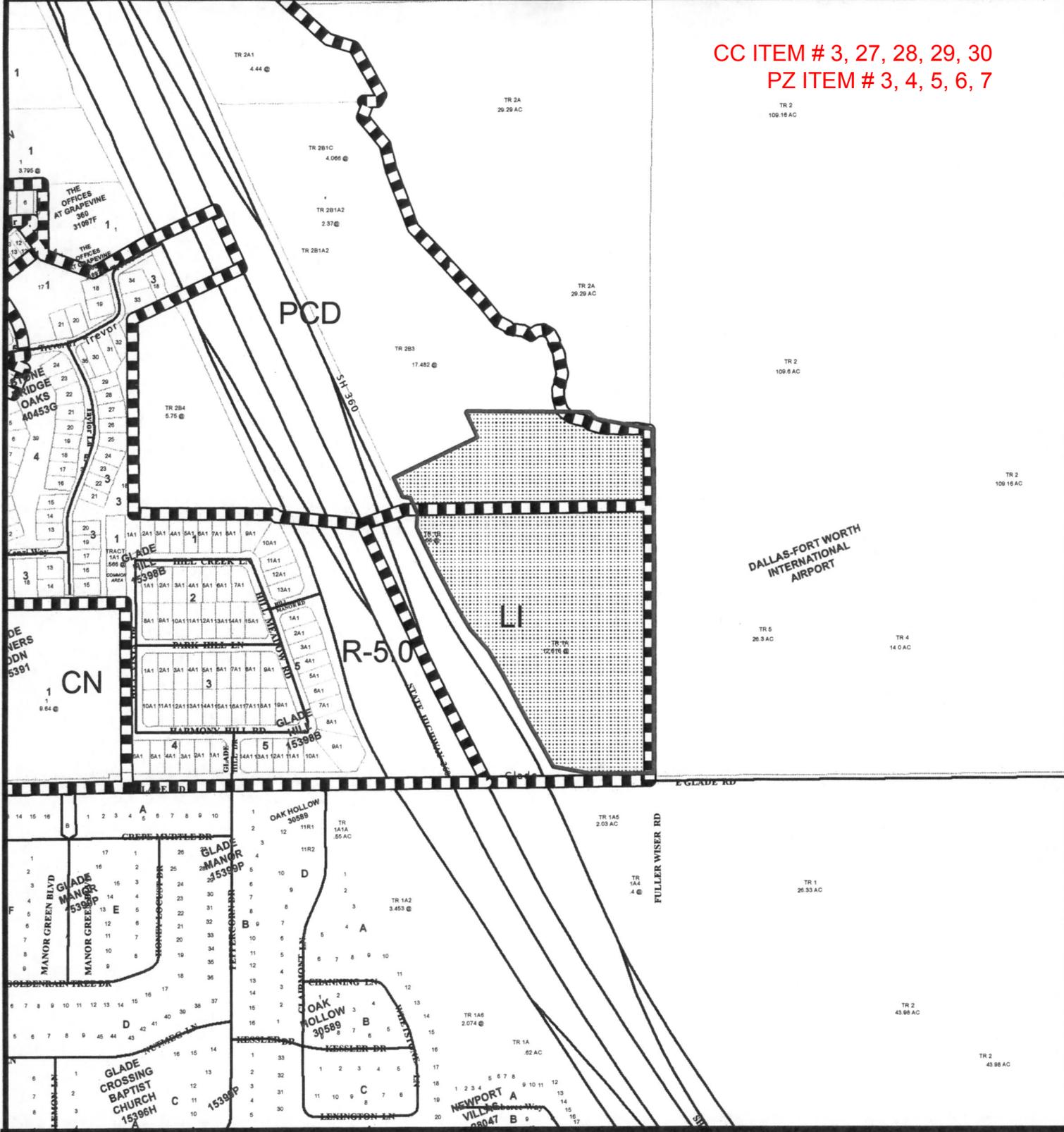
The Master Plan designates the subject property as a Commercial/Mixed Use land use. The applicant's proposal is not in compliance with the Master Plan.

THOROUGHFARE PLAN APPLICATION:

The Thoroughfare Plan does not designate this portion of Glade Road east of State Highway as a thoroughfare.

/rs

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7



# Z18-01, CU18-02, PD18-01 The Preserve



Date Prepared: 2/7/2018

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.



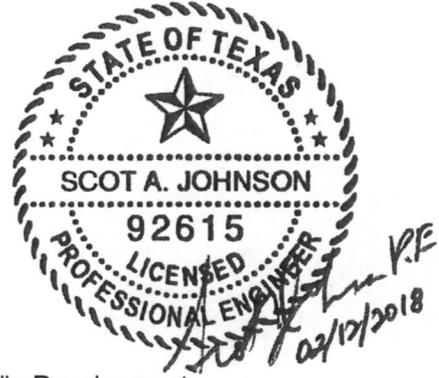
**MEMORANDUM**

To: Andrew Ord  
Greystar

From: Scot Johnson P.E., PTOE  
Jake Halter, EIT  
Kimley-Horn and Associates, Inc.  
Registered Firm F-928

Date: February 12, 2018

Subject: The Preserve  
Parking Demands in Comparable Multifamily Developments



**Introduction**

Greystar Residential is proposing to build The Preserve, a high-end multifamily development on the east side of State Highway 360 in Grapevine, Texas. This memorandum documents the two lines of inquiry which were investigated to support the proposed 1.60 spaces per unit parking rate: national research and local observations of parking occupancy at comparable sites.

Careful sizing of parking areas to specific uses will prevent the waste of space and building materials that is caused by providing parking that is rarely if ever used. Excessive parking also has negative impacts on often-hidden issues like walkable design, storm water runoff, and urban heat island effects.

**Parking Research**

ITE publishes *Parking Generation*, a compendium of parking demand research at sites across the country. ITE provides more information on each base parking demand rate than do most other sources, although the number of observations is still limited. The ITE data do not contain any significant amount of mixed-use or TOD-influenced observations, but do track suburban and urban differences. **Table 1** shows the average rates for some multifamily uses which are similar to the proposed site.

**Table 1 – ITE Parking Generation Observed Demand**

Use – ITE Classification	Unit	Average Parking Demand
Low/Mid-Rise Apartment Suburban, Weekday	Unit	1.23
Low/Mid-Rise Apartment Urban, Weekday	Unit	1.20
Low/Mid-Rise Apartment Urban, Saturday	Unit	1.03

**Local Observations**

To make empirical observations of actual parking usage, comparable multifamily sites were found in the City of Grapevine. Observations were accomplished at eight sites, as some potential sites could not be accessed for observations. The average occupancy of the sites was 95%, or typical for the market average. Parking occupancy observations were made overnight, at 10 PM or later. The exact number of occupied parking spaces and enclosed garages were counted during the observations. It should be noted that each enclosed garage is treated as an occupied parking space for the purposes of the occupancy study. Since some of the garage spaces are empty or used as storage, this means that the observed parking demand is artificially high. Many of the sites also had some trailers, boats, and other vehicle-related objects located in parking spaces, and these were counted as occupied spaces as well. Since all of the sites had ample unused parking spaces, these objects did not impede the normal parking operation of the sites. Attached to the end of this report is a parking data table listing the results of the data collection. The following tables show the details of each site and the observations:

**Table 2 – Weekday Parking Demand at 6 Local Sites (7 Observations)**

Study Site	Dwelling Units	Bedrooms	Observed Parking Demand (Including Enclosed Garages)	Observed Demand Per Unit	Observed Demand Per Bedroom
			Overnight		
Royal St. Moritz	336	528	467	1.39	0.88
Terrawood	291	401	400	1.37	1.00
Twenty-Four 99	348	486	452	1.30	0.93
Marquis at Silver Oaks	480	732	703	1.46	0.96
Montelena (Tuesday 1/23)	256	400	323	1.26	0.81
Montelena (Wednesday 1/24)	256	400	330	1.29	0.83
Wildwood Creek	344	524	344	1.00	0.66
<b>Weekday 6-Site Totals:</b>	<b>2311</b>	<b>3471</b>	<b>3019</b>	<b>1.31</b>	<b>0.87</b>
<b>Weekday 6-Site Averages:</b>	<b>330</b>	<b>496</b>	<b>431</b>		

**Table 3 – Saturday Parking Demand at 7 Local Sites**

Study Site	Dwelling Units	Bedrooms	Observed Parking Demand (Including Enclosed Garages)	Observed Demand Per Unit	Observed Demand Per Bedroom
			Overnight		
Royal St. Moritz	336	528	448	1.33	0.85
Cross Creek	392	544	444	1.13	0.82
Terrawood	291	401	397	1.36	0.99
Twenty-Four 99	348	486	443	1.27	0.91
Marquis at Silver Oaks	480	732	735	1.53	1.00
Montelena	256	400	290	1.13	0.73
Wildwood Creek	344	524	331	0.96	0.63
<b>Saturday 7-Site Totals:</b>	<b>2447</b>	<b>3615</b>	<b>3088</b>	<b>1.26</b>	<b>0.85</b>
<b>Saturday 7-Site Averages:</b>	<b>350</b>	<b>516</b>	<b>441</b>		

The weekday observed parking demand including garages across the six sites averaged 1.31 vehicles per unit with a range of 1.00 to 1.46 spaces per unit. The average number of vehicles per bedroom was calculated to be 0.87, ranging from 0.66 to 1.00.

The Saturday observed parking demand including garages across the six sites averaged 1.26 vehicles per unit with a low observation of 0.96 and a high of 1.36. The Saturday average demand was observed to be 0.85 vehicles per bedroom, varying from 0.63 to 1.00.

Four of the study sites included garages on the property. Residents often park in the “driveway” of their garages, which leads to double counting since the garage is counted as occupied, and the vehicle is counted again as being on the site. Since the “driveways” do not count as parking spaces, this results in an artificially high ratio of parked vehicle to units or bedrooms. Even with this assumption that enclosed garages skew the occupancy of the sites to be higher than reality, the highest observed parking rate was 1.53 vehicles per unit and 1.00 vehicles per bedroom, both of which are below the 1.60 spaces per unit and 1.13 spaces per bedroom that are proposed for the Preserve.

**Summary**

Observations of comparable local and suburban sites show that the effective parking demand of 1.31 occupied spaces per unit is slightly higher than ITE averages. This observed number is known to be somewhat high due to the assumption of garage spaces being occupied. A comparison of the national ITE rates, observed parking rates, and provided parking supply can be found in the summary table below:

**Table 4 – Summary Table**

	ITE Average			Observed		Preserve Proposed
	Suburban, Weekday	Urban, Weekday	Urban, Weekend	Weekday	Saturday	
Parking Demand per Unit	1.23	1.20	1.03	1.31	1.26	1.60
Parking Demand per Bedroom	-	-	-	0.87	0.85	1.13

The proposed supply of 1.60 spaces per unit for the Preserve will provide the right balance of available parking while preserving the nature oriented design of the site.

**END**

Attached: Parking Count Data Summary Table

Apartment Complex	No. of Dwelling Units	Observed Parking Demand per Dwelling Unit	Observed Parking Demand per Bedroom	Tuesday 1/23/2018	Wednesday 1/24/2018	Saturday 1/27/2018
				Vehicles + Garages Counted	Vehicles + Garages Counted	Vehicles + Garages Counted
Colonial Village 2300 Grayson Drive	58 Efficiency	0.64	0.41	251	286	253
	208 One Bedroom					
	117 Two Bedroom					
	67 Three Bedroom					
	<b>450 Total D.U.</b>			Outlier - Count not included	Outlier - Count not included	Outlier - Count not included
	<b>701 Total Bedrooms</b>					
Grayson Square 2100 Grayson Drive	N/A Efficiency	N/A	N/A	332	361	326
	N/A One Bedroom					
	N/A Two Bedroom					
	N/A Three Bedroom					
	<b>N/A Total D.U.</b>			No Room Data - Data not included	No Room Data - Data not included	No Room Data - Data not included
	<b>N/A Total Bedrooms</b>					
Royal St. Moritz 2050 Grayson Drive	0 Efficiency	1.39	0.88	N/A	467	448
	152 One Bedroom					
	176 Two Bedroom					
	8 Three Bedroom					
	<b>336 Total D.U.</b>			Unable to enter complex Gate		
	<b>528 Total Bedrooms</b>					
Cross Creek 2701 Grapevine Mills Blvd N	0 Efficiency	1.13	0.82	N/A	N/A	444
	240 One Bedroom					
	152 Two Bedroom					
	0 Three Bedroom					
	<b>392 Total D.U.</b>			Could not count North half of property - Gated	Could not count North half of property - Gated	
	<b>544 Total Bedrooms</b>					
Terrawood 3225 Grapevine Mills Blvd N	0 Efficiency	1.37	1.00	N/A	400	397
	193 One Bedroom					
	86 Two Bedroom					
	12 Three Bedroom					
	<b>291 Total D.U.</b>			Unable to enter complex Gate		
	<b>401 Total Bedrooms</b>					
Twenty-Four 99 3601 Grapevine Mills Parkway	0 Efficiency	1.30	0.93	N/A	452	443
	222 One Bedroom					
	114 Two Bedroom					
	12 Three Bedroom					
	<b>348 Total D.U.</b>			Unable to enter complex Gate		
	<b>486 Total Bedrooms</b>					
Marquis at Silver Oaks 3701 Grapevine Mills Parkway	0 Efficiency	1.53	1.00	N/A	703	735
	264 One Bedroom					
	180 Two Bedroom					
	36 Three Bedroom					
	<b>480 Total D.U.</b>			Unable to enter complex Gate		
	<b>732 Total Bedrooms</b>					
Montelena 501 Turner Road	0 Efficiency	1.29	0.83	323	330	290
	128 One Bedroom					
	112 Two Bedroom					
	16 Three Bedroom					
	<b>256 Total D.U.</b>					
	<b>400 Total Bedrooms</b>					
Wildwood Creek 820 E Dove Loop Road	0 Efficiency	0.81	0.53	N/A	277	259
	188 One Bedroom					
	132 Two Bedroom					
	24 Three Bedroom					
	<b>344 Total D.U.</b>			Unable to enter complex Gate		
	<b>524 Total Bedrooms</b>					



CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7

C418-02

SILVER TREE PARTNERS

January 2, 2018

City of Grapevine  
200 S Main Street  
Grapevine, TX 76051

Mayor, Members of City Council, and P&Z Commissioners,

Silver Tree Partners and Greystar respectfully request your approval of 20 acres to be rezoned for The Preserve, a MF Class A Development comprising of Brownstones, Resort Flats, and Lodge Flats. The current zoning of Industrial and PCD are impractical because of size, shape and topography. Yet, these features work extremely well with our proposed development.

The Preserve meets Grapevine's new MF Design Guidelines and mirrors a Lodge Style Development with its exterior facades, curvature streets and plentiful landscaping. Amenities include a mile walking trail, 24-hour fitness center, large dog park facility, business center with computers, conference room with audio/visual capability, and resort style pool with cabanas.

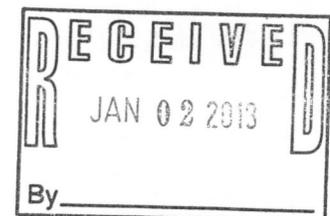
There is no site better suited for this type of development within the City of Grapevine. By incorporating the natural topography of the property, this development avoids any resemblance to cookie-cutter developments of the past. Buffered by SH360 to the west and over 350 acres of DFW Airport land east and south, it truly is surrounded by a preserve.

We have worked with your Planning and Parks Departments, ArchiTexas and many other engineers and consultants for over three years to ensure the Preserve fulfills the needs of the residents while still protecting Grapevine's high quality standards. We believe with your approval the Preserve will be a community the City of Grapevine uses as a template for future multifamily housing.

Sincerely,

Paul Gardner,  
Silver Tree Partners

Andrew Ord,  
Greystar



January 9, 2018

Development Services – Planning Division  
200 S. Main St  
Grapevine, Texas 76051

RE: **“The Preserve” Planned Development Overlay Application Letter.**

To whom it may concern:

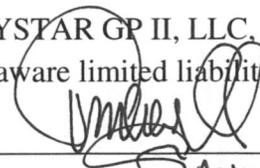
“The Preserve” is a 399 unit 3-story apartment community, comprised of resort and lodge-style architecturally themed buildings. Most of the buildings have “tuck-under” internal garages and the remainder are surfaced parked with carports. The Preserve mirrors a lodge-style development with its exterior facades, curvilinear designed streets and plentiful landscaping which have all been designed to adhere to the newly approved “Design Standards Manual for Multifamily and Vertical Mixed-use Development” (The Guidelines).

Exterior amenities that complement the natural landscape include an extensive hike and bike trail/sidewalk with fitness stations intermixed, outdoor kitchen/BBQ pavilions, dog park and dog wash facility and resort style pool, to name a few. Interior amenities include, but are not limited to, 24-hour fitness facility, 24 hr. digital package concierge, business center with computers and conferencing and spacious club and gaming room.

As a part of the requested Planned Development Overlay Application process, we are requesting that the “face to face” distance between 3 sets of buildings be less than 50’. As mentioned above, our site plan is required to have a “non-orthogonal” design which caters to a more curvilinear site plan design of winding roads and asymmetric building orientation. For this reason, it has forced our buildings into diagonal configurations that satisfy this requirement but unfortunately makes it extremely difficult to comply with the 50’ rule. There are essentially 3 places where the buildings are less than 50’ – one is 46.7’ (Bldgs. 3 & 9), the 2<sup>nd</sup> is 32.5’ (Bldg. 2 and single-story Clubhouse) and the 3<sup>rd</sup> instance shows a min. separation of 39’ (Bldgs. 4 & 8) but an average of closer to 44’. We feel that the “non-orthogonal” relationship of the building layout is an important design principle that adds value to the enjoyment of the development and is more important than the buildings proximity to one another in these minor cases.

Thank you,

GREYSTAR GP II, LLC,  
a Delaware limited liability company

By:   
Name: ANDREW ORD  
Title: VICE PRESIDENT



CC ITEM # 9, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7

218-01



# CITY OF GRAPEVINE

## ZONE CHANGE APPLICATION

### PART 1. APPLICANT INFORMATION

Applicant Name: Greystar GP II, LLC c/o Andrew Ord

Applicant Address: 600 E Las Colinas Blvd

City/State/Zip: Irving, Texas 75039

Phone No. ~~469.955.0400~~ 972.444.2197 Fax No. 843.302.0214

Email Address \_\_\_\_\_ Mobile Phone 858.846.8521

Applicant's interest in subject property Purchaser

### PART 2. PROPERTY INFORMATION

Street Address of subject property n/a

Legal Description: Lot 1 Block A Addition Glade/360

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Size of subject property: acres +/- 20.32 square footage +/- 885,357

Present zoning classification LI Light Industrial District Requested zoning district R-MF-2 Multifamily District

Present use of property Vacant

Proposed use of property Multifamily Development

The applicant understands the master plan designation and the most restrictive zone that would allow the proposed use is R-MF Multifamily District

Minimum/Maximum District size for requested zoning 2 acres. Sec. 22.F.C

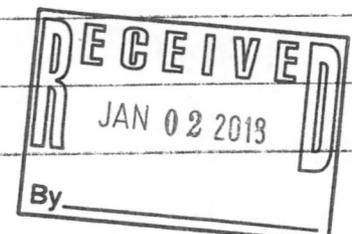
### PART 3. PROPERTY OWNER INFORMATION

Property Owner (multiple owners, see attached)

Prop Owner Address \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Phone No. \_\_\_\_\_ Fax No. \_\_\_\_\_





CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7  
21801

# CITY OF GRAPEVINE

## ZONE CHANGE APPLICATION

### PART 1. APPLICANT INFORMATION

Applicant Name: \_\_\_\_\_

Applicant Address: \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Phone No \_\_\_\_\_ Fax No \_\_\_\_\_

Email Address \_\_\_\_\_ Mobile Phone \_\_\_\_\_

Applicant's interest in subject property \_\_\_\_\_

### PART 2. PROPERTY INFORMATION

Street Address of subject property \_\_\_\_\_

Legal Description: Lot \_\_\_\_\_ Block \_\_\_\_\_ Addition \_\_\_\_\_

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Size of subject property: acres \_\_\_\_\_ square footage \_\_\_\_\_

Present zoning classification \_\_\_\_\_ Requested zoning district \_\_\_\_\_

Present use of property \_\_\_\_\_

Proposed use of property \_\_\_\_\_

The applicant understands the master plan designation and the most restrictive zone that would allow the proposed use is \_\_\_\_\_

Minimum/Maximum District size for requested zoning \_\_\_\_\_

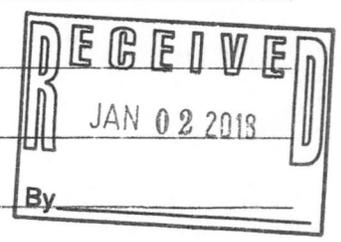
### PART 3. PROPERTY OWNER INFORMATION

Property Owner \_\_\_\_\_ The Gardner 360 WLC Partnership - West c/o Paul A. Gardner

Prop Owner Address \_\_\_\_\_ 17101 Preston Road, Suite 100

City/State/Zip \_\_\_\_\_ Dallas, TX 75248

Phone No \_\_\_\_\_ 972.669.9955 Fax No \_\_\_\_\_ 972.669.9977



- All Zone Change Requests are assumed to be completed when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a concept plan approved with a zone change request can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for zone change request and acknowledge that all requirements of this application have been met at the time of submittal.

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7  
218-01

**PART 4. SIGNATURE TO AUTHORIZE A ZONE CHANGE REQUEST AND PLACE A ZONE CHANGE REQUEST SIGN ON THE SUBJECT PROPERTY**

\_\_\_\_\_  
Print Applicant's Name

\_\_\_\_\_  
Applicant's Signature

The State of \_\_\_\_\_

County of \_\_\_\_\_

Before me (notary) \_\_\_\_\_ on this day personally appeared (applicant) \_\_\_\_\_

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, A.D. \_\_\_\_\_

\_\_\_\_\_  
Notary In and For State of \_\_\_\_\_

\_\_\_\_\_  
The Gardner 360 WLC Partnership - West c/o Paul A. Gardner  
Print Property Owner's Name

*Paul A. Gardner - manager*  
Property Owner's Signature

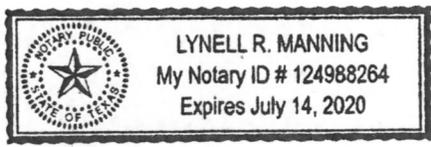
The State of \_\_\_\_\_ Texas

County of \_\_\_\_\_ DALLAS

Before me (notary) LYNELL MANNING on this day personally appeared (applicant) Paul A. Gardner

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 15<sup>th</sup> day of DECEMBER, A.D. 2018 2017



*Lynell R. Manning*  
Notary In and For State of \_\_\_\_\_ Texas



**ACKNOWLEDGEMENT**

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7

218-01

**All Zone Change Request are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.**

**All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.**

**Any changes to a concept plan approved with a zone change request can only be approved by city council through the public hearing process.**

**I have read and understand all of the requirements as set forth by the application for zone change request and acknowledge that all requirements of this application have been met at the time of submittal.**

Signature of Applicant

\_\_\_\_\_

Date

\_\_\_\_\_

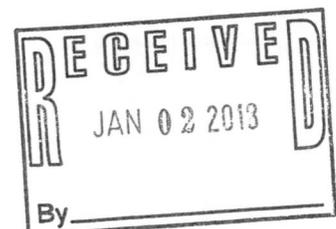
The Gardner 360 WLC Partnership-West c/o Paul A. Gardner

Signature of Property Owner

*Paul A. Gardner - manager*

Date

*12-15-2017*





CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7

218-01

# CITY OF GRAPEVINE

## ZONE CHANGE APPLICATION

### PART 1. APPLICANT INFORMATION

Applicant Name: \_\_\_\_\_

Applicant Address: \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Phone No. \_\_\_\_\_ Fax No. \_\_\_\_\_

Email Address \_\_\_\_\_ Mobile Phone \_\_\_\_\_

Applicant's interest in subject property \_\_\_\_\_

### PART 2. PROPERTY INFORMATION

Street Address of subject property \_\_\_\_\_

Legal Description: Lot \_\_\_\_\_ Block \_\_\_\_\_ Addition \_\_\_\_\_

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Size of subject property: acres \_\_\_\_\_ square footage \_\_\_\_\_

Present zoning classification \_\_\_\_\_ Requested zoning district \_\_\_\_\_

Present use of property \_\_\_\_\_

Proposed use of property \_\_\_\_\_

The applicant understands the master plan designation and the most restrictive zone that would allow the proposed use is \_\_\_\_\_

Minimum/Maximum District size for requested zoning \_\_\_\_\_

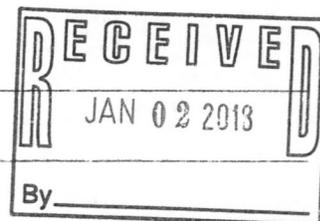
### PART 3. PROPERTY OWNER INFORMATION

Property Owner \_\_\_\_\_ KFF, Limited Partnership c/o Kathy C. Blackstone, Treasurer

Prop Owner Address \_\_\_\_\_ 1366 Dublin Road

City/State/Zip \_\_\_\_\_ Columbus, Ohio 43215

Phone No. \_\_\_\_\_ 614.351.6227 Fax No. \_\_\_\_\_ 614.274.6794



- All Zone Change Requests are assumed to be completed when filed and will be placed on the agenda for the next public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a concept plan approved with a zone change request can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for zone change request and acknowledge that all requirements of this application have been met at the time of submittal.

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7  
2-18-01

**PART 4. SIGNATURE TO AUTHORIZE A ZONE CHANGE REQUEST AND PLACE A ZONE CHANGE REQUEST SIGN ON THE SUBJECT PROPERTY**

\_\_\_\_\_  
Print Applicant's Name

\_\_\_\_\_  
Applicant's Signature

The State of \_\_\_\_\_

County of \_\_\_\_\_

Before me (notary) \_\_\_\_\_ on this day personally appeared (applicant) \_\_\_\_\_

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, A.D. \_\_\_\_\_

\_\_\_\_\_  
Notary In and For State of \_\_\_\_\_

KFF, Limited Partnership c/o Kathy C. Blackstone, Treasurer  
Print Property Owner's Name

*Kathy C. Blackstone, Treasurer*  
Property Owner's Signature

The State of \_\_\_\_\_

County of \_\_\_\_\_

Before me (notary) *Rebecca Hendrix Blackstone* on this day personally appeared (applicant) *Kathy C. Blackstone*

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this *22nd* day of *December*, A.D. *2018-2017*

*Rebecca Hendrix Blackstone*  
Notary In and For State of *OHIO*



Rebecca Hendrix Blackstone  
Notary Public, State of Ohio  
My Commission Expires 11-13-2020



**ACKNOWLEDGEMENT**

CC ITEM # 3, 27, 28, 29, 30

PZ ITEM # 3, 4, 5, 6, 7

218-01

**All Zone Change Request are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.**

**All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.**

**Any changes to a concept plan approved with a zone change request can only be approved by city council through the public hearing process.**

**I have read and understand all of the requirements as set forth by the application for zone change request and acknowledge that all requirements of this application have been met at the time of submittal.**

Signature of Applicant

[Empty signature line]

Date

[Empty date line]

KFF, Limited Partnership c/o Kathy C. Blackstone, Treasurer

Signature of Property Owner

*Kathy C Blackstone, Treasurer*

Date

12/22/17



- All Zone Change Requests are assumed to be completed when filed and will be placed on the agenda for the next public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a concept plan approved with a zone change request can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for zone change request and acknowledge that all requirements of this application have been met at the time of submittal.

COTEN # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7  
218-01

**PART 4. SIGNATURE TO AUTHORIZE A ZONE CHANGE REQUEST AND PLACE A ZONE CHANGE REQUEST SIGN ON THE SUBJECT PROPERTY**

Greystar GP II, LLC c/o Andrew Ord  
 Print Applicant's Name

*Andrew Ord*  
 Applicant's Signature

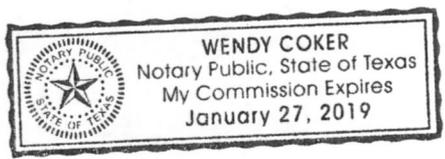
The State of Texas

County of Dallas

Before me (notary) Wendy Coker on this day personally appeared (applicant) Andrew Ord

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 14 day of December, A.D. 2018



Wendy Coker  
 Notary In and For State of Texas

(multiple owners, see attached)  
 Print Property Owner's Name

Property Owner's Signature

The State of

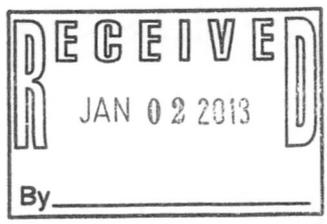
County of

Before me (notary) on this day personally appeared (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this day of , A.D.

Notary In and For State of



**ACKNOWLEDGEMENT**

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7  
218-01

**All Zone Change Request are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.**

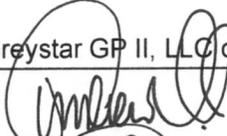
**All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.**

**Any changes to a concept plan approved with a zone change request can only be approved by city council through the public hearing process.**

**I have read and understand all of the requirements as set forth by the application for zone change request and acknowledge that all requirements of this application have been met at the time of submittal.**

Greystar GP II, LLC d/o Andrew Ord

Signature of Applicant

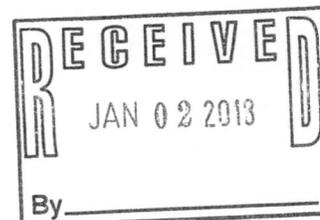


Date

12/14/17

Signature of Property Owner (multiple owners, see attached)

Date





CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7

# CITY OF GRAPEVINE

## ZONE CHANGE APPLICATION

### PART 1. APPLICANT INFORMATION

Applicant Name: \_\_\_\_\_

Applicant Address: \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Phone No \_\_\_\_\_ Fax No. \_\_\_\_\_

Email Address \_\_\_\_\_ Mobile Phone \_\_\_\_\_

Applicant's interest in subject property \_\_\_\_\_

### PART 2. PROPERTY INFORMATION

Street Address of subject property \_\_\_\_\_

Legal Description: Lot \_\_\_\_\_ Block \_\_\_\_\_ Addition \_\_\_\_\_

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Size of subject property: acres \_\_\_\_\_ square footage \_\_\_\_\_

Present zoning classification \_\_\_\_\_ Requested zoning district \_\_\_\_\_

Present use of property \_\_\_\_\_

Proposed use of property \_\_\_\_\_

The applicant understands the master plan designation and the most restrictive zone that would allow the proposed use is \_\_\_\_\_

Minimum/Maximum District size for requested zoning \_\_\_\_\_

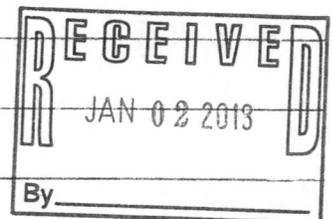
### PART 3. PROPERTY OWNER INFORMATION

Property Owner \_\_\_\_\_ Grapevine Holdings, L.P. c/o Paul A. Gardner

Prop Owner Address \_\_\_\_\_ 17101 Preston Road, Suite 100

City/State/Zip \_\_\_\_\_ Dallas, Texas 75248

Phone No. \_\_\_\_\_ 972.669.9955 Fax No. \_\_\_\_\_ 972.669.9977



- All Zone Change Requests are assumed to be completed when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a concept plan approved with a zone change request can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for zone change request and acknowledge that all requirements of this application have been met at the time of submittal.

GC ITEM # 3, 27, 28, 29, 30

PZ ITEM # 3, 4, 5, 6, 7

218-01

**PART 4. SIGNATURE TO AUTHORIZE A ZONE CHANGE REQUEST AND PLACE A ZONE CHANGE REQUEST SIGN ON THE SUBJECT PROPERTY**

Print Applicant's Name \_\_\_\_\_ Applicant's Signature \_\_\_\_\_

The State of \_\_\_\_\_

County of \_\_\_\_\_

Before me (notary) \_\_\_\_\_ on this day personally appeared (applicant) \_\_\_\_\_

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, A.D. \_\_\_\_\_

\_\_\_\_\_  
Notary In and For State of \_\_\_\_\_

Grapevine Holdings, L.P. c/o Paul A. Gardner  
Print Property Owner's Name

*Paul A. Gardner - manager*  
Property Owner's Signature

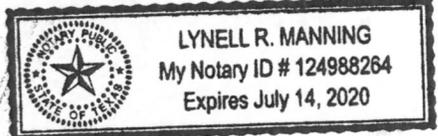
The State of Texas

County of DALLAS

Before me (notary) *LYNELL MANNING* on this day personally appeared (applicant) Paul A. Gardner

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 15<sup>th</sup> day of DECEMBER, A.D. 2017



*Lynell R. Manning*

Notary In and For State of Texas



**ACKNOWLEDGEMENT**

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7  
218-01

**All Zone Change Request are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.**

**All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.**

**Any changes to a concept plan approved with a zone change request can only be approved by city council through the public hearing process.**

**I have read and understand all of the requirements as set forth by the application for zone change request and acknowledge that all requirements of this application have been met at the time of submittal.**

Signature of Applicant

[Empty signature line]

Date

[Empty date line]

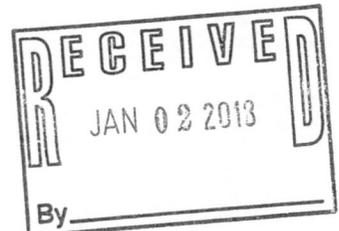
Grapevine Holdings, L.P. c/o Paul A. Gardner

Signature of Property Owner

*Paul A. Gardner - manager*

Date

12-15-2017





# CITY OF GRAPEVINE

## CONDITIONAL USE APPLICATION

### Form "A"

**PART 1. APPLICANT INFORMATION**

<i>Name of applicant / agent / company / contact</i> Greystar GP II, LLC c/o Andrew Ord	
<i>Street address of applicant / agent</i> 600 E. Las Colinas Blvd.	
<i>City / State / Zip Code of applicant / agent</i> Irving, Texas 75039	
<i>Telephone number of applicant / agent</i> 972.444.2197	<i>Fax number of applicant / agent</i> 843.302.0214
<i>Email address of applicant / agent</i>	<i>Mobile phone number of applicant / agent</i> 858.864.8521

**PART 2. PROPERTY INFORMATION**

<i>Street address of subject property</i> n/a	
<i>Legal description of subject property (metes &amp; bounds must be described on 8 1/2" x 11" sheet)</i> Lot 1 Block A Addition Glade/360	
<i>Size of subject property</i> +/- 20.325 Acres +/- 885,357 Square footage	
<i>Present zoning classification:</i> L1 / PCD	<i>Proposed use of the property:</i> Multifamily Development
<i>Circle yes or no, if applies to this application</i> Outdoor speakers Yes <input checked="" type="radio"/> No	
<i>Minimum / maximum district size for conditional use request:</i> 2 acres. Sec. 22.F.2	
<i>Zoning ordinance provision requiring a conditional use:</i> Sec. 22.1.1 (CUP to allow maximum 3 stories not to exceed 44 feet in height). Sec. 56.1 (Parking Requirements)	

**PART 3. PROPERTY OWNER INFORMATION**

<i>Name of current property owner:</i> (multiple owners, see attached) <span style="float: right;"><i>Requesting L6 ratio</i></span>	
<i>Street address of property owner:</i>	
<i>City / State / Zip Code of property owner:</i>	
<i>Telephone number of property owner:</i>	<i>Fax number of property owner:</i>

**RECEIVED**  
 JAN 02 2013  
 By \_\_\_\_\_



# CITY OF GRAPEVINE

## CONDITIONAL USE APPLICATION

### Form "A"

**PART 1. APPLICANT INFORMATION**

<i>Name of applicant / agent/company/contact</i>	
<i>Street address of applicant / agent:</i>	
<i>City / State / Zip Code of applicant / agent:</i>	
<i>Telephone number of applicant / agent:</i>	<i>Fax number of applicant/agent</i>
<i>Email address of applicant/agent</i>	<i>Mobile phone number of applicant/agent</i>

**PART 2. PROPERTY INFORMATION**

<i>Street address of subject property</i>		
<i>Legal description of subject property (metes &amp; bounds must be described on 8 1/2" x 11" sheet)</i>		
<i>Lot</i>	<i>Block</i>	<i>Addition</i>
<i>Size of subject property</i>		
	<i>Acres</i>	<i>Square footage</i>
<i>Present zoning classification:</i>	<i>Proposed use of the property:</i>	
<i>Circle yes or no, if applies to this application</i>		
<i>Outdoor speakers Yes No</i>		
<i>Minimum / maximum district size for conditional use request:</i>		
<i>Zoning ordinance provision requiring a conditional use:</i>		

**PART 3. PROPERTY OWNER INFORMATION**

<i>Name of current property owner:</i> The Gardner 360 WLC Partnership-West c/o Paul A. Gardner	
<i>Street address of property owner:</i> 17101 Preston Road, Suite 100	
<i>City / State / Zip Code of property owner:</i> Dallas, TX 75248	
<i>Telephone number of property owner:</i> 972.669.9955	<i>Fax number of property owner:</i> 972.669.9977

RECEIVED  
 JAN 02 2013  
 By \_\_\_\_\_

CU18-02



# CITY OF GRAPEVINE

## CONDITIONAL USE APPLICATION

### Form "A"

#### PART 1. APPLICANT INFORMATION

Name of applicant / agent / company / contact

Street address of applicant / agent:

City / State / Zip Code of applicant / agent:

Telephone number of applicant / agent:

Fax number of applicant / agent

Email address of applicant / agent

Mobile phone number of applicant / agent

#### PART 2. PROPERTY INFORMATION

Street address of subject property

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot                                      Block                                      Addition

Size of subject property

Acres

Square footage

Present zoning classification:

Proposed use of the property:

Circle yes or no, if applies to this application

Outdoor speakers    Yes    No

Minimum / maximum district size for conditional use request:

Zoning ordinance provision requiring a conditional use:

#### PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:

Grapevine Holdings, L.P. c/o Paul A. Gardner

Street address of property owner:

17101 Preston Road, Suite 100

City / State / Zip Code of property owner:

Dallas, Texas 75248

Telephone number of property owner:

972.669.9955

Fax number of property owner:

972.669.9977





# CITY OF GRAPEVINE

## CONDITIONAL USE APPLICATION

### Form "A"

**PART 1. APPLICANT INFORMATION**

<i>Name of applicant / agent/company/contact</i>	
<i>Street address of applicant / agent:</i>	
<i>City/ State / Zip Code of applicant / agent:</i>	
<i>Telephone number of applicant / agent:</i>	<i>Fax number of applicant/agent</i>
<i>Email address of applicant/agent</i>	<i>Mobile phone number of applicant/agent</i>

**PART 2. PROPERTY INFORMATION**

<i>Street address of subject property</i>		
<i>Legal description of subject property (metes &amp; bounds must be described on 8 1/2" x 11" sheet)</i>		
<i>Lot</i>	<i>Block</i>	<i>Addition</i>
<i>Size of subject property</i>		<i>Square footage</i>
<i>Present zoning classification:</i>	<i>Proposed use of the property:</i>	<i>Acres</i>
<i>Circle yes or no, if applies to this application</i>		
<i>Outdoor speakers Yes No</i>		
<i>Minimum / maximum district size for conditional use request:</i>		
<i>Zoning ordinance provision requiring a conditional use:</i>		

**PART 3. PROPERTY OWNER INFORMATION**

<i>Name of current property owner:</i> KFF, Limited Partnership c/o Kathy C. Blackstone, Treasurer	
<i>Street address of property owner:</i> 1366 Dublin Road	
<i>City / State / Zip Code of property owner:</i> Columbus, Ohio 43215	
<i>Telephone number of property owner:</i> 614.351.6227	<i>Fax number of property owner:</i> 614.274.6794

**RECEIVED**  
 JAN 02 2013  
 By \_\_\_\_\_

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

**PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY**

Greystar GP II, LLC c/o Andrew Ord

Print Applicant's Name:

*[Handwritten Signature]*  
Applicant's Signature:

The State of Texas

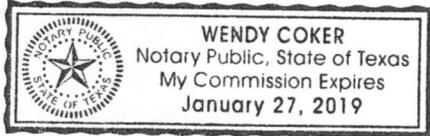
County Of Dallas

Before Me Wendy Coker  
(notary)

on this day personally appeared Andrew Ord  
(applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 14th day of December, A.D. 2018.



*[Handwritten Signature]*  
Notary In And For State Of Texas

(multiple owners, see attached)

Print Property Owners Name:

Property Owner's Signature:

The State Of \_\_\_\_\_

County Of \_\_\_\_\_

Before Me \_\_\_\_\_  
(notary)

on this day personally appeared \_\_\_\_\_  
(property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, A.D. \_\_\_\_\_.

Notary In And For State Of Texas



- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B")
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements
- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

**PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY**

Print Applicant's Name:

Applicant's Signature:

The State of \_\_\_\_\_

County Of \_\_\_\_\_

Before Me \_\_\_\_\_ on this day personally appeared \_\_\_\_\_  
(notary) (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, A.D. \_\_\_\_\_

Notary In And For State Of Texas

The Gardner 360 WLC Partnership-West  
c/o Paul A. Gardner

*Paul A. Gardner - manager*  
Property Owner's Signature:

Print Property Owners Name:

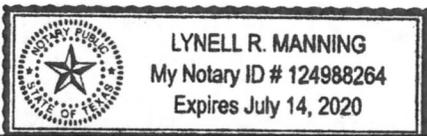
The State Of Texas

County Of DALLAS

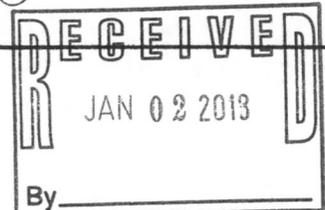
Before Me LYNNEL R. MANNING on this day personally appeared Paul A. Gardner  
(notary) (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed

(Seal) Given under my hand and seal of office this 15<sup>th</sup> day of DECEMBER, A.D. 2018 2017



*Lynnell R. Manning*  
Notary In And For State Of Texas



- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47. Site Plan Requirements.
- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

**PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY**

Print Applicant's Name: \_\_\_\_\_ Applicant's Signature: \_\_\_\_\_

The State of \_\_\_\_\_

County Of \_\_\_\_\_

Before Me \_\_\_\_\_ on this day personally appeared \_\_\_\_\_

(notary) (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, A.D. \_\_\_\_\_.

\_\_\_\_\_  
Notary In And For State Of Texas

Grapevine Holdings, L.P. c/o Paul A. Gardner  
Print Property Owners Name: \_\_\_\_\_

*Paul A. Gardner - manager*  
Property Owner's Signature: \_\_\_\_\_

The State Of Texas

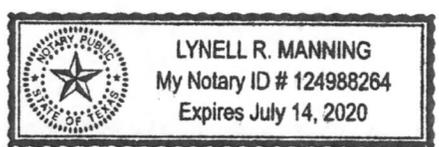
County Of DALLAS

Before Me LYNELL MANNING on this day personally appeared Paul A. Gardner

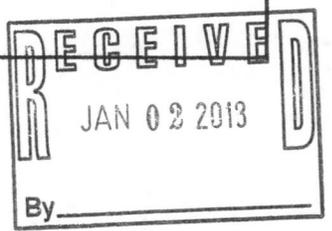
(notary) (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 15<sup>th</sup> day of DECEMBER, A.D. 2018 2017



*Lynell R. Manning*  
Notary In And For State Of Texas



- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.

- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

**PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY**

Print Applicant's Name: \_\_\_\_\_ Applicant's Signature: \_\_\_\_\_

The State of \_\_\_\_\_

County Of \_\_\_\_\_

Before Me \_\_\_\_\_ on this day personally appeared \_\_\_\_\_  
(notary) (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, A.D. \_\_\_\_\_

\_\_\_\_\_  
Notary In And For State Of Texas

KFF, Limited Partnership c/o Kathy C. Blackstone

Kathy C Blackstone, Treasurer  
Property Owner's Signature:

Print Property Owners Name:

The State Of OHIO

County Of FRANKLIN

Before Me Rebecca Hendrix Blackstone on this day personally appeared Kathy C. Blackstone  
(notary) (property owner)

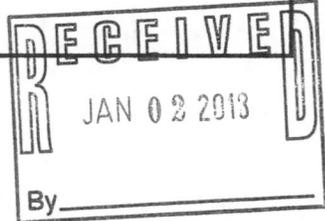
known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 2nd day of December, A.D. 2018 2017

Rebecca Hendrix Blackstone  
Notary In And For State Of Texas  
OHIO



Rebecca Hendrix Blackstone  
Notary Public, State of Ohio  
My Commission Expires 11-13-2020





## CITY OF GRAPEVINE PLANNED DEVELOPMENT OVERLAY APPLICATION

**PART 1. APPLICANT INFORMATION**

Name of applicant / agent/company/contact <b>GreyStar GP II, LLC c/o Andrew Ord</b>	
Street address of applicant / agent: <b>600 E Las Colinas Blvd.</b>	
City / State / Zip Code of applicant / agent: <b>Irving, Texas 75039</b>	
Telephone number of applicant / agent: <b>972.444.2197</b>	Fax number of applicant / agent: <b>843.302.0214</b>
Email address of applicant / agent: <b>-</b>	Mobile phone number of applicant / agent: <b>858.864.8621</b>
Applicant's interest in subject property: <b>Purchaser</b>	

**PART 2. PROPERTY INFORMATION**

Street address of subject property <b>n/a</b>		
Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)		
Lot <b>1</b>	Block <b>A</b>	Addition <b>Glade / 360</b>
Size of subject property <b>+/- 20.32</b>		Acres <b>+/- 885,357</b> Square footage
Present zoning classification: <b>L1 Light Indust. District</b>	Proposed use of the property: <b>Multi family Development</b>	
Minimum / maximum district size for request: <b>2 acres. Section 22.F.C</b>		
Zoning ordinance provision requesting deviation from: <b>Building Separation requirement of 50' (Face to Face &amp; Back to Back)</b>		

**PART 3. PROPERTY OWNER INFORMATION**

Name of current property owner: <b>(MULTIPLE OWNERS, SEE ATTACHED)</b>	
Street address of property owner:	
City / State / Zip Code of property owner:	
Telephone number of property owner:	Fax number of property owner:





## CITY OF GRAPEVINE PLANNED DEVELOPMENT OVERLAY APPLICATION

**PART 1. APPLICANT INFORMATION**

<i>Name of applicant / agent: / company / contact</i>	
<i>Street address of applicant / agent:</i>	
<i>City / State / Zip Code of applicant / agent:</i>	
<i>Telephone number of applicant / agent:</i>	<i>Fax number of applicant / agent:</i>
<i>Email address of applicant / agent</i>	<i>Mobile phone number of applicant / agent</i>
<i>Applicant's interest in subject property:</i>	

**PART 2. PROPERTY INFORMATION**

<i>Street address of subject property</i>		
<i>Legal description of subject property (metes &amp; bounds must be described on 8 1/2" x 11" sheet)</i>		
<i>Lot</i>	<i>Block</i>	<i>Addition</i>
<i>Size of subject property</i>		
	<i>Acres</i>	<i>Square footage</i>
<i>Present zoning classification:</i>	<i>Proposed use of the property:</i>	
<i>Minimum / maximum district size for request:</i>		
<i>Zoning ordinance provision requesting deviation from:</i>		

**PART 3. PROPERTY OWNER INFORMATION**

<i>Name of current property owner:</i> The Gardner 360 WLC PARTNERSHIP - West c/o Paul A. Gardner	
<i>Street address of property owner:</i> 17101 Preston Road, Suite 100	
<i>City / State / Zip Code of property owner:</i> Dallas, TX 75248	
<i>Telephone number of property owner:</i> 972.669.9955	<i>Fax number of property owner:</i> 972.669.9977



AD18-01



# CITY OF GRAPEVINE PLANNED DEVELOPMENT OVERLAY APPLICATION

## PART 1. APPLICANT INFORMATION

Name of applicant / agent./company/contact

Street address of applicant / agent:

City / State / Zip Code of applicant / agent:

Telephone number of applicant / agent:	Fax number of applicant / agent:
Email address of applicant / agent	Mobile phone number of applicant / agent

Applicant's interest in subject property:

## PART 2. PROPERTY INFORMATION

Street address of subject property

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot	Block	Addition
-----	-------	----------

Size of subject property

	Acres	Square footage
--	-------	----------------

Present zoning classification:	Proposed use of the property:
--------------------------------	-------------------------------

Minimum / maximum district size for request:

Zoning ordinance provision requesting deviation from:

## PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:  
Grapevine Holdings, L.P. c/o Paul A. Gardner

Street address of property owner:  
17101 Preston Road, Suite 100

City / State / Zip Code of property owner:  
Dallas, TX 75248

Telephone number of property owner: 972.669.9955	Fax number of property owner: 972.669.9977
---	---



AD1801



# CITY OF GRAPEVINE

## PLANNED DEVELOPMENT OVERLAY APPLICATION

### PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact	
Street address of applicant / agent:	
City / State / Zip Code of applicant / agent:	
Telephone number of applicant / agent:	Fax number of applicant / agent:
Email address of applicant / agent	Mobile phone number of applicant / agent
Applicant's interest in subject property:	

### PART 2. PROPERTY INFORMATION

Street address of subject property		
Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)		
Lot	Block	Addition
Size of subject property		
	Acres	Square footage
Present zoning classification:	Proposed use of the property:	
Minimum / maximum district size for request:		
Zoning ordinance provision requesting deviation from:		

### PART 3. PROPERTY OWNER INFORMATION

Name of current property owner: KFF, Limited Partnership c/o Kathy Blackstone, Treasurer.	
Street address of property owner: 1366 Dublin Road	
City / State / Zip Code of property owner: Columbus, Ohio 43215	
Telephone number of property owner: 614.351.6227	Fax number of property owner: 614.274.6794



PN1801

- Submit a letter describing the proposed Planned Development and note the request on the site plan document.
- Describe any special requirements or conditions that require deviation of the zoning district regulations.
- Describe whether the proposed overlay will, or will not cause substantial harm to the value, use or enjoyment of other property in the neighborhood.
- Describe how the proposed planned development will add to the value, use or enjoyment of other property in the neighborhood.
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All planned development overlay applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a planned development overlay can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for planned development overlay and acknowledge that all requirements of this application have been met at the time of submittal.

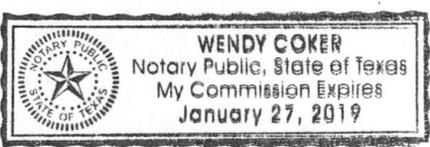
**PART 4. SIGNATURE TO AUTHORIZE PLANNED DEVELOPMENT OVERLAY REQUEST AND PLACE A PLANNED DEVELOPMENT OVERLAY REQUEST SIGN ON THE SUBJECT PROPERTY**

Greystar GP II, LLC c/o Andrew Ord  
 Print Applicant's Name: \_\_\_\_\_ Applicant's Signature: \_\_\_\_\_

The State Of Texas  
 County Of Dallas  
 Before Me Wendy Coker on this day personally appeared Andrew Ord  
 (notary) (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 18th day of January, A.D. 2018.



Wendy Coker  
 Notary In And For State Of Texas

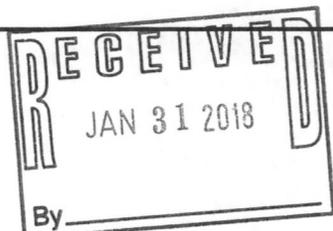
\_\_\_\_\_  
 Print Property Owners Name: \_\_\_\_\_ Property Owner's Signature: \_\_\_\_\_

The State Of \_\_\_\_\_  
 County Of \_\_\_\_\_  
 Before Me \_\_\_\_\_ on this day personally appeared \_\_\_\_\_  
 (notary) (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, A.D. \_\_\_\_\_.

\_\_\_\_\_  
 Notary In And For State Of Texas



ANN-01

- Submit a letter describing the proposed Planned Development and note the request on the site plan document.
  - Describe any special requirements or conditions that require deviation of the zoning district regulations.
  - Describe whether the proposed overlay will, or will not cause substantial harm to the value, use or enjoyment of other property in the neighborhood.
  - Describe how the proposed planned development will add to the value, use or enjoyment of other property in the neighborhood.
  - The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All planned development overlay applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
  - All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
  - Any changes to a site plan (no matter how minor or major) approved with a planned development overlay can only be approved by city council through the public hearing process.
  - I have read and understand all the requirements as set forth by the application for planned development overlay and acknowledge that all requirements of this application have been met at the time of submittal.

**PART 4. SIGNATURE TO AUTHORIZE PLANNED DEVELOPMENT OVERLAY REQUEST AND PLACE A PLANNED DEVELOPMENT OVERLAY REQUEST SIGN ON THE SUBJECT PROPERTY**

\_\_\_\_\_

**Print Applicant's Name:** \_\_\_\_\_ **Applicant's Signature:** \_\_\_\_\_

The State Of \_\_\_\_\_

County Of \_\_\_\_\_

Before Me \_\_\_\_\_ on this day personally appeared \_\_\_\_\_

(notary) (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, A.D. \_\_\_\_\_.

\_\_\_\_\_  
Notary In And For State Of Texas

Grapevine Holdings, L.P. c/o Paul A. Gardner. Paul A. Gardner

**Print Property Owners Name:** \_\_\_\_\_ **Property Owner's Signature:** \_\_\_\_\_

The State Of Texas

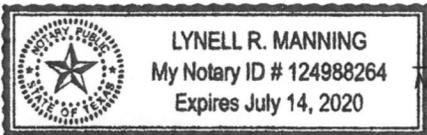
County Of Dallas

Before Me LYNELL R. MANNING on this day personally appeared Paul A. Gardner

(notary) (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 18th day of JANUARY, A.D. 2018.



LYNELL R. MANNING  
My Notary ID # 124988264  
Expires July 14, 2020

Lynell R. Manning

\_\_\_\_\_  
Notary In And For State Of Texas



**ACKNOWLEDGEMENT**

**All Planned Development Overlay Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.**

**All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.**

**Any changes to a site plan (no matter how minor or major) approved with a planned development overlay can only be approved by city council through the public hearing process.**

**Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.**

**I have read and understand all of the requirements as set forth by the application for planned development overlay and acknowledge that all requirements of this application have been met at the time of submittal.**

Signature of Applicant Paul A. Gardner

Date: 1-10-2018

Grapevine Holdings, L.P. c/o Paul A. Gardner

Signature of Owner \_\_\_\_\_

Date: \_\_\_\_\_



- Submit a letter describing the proposed Planned Development and note the request on the site plan document.
- Describe any special requirements or conditions that require deviation of the zoning district regulations.
- Describe whether the proposed overlay will, or will not cause substantial harm to the value, use or enjoyment of other property in the neighborhood.
- Describe how the proposed planned development will add to the value, use or enjoyment of other property in the neighborhood.
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All planned development overlay applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a planned development overlay can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for planned development overlay and acknowledge that all requirements of this application have been met at the time of submittal.

**PART 4. SIGNATURE TO AUTHORIZE PLANNED DEVELOPMENT OVERLAY REQUEST AND PLACE A PLANNED DEVELOPMENT OVERLAY REQUEST SIGN ON THE SUBJECT PROPERTY**

Print Applicant's Name: \_\_\_\_\_ Applicant's Signature: \_\_\_\_\_

The State Of \_\_\_\_\_

County Of \_\_\_\_\_

Before Me \_\_\_\_\_ on this day personally appeared \_\_\_\_\_

(notary) (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, A.D. \_\_\_\_\_.

\_\_\_\_\_  
Notary In And For State Of Texas

The Gardner 36D WLC Partnership - West c/o Paul A. Gardner *Paul A. Gardner*

Print Property Owners Name: \_\_\_\_\_ Property Owner's Signature: \_\_\_\_\_

The State Of TX

County Of DALLAS

Before Me LYNELL R. MANNING on this day personally appeared Paul A. Gardner

(notary) (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 18th day of JANUARY, A.D. 2018.

*Lynell R. Manning*  
\_\_\_\_\_  
Notary In And For State Of Texas



PD18-01

**ACKNOWLEDGEMENT**

**All Planned Development Overlay Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.**

**All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.**

**Any changes to a site plan (no matter how minor or major) approved with a planned development overlay can only be approved by city council through the public hearing process.**

**Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.**

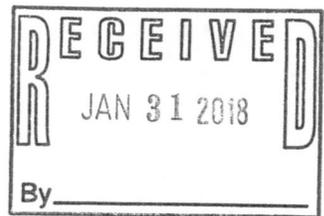
**I have read and understand all of the requirements as set forth by the application for planned development overlay and acknowledge that all requirements of this application have been met at the time of submittal.**

Signature of Applicant 

Date: 1/11/18

Signature of Owner (Multiple owners, see attached)

Date: \_\_\_\_\_



ACKNOWLEDGEMENT

**All Planned Development Overlay Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.**

**All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.**

**Any changes to a site plan (no matter how minor or major) approved with a planned development overlay can only be approved by city council through the public hearing process.**

**Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.**

**I have read and understand all of the requirements as set forth by the application for planned development overlay and acknowledge that all requirements of this application have been met at the time of submittal.**

Signature of Applicant Paul A. Gardner

Date: 1-10-2018

The Gardner 360 LLC Partnership - west c/o Paul A. Gardner

Signature of Owner \_\_\_\_\_

Date: \_\_\_\_\_



- Submit a letter describing the proposed Planned Development and note the request on the site plan document.
  - Describe any special requirements or conditions that require deviation of the zoning district regulations.
  - Describe whether the proposed overlay will, or will not cause substantial harm to the value, use or enjoyment of other property in the neighborhood.
  - Describe how the proposed planned development will add to the value, use or enjoyment of other property in the neighborhood.
  - The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All planned development overlay applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
  - All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
  - Any changes to a site plan (no matter how minor or major) approved with a planned development overlay can only be approved by city council through the public hearing process.
  - I have read and understand all the requirements as set forth by the application for planned development overlay and acknowledge that all requirements of this application have been met at the time of submittal.

**PART 4. SIGNATURE TO AUTHORIZE PLANNED DEVELOPMENT OVERLAY REQUEST AND PLACE A PLANNED DEVELOPMENT OVERLAY REQUEST SIGN ON THE SUBJECT PROPERTY**

Print Applicant's Name: \_\_\_\_\_ Applicant's Signature: \_\_\_\_\_

The State Of \_\_\_\_\_

County Of \_\_\_\_\_

Before Me \_\_\_\_\_ on this day personally appeared \_\_\_\_\_  
(notary) (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, A.D. \_\_\_\_\_

\_\_\_\_\_  
Notary In And For State Of Texas

KFF, Limited Partnership c/o Kathy C. Blackstone, Treasurer Kathy C Blackstone  
Print Property Owners Name: \_\_\_\_\_ Property Owner's Signature: \_\_\_\_\_  
Treasurer

The State Of Ohio

County Of FRANKLIN

Before Me Rebecca Hendrix Blackstone on this day personally appeared Kathy C. Blackstone  
(notary) (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 24th day of January, A.D. 2018

Rebecca Hendrix Blackstone  
Notary In And For State Of Texas  
OHIO



Rebecca Hendrix Blackstone  
Notary Public, State of Ohio  
My Commission Expires 11-13-2020



**ACKNOWLEDGEMENT**

**All Planned Development Overlay Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.**

**All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.**

**Any changes to a site plan (no matter how minor or major) approved with a planned development overlay can only be approved by city council through the public hearing process.**

**Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.**

**I have read and understand all of the requirements as set forth by the application for planned development overlay and acknowledge that all requirements of this application have been met at the time of submittal.**

**Signature of Applicant** \_\_\_\_\_

**Date:** \_\_\_\_\_

KFF, Limited Partnership c/o Kathy C. Blackstone, Treasurer.

**Signature of Owner** Kathy C Blackstone, Treasurer

**Date:** 1/24/18



PD18-01

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7

### PLATTING VERIFICATION

This verification statement must be signed prior  
To the submittal of this planned development overlay application

\_\_\_\_\_ It has been determined that the property described below does **require platting or replatting** and the applicant has been instructed on this procedure.

\_\_\_\_\_ It has been determined that the property described below is **currently platted or does not require platting or replatting** at this time.

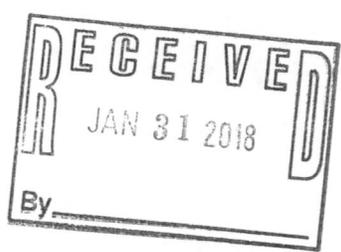
Address of subject property \_\_\_\_\_

Legal description of subject property \_\_\_\_\_

\_\_\_\_\_  
Public Works Department

\_\_\_\_\_  
Date

**This form must be signed by the public works department and submitted along with a completed application to the planning and zoning department**





CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7

SILVER TREE PARTNERS

January 31, 2018

City of Grapevine  
200 S Main Street  
Grapevine, TX 76051

Mayor, Members of City Council, and P&Z Commissioners,

The Exhibit attached to this letter outlines our proposal as to the Extension, Construction, and Regional Connectivity of the Grapevine Trail System.

Trail Portion A - Will be installed simultaneously with The Preserve development, which will commence approximately 90 days after Council approval.

Trail Portion B - Will be installed upon Council approval and development on that tract of land.

Trail Portion C - Will be installed upon Council approval of development, which request is coming before the City within the next 2-3 months.

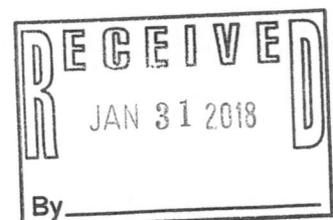
Trail Portion D - This Bear Creek Park Trail extension has full support of the Grapevine Parks and Recreation Department. The landowners of Tracts A and B agree to provide \$200,000 and the landowner of Tract C agrees to provide \$50,000 to the City of Grapevine for construction of this portion of the Trail.

Hope the details above help explain the Exhibit attached to this letter. As always, we are happy to answer any questions you may have concerning this proposal.

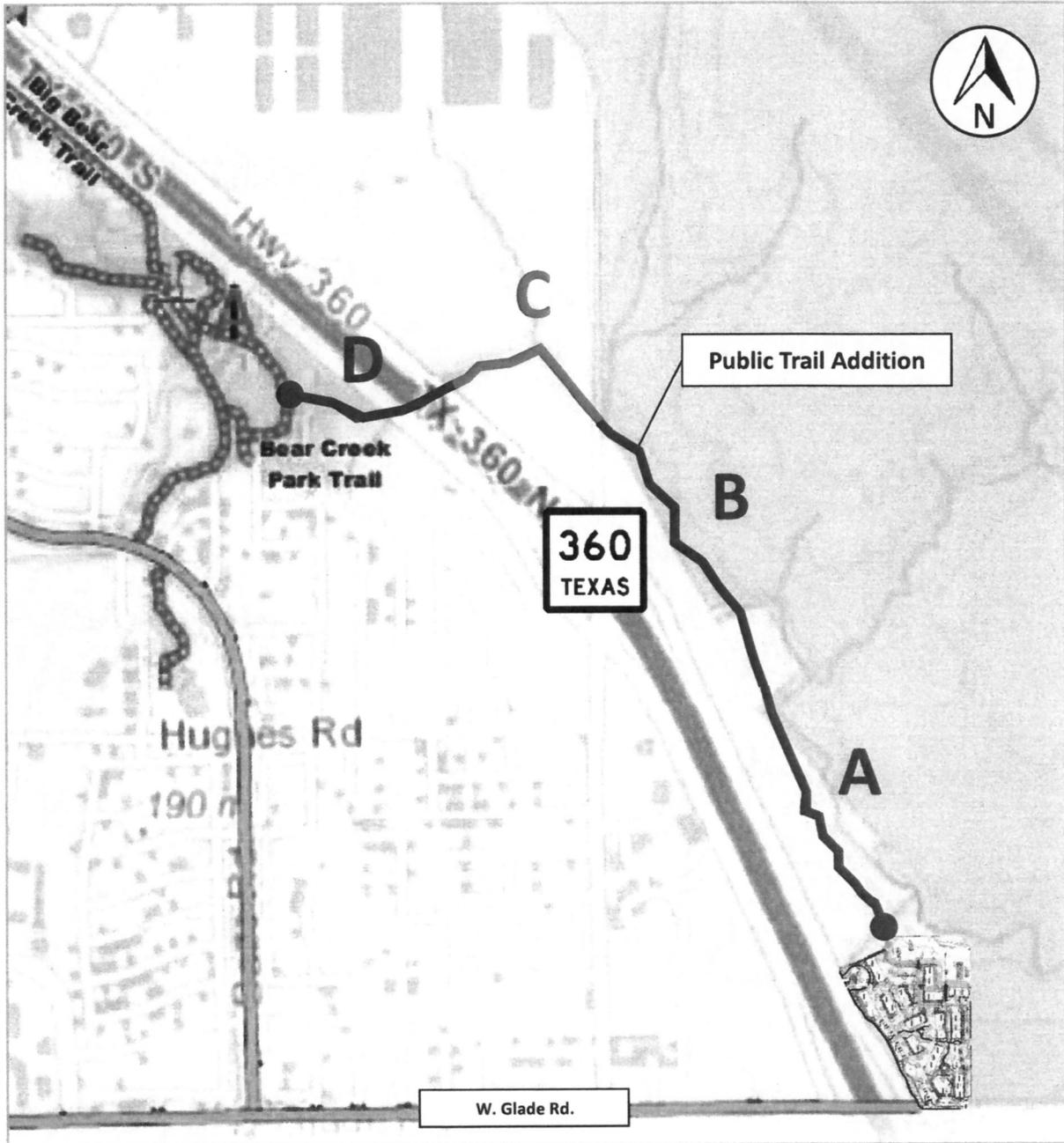
Sincerely,

Paul A. Gardner  
Landowner Tracts A and B

Terry Castleberry  
Landowner Tract C



**Proposed Grapevine Trail Extension Exhibit**



**RECEIVED**  
JAN 31 2018  
By \_\_\_\_\_

218-01  
CUIB-02

LEGAL DESCRIPTION  
(ZONING TRACT)

Being a parcel of land located in the City of Grapevine, Tarrant County, Texas a part of the Green W. Minter Survey, Abstract Number 1083, and being all of that called 14.324 acre tract of land described in deed to KFF Limited Partnership, an Ohio limited partnership as recorded in Volume 14006, Page 43, Tarrant County Deed Records, and also being a part of that called 23.918 tract of land described in deed to The Gardner 360 WLC Partnership-West as recorded in Volume 15348, Page 75, Tarrant County Deed Records, and being further described as follows:

BEGINNING at a highway monument with an aluminum disc found at southwest corner of said 14.324 acre tract, said point also being at the intersection of the north right-of-way of Glade Road (a variable width right-of-way) with the east right-of-way of State Highway 360 (a variable width right-of-way);

THENCE along the east right-of-way line of State Highway 360 as follows:

North 29 degrees 23 minutes 17 seconds West, 193.24 feet to a highway monument with an aluminum disc found for corner;

North 27 degrees 58 minutes 48 seconds West, 195.10 feet to a highway monument with an aluminum disc found for corner;

North 31 degrees 03 minutes 10 seconds West, 99.30 feet to a highway monument with an aluminum disc found for corner;

North 41 degrees 19 minutes 29 seconds West, 104.66 feet to a highway monument with an aluminum disc found for corner;

Northwesterly, 399.12 feet along a curve to the right having a central angle of 06 degrees 02 minutes 03 seconds, a radius of 3789.72 feet, a tangent of 199.74 feet, and whose chord bears North 28 degrees 10 minutes 40 seconds West, 398.93 feet to a highway monument with an aluminum disc found for corner;

North 25 degrees 24 minutes 31 seconds West, 26.27 feet to a highway monument with an aluminum disc found for corner;

North 02 degrees 57 minutes 29 seconds East, 52.70 feet to a highway monument with an aluminum disc found for corner;

North 24 degrees 54 minutes 48 seconds West, 21.60 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner, said point being the northwest corner of said 14.324 acre tract, said point also being the southwest corner of that said 23.918 acre tract;

North 25 degrees 05 minutes 05 seconds West, 40.30 feet to a highway monument with an aluminum disc found for corner;

North 81 degrees 25 minutes 40 seconds West, 30.15 feet to a highway monument with an aluminum disc found for corner;



North 25 degrees 10 minutes 36 seconds West, 77.41 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

THENCE North 64 degrees 49 minutes 24 seconds East, 346.30 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

THENCE North 25 degrees 10 minutes 36 seconds West, 99.74 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

THENCE North 18 degrees 59 minutes 34 seconds East, 5.93 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

THENCE South 89 degrees 31 minutes 47 seconds East, 449.09 feet to a point for corner in the east line of said 23.918 acre tract, said point being the west line of Dallas/Fort Worth International Airport, said point also being in the centerline of Bear Creek;

THENCE along the center line of Bear Creek and the east line of said 23.918 acre tract and the west line of Dallas/Fort Worth International Airport as follows:

South 48 degrees 50 minutes 35 seconds East, 38.58 feet to a point for corner;

South 79 degrees 25 minutes 45 seconds East, 205.58 feet to a point for corner;

THENCE continuing along the east line of said 23.918 acre tract and the west line of Dallas/Fort Worth International Airport as follows:

South 01 degrees 20 minutes 13 second West, 30.64 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

South 01 degrees 06 minutes 45 seconds East, 239.36 feet to a five-eighths inch iron rod found at the southeast corner of said 23.918 acre tract, said point also being the northeast corner of said 14.324 acre tract;

THENCE South 00 degrees 00 minutes 54 seconds East, 993.83 feet along the west line of the Dallas/Fort Worth International Airport to a monument with brass disc found for corner, said point being the southeast corner of said 14.324 acre tract, said point also being in the north right-of-way line of Glade Road;

THENCE along the north right-of-way line of Glade Road as follows:

West, 234.43 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

North 79 degrees 23 minutes 48 seconds West, 132.59 feet to the POINT OF BEGINNING and containing 888,946 square feet or 20.407 acres of land.



Z18-01  
CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7  
CW1802

"This document was prepared under 22 TAC 663.23, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared."

RECEIVED  
JAN 02 2013  
By \_\_\_\_\_

Via Electronic Mail  
[Rons@grapevinetexas.gov](mailto:Rons@grapevinetexas.gov)

Mr. Ron Stombaugh  
200 South Main Street  
Grapevine, Texas 76051

RE: Zoning Change Application for Property at the northeast corner of Glade Road and SH 121, Applicant: Greystar GP II, LLC

Dear Ron;

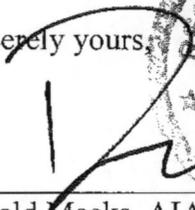
Thank you for your assistance with our zoning application referenced above. Pursuant to your previous conversations with Greystar, we are forwarding this letter to confirm the status of the proposed development's compliance with the City's Design Standards. Accompanying this letter is our completed District-Specific Design Standards checklist.

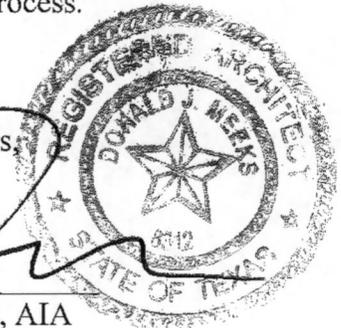
As you will see from reviewing the accompanying checklist, we are pleased to confirm that we are either in virtually total compliance with the Design Standards, in almost all cases to the letter, or, in a few instances, in compliance with the spirit of the Design Standards.

Of course, we are at the beginning of the zoning and entitlement phase, and as is normal during any development process, allowances must be made for reasonable modifications as the design is further developed in detail. In any such event, it is our intention to remain in compliance with the spirit and intent of the Design Standards at all times.

Thank you very much for your consideration of the accompanying checklist. We look forward to continuing our dialogue with City Staff as we go through this process.

Sincerely yours,

  
Donald Meeks, AIA  
Meeks + Partners,  
Architect for Greystar



CC: Andrew Ord

# District-Specific Design Standards

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7

## 1. Architectural Accommodations of Grade Change

Does the plan retain grade to support the building plate including terraces, patios, decks and any accessory buildings adjoined to the primary structure?

Complies:

Yes

No

In Spirit

### Comments:

Will Comply. We've identified a number of opportunities to accomplish this. In specific, there are 5 prominent locations where we have designed in turn-down footings. These are high impact locations that will be enjoyed esthetically and functionally by residents and their visitors. Additionally, in the same spirit above, it is currently proposed (pending final engineering allowances) that most of the buildings will have 2' to 4' breaks (step-downs) in the foundations that allow the buildings to step-down with the declining grade which minimizes retaining wall usage and maximizes the architecture and its' ability to accommodate grade change.

## 2. Pedestrian Connection Beyond The Project And District

Does the plan provide pedestrian connections from units within the project to existing trails, sidewalks or other public and private walkways.

Complies:

Yes

No

In Spirit

Does the plan provide pedestrian connections to places within the development that abut pedestrian walkways that the City's approved plans identify for the future?

### Comments:

We Comply. Accommodations have been made to provide for future connection points (both trail, sidewalks and streets) to the adjacent property to the north. Specifically, we have established an 8' wide "boardwalk" that runs along the western frontage of the project defined as the "borrowed landscape" (Parkway) that will tie into future developments to the north. Additionally, we will be providing a 10' wide public hike/bike trail that will extend northward and tie into future proposed developments to the north. Lastly, our plan shows an easement off the roundabout feature that will accommodate future vehicular tie-ins/connections to the adjacent property as well.

+

## 3. Preserve and/or Restore The Natural Characteristic Of The District

Does the plan include landscape development that continues the natural characteristics of the projects surroundings?

Complies:

Yes

No

In Spirit

### Comments:

Will Comply. Our landscape plan includes natural drifts and groupings/groves of trees that will be restorative to the site and will extend the natural mosaic of the adjacent undeveloped and open space areas into the site. Tree species used will be natural to the site, ones that accentuate the resort/lodge theme (e.g. Columnar Pines) and from the City's approved plant material list.

4. Perpetuate Residentially Derived Styling And Forms

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7  
Complies: Yes No In Spirit

Does the plan use the following architectural components?

- Pitched roof (gable or hip)
- Organized roof massing where a dominant roof has subordinate roofs that extend from it.
- 12 inch roof overhang
- Roofed porches and balconies
- No more than 45 horizontal feet of continuous wall without a horizontal offset of at least 4 feet
- Dormers that break the cornice
- Windows that align both horizontally and vertically
- Openings in architectural forms defined by a roof are located symmetrically within the form
- Three stories maximum. These three stories may be over a parking podium.
- Openings are treated with a jamb and/or head surround
- The Void-to-Solid relationship for window-in-wall elements is less than 50%

**Comments:**

Not applicable to 360/Airport District.

5. Provide Buffer Adjacent To Residentially Adverse Conditions

CC ITEM # 3, 27, 28, 29, 30

Does the plan provide a buffer between residential land use and adjacent environmental conditions (e.g. loud sound) that would negatively impact the livability of the residential land?

Complies: Yes  No  In Spirit

Comments:

To the West, our development will be set away from Hwy 360 by a generously landscaped ("borrowed landscape") public and private street scape - roughly 25' to 60' in width off property line. Additionally, the development will also slope down and away from the 360 frontage rd. towards Bear Creek - a fall of 30 - 60' (avg. 46') depending on the cross section you take. Lastly, the buildings will be equipped with acoustically rated and engineered windows to dampen any ambient sounds, within acceptable levels recommended by our acoustical engineer, from hwy 360 or the Airport. [To the East, our development is buffered from the airport by almost a mile of open space, 1/2 mile of flood plan (included in the open space), a creek, and towering trees that seclude it from sight as the development is nestled down closer towards Bear Creek (a vertical drop of 76' from the airport to Bear Creek). [Our development will effectively "re-knit" the natural landscape and tree canopy that once existed on the site. The site itself is currently devoid of lots of trees compared to the surrounding parcels so we will be restoring or "re-knitting" that natural landscape into our development.



6. Provide A Land Use And Scale Transition Between Multifamily/Vertical Mixed-Use Development And Abutting Single Family Development.

Complies: Yes  No  In Spirit

If the plan abuts an area of single-family residential land use, does it provide a "residential transition"? A residential transition must include two components:

- Height Transition: For any element with a height above 35ft, this element can't exceed one foot above 35ft in height for every 1ft of setback beyond 15ft. For example, you may have 36ft at 16ft setback, 37ft at 17ft and so on.
- Scale Transition: Any element located within 20ft of a property line abutting a single-family land use must not have an elevation face area more than 1200 sq. ft.

Comments:

Not applicable to 360/Airport District.

7. Provide Development That Maximizes Uses Appropriate To The Value Of The Setting And/Or Characteristic Of The Context.

If the surrounding street-level use is NOT predominately residential, does the plan provide—or is the structure such that it could be leased to provide—first-floor or street-level land uses that are consistent with the context?

Complies: Yes  No  In Spirit

If the plan has a distinct locational opportunity (such as being close to logistic, movement or transit hubs), does it provide—or is the structure such that is could be leased to provide—first-floor or street-level land uses that are consistent with this context?

If the answer to either question is YES, does the plan provide—or could be rented to provide—these land uses for at least 70% of the street-fronting first-floor space?

Comments:

We perceive the value of the setting, characteristic of the context, and the distinct locational opportunity to be Nature and how we are leveraging our relationship with that context. Our development maximizes this setting by “re-knitting” the natural landscape into our site design, introducing the first phase of a public hike/bike trail and trail-head so people - both our residents and the Grapevine community at large - can enjoy the environment, and delivering the resort/lodge derived style architecture to compliment and flow with the natural setting.



8. Perpetuate Commercially Derived Styling And Forms

Does the plan employ architectural styles and forms that include the following elements:

Complies: Yes  No  In Spirit

- A predominately flat roof concealed by a raised parapet of at least 12in in height
- All openings are vertically and horizontally aligned
- Balconies are projected
- Steel construction is exposed
- The first floor plate is at least 15ft high at the street level
- Void-to-solid relationships are 50% or greater void

Comments:

Not applicable to 360/Airport District.

9. Preserve And Extend Thematic Streetscapes

Does the plan continue the established streetscape of its surrounding District?

This includes:

Complies: Yes No In Spirit  
PZ ITEM # 3, 4, 5, 6, 7

- Matching light fixtures and spacing of light fixtures
- Matching tree species, scale, placement and spacing
- Matching paving material and paving pattern
- Continuation of defined inset areas for on-street parking

**Comments:**

Not applicable to 360/Airport District.

10. Maintain Compatibility With District Thematic Sign Features. Does the plan provide signage that is compatible with signage in the surrounding District? This includes:

Complies: Yes No In Spirit

- Maintaining the relationship of signage to street-fronting building planes
- Maintaining the general appearance of the District's signage
- Maintaining sign illumination consistent with the District and its nightscape
- Use of sign types consistent with the District and the context. This includes commercial tenant signs, premise signs and project signs.

**Comments:**

Not applicable to 360/Airport District.

11. Provide Responsive Interface To Open Space And Open Space Amenities. CC ITEM # 3, 27, 28, 29, 30 Complies:  
Does the plan address open space in ways that extend the open space into the project? This includes: PZ ITEM # 3, 4, 5, 6, 7 Yes No In Spirit

- Elimination of parking aprons in the foreground between the structure and the open space
- Extension of landscape species and patterns characteristic of the open space into the project
- Orientation of buildings to that building placement breaks free from the normal orthogonal relation to street and bears relationship to features of the larger landscape
- Extension of trails into the project
- Use of fence design that does not visually disrupt the continuous ground plane

**Comments:**

Not applicable to 360/Airport District.

12. Resort/Lodge/Prairie Styling And Forms. Does the plan use architectural styles derived from resort/lodge/prairie architectural precedents? These include: GO ITEM # 3, 27, 28, 29, 30 PZ ITEM # 3, 4, 5, 6, 7 Complies: Yes, No, In Spirit

- Flat pitched gable or hipped rooves with long and un-interrupted ridges and cornices
- Large roof overhangs with structural bracing such as brackets, angled braces, canted braced and exposed rafters
- Tapered columns that are full masonry or have masonry bases
- Use of flat roofs to accent pitched roofs
- Variable plate heights
- Vertical and Horizontal alignment of openings
- Openings in architectural forms defined by a roof are located symmetrically within the form
- Use of decks and terraces
- Architecturally enclosed balconies
- Projected window jambs and/or headers
- Structural details derived from timber construction detailing
- Use of siding and masonry
- Upper story insets within, or projections over, a lower story base

**Comments:**

We Comply. A few examples of the highlighted features that we designed in order to characterize the style are...

- \* Large Roof Overhangs with exposed rafters
- \* Structural Bracing
- \* Timber Frame Accents
- \* Tapered Stone Columns
- \* Architecturally Enclosed Balconies
- \* Metal Awnings
- \* 80% Stone

All these architectural features help the community to meld into the natural setting and make it feel a part of the environment that is its' home.

13. Curvilinear Organization Of The Development Plan

Does the plan have a curvilinear organization? This includes:

CC ITEM # 3, 27, 28, 29, 30

Complies: Yes  No  In Spirit   
PZ ITEM # 3, 4, 5, 6, 7

- Gracefully meandering streets and drives with bends in the street and drive alignment that is responsive to grade
- Merging street intersections where operations permit
- Organically-shaped parking areas
- Building orientations that are not tied to uniform street frontage
- Drifted groupings of trees in lieu of straight rows with uniform spacing

**Comments:**

We comply. We conform to all 5 bulleted points above. The site plan is non-orthogonal in nature, is not regimental in design and is curvilinear in its' appeal. Our site streets and parking meander in a non-orthogonal arrangement providing aesthetically pleasing visual interest for both the community and our residents.

14. Conceal Visibility Of Service And Parking Functions

Does the plan place service and parking functions so that such functions are NOT in the foreground yard space between any arterial or primary street and the buildings that are facing that street?

Complies:

Yes  No  In Spirit

**Comments:**

Yes. We comply. The public realm is buffered by a large "borrowed landscape" (Parkway) setback (25'-60') of tree groves, meandering 8' wide sidewalk, resort/lodge styled buildings and a thoughtful dog park. Parking and trash functions are strategically situated away and screened from public view by buildings and landscaping. The only parking areas that are visible from the public realm is the public parking area for the hike/bike trail-head and the public leasing parking in front of the club/leasing center - both of which are nicely and sufficiently landscaped.

15. Perpetuate Historic/Indigenous Derived Architectural Styling And Forms. CC ITEM # 3, 27, 28, 29, 30 Complies:  
Does the plan employ architectural styles and forms derived from the historic or indigenous character of the District? Such aspects include: PZ ITEM # 3, 4, 5, 6, 7 In Spirit

- Commercially-scaled first floor with a 15ft plate
- For building of three floors or greater, a tripartite architecture
- Decorative and embellished front parapet
- Street canopy
- Portrait orientation of openings and subversion of openings
- Continuous vertical corners often expressed as pilasters
- Occasional use of roof forms as accent elements on the front elevation
- Void-to-Solid ratio with greater void at the street level and greater solid at other levels
- Treatment of openings with jamb and/or header surrounds
- Use of belt courses to establish horizontal reference for placement of openings
- Use of decorative brick bands and details

**Comments:**

Not applicable to 360/Airport District.

16. Use Of Thematic Exterior Material, If Such Material Is Characteristic Of District And Complies With The General Material Standards. OC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7 Complies: Yes  No  In Spirit

If there is a surrounding District context, does the plan continue with the use of the dominant and characteristic material of the surrounding District?

If so, is the use of that material in compliance with the General Material Standards of the Building Manual?

Dominant use of material means material that comprises at least 70% of the building exterior excluding openings.

**Comments:**

Not applicable to 360/Airport District.

17. Orthogonal/Block Orientation Of The Development Plan. Does the plan have a block/orthogonal organization? This includes: Complies: Yes  No  In Spirit

- Straight streets with right angle intersections
- Continuous street wall defined by alignment of buildings
- Uniform spacing of street trees and street fixtures
- Continue the urban blocks which are adjacent to the project
- Have decorative cross walks or other intersection enhancements

**Comments:**

Not applicable to 360/Airport District.

18. Pedestrian/Residential Activity Connection Between The Public Street And Living Units Fronting The Street. CC ITEM # 3, 27, 28, 29, 30 PZ ITEM # 3, 4, 5, 6, 7 Complies: Yes No In Spirit

Does the plan present the public street with an external expression of the residential activity? This means that the street level of the residential development is not commercially used or made capable for commercial use. This includes porches, stoops, terraces, patios, fenced front yards and steps up from an approach grade.

**Comments:**

Not applicable to 360/Airport District.

19. Maintain Height And Scale Compatibility With The Height And Scale Characteristic Of District. CC ITEM # 3, 27, 28, 29, 30 PZ ITEM # 3, 4, 5, 6, 7 Complies: Yes No In Spirit

When height and scale are important attributes of the surrounding District's identity, is the plan compatible with this height and scale? Such compatibility can be achieved through one or both of the following:

- Upper-story setbacks that create a building mass at the street consistent with context
- Horizontal offsets at the street level which reduce the lower floor presentation of mass when the characteristic block size is exceeded. This creates the image of a block that is further subdivided through built recognition of individual properties as described in the "Bay Modulation" section of the Building Manual.

**Comments:**

Not applicable to 360/Airport District.

20. Use Of Bay Modulation Patterns That Are Compatible With Bay Modulation Of The District. CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7 Complies: Yes  No  In Spirit

Does the plan create a street frontage that continues the bay modulation of the block? Bay modulation refers to the architectural expression of individual buildings within the block face.

This is important to emulate the traditional block face of a downtown where buildings are normally built lot-line to lot-line in direct juxtaposition. In such downtowns, there is a complex street wall referred to as the "Bay" and the rhythmic and varied offset and appearance of that bay is referred to as "Bay Modulation."

**Comments:**  
Not applicable to 360/Airport District.

21. Provide An Urbanized Streetscape. Does the plan provide an urbanized streetscape along the primary street frontage that is consistent with the characteristic urban street fabric within the District? Key features of an urbanized streetscape include:

CC ITEM # 3, 27, 28, 29, 30

Complies: Yes  No  In Spirit   
PZ ITEM # 3, 4, 5, 6, 7

- The architectural plane fronting the primary street must create a continuous street wall along the primary street frontage. Buildings must establish a “built-to” zone which extends from the primary street front property line and extends into the property a distance of 3ft and at least 75% of the primary street frontage must lie within this zone. NOTE: the location and depth of this zone may be modified upon City approval when the modification results in lateral expansion of a sidewalk space for a sidewalk restaurant or sidewalk retail or in the creation of an arcade along the street.
- Street trees used in the streetscape should continue the use of an existing tree species when the larger urban setting contains a thematic tree. If the surrounding urban setting does not have a thematic tree, the plan must choose from a list of approved plants.
- Street lights must continue the uniform spacing and placement characteristic of the surrounding primary street. When a larger urban setting contains a thematic light or light standard, the plan must use that light standard. When no thematic light exists, the plan must choose a light or light standard appropriate for urban streetscape use.
- Decorative paving should continue the characteristic paving material and pattern of the urban context when that context includes a thematic sidewalk treatment. When no thematic treatment exists, the project must use a sidewalk paving material and pattern appropriate for urban streetscape use.

**Comments:**

Not applicable to 360/Airport District.

22. Provide A "Borrowed Landscape" For The Primary Street Frontage CC ITEM # 3, 27, 28, 29, 30  
Does the plan provide a "borrowed landscape" along the primary street frontage PZ ITEM # 3, 4, 5, 6, 7 Complies: Yes  No  In Spirit   
that preserved the general character of the District? This includes:

- Elimination of parking aprons or walls between the building and street unless the landscape space abutting the street is greater than 20ft
- Creation of an expanded parkway that is varied in dimension with the minimum parkway expansion being 15ft from the street right of way and with variations in width occurring at least every 200ft. Creation of pads for horizontal mixed use qualifies as varied Borrowed Landscape space
- Use of a pedestrian trail in lieu of a pedestrian sidewalk. Sidewalks within the borrowed landscape space must be meandering pedestrian ways at least 8ft wide.

**Comments:**

We Comply. Our "borrowed landscape" (Parkway) includes a variable width (~25'-60' from property line - not including public ROW add'l width) open space along the street frontage, with pedestrian access, that moves in and out of the frontage area providing pedestrian connectivity from the site to adjacent trails and future connection points. Our security fencing is set back from the street, linking the buildings, at the building level so the frontage area does not give the appearance of a "compound". Around the perimeter and where the opportunities arise, we use the buildings themselves as a security barrier with the security fence connecting each building. This puts our lodge-style building architecture thoughtfully in the foreground while pushing the fence to the background where it belongs.

The tree drifts and groves in the frontage area extend the natural mosaic of the adjacent areas into the site along the "borrowed landscape" parkway.

23. Promote Horizontal Mixed Use

CC ITEM # 3, 27, 28, 29, 30  
Complies:  
PZ ITEM # 3, 4, 5, 6, 7  
Yes No In Spirit

Does the project create opportunities for stand-alone retail/restaurant pads with- in the street frontage of the primary street? In no case should the provision of a retail pad consume more than 50% of the multifamily frontage.

Where the multifamily frontage is 300ft or less, a retail pad leave-out is not required. This retail pad requirement may be waived upon City Approval but a requirement for variable street definition (#24) still applies

**Comments:**

Retail is infeasible for this location for the following reasons...

- Site constraints: Due to site topo (the site falls between 30' and 60' towards Bear Creek), visibility is poor. The large areas needed for big-box retail or bulk distribution warehouse (the site's current zoning) would require a cost-prohibitive level of earthwork to clear sufficiently flat pads for the building, parking areas and loading areas.
- Access constraints: Access is poor due to limited Glade frontage and "right-in right-out" (one-way) limited access off of 360 frontage.
- Demand constraints: There is inadequate residential density as the airport land dominates most of the retail trade area.
- Operator constraints: Retail operators have overwhelmingly selected 121 and Glade Road to the west and Highway 114 to the north as viable locations. The site has been zoned industrial for over two decades, but industrial operators have selected other locations around the airport with level topography.

24. Provide Variable Street Definition Within The Block Face Along Primary Streets

Complies:  
Yes No In Spirit

Does the plan create a variable street definition through the variable setback of multifamily structures fronting the primary street? No more than 50% of the project frontage may adhere to a uniform setback dimension. Horizontal offsets in the development plan set back line must be no less than 10 ft.

**Comments:**

We comply and far exceed both the 50% and the 10ft. rule above. In accordance with the natural and organic theme of the design, the building's fronting both Glade Rd. and the 360 Frontage Rd. are canted at differing angles that create a varied presentation of the architecture to the public realm in a way that is non-regimental and non-uniform. Our closest building to the property line along the frontage roads is 25' vs. the 10' minimum above. Our furthest building is roughly 60' from the property line.

CC ITEM # 3, 27, 28, 29, 30  
 PZ ITEM # 3, 4, 5, 6, 7

	District Specific Standards (A = Applicable)	360/Airport District	Grapevine Mille South District	Grapevine Mills North District	Gaylord/SF 26 District	Central Transit District
1	Architectural accommodation of grade change	A			A	
2	Pedestrian connection beyond project and district	A	A	A	A	A
3	Preserve/restore characteristic natural mosaic	A	A			
4	Residentially derived styling and forms/ pitched roof		A	A*		
5	Buffer adjacent environmental encroachments	A				
6	Land use/scale transition from MF/SF		A	A		
7	Maximize value capture opportunities	A				A
8	Commercially derived styling and forms		A	A**		A
9	Preserve/perpetuate thematic streetscape					A
10	Compatible with district, thematic signage features		A	A		A
11	Responsive interface with open space and amenities		A	A	A	
12	Resort/lodge derived styling and forms	A			A	
13	Curvilinear organization of development plan	A	A	A	A	
14	Conceal visibility of service/parking functions from arterials/primary roads	A			A	A
15	Historic/indigenous derived styling/forms					A
16	Use of thematic exterior material if characteristic of district and complies with standards					A

A\* = When closer to topography and golf course

A\*\* = When closer to Regional Roadways and other commercial areas

CC ITEM # 3, 27, 28, 29, 30  
 PZ ITEM # 3, 4, 5, 6, 7

17	Orthogonal, block organization of development plan					A
18	Pedestrian/residential activity connection between street and living unit fronting street					A
19	Height and scale compatibility with height and scale characteristic of district					A
20	Bay modulation pattern compatibility with thematic bay modulation of district					A
21	Urbanized streetscape					A
22	Provide "Borrowed" landscape for street enhancement	A				
23	Promote horizontal mixed-use	A	A	A		
24	Variable street definition to create a more complex street scape				A	

A\* = When closer to topography and golf course

A\*\* = When closer to Regional Roadways and other commercial areas

# General Standards for Multifamily Development CC ITEM # 3, 27, 28, 29, 30 PZ ITEM # 3, 4, 5, 6, 7

## Part A: Site and Design

### a. Contextual Relationships

**1. Community Structure:** Each plan for a project larger than 100 units must provide:

Complies:  
Yes      No      In Spirit

- i. **Benches:** at least one every 700ft or one per block, whichever is less
- ii. **Bike Racks:** a capacity for 4 bikes at each residential building and 14 at the central pedestrian facility
- iii. **Trash Disposal Units:** one trash receptacle at each bench
- iv. **Pedestrian Lighting:** one light standard at least every 100ft

Continued from below (Due to lack of space): Bike racks will be located at each building as required. In addition we will provide a bike rack at the proposed trail head into the creek trail. Pedestrian lighting of open spaces and trail amenities will be designed to comply.

**Comments:**

Will Comply. We have strategically placed benches and trash receptacles at locations to both comply with the requirements and to work in the open space areas we have created. See above...

**2. Cognitive Structure:** Development site plans should avoid a “maze-like” arrangement of streets and drives and should provide a clear demarcation of sub-areas arranged with reference to an internal destination.

Complies:  
Yes      No      In Spirit

**Comments:**

There are various sub-areas (Pavilion area, Courtyards, Dog Park, Trail-head & Clubhouse etc.) integrated throughout the site that will drive community interaction through Cognitive Structure. +

**3. Edge Definition:** Planting of the edge must provide visual concealment of at least 70% of the perimeter fence using evergreen plants. Moreover, at least 70% of these plants must have foliage from ground to top capable of providing a screen. Edge screening must be planted in natural drifts that appear as native plant clusters.

Complies:  
Yes      No      In Spirit

Continued from below (Due to lack of space): The landscaping along our ornamental fencing will further screen the material to soften the edge of our community.

**Comments:**

Our perimeter fence is not continuous –in many cases we use the buildings themselves as entry barriers which reduces the amount of fencing needed and also provides less of a “compound” feel.

**4. Traffic Calming:** Any multifamily plan must illustrate traffic calming measures using traffic tables, intersections, traffic circles, chokers, roadway neck downs at intersections, center island narrowing or rumble strips. Speed bumps are prohibited.

Complies:  
Yes      No      In Spirit

Continued from below: Not only will these help to slowdown traffic but they will also provide safe pedestrian access and connectivity between the open space areas.

**Comments:**

We Comply. In 2 locations where the street runs are longer we've employed raised cross-walks to slow traffic speeds internal to the project, which essentially mimic the raised traffic table concept.

**b. Connections Beyond The Project**

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7

**1. Relationship With And Connections To The City Fabric:** The site plan for any multifamily development must portray the extent to which the following elements of the City Fabric are continued or otherwise responded to:

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

i. **Curb Cuts and Driveways:** Development plans much seek to continue flow between projects by coordinating points of ingress and egress so that efficient maneuvers to and from serving public streets are possible. Coordination of routing traffic volumes anticipated by individual project TIAs is a required consideration of a development plan being considered by the City.

ii. **Thoroughfares And Roadways:** A development plan that lays within the path of a thoroughfare as planned or committed to by adjacent development or of a thoroughfare that has been adjusted by the Council must make provision for the extension of the right of way of such thoroughfare when traffic projected densities necessitate extension.

iii. **Trails:** A proposed multifamily development plan must consider appropriate trail routing through the proposed development so that a cohesive trail network can evolve over time.

iv. **Open Space:** The proposed development plan must consider extension of the open space or expansion of the open space, or consider how development portrayed by the development plan can relate to and define the open space.

v. **Contextual Characteristics:** Any multifamily development plan must illustrate how various aspects of the context will also be manifest in the development design. Key aspects of the context include streetscape themes, continuity of water or water bodies, extension of indigenous plant drifts, continuity of road sections, treatment of parking, protection of and continuity with adjacent land uses, continuation of tree canopies and canopy species, continuity of natural features, extension of surface water management strategies, and continuity of edge treatments.

Continued from below:

iv. We Comply. Open space will be shared and extended between future land-uses and tracts of land.

v. We Comply. We are re-knitting the natural fabric as a part of our built environment in an aesthetically pleasing meandering arrangement as a backdrop to the enhanced ecology.

**Comments:**

i. We Comply. We have easements in place that will allow for an adjacent land-use to the north to connect into our public/private roundabout trailhead entry feature.

ii. N/A

iii. We Comply. At full build-out, a 4-phase (3 different landowners) ~2-mile extension of a 10' wide hike and bike trail has been coordinated all the way to Bear Creek Park as a part of this development proposal, thus fully connecting the existing Grapevine hike and bike trail system with the southern gateway of the City. Phase 1(~.25 MI.) will be constructed as a part of this development.



**c. Lot Occupancy**

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7

1. In a development plan that's required to be curvilinear as outlined by the District Specific Standards, such a plan must establish a building relationship to the street such that:

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

i. At least 60% of the interior street and drive-fronting buildings within the development plan design and 75% of buildings facing public streets serving the project must be sited so that the front building plane (the plane facing the street) is not parallel to the street right of way.

ii. A minimum of 30% of the yard space along interior streets and drives, and 50% of the yard space fronting public streets serving the project, must be covered by a landscape approach defined by organic plant massing and natural drifts.

**Comments:**

i. 7 out of the 11 (63.6%) interior buildings are not parallel to the interior street right-of-ways they front on. 6 out of the 7 buildings (85.7%) that front public streets are not parallel to the street right of way they front on. The curvilinear nature of the street pattern inherently keeps the buildings from being parallel to the street.

ii. We will comply. The defined parameters above will feature the themed organic plant massing and naturalistic drifts.

2. **Building Relation to the Street and Orthogonal Plan Layouts:** Plan designs that are required to be orthogonal, as outlined by the District Specific Standards, must establish a building relationship to the street such that:

Complies:		
Yes	No	In Spirit
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

i. The development plan must establish a "build-to" line for the interior streets and drives of the project that will vary from the required 3ft build-to line along the plan's exterior public streets as specified in the District Specific Standards. This build-to line must be at least 9ft from the street or drive back of curb.

ii. The presence of repetitive stoops, terraces or porches which project into the yard space created by the build-to line cannot be closer than 5ft to the street or drive back of curb and must project at least 4ft from the primary building mass. These projections must be architecturally contained such that they are part of the overall façade composition. The offset space created between the projected stoop, porch or terrace and the primary building mass must be a landscape space, leaving a 5ft minimum pedestrian space at the street edge.

**Comments:**

Not applicable to 360/Airport District.

**d. Parking: Placement and Configuration**

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7

**1. Parking Facility Type:**

Complies:  
Yes      No      In Spirit

i. **Structured Parking:** Parking within the Transit Center Character Zone must be structured when the project exceeds 20 units per acre. Projects exceeding 40 units per acre in any other Character Zone must provide structured parking.

ii. **Surface Parking Areas:** Projects with a unit density between 28 and 39 units per acre that provide aggregated surface parking must comply with the following:

1. Aggregated parking areas with more than 70 parking spaces (not including street or drive head-in parking) must be located in a place that is not visible to the primary street serving the project or located so that the parking area may be screened. Parking garages located such that they front a public street must have architectural elevations that complement the design style of the multifamily structures. "Complement" in this context means that they must share similar horizontal offsets, organization of openings, and use of materials.

2. Aggregated parking areas in non-orthogonal development plan designs must also have a curvilinear configuration.

3. Aggregated parking areas must be landscaped

**Comments:**

Not applicable because our proposed development's density is 20 units/acre. However, all our aggregated parking does have a curvilinear configuration and is landscaped.

2. Head-in parking along streets: Before the parking demand for aggregated parking areas is determined, head-in street and drive parking must be provided to the extent permitted by the streetscape design.

Complies:  
Yes      No      In Spirit

**Comments:**

We Comply. Head-in street and drive-parking is maxed out throughout the site and zonally spaced out to accommodate maximum convenience to the resident.

**e. Site Open Space Requirement**

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7

1. **Open space as a percent of total development area:** At least 20% of the site area identified in any multifamily plan must be set aside as open space. Site areas that qualify as open space set asides include:

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- i. Areas protecting existing natural features and/or plant communities
- ii. Areas used for the surface management of storm water that are not structures
- iii. Any retained water
- iv. Project amenity areas that are visually accessible from streets and/or drives
- v. Playgrounds
- vi. Pedestrian trails
- vii. Borrowed street landscape areas
- viii. Pedestrian accessible areas between structures open to access by the project population

**Comments:**

We comply and well exceed this standard, offering all of the above elements in our proposed community in a quantity greater than the 20% standard. Aside from borrowed street landscape, pedestrian accessible areas and trails, project amenities, and all other internal open space that meets the above definitions, we have set aside approximately 4 acres of natural open space that will protect existing natural features and plant communities. Additionally, we will be providing a ~1/4 mile 10' wide public hike/bike trail replete with fitness stations and nature informational placards.

2. **Form giving influence:** Open space provided within any development plan must serve as a frontage for at least 25% of the structures within the project, where buildings can define the edge of open space, except for the Transit Center District where street frontage is prioritized.

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Comments:**

We exceed this standard, which is a standard that renders the outdoor environment as a primary focal feature of the community. Very conservatively, at least 7 buildings meet this requirement out of the 20% requirement of 3.6 buildings.

**f. Preservation of Natural Drainage**

CC ITEM # 3, 27, 28, 29, 30

PZ ITEM # 3, 4, 5, 6, 7

1. **Natural Drainageways:** Any development plan for multifamily development in Grapevine must illustrate the extent to which natural drainage within the lot, parcel or tract exists and is preserved through design initiatives that preserve, restore or replicate natural drainage patterns. Any disruption of natural drainage patterns must be approved by the City of Grapevine.

Complies:

Yes

No

In Spirit

**Comments:**

We Comply. We have employed a dry riverbed design in certain areas of the site to help replicate the natural environment, catch and direct surface drainage off the site with the added benefit being that this design will provide an enhanced pedestrian experience for our residents and guests.

## g. Storm Weather Management Facilities

CC ITEM # 3, 27, 28, 29, 30

PZ ITEM # 3, 4, 5, 6, 7

1. **Storm weather management structures:** Any development plan for multifamily development in the City of Grapevine, where structured storm water management solutions are required must adhere to the following:

Complies:

Yes

No

In Spirit

i. **Minimize structured means of water management:** Plans must minimize the use of cross drainage structures, armored channels, concrete flow ways, and other structured solutions to storm water management, unless such structures are for the purpose of creating a pedestrian or urban activity at a water edge.

ii. **Maintain natural shapes and form in the creation of detention/retention facilities and created drainageways (a.k.a. flow management facilities):** Water collection points and/or pools created by nature have shapes that are clearly organic. Therefore, plans should avoid straight lines, hard angles, and regular geometric shapes in the creation of flow management facilities.

iii. **Landscape with natural elements:** Where storm water management design creates conditions that support indigenous plants, measures must be taken to landscape such facilities in ways that allow such plants.

iv. **Respect natural sub-systems:** Proper design of flow management facilities should, where appropriate, include diverse ecological settings such as deep water (limnetic zones) in combination with shallow water (littoral zones), wetlands, ephemeral flows, and greater states of hydration which can support plant communities associated with these zones.

### Comments:

We Comply. We have employed a dry riverbed design in various locations to help catch and direct surface drainage off the site while ensuring safety and quality of life for our residents by avoiding storm water flowing above ground, which can present risk to pets and residents alike during a runoff event.

## h. Grading

CC ITEM # 3, 27, 28, 29, 30

PZ ITEM # 3, 4, 5, 6, 7

1 Grading for multifamily development in the City of Grapevine must adhere to the following:

Complies:  
Yes      No      In Spirit

i. **Avoid steep grades:** Grades equal to or greater than 20% are considered steep and shall not be graded to create building lots. However, individual buildings which make grade transition within the building, porch or terrace expansions are permitted and therefore the limited disturbance of grade needed to accomplish this is permitted also.

ii. **Conform to standards for tree protection:** Any tree over three inches in caliper remaining on a lot, parcel or tract (that is, trees not approved for removal) and exposed to the building activity or within 30ft of the building activity (hereinafter regulated trees) shall be protected as follows:

a. **Tree fencing:** Regulated tree trunks shall be protected within a visible "tree fence" at least 36 inches tall and protecting the tree and ground around the tree to a minimum distance from the trunk equal to the distance of the tree drip line or 10 feet, whichever is less.

b. **Tree marking:** All regulated trees shall be marked with a green surveyor tape which indicates "Protected Tree" status.

c. **Ground compaction avoidance:** Measures shall be taken to minimize ground compaction within the dripline of a Regulated Tree. Grading within the ground protected by a tree fence is prohibited.

d. **Maintenance of normal hydration:** Measures shall be taken to maintain normal hydration of a Regulated Tree.

### Comments:

Will Comply. We have no grades on site that exceed 20% related to building lot construction. We will comply and will use the best arboriological practices to make sure preserved trees are protected so they will thrive post construction.

# Part B: Building Design Standards

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7

## a. Street Interface

1. Semi-public space adjacent to streets:

Complies:  
Yes      No      In Spirit

i. Canopies and store fronts are limited to urban setting such as primary street frontage in the Transit Center Character Zone.

ii. In any single building block, there must be at least one expression of a first-floor, semi-public space within the street-facing elevation. If a canopy of storefront is used to meet this standard, it must occupy at least 50% of the length of the elevation.

2. Residential Design Standards: If building frontage defines the edge of an open space, each building block must have at least one first-floor pedestrian space that is part of the architectural design.

i. Store fronts must be set within a minimum first-floor plate height of 15ft. and must be comprised of vertical and horizontal subdivisions within which any area of un-supported glass is no smaller than 16 square feet. Vertical and horizontal subdivisions shall be at least two inches wide.

### Comments:

We Comply.

2. Residential Design Standards: If building frontage defines the edge of an open space, each building block must have at least one first-floor pedestrian space that is part of the architectural design.

Complies:  
Yes      No      In Spirit

i. Store fronts must be set within a minimum first-floor plate height of 15ft. and must be comprised of vertical and horizontal subdivisions within which any area of un-supported glass is no smaller than 16 square feet. Vertical and horizontal subdivisions shall be at least two inches wide.

### Comments:

We Comply. All of our buildings have multiple first-floor "pedestrian spaces" in the form of the access breezeways.

**b. Elevation Composition**

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7

1. The exterior design of any multifamily structure must comprise an overall pattern. This pattern includes:

Complies:  
Yes      No      In Spirit  
           

- i. Regulating lines that organize its elements
- ii. Proportioning
- iii. Hierarchy of dominant and subordinate elements

**Comments:**

We Comply. Our compositional intent complies as it enacts the use of "proportioning" and "hierarchy of dominant and subordinate elements".

**b. Elevation Composition (continued)**

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7

2. Openings and features of any building must have a common justification.

Complies:

Yes

No

In Spirit

i. When a pitched roof design is used, all windows—except dormer windows—must be below the cornice detail.

ii. When a flat roof design is used, all windows must be at least 2ft below the parapet.

iii. When both a pitched roof and flat roof design are used in the same elevation, the window heads must align horizontally.

iv. Windows may abut the cornice detail if the window header modulates the banding or detailing of the cornice.

v. Openings within an elevation must have a common reference line that engages the sill or head.

vi. Windows within an elevation must have a common vertical reference line from the first to the top floor.

vii. Windows must align with the features that define the architectural form. For example, windows in a gable cannot be arbitrarily distributed within the face of the gable unless specifically approved by the City.

viii. Excepting first floor store front or vertical mixed-use structure, all openings must be square or portrait in orientation.

ix. Windows, doors and other openings must be articulated within a projected surround or header unless otherwise approved by the City.

**Comments:**

We Comply. Please refer and compare to Architectural elevations. One nice item of note is that we are using accented stone sills and headers as our window projected surrounds. These standards above elevate the role of windows from mere utilitarian openings to architecturally striking features unto themselves.

**CONTINUED ON THE NEXT PAGE**

**b. Elevation Composition (continued)**

CC ITEM # 3, 27, 28, 29, 30

PZ ITEM # 3, 4, 5, 6, 7

3. All elevations of a structure must receive equal treatment of style on all elevations of a structure so as to avoid the common pitfall whereby only the street-facing façade is adequately styled and structured.

Complies:

Yes

No

In Spirit

**Comments:**

We Comply. Each and every building face presents the same high standard in this guideline.

4. Forms created within the elevation, such as towers, bays and plate changes, must be derived from functions within the plan. Design approaches which seek to decorate a "space plan" derived independent of the elevation design are prohibited.

Complies:

Yes

No

In Spirit

**Comments:**

We Comply.

**b. Street wall complexity and exterior offsets**

CC ITEM # 3, 27, 28, 29, 30

PZ ITEM # 3, 4, 5, 6, 7

1. Building offsets:

Complies:

Yes

No

In Spirit

i. Residential building blocks may not have more than 50 linear feet of wall without a wall offset.

ii. Horizontal wall offsets must be at least 4ft. This may include balconies if contained within the confines of the offset. Any balconies projected from the face must have an architectural enclosure.

iii. Architectural forms such as enclosed porches, stair towers, projected bays or stacked balconies maybe projected from the building block or recessed within it and must be accompanied by a roof in the roof massing that corresponds to the architectural form.

**Comments:**

We Comply.

**d. Void to Solid Ratio**

CC ITEM # 3, 27, 28, 29, 30

PZ ITEM # 3, 4, 5, 6, 7

1. For the first floor of a vertical mixed-use plan wherein the first floor has a commercial use, the void-to-solid ratio must be greater than or equal to 1.5:1 (the amount of void being greater than the amount of solid). The solid portions of the first floor façade must extend vertically to the floors above and parapet detail.

Complies:

Yes

No

In Spirit

**Comments:**

Not Applicable. We are not a vertical mixed-use project. (Please excuse the check in the box. I can't get it to un-check.)

2. For floors above the first floor in a vertical mixed-use plan (or for all floors in a residential plan), the void-to-solid ratio must be less than or equal to 0.5:1 (the amount of void being less than the amount of solid).

Complies:

Yes

No

In Spirit

**Comments:**

We Comply.

**e. Architectural Enclosures**

CC ITEM # 3, 27, 28, 29, 30

PZ ITEM # 3, 4, 5, 6, 7

1. All projected stair towers, elevator shafts, and cantilevered building projections (other than balconies) must be architecturally enclosed. This means that they must be enclosed in an architectural skin and must be expressed as a roof form.

Complies:

Yes

No

In Spirit

**Comments:**

We Comply.

**f. Roof form:** Rooves and the roof lines they create are essential design elements for higher-value structures. Visible roof design must:

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7

1. Be legible. There must be a clear organization of a dominant roof mass from which subordinate roof masses extend.

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Comments:**  
We Comply.

2. Be balanced. A single roof pitch must be used within the total composition. Different roof pitches are permitted for tower forms which are not engaged with the general roof form. Permitted roof forms include gables, hips, barrels if used as secondary forms, sheds if used as secondary forms, and flat.

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Comments:**  
We Comply.

**g. Style Integrity**

CC ITEM # 3, 27, 28, 29, 30

PZ ITEM # 3, 4, 5, 6, 7

1. The use of architectural detailing associated with a style must use the characteristic detailing of that style.

Complies:

Yes

No

In Spirit

**Comments:**

We Comply. A few examples of features that we designed to in order to characterize the style are...

- \* Large Roof Overhangs
- \* Structural Bracing
- \* Timber Frame Accents
- \* Tapered Stone Columns
- \* Architecturally Enclosed Balconies
- \* Metal Awnings
- \* 80% Stone

2. The use of systems or materials that replicate the work of a trade or artisan are prohibited. Construction details which are traditionally derived from the work of an artisan (such as a metal smith, carpenter or stonemason) must use a material in which the characteristic craftsperson can work.

Complies:

Yes

No

In Spirit

**Comments:**

We Comply.

**h. Chimneys**

CC ITEM # 3, 27, 28, 29, 30

PZ ITEM # 3, 4, 5, 6, 7

1. In pitched roof styles and other traditional styles, the chimney must be terminated with a chimney cap that conceals the metal spark arrestor and visually reads as a traditional tile flue system, unless otherwise approved by the City.

Complies:  
Yes      No      In Spirit  
           

**Comments:**

Not applicable. We don't have Chimneys.

2. In pitched roof styles and other traditional styles, the chimney shaft must be enclosed with unit masonry, stone or 3-coat stucco with a minimum dimension of 4.5ft x 3ft, unless otherwise approved by the City.

Complies:  
Yes      No      In Spirit  
           

**Comments:**

Not applicable. We don't have Chimneys.

3. In pitched roof styles and other traditional styles, the rise of the chimney shaft must be detailed so that the chimney has complexity in plan as well as elevation.

Complies:  
Yes      No      In Spirit  
           

**Comments:**

Not applicable. We don't have Chimneys.

**a. Materials and Application of Materials**

1. Primary Material. At least 70% of the exterior façade of a 4-story structure or 80% of the exterior façade of a 3-story structure or 100% of the exterior façade of a structure less than 3 stories must be one of the following:

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

i. Brick. Clay brick, modular size, hard-fired and meeting severe weather standards. Embossed or molded brick is generally prohibited unless specifically approved by the City. All brick shall be laid so as to avoid stacked joints and all building corners—both inside and outside—must be executed in a toothed masonry fashion. Weeping or slumped joints are prohibited.

ii. Stone. Stone must be laid in a typical load-bearing pattern. Characteristics of such pattern include:

1. Tight mortar joints with no more than 30% of joints larger than 3/8 inches.

2. Coursed patterns such as Ashlar, Coursed Chopped Stone and Coursed Rubbed Stone. Mosaic and un-coursed rubble stone-work are prohibited unless specifically approved by the City.

3. Cultured stone or other faux stone products are prohibited.

4. All stone must be laid so as to avoid stacked joints and all corners—both inside and outside—must be executed in a toothed masonry fashion.

iii. Other Stone. Cut stone/smoothed-face stone or Cut stone/smoothed-face stone that is mechanically attached with a stone veneer system may be used provided that the system uses a true stone.

**Comments:**

We will Comply. Stone will be real coursed stone to fit the (iii.) definition above.

**a. Materials and Application of Materials (continued)**

CC ITEM # 3, 27, 28, 29, 30

PZ ITEM # 3, 4, 5, 6, 7

2. Secondary Material. No more than 30% of the building façade may be a secondary material. This includes:

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

i. Stucco. 3-coat stucco on lath over a structural frame with expansion joints concealed by filling the joint with expandable filler that is troweled flat with the stucco, is the same color as the stucco and that matches the stucco surface texture is permitted. Dryvit/EFS type systems are prohibited. Stucco is not permitted in the Central Transit District.

ii. Metal. Architectural metal wall systems are permitted.

iii. Siding. Wood or Cementacious siding is permitted in those Character Zones where pitched roof styles are permitted.

**Comments:**

We Comply. We will be using a cementacious siding (along with 80% stone) to compliment the architectural design. This product also maintains itself over time and doesn't cup, buckle or warp like real wood tends to in the sometimes extreme Texas weather fluctuations.

3. Roof Material. Acceptable materials include:

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

i. Flat Roof. Flat rooves may be either a built-up bituminous roof or a membrane roof provided that it is installed in accordance with the manufacturer's specifications and issued a 30-year warranty. All flat rooves must be hidden from ground level view, behind a 12-inch parapet.

ii. Pitched Roof. These may be either a standing-seam metal roof with standing folded and soldered seams, a commercial metal roof if approved by the City, slate, clay tile, or 40-year high profile composition single. All composition shingle rooves must have closed valleys. Concrete single products with a relief greater than 1/2 inch are prohibited.

iii. Parapet Cap. These must be either clay brick, cut stone, cast stone, tile, or terra cotta. Pressed metal maybe used if is it specifically created to decoratively cap a parapet and if specifically approved by the City.

**Comments:**

We will Comply.

**a.Materials and Application of Materials (continued)**

CC ITEM # 3, 27, 28, 29, 30

PZ ITEM # 3, 4, 5, 6, 7

4. Material Change. Material changes in any elevation may occur only under the following conditions:

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

i. Change occurs at an inside corner.

ii. Change that occurs at an outside corner must wrap the corner and change at a location at least 12 inches from that corner and be designed as the termination of an architectural detail.

iii. Change that occurs wherein the different material is contained within a distinct architectural form that projects from the primary architectural mass.

iv. Change that reflects an offset between a lower and an upper floor where the offset is at least 6 inches. Material changes within the same architectural plane are prohibited.

**Comments:**

We Comply.

**a.Materials and Application of Materials (continued)**

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7

5. Relief. The City seeks to promote relief and dimension in architectural surfaces, details, and motifs with the following requirements:

Complies:		
Yes	No	In Spirit
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

i. The following materials are prohibited: Fiberglass, Styrofoam or stucco-over-styrofoam, plastic, aluminum. Stucco applied to look like projected stone, Stucco applied to look like cast stone, Stucco applied to look like terra cotta, cementitious boards used in any application which makes a corner, cementitious boards used in any application which makes a mitre or decorative shape, Masonite or Masonite products, composition wood products used as an exterior material, trimcraft used as a soffit board, or other smooth finished soffit board.

ii. Relief in the treatment of cornices, overhangs, gable projections, bay windows, dormers, water tables, belt coursers, sills, surrounds, timber components and other expressions must be executed in ways that produce depth, shadow and texture.

iii. In coursed rubble stonework, stones must be laid into the wall as the stone would lay on the ground. No more than 20% of the stones in any elevation may be "flipped" sideways.

iv. The minimum projection in any built-up profiles and decorative assembly must be 3/4 inch per element of the assembly. A cornice detail comprised of three stepped bricks must have a total projection of 2 and 1/4 inches.

**Comments:**

As corroborated by City consultants, cementitious trim - provided it is dimensionally acceptable - will require less maintenance, have stronger architectural appeal, and exhibit superior durability in our climate than conventional wood. It will not cup, buckle or warp which starts to look rundown over time. Should City consultant allow, we would like the opportunity to explore (in-field mockup) and ultimately incorporate what we think will be an overall better trim product in terms of cementitious trim material use on the buildings.

**a.Materials and Application of Materials (continued)**

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7

6. Carpentered Exterior Trim.

Complies:

Yes

No

In Spirit

i. All carpentered exterior trim must be high-quality finished grade wood stock.

ii. If a trim installation is to be joined along any continuous run of material, the required joint must be a "spline joint."

iii. All outside corners must be mitered and blocked with sufficient closure that the joint is not visible from the street.

iv. Corners must be closed by a carpentered joint. Trim clips are prohibited.

v. Facia and gable rake must be stepped at the drip mold unless hidden by a gutter.

vi. Carpentered trim that forms the veneer pocket must have a complexity achieved in trim mold, built-up step molding, or other traditional detail such as a dentil mold.

**Comments:**

As corroborated by City consultants, cementitious trim - provided it is dimensionally acceptable - will require less maintenance, stronger architectural appeal, and superior durability in our climate than conventional wood. It will not cup, buckle or warp which starts to look rundown over time. Should City consultant allow, we would like the opportunity to explore (in a field mockup) and ultimately incorporate what we think will be an overall better trim product in terms of cementitious trim material use on the buildings.

**b. Wall Construction**

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7

1. Wall Section. All wood-framed exterior walls must be constructed as follows: Complies:
- |   | Yes                                 | No                       | In Spirit                |
|---|-------------------------------------|--------------------------|--------------------------|
| i. When shim- or flange-mounted windows are used in masonry veneered walls, framing may be conventional 2x4 framing.  | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| ii. When shim-mounted windows are used in stucco veneer walls or other permitted material that does not require a masonry ledge or that does not project more than 3.5 inches from the sheathing, exterior walls must be framed with 2x6 members in order to achieve a 3.5-inch minimum offset within the opening.  |                                     |                          |                          |
| iii. When flange-mounted windows are used in stucco veneer walls or other permitted material that does not require a masonry ledge or that does not project more than 3.5 inches from the sheathing, a double 2x4 framing assembly is required that allows the flange to be mounted on the inner 2x4 section with the second 2x4 section providing the required offset from the window sash or door at the opening. |                                     |                          |                          |

**Comments:**  
We will Comply.

2. Parapets. Where there is a flat roof, a parapet must extend at least 12 inches above the roof surface and conceal the roof material from ground-level view. Complies:
- |  | Yes                      | No                       | In Spirit                |
|--|--------------------------|--------------------------|--------------------------|
|  | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

**Comments:**  
N/A

**b. Wall Construction (continued)**

CC ITEM # 3, 27, 28, 29, 30

PZ ITEM # 3, 4, 5, 6, 7

3. Cornice Detail. All wall terminations at the roof must have a cornice detail comprised of at least 2 projected elements. Parapets must have a cap detail comprised of at least 2 projected elements.

Complies:

Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Comments:**

We will Comply.

4. Window Surrounds, Belt Courses and Base Courses.

Complies:

Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

i. All openings in the exterior skin must have an architecturally appropriate header and sill with an optional jamb. The required header and sill must project at least ¾ inches beyond the wall veneer. Window headers or sills may be either stone, cast stone, terra cotta, heavy timber (where appropriate for the style), or wood (where appropriate for the style).

ii. Other architectural details like belt courses and base courses must be executed in the above materials and have a minimum projection of ¾ inch per element of detail.

**Comments:**

We will Comply. As mentioned above, our windows will have a cast-stone header and sill that will adhere to this requirement.

**c. Roof screening and appurtenances**

CC ITEM # 3, 27, 28, 29, 30

PZ ITEM # 3, 4, 5, 6, 7

1. Roof Projections. No plumbing stacks, venting stacks, skylights, or attic ventilators may penetrate the roof surfaces facing the street/drive. If there are multiple street/drive facing exposures, no roof projection may penetrate the roof slope that slopes to the "fronting" street or drive. All such penetrations must be mounted straight and perpendicular to the ground (except for skylights and attic ventilators) and painted to blend with the roof color. Turbine vents are prohibited. All vent stacks must have lead jacks.

Complies:		
Yes	No	In Spirit
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Comments:**

All our appliances for the residences are electric so there won't be an excessive amount of gas derived penetrations. The majority of roof penetrations will be limited to plumbing stacks and painted to match. We will have ridge vents and no turbines.

2. Roof Mechanical. Roof mechanical must be screened behind a parapet wall or platform that is recessed into a pitched roof so that the incline of the roof slope creates a parapet wall.

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Comments:**

We will comply. Not applicable because mechanical equipment will be at grade. However, where and if we decided to place the mechanical equipment on roof, it will be screened per the above requirement.

3. Gutters, Downspouts, Scuppers and Collection Boxes. These must be copper or an enduring prefinished metal with a minimum 20-gauge thickness. Gutters must be a minimum of 6 inches, half-round profile and attached with gutter straps. Downspouts must be a minimum of 4 inches and round. Elbows and bends must be a minimum of 4 inches, plain and round. Fascia mounted gutter systems are prohibited unless custom designed and integral to the architecture.

Complies:		
Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Comments:**

We will Comply.

**d. Windows and Glazing**

CC ITEM # 3, 27, 28, 29, 30

PZ ITEM # 3, 4, 5, 6, 7

1. Glazing and Glazing Systems. Reflective glass is prohibited. Tinted glass and dark adhesive films where the transmission coefficient exceeds 27% is prohibited. Stained glass is allowed provided that the glass is crafted in accordance with soldered camping or "H" camping. No acrylic or pourable techniques are allowed. Glazing systems may be used in certain accent areas of specifically approved by the City.

Complies:

Yes	No	In Spirit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Comments:**

We will Comply.

**Part D: Landscaping, Fencing and Screening**

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7

**a. Site Landscaping**

1 Leaf Mass Between Buildings. All multifamily development must provide trees between buildings. At least 60% of the planted area must be comprised of over-story (canopy).

Complies:  
Yes      No      In Spirit  
           

**Comments:**

We Comply. We have provided a significant amount of trees between each building and will exceed the requirement as the trees take root and mature.

2. Layered Landscaping at Building Entries. Landscaping must be provided at building entries and must be "layered." The building entry landscaping area must be comprised of at least 3 layers: one upper layer of medium evergreen shrub approximately 30-36 inches high and 2 layers of shorter shrubs or one shrub and an ornamental grass. These must be planted in beds having a minimum width of 72 inches. Upper layer shrubs must be 5-gallon container plants planted 30 inches on center with triangular spacing. Lower layer shrubs may be 3-gallon container plants planted 24 inches on center with triangular spacing.

Complies:  
Yes      No      In Spirit  
           

**Comments:**

We will Comply. The planting areas defined on our landscape plan will allow for the layered look of ground covers and shorter up to large upper layer shrubs. All of our planting beds are at least 72" wide and we will comply with the size and spacing requirements of this section.

**a. Site Landscaping (continued)**

CC ITEM # 3, 27, 28, 29, 30

PZ ITEM # 3, 4, 5, 6, 7

3. All landscape beds must be associated with walkways, roadways, amenity feature, buildings or screens. Floating, ornamental or non-associated landscape beds are prohibited.

Complies:

Yes

No

In Spirit

**Comments:**

We will Comply. All of the proposed landscape planting beds on the site are associated with or adjacent to pedestrian walkways and the buildings. All of our pedestrian walks meander through landscaped open spaces with the beds immediately adjacent to the walkways. The planting areas will be informal and will contain a mix of native and culturally appropriate landscape materials.

4. Plant Sizing. Shrubs that serve a screening function must be sized at the time of planting such that they can serve as an effective screen within 2 years of the planting date. 3-gallon plants must be planted 30 inches on center with triangular spacing and 2-gallon plants must be planted 24 inches on center with triangular spacing. Smaller container and bedding plants must be planted at least 12 inches on center with triangular spacing.

Complies:

Yes

No

In Spirit

**Comments:**

We will Comply. Shrubs used for screening such as along our security fencing and plant material within the planting beds and building entrance areas will comply with the plant sizing requirements.

**b. Fences and Screening Walls**

CC ITEM # 3, 27, 28, 29, 30

PZ ITEM # 3, 4, 5, 6, 7

1. Fence Materials. Visible perimeter fences that are compliant with the General Standards may be made of unit masonry, wrought iron with unit masonry corner columns, or masonry. If masonry, corner column and masonry interim column spacing is not to exceed 15ft and must have a masonry knee wall supporting wood or wrought iron infill.

Complies:  
Yes      No      In Spirit  
           

**Comments:**

We will Comply. Our fencing has been designed to comply with these requirements.

2. Gate Materials. Gates in fences constructed in accordance with Db1 above may be made from wrought iron with a wrought iron frame (complying with General Standards) or wood with frame members measuring a minimum of 1 and 1/2 inches thick by 3 and 1/2 inches wide and planks measuring at least 1 and 1/2 inches thick. Gates must be comprised of the same material as the fence.

Complies:  
Yes      No      In Spirit  
           

**Comments:**

We will Comply.

**b. Fences and Screening Walls (continued)**

CC ITEM # 3, 27, 28, 29, 30

PZ ITEM # 3, 4, 5, 6, 7

3. Corner Expression of Support Structure. All property corners of a property line fence much be supported by a masonry column that is at least 10 square inches.

Complies:

Yes

No

In Spirit

**Comments:**

We will Comply.

4. Thin wall construction, cast or embossed concrete walls, picket materials not in compliance with the General Standards, iron fences with mechanical connection assemblies, pre-fabricated decorative elements designed to slip over stock or tubular steel shapes, and plastic or vinyl fence component systems are prohibited.

Complies:

Yes

No

In Spirit

**Comments:**

We will Comply.

**c. Street Visible Wrought Iron**

CC ITEM # 3, 27, 28, 29, 30

PZ ITEM # 3, 4, 5, 6, 7

1. Frames and other structural support members may not be less than 1 and  $\frac{3}{4}$  inches in either width measurement or 1 and  $\frac{3}{4}$  inches in diameter if round.

Complies:  
Yes      No      In Spirit  
           

**Comments:**

We will Comply.

2. Pickets that are 5ft in length or height or less must have a minimum width of  $\frac{3}{4}$  inches in either width dimension or diameter. When pickets are longer or taller than 5ft, the minimum width dimension is increased to 1 inch in the dimension that faces the street or 1 inch in diameter.

Complies:  
Yes      No      In Spirit  
           

**Comments:**

We will Comply.

3. Panels must be made of metal plate material with a minimum thickness of  $\frac{3}{16}$  inches.

Complies:  
Yes      No      In Spirit  
           

**Comments:**

We will Comply.

**CONTINUED ON THE NEXT PAGE**

**c. Street Visible Wrought Iron (continued)**

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7

4. The wall thickness of any tubular steel must not be less than 3/32 inches.

Complies:  
Yes      No      In Spirit  
           

**Comments:**

We will Comply.

5. Decorative elements such as finials and rings must be made of solid stock material and welded to the pickets or to the frame made from the pickets if the pickets are solid stock material. Attachments to the pickets or frame and all other components of the wrought iron construction must be welded. Mechanical connections are prohibited.

Complies:  
Yes      No      In Spirit  
           

**Comments:**

We will comply if applicable.

ORDINANCE NO. 2018-019

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS GRANTING ZONING CHANGE Z18-01 ON A TRACT OF LAND OUT OF THE GREEN W. MINTER SURVEY, ABSTRACT 1083 (101 EAST GLADE ROAD), DESCRIBED AS BEING A TRACT OF LAND LYING AND BEING SITUATED IN THE CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS MORE FULLY AND COMPLETELY DESCRIBED IN THE BODY OF THIS ORDINANCE; ORDERING A CHANGE IN THE USE OF SAID PROPERTY FROM "LI" LIGHT INDUSTRIAL DISTRICT AND "PCD" PLANNED COMMERCE DEVELOPMENT DISTRICT TO "R-MF" MULTI-FAMILY DISTRICT; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND A ZONING CHANGE AND AMENDMENT THEREIN MADE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, applications were made to amend the Official Zoning Map, City of Grapevine, Texas by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas as required by State statutes and the zoning ordinances of the City of Grapevine, Texas and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas at a public hearing called by the City Council did consider the following factors in making a determination as to whether these requested changes should be granted or denied; safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control, protection of adjacent property from flood or water damages, noise producing elements and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood, location, lighting and types of signs and relation of signs to traffic control and adjacent property, street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood, adequacy of parking as determined by requirements of this ordinance for off-street parking facilities, location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust, effect on the

promotion of health and the general welfare, effect on light and air, the effect on the transportation, water sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas at a public hearing called by the City Council of the City of Grapevine, Texas did consider the following factors in making a determination as to whether this requested change should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, the effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, the City Council further considered among other things the character of the district and its peculiar suitability for particular uses and with the view to conserve the value of buildings, encourage the most appropriate use of land throughout this city; and

WHEREAS, the City Council of the City of Grapevine, Texas does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and does find that the change in zoning lessens the congestion in the streets, helps secure safety from fire, panic and other dangers; promotes health and the general welfare; provides adequate light and air; prevents the overcrowding of land; avoids undue concentration of population; facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas has determined that there is a necessity and need for this change in zoning and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified; and, therefore, feels that a change in zoning classification for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas and helps promote the general health, safety, and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City of Grapevine Ordinance No. 82-73, being the Comprehensive Zoning Ordinance of the City of Grapevine, Texas same being also known as Appendix "D" of the City Code of Grapevine, Texas, be, and the same is hereby amended and changed by Zoning Application Z18-01 to rezone the following described property to-wit: being a 20.407 acre tract of land out of the Green W. Minter Survey, Abstract 1083, Tarrant County, Texas being Lot 1, Block A, Glade 360 Addition (101 East Glade Road), more fully and completely described in Exhibit "A", attached hereto and

made a part hereof, which was previously zoned "LI" Light Industrial District and "PCD" Planned Commerce Development District, respectively, is hereby changed to "R-MF" Multi-Family District, all in accordance with Comprehensive Zoning Ordinance No. 82-73, as amended.

Section 2. The City Manager is hereby directed to correct the official zoning map of the City of Grapevine, Texas to reflect the herein change in zoning.

Section 3. That in all other respects, the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinances and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future, to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed two thousand dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety

and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of February, 2018.

APPROVED:

\_\_\_\_\_  
William D. Tate  
Mayor

ATTEST:

\_\_\_\_\_  
Tara Brooks  
City Secretary

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

ORDINANCE NO. 2018-020

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS ISSUING CONDITIONAL USE PERMIT CU18-02, ALLOWING THE APPLICANT TO EXCEED THE HEIGHT REGULATIONS, VARY FROM PARKING REQUIREMENTS, AND ALLOW FOR A REDUCTION IN THE FRONT YARD SETBACK IN A DISTRICT ZONED "R-MF" MULTI-FAMILY DISTRICT FOR LOT 1, BLOCK A, GLADE 360 ADDITION (101 EAST GLADE ROAD) ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust;

effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit No. CU18-02 to allow the applicant to exceed the height regulations, vary from the parking requirements, and allow for a reduction in the front yard setback, in a district zoned "R-MF" Multi-Family District Regulations within the following described property: Lots 1, Block A, Glade 360 Addition (101 East Glade Road) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not

to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of February, 2018.

APPROVED:

\_\_\_\_\_  
William D. Tate  
Mayor

ATTEST:

\_\_\_\_\_  
Tara Brooks  
City Secretary

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

ORDINANCE NO. 2018-021

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS GRANTING A PLANNED DEVELOPMENT OVERLAY PD18-01 TO DEVIATE FROM, BUT NOT BE LIMITED TO, THE BUILDING SEPARATION REQUIREMENTS RELATIVE TO THE "R-MF" MULTIFAMILY DISTRICT FOR LOT 1, BLOCK A, GLADE 360 ADDITION (101 EAST GLADE ROAD) ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS PLANNED DEVELOPMENT OVERLAY PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a planned development overlay by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested planned development overlay should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the

overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested planned development overlay should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 41 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this planned development overlay, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the planned development overlay lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this planned development overlay and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this planned development overlay for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a planned development overlay in accordance with Section 41 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Planned Development Overlay PD18-01 to deviate from, but not be limited to, the building separation requirements relative to the "R-MF" Multifamily District within the following described property: Lot 1, Block A, Glade 360 Addition (101 East Glade Road) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein planned development overlay.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safely from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to

exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of February, 2018.

APPROVED:

\_\_\_\_\_  
William D. Tate  
Mayor

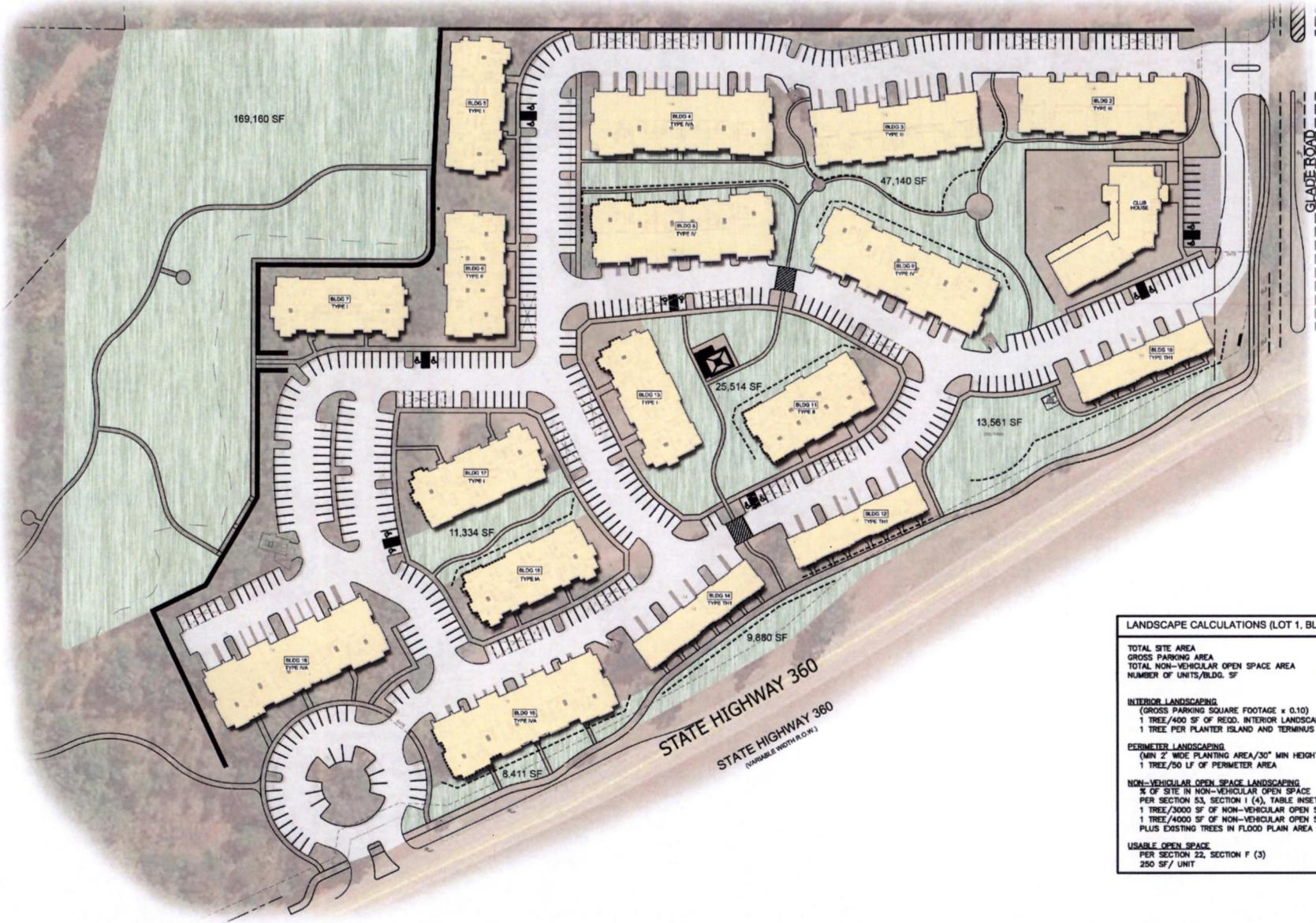
ATTEST:

\_\_\_\_\_  
Tara Brooks  
City Secretary

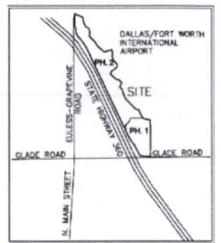
APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

CC ITEM # 3, 27, 28, 29, 30  
 PZ ITEM # 3, 4, 5, 6, 7



SITE OPEN SPACE (GROSS AREA)
   
 USABLE OPEN SPACE



LOCATION MAP (NOT TO SCALE)

LANDSCAPE CALCULATIONS (LOT 1, BLOCK A)		888,946 SQUARE FEET 20.407 ACRES
TOTAL SITE AREA	888,946 SF	(20.407 ACRES)
GROSS PARKING AREA	220,994 SF	24.86% OF SITE
TOTAL NON-VEHICULAR OPEN SPACE AREA	492,574 SF	55.41% OF SITE
NUMBER OF UNITS/BLDG. SF	399 / 175,378 SF	19.73% OF SITE
<b>INTERIOR LANDSCAPING</b>		
(GROSS PARKING SQUARE FOOTAGE x 0.10)	22,099 SF	44,395 SF
1 TREE/400 SF OF RECD. INTERIOR LANDSCAPE	56 TREES	73 TREES
1 TREE PER PLANTER ISLAND AND TERMINUS	YES	YES
<b>PERIMETER LANDSCAPING</b>		
(MIN 2' WIDE PLANTING AREA/30" MIN HEIGHT)	YES	YES
1 TREE/50 LF OF PERIMETER AREA	YES	YES
<b>NON-VEHICULAR OPEN SPACE LANDSCAPING</b>		
% OF SITE IN NON-VEHICULAR OPEN SPACE		
PER SECTION 53, SECTION I (4), TABLE INSET		
1 TREE/3000 SF OF NON-VEHICULAR OPEN SPACE	165	181
1 TREE/4000 SF OF NON-VEHICULAR OPEN SPACE PLUS EXISTING TREES IN FLOOD PLAIN AREA		YES
<b>USABLE OPEN SPACE</b>		
PER SECTION 22, SECTION F (3)	99,750 SF	285,000 SF
250 SF/ UNIT		(32.06%)



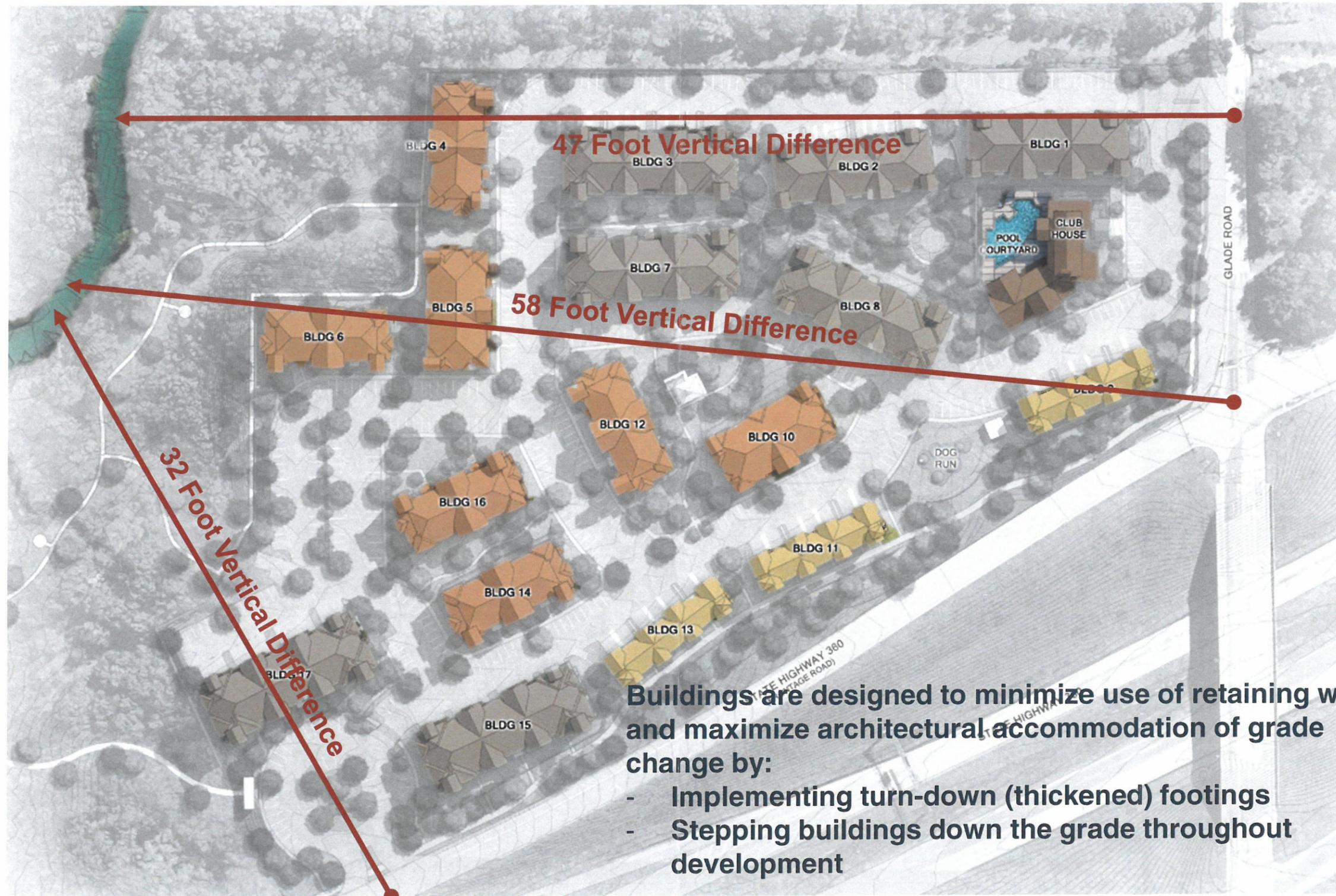
# GREYSTAR - THE PRESERVE

OPEN SPACE EXHIBIT 1 **JBI PARTNERS**  
 Grapevine, Texas

# District Design Standards - Exhibits



# District Standard #1 – Architectural Accommodation of Grade Change



Buildings are designed to minimize use of retaining walls and maximize architectural accommodation of grade change by:

- Implementing turn-down (thickened) footings
- Stepping buildings down the grade throughout development

# District Standard #2- Pedestrian Connections



# District Standard #2 – Pedestrian Connections

(10' Wide Concrete Public Hike & Bike Trail)

Public Trailhead & Parking



# District Standard #2 – Pedestrian Connections

(10' Wide Concrete Public Hike & Bike Trail)



**Public Trailhead/Trail  
with Nature Placards  
and Fitness Stations**

# District Standard #3 – Preserve & Restore Natural Mosaic

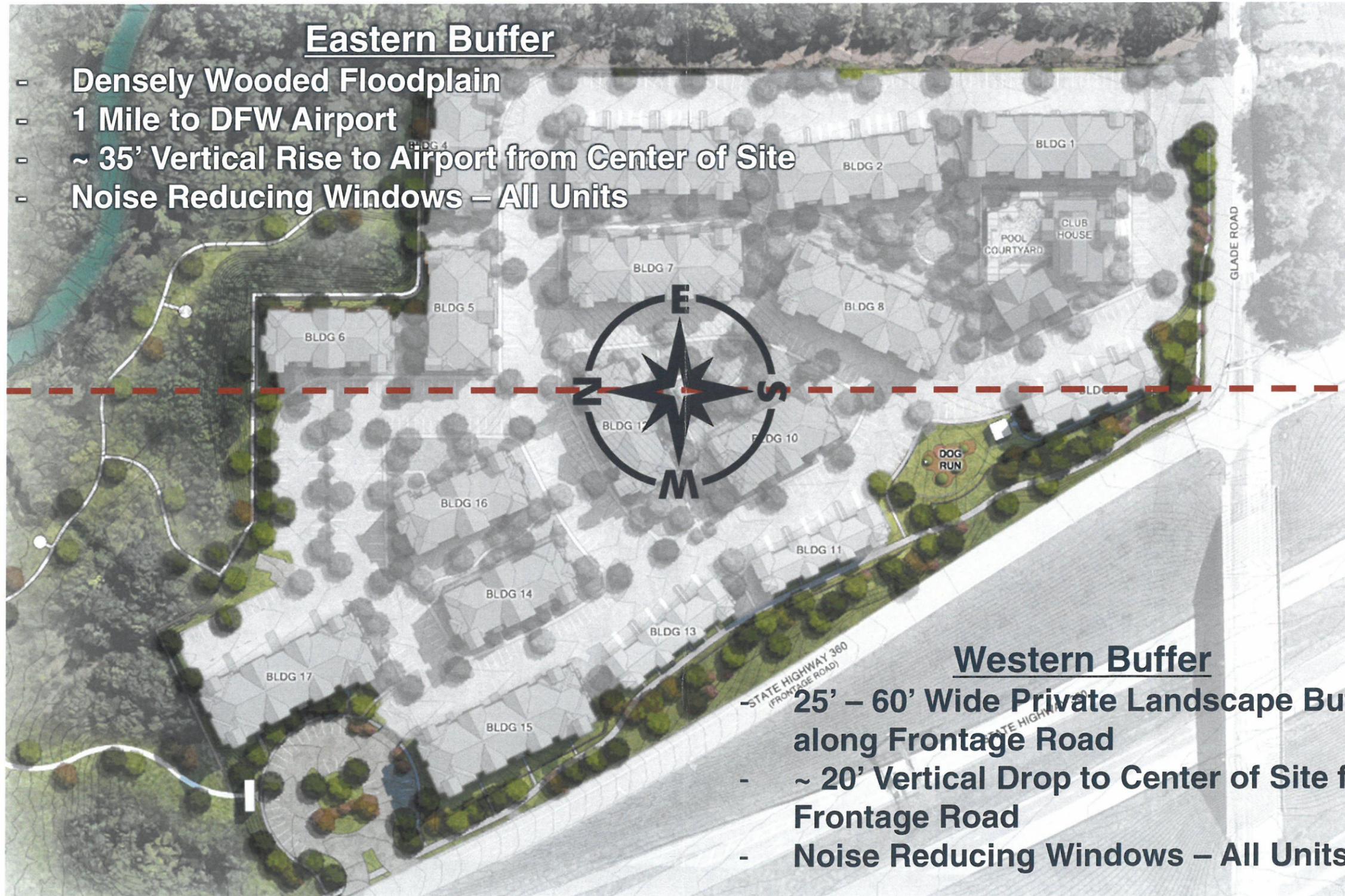


**Restorative  
Landscape Design**

**4+ Acre Nature  
Preserve**

**Area to be disturbed**

# District Standard #5 – Buffer



## Eastern Buffer

- Densely Wooded Floodplain
- 1 Mile to DFW Airport
- ~ 35' Vertical Rise to Airport from Center of Site
- Noise Reducing Windows – All Units

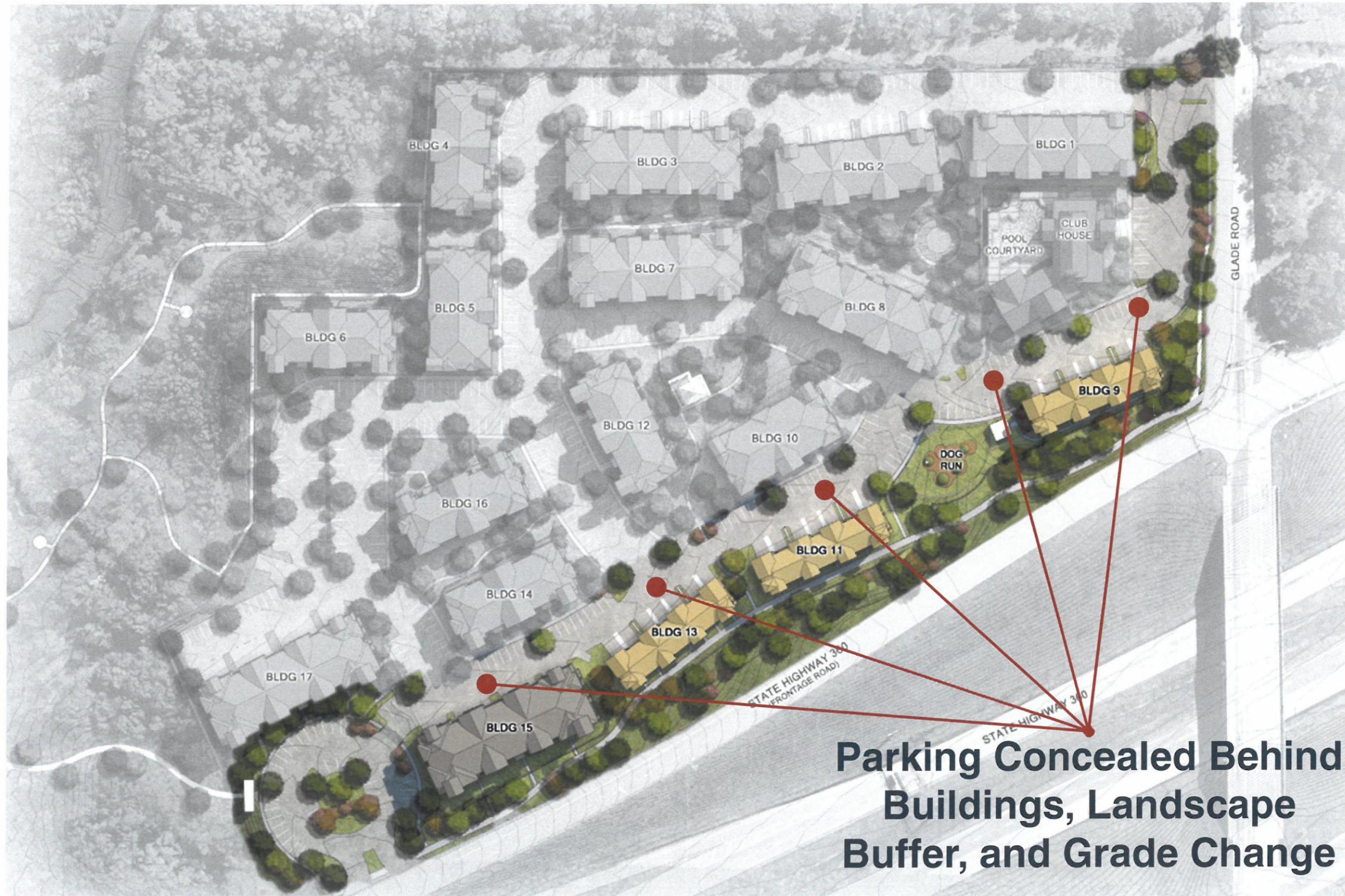
## Western Buffer

- 25' – 60' Wide Private Landscape Buffer along Frontage Road
- ~ 20' Vertical Drop to Center of Site from Frontage Road
- Noise Reducing Windows – All Units

# District Standard #13 – Curvilinear Organization



# District Standard #14 – Parking Concealment



**Parking Concealed Behind Buildings, Landscape Buffer, and Grade Change**

## District Standard #22 – “Borrowed Landscape” (Parkway)



**25' – 60' Wide “Borrowed Landscape” (Parkway) for Street Enhancement (Between Property Line and Building Façade)**

# General Standard – Internal Destinations



## District Standard #12 - Resort/Lodge Derived Styling Forms

Large Roof Overhangs

Timber Frame Accents

Metal Awnings

Structural Bracing



80% Stone

Architecturally Enclosed Balconies

Tapered Stone Columns

# General Standard – Internal Destinations

Club Amenity & Grand Courtyard

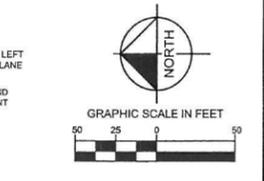
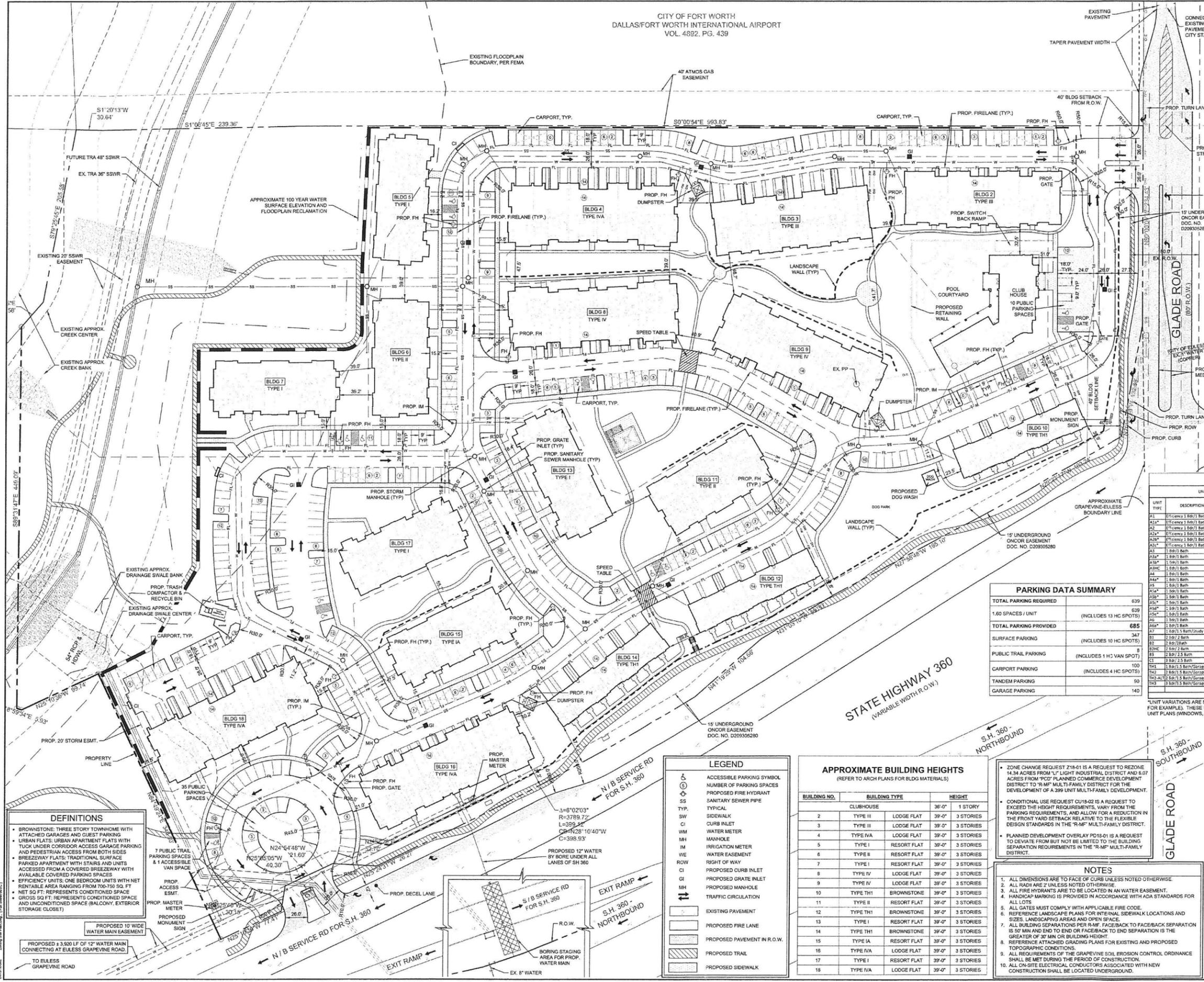


# General Standard – Internal Destinations





CITY OF FORT WORTH  
 DALLAS/FORT WORTH INTERNATIONAL AIRPORT  
 VOL. 4892, PG. 439



**SITE DATA SUMMARY**

CURRENT ZONING	LI
PROPOSED ZONING	R-MF
TOTAL LOT AREA (MIN 2 ACRES)	(888,945 S.F.) 20.41 AC.
TOTAL BUILDING AREA	(175,337 S.F.) 4.03 AC.
FLOOR AREA RATIO (TOTAL BUILDING AREA/TOTAL LOT AREA = MAX 50%)	20%
TOTAL IMPERVIOUS AREA (MAX 75%)	(427,538 S.F.) 9.81 AC.
TOTAL OPEN SPACE (MIN 20%)	(461,407 S.F.) 10.60 AC.
TOTAL BUILDING AND PAVED AREAS	(427,538 S.F.) 9.81 AC.
TOTAL NUMBER OF UNITS	399 UNITS
TOTAL NUMBER OF BEDROOMS	565 BEDROOMS
UNIT DENSITY	19.55 UNITS/ACRE

**UNIT MATRIX**

UNIT TYPE	DESCRIPTION	TOTALS		TOTAL UNITS	%	
		NET	GROSS			
A1*	Efficiency 1 Bdr/1 Bath	705	786	15	10,575	11,790
A2*	Efficiency 2 Bdr/1 Bath	710	771	8	5,680	6,248
A3*	Efficiency 3 Bdr/1 Bath	710	771	4	3,820	3,994
A4*	Efficiency 1 Bdr/1 Bath	710	771	2	2,840	3,294
A5*	Efficiency 2 Bdr/1 Bath	710	771	8	5,680	6,168
A6*	1 Bdr/1 Bath	751	810	26	19,538	21,260
A7*	1 Bdr/1 Bath	751	810	14	10,514	11,340
A8*	1 Bdr/1 Bath	751	810	76	19,126	21,060
A9*	1 Bdr/1 Bath	751	810	6	4,524	4,938
A10*	1 Bdr/1 Bath	839	912	15	13,595	15,080
A11*	1 Bdr/1 Bath	839	912	15	12,845	13,680
A12*	1 Bdr/1 Bath	794	873	8	6,332	6,994
A13*	1 Bdr/1 Bath	805	884	4	3,128	3,336
A14*	1 Bdr/1 Bath	805	884	2	1,610	1,718
A15*	1 Bdr/1 Bath	805	884	4	3,120	3,336
A16*	1 Bdr/1 Bath	854	902	26	22,204	23,952
A17*	1 Bdr/1 Bath	834	902	26	22,274	23,952
A18*	1 Bdr/1.5 Bath/Study	1,020	1,079	20	20,400	21,540
B1	2 Bdr/2 Bath	1,092	1,164	30	33,760	34,920
B2	2 Bdr/2 Bath	1,139	1,192	40	43,160	47,560
B3	2 Bdr/2 Bath	1,131	1,192	2	2,102	2,394
B4	2 Bdr/2.5 Bath	1,268	1,384	30	38,040	41,520
C1	1 Bdr/1.5 Bath	1,360	1,441	30	27,840	28,820
TH1	1 Bdr/1.5 Bath/Garage	1,310	1,520	3	3,300	5,210
TH2	2 Bdr/1.5 Bath/Garage	1,515	1,787	6	9,090	13,122
TH3	TH3-ALT 1.5 Bath/Garage	1,580	2,220	6	9,180	13,720
TH4	TH4-ALT 1.5 Bath/Garage	1,747	2,422	6	10,482	15,720
TOTAL		399	383,858	399	100%	100%

**PARKING DATA SUMMARY**

TOTAL PARKING REQUIRED	639
1.60 SPACES / UNIT (INCLUDES 13 HC SPOTS)	639
TOTAL PARKING PROVIDED	685
SURFACE PARKING (INCLUDES 10 HC SPOTS)	347
PUBLIC TRAIL PARKING (INCLUDES 1 HC VAN SPOT)	8
CARPORIT PARKING (INCLUDES 4 HC SPOTS)	100
TANDEM PARKING	90
GARAGE PARKING	140

**LEGEND**

- ACCESSIBLE PARKING SYMBOL
- NUMBER OF PARKING SPACES
- PROPOSED FIRE HYDRANT
- SANITARY SEWER PIPE
- TYP. TYPICAL
- SW SIDEWALK
- CI CURB INLET
- WM WATER METER
- MH MANHOLE
- IM IRRIGATION METER
- WE WATER EASEMENT
- ROW RIGHT OF WAY
- CI PROPOSED CURB INLET
- CI PROPOSED GRATE INLET
- MH PROPOSED MANHOLE
- TH TRAFFIC CIRCULATION
- EXISTING PAVEMENT
- PROPOSED FIRE LANE
- PROPOSED PAVEMENT IN R.O.W.
- PROPOSED TRAIL
- PROPOSED SIDEWALK

**APPROXIMATE BUILDING HEIGHTS**  
 (REFER TO ARCH PLANS FOR BLDG MATERIALS)

BUILDING NO.	BUILDING TYPE	HEIGHT
2	TYPE III LOUPE FLAT	39'-0" 3 STORIES
3	TYPE III LOUPE FLAT	39'-0" 3 STORIES
4	TYPE IVA LOUPE FLAT	39'-0" 3 STORIES
5	TYPE I RESORT FLAT	39'-0" 3 STORIES
6	TYPE II RESORT FLAT	39'-0" 3 STORIES
7	TYPE I LOUPE FLAT	39'-0" 3 STORIES
8	TYPE IV LOUPE FLAT	39'-0" 3 STORIES
9	TYPE IV LOUPE FLAT	39'-0" 3 STORIES
10	TYPE TH1 BROWNSTONE	39'-0" 3 STORIES
11	TYPE II RESORT FLAT	39'-0" 3 STORIES
12	TYPE TH1 BROWNSTONE	39'-0" 3 STORIES
13	TYPE I RESORT FLAT	39'-0" 3 STORIES
14	TYPE TH1 BROWNSTONE	39'-0" 3 STORIES
15	TYPE IA RESORT FLAT	39'-0" 3 STORIES
16	TYPE IVA LOUPE FLAT	39'-0" 3 STORIES
17	TYPE I RESORT FLAT	39'-0" 3 STORIES
18	TYPE IVA LOUPE FLAT	39'-0" 3 STORIES

ZONE CHANGE REQUEST 218-01 IS A REQUEST TO REZONE 14.34 ACRES FROM "L" LIGHT INDUSTRIAL DISTRICT AND 6.07 ACRES FROM "P" PLANNED COMMERCIAL DEVELOPMENT DISTRICT TO "RM" MULTI-FAMILY DISTRICT FOR THE DEVELOPMENT OF A 399 UNIT MULTI-FAMILY DEVELOPMENT.

CONDITIONAL USE REQUEST C119-02 IS A REQUEST TO EXCEED THE HEIGHT REQUIREMENTS, VARY FROM THE PARKING REQUIREMENTS, AND ALLOW FOR A REDUCTION IN THE FRONT YARD SETBACK RELATIVE TO THE FLEXIBLE DESIGN STANDARDS IN THE "R-MF" MULTI-FAMILY DISTRICT.

PLANNED DEVELOPMENT OVERLAY PD19-01 IS A REQUEST TO DEVIATE FROM BUT NOT BE LIMITED TO THE BUILDING SEPARATION REQUIREMENTS IN THE "R-MF" MULTI-FAMILY DISTRICT.

**NOTES**

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- ALL RADI ARE 2' UNLESS NOTED OTHERWISE.
- ALL FIRE HYDRANTS ARE TO BE LOCATED IN AN WATER EASEMENT.
- HANDICAP MARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS FOR ALL LOTS.
- ALL GATES MUST COMPLY WITH APPLICABLE FIRE CODE.
- REFER TO LANDSCAPING PLANS FOR INTERNAL SIDEWALK LOCATIONS AND SIZES. LANDSCAPING AREAS AND OPEN SPACE.
- ALL BUILDING SEPARATIONS PER R-MF. FACE/BACK TO FACE/BACK SEPARATION IS 5' MIN AND END TO END OR FACE/BACK TO END SEPARATION IS THE GREATER OF 3' MIN OR BUILDING HEIGHT.
- REFER TO ATTACHED GRADING PLANS FOR EXISTING AND PROPOSED TOPOGRAPHIC CONDITIONS.
- ALL REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.
- ALL ON-SITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.

**DEFINITIONS**

- BROWNSTONE: THREE STORY TOWNHOME WITH ATTACHED GARAGES AND GUEST PARKING.
- URBAN FLATS: URBAN APARTMENT FLATS WITH TUCK UNDER CORRIDOR ACCESS GARAGE PARKING AND PEDESTRIAN ACCESS FROM BOTH SIDES.
- BREEZEWAY FLATS: TRADITIONAL SURFACE PARKED APARTMENT WITH STAIRS AND UNITS ACCESSED FROM A COVERED BREEZEWAY WITH AVAILABLE COVERED PARKING SPACES.
- EFFICIENCY UNITS: ONE BEDROOM UNITS WITH NET RENTABLE AREA RANGING FROM 700-750 SQ. FT.
- NET SQ. FT.: REPRESENTS CONDITIONED SPACE AND UNCONDITIONED SPACE (BALCONY, EXTERIOR STORAGE CLOSET).
- GROSS SQ. FT.: REPRESENTS CONDITIONED SPACE AND UNCONDITIONED SPACE (BALCONY, EXTERIOR STORAGE CLOSET).

CASE NAME: THE PRESERVE  
 CASE NUMBER: 218-01, C119-02, PD19-01  
 LOCATION: 101 EAST GLADE ROAD, LOT 1, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

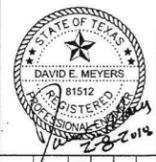
DATE: \_\_\_\_\_

SHEET: 2 OF 35

APPROVAL SHEET NOT AUTHORIZE ANY WORK IN CONFLICT WITH ALL CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES

**Kimley»Horn**

© 2017 KIMLEY-HORN AND ASSOCIATES, INC.  
 13485 NORTH CENTRAL EXPRESSWAY, SUITE 700, DALLAS, TEXAS 75243  
 PHONE: 972-770-1300 FAX: 972-259-3820  
 WWW.KIMLEY-HORN.COM TX F-939

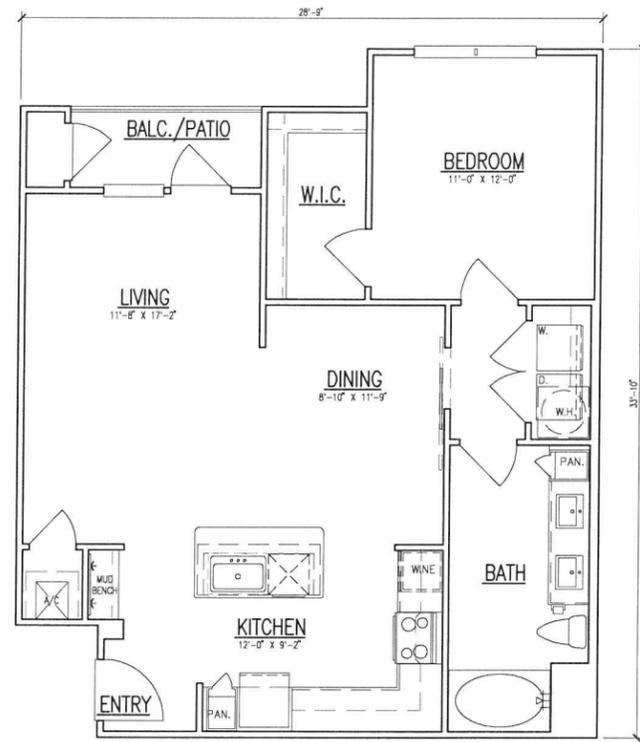


**GREYSTAR - THE PRESERVE**  
 CITY OF GRAPEVINE  
 TARRANT COUNTY, TEXAS

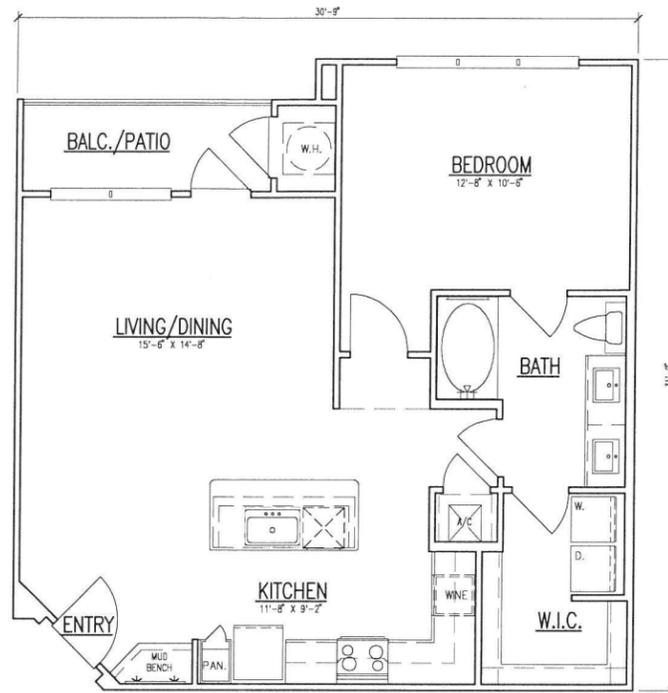
**SITE PLAN**

SHEET NUMBER  
 2

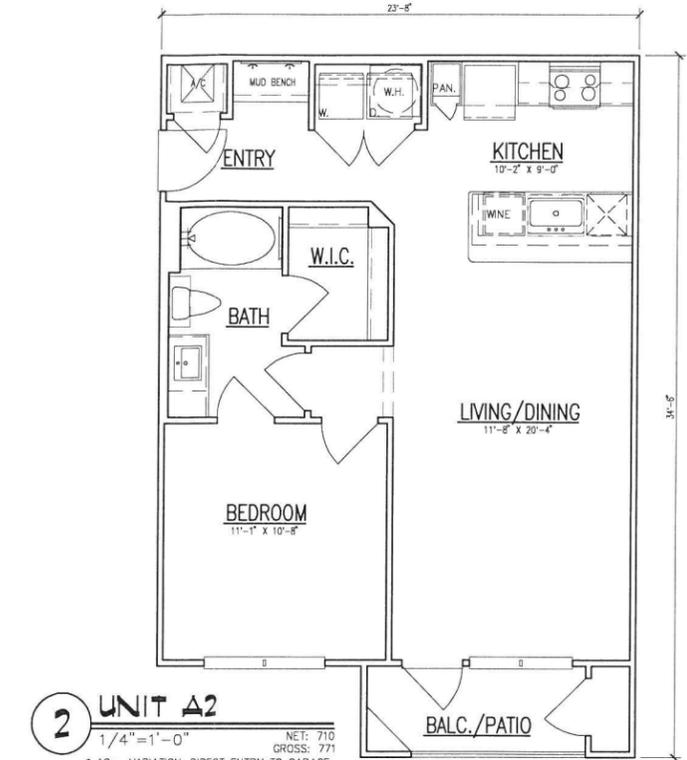
CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7



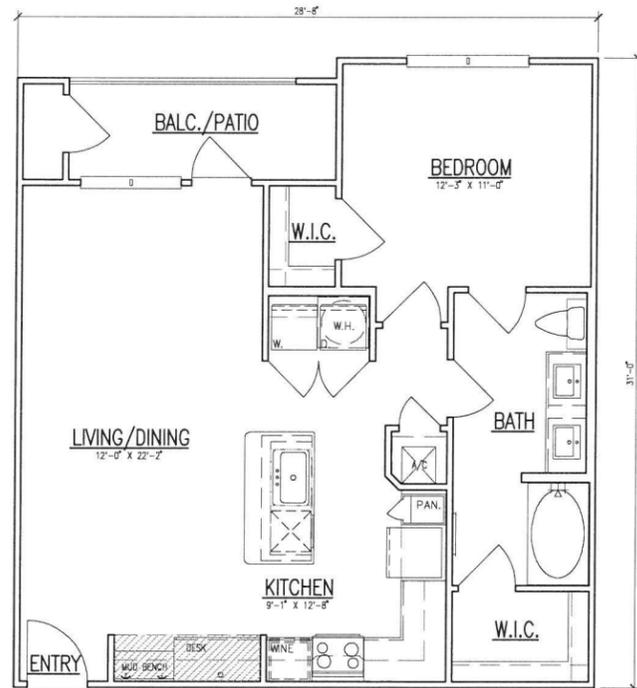
**6 UNIT A6**  
1/4" = 1'-0" NET: 854  
GROSS: 902  
\* A6a: VARIATION-TUB CHANGED TO SHOWER



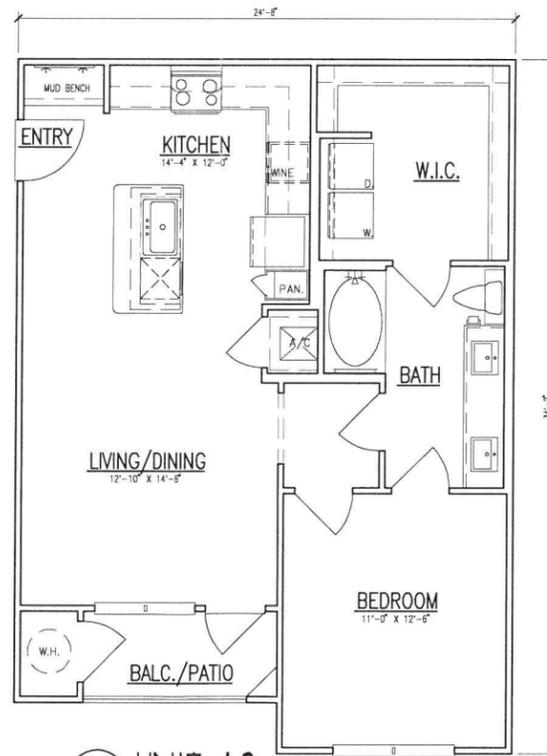
**4 UNIT A4**  
1/4" = 1'-0" NET: 839  
GROSS: 912  
\* A4a: VARIATION-TUB CHANGED TO SHOWER



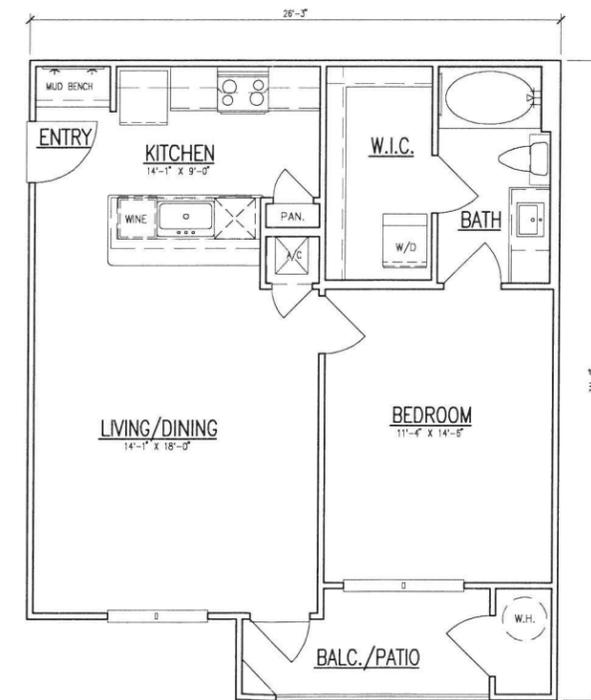
**2 UNIT A2**  
1/4" = 1'-0" NET: 710  
GROSS: 771  
\* A2a: VARIATION-DIRECT ENTRY TO GARAGE  
\* A2b: VARIATION-DIRECT ENTRY TO GARAGE & TUB CHANGED TO SHOWER  
\* A2c: VARIATION-TUB CHANGED TO SHOWER



**5 UNIT A5**  
1/4" = 1'-0" NET: 794  
GROSS: 857  
\* A5a: VARIATION-ENTRY DOOR ADJUSTMENT/OUTSIDE CORNER WINDOW BUMP  
\* A5b: VARIATION-ENTRY DOOR ADJUSTMENT/OUTSIDE CORNER WINDOW BUMP  
\* A5c: VARIATION-TUB CHANGED TO SHOWER  
\* A5d: VARIATION-ENTRY DOOR ADJUSTMENT/OUTSIDE CORNER WINDOW BUMP/TUB CHANGED TO SHOWER  
\* A5e: VARIATION-ENTRY DOOR ADJUSTMENT/OUTSIDE CORNER WINDOW BUMP/TUB CHANGED TO SHOWER



**3 UNIT A3**  
1/4" = 1'-0" NET: 751  
GROSS: 810  
\* A3a: VARIATION-DIRECT ENTRY TO GARAGE & ELONGATED KITCHEN ISLAND  
\* A3b: VARIATION-TUB CHANGED TO SHOWER



**1 UNIT A1**  
1/4" = 1'-0" NET: 705  
GROSS: 786  
\* A1a: VARIATION-TUB CHANGED TO SHOWER



CASE NAME: THE PRESERVE  
CASE NUMBER: 218-01, CU 18-02 AND PD 18-01  
LOCATION: 101 EAST GLADE ROAD  
LOT 1, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 3 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

**UNIT PLAN - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

**Meeks + Partners**  
ARCHITECTURE  
LAND PLANNING  
18000 MEMORIAL DRIVE SUITE #100 - HOUSTON, TX 77079  
281-558-8787 - 281-558-3337 - www.meekspartners.com  
CONCEPTUAL DESIGN

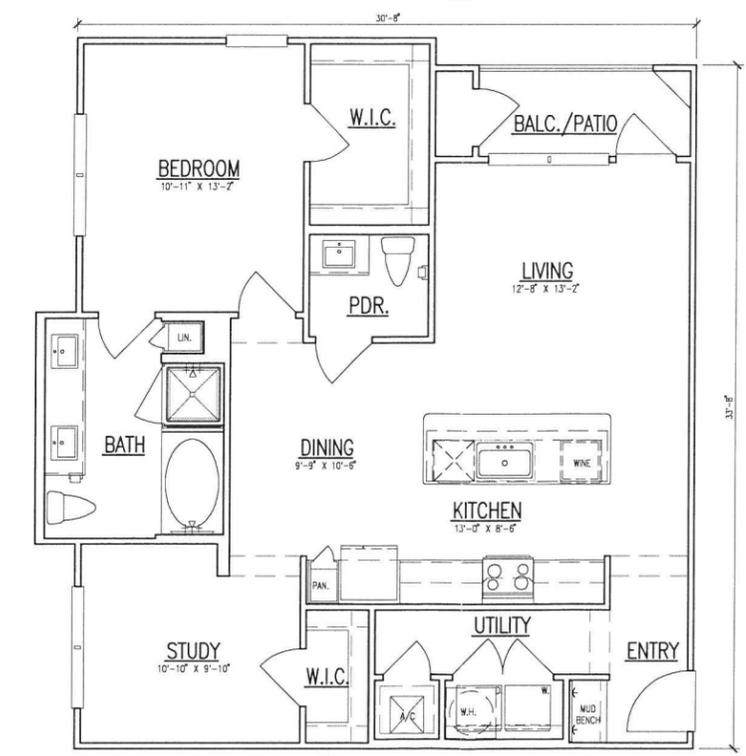
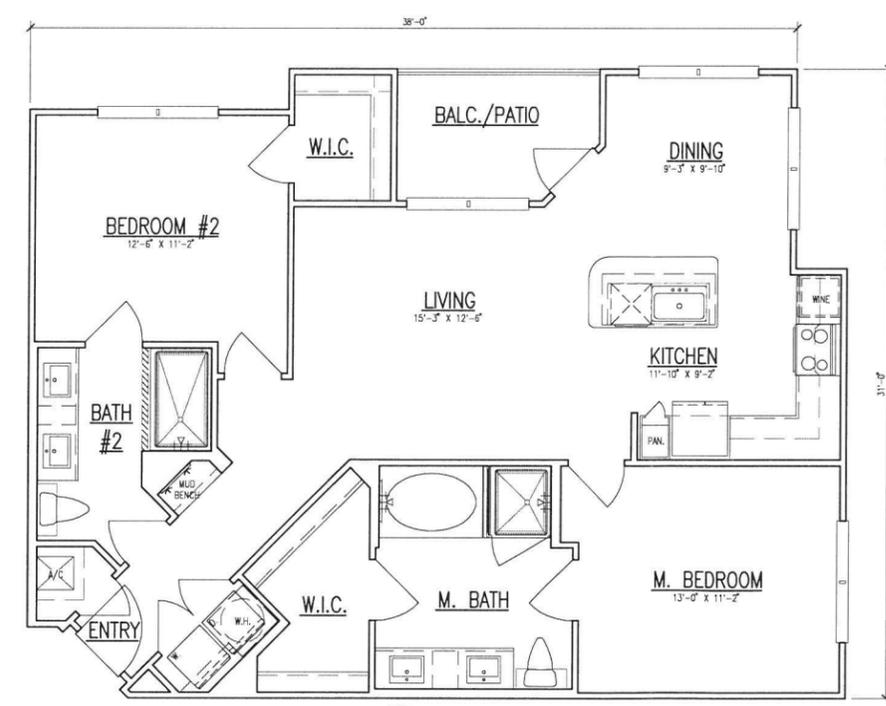
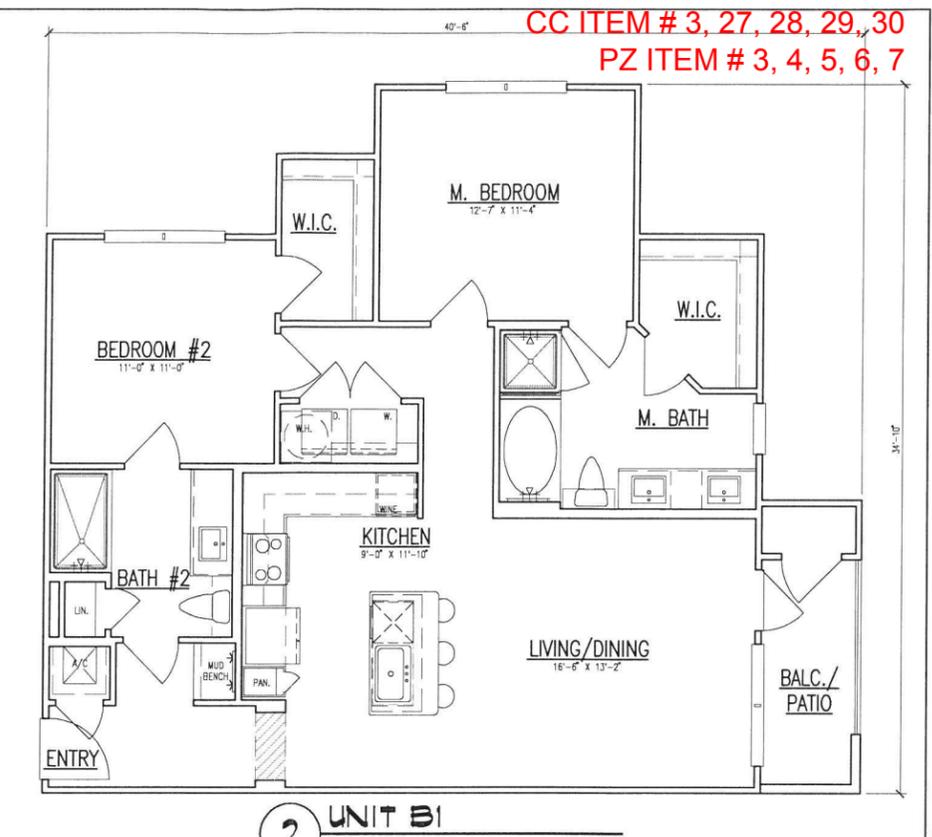
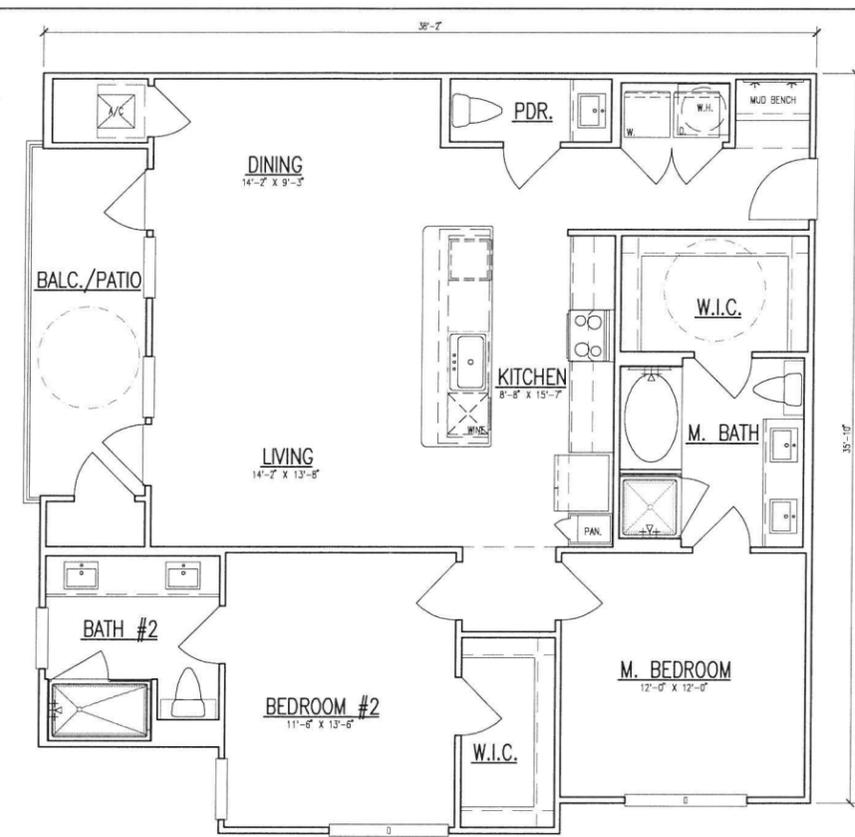


**3**  
JOB NO. 14033

12/22/2017

These are preliminary and are subject to copyright protection in the "Architectural Plans" under Section 132 of the Copyright Act, 17 U.S.C. as amended September 1, 1992, and Section 13 of the Architecture Registration Act of 1982. The protection includes all in not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, with or without reproduction, is strictly prohibited and may result in legal action.

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7



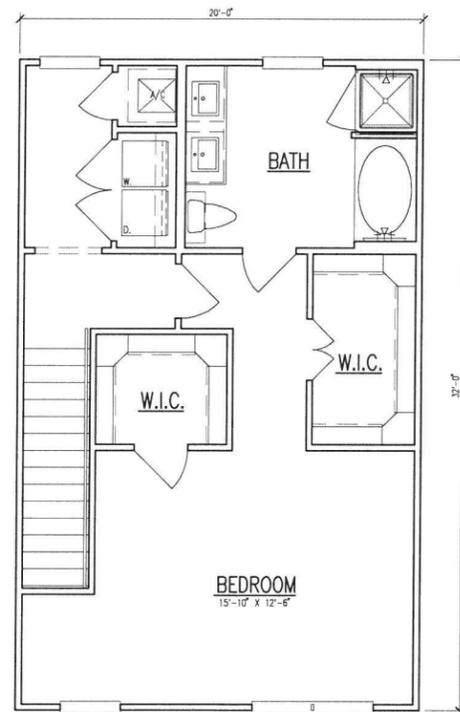
CASE NAME: THE PRESERVE  
CASE NUMBER: Z18-01, CU 18-02 AND PD 18-01  
LOCATION: 101 EAST GLADE ROAD  
LOT 1, BLOCK A, GLADE/300 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

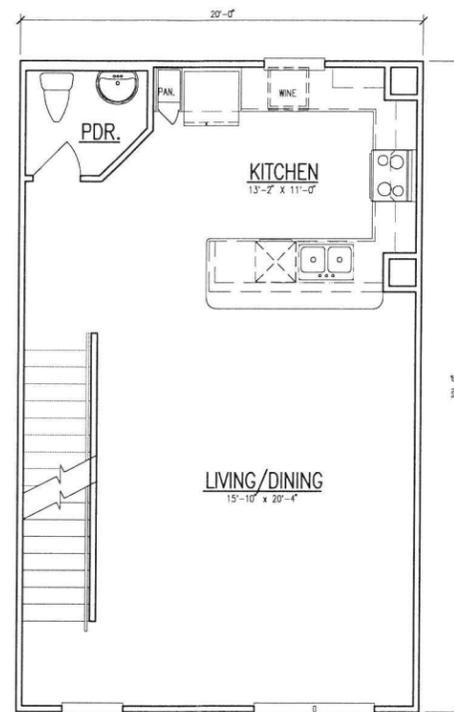
SHEET: 4 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

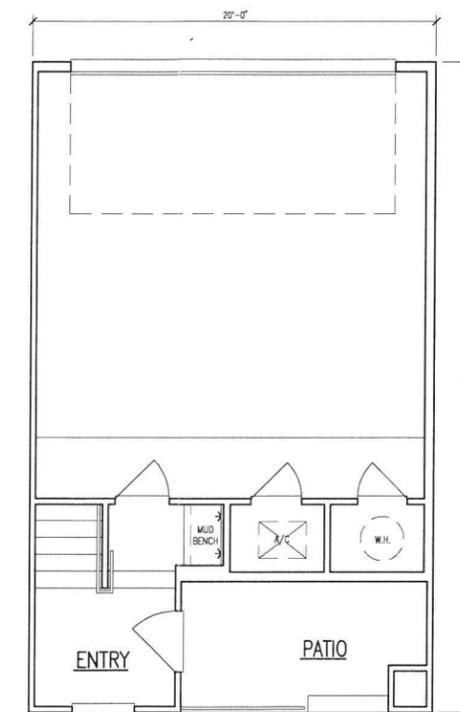
**UNIT PLAN - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP



**3 UNIT TH1 - 3RD FLOOR**  
 1/4" = 1'-0"



**2 UNIT TH1 - 2ND FLOOR**  
 1/4" = 1'-0"



**1 UNIT TH1 - 1ST FLOOR**  
 1/4" = 1'-0"  
 NET: 1,310  
 GROSS: 1,920

CASE NAME: THE PRESERVE  
 CASE NUMBER: Z18-01, CU 18-02 AND PD 18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 5 OF 35

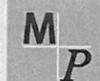
APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
 CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES



12/22/2017

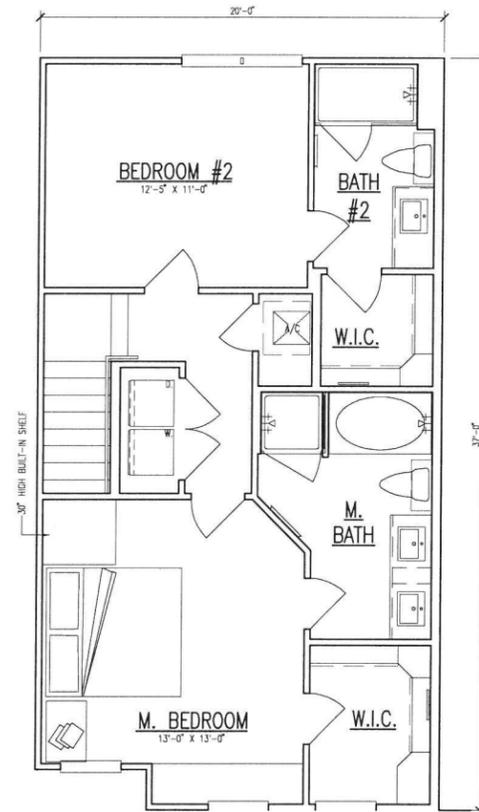
**UNIT PLAN - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

**Meeks + Partners**  
 ARCHITECTURE  
 LAND PLANNING  
 18003 MEMORIAL DRIVE, SUITE 8100 - HOUSTON, TX 77059  
 281-558-8787 - 281-558-3337 www.meekspartners.com  
 CONCEPTUAL DESIGN

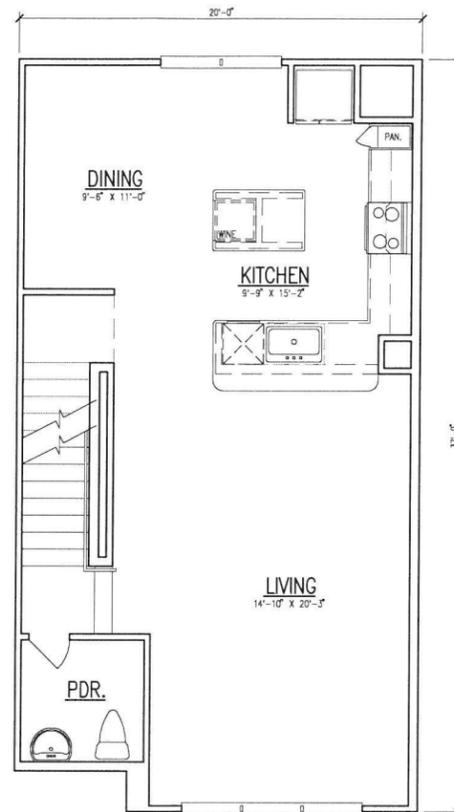


**5**  
 JOB NO. 14033

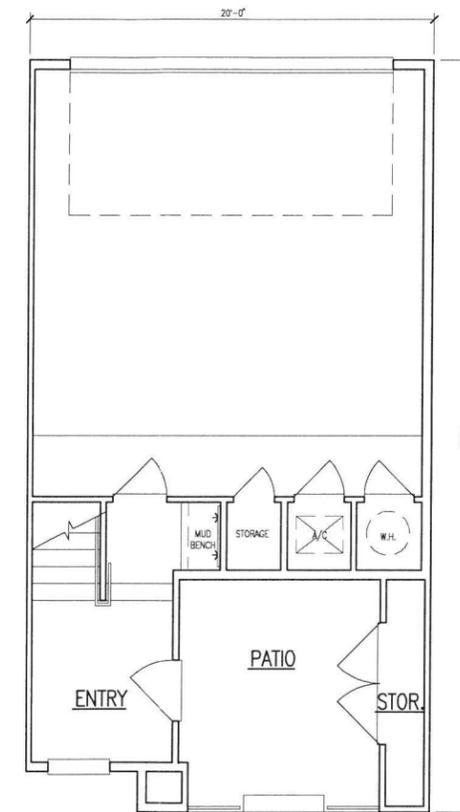
These are preliminary and are subject to copyright protection as in "Architectural Plans" under Section 108 of the Copyright Act of 1976. The protection includes but is not limited to, the overall form as well as the arrangement and composition of lines and elements of the design. Under such protection, unauthorized use of these plans, which or their reproduction or copying, without the written consent of Meeks + Partners, is prohibited. © 2015 MP+P, LLC.



**3 UNIT TH2 - 3RD FLOOR**  
 1/4" = 1'-0"



**2 UNIT TH2 - 2ND FLOOR**  
 1/4" = 1'-0"



**1 UNIT TH2 - 1ST FLOOR**  
 1/4" = 1'-0"  
 NET: 1,515  
 GROSS: 2,187

CASE NAME: THE PRESERVE  
 CASE NUMBER: Z18-01, CU 18-02 AND PD 18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADE/300 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 6 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
 CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES



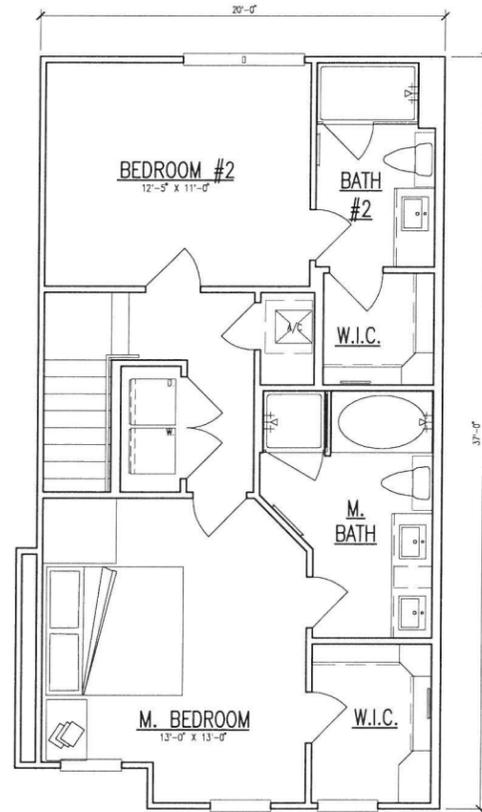
**UNIT PLAN - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

**Meeks + Partners**  
 ARCHITECTURE  
 LAND PLANNING  
 16000 MEMORIAL DRIVE SUITE #100 - HOUSTON, TX 77070  
 281-558-8787 - 281-558-5337 - www.meekspartners.com  
 CONCEPTUAL DESIGN

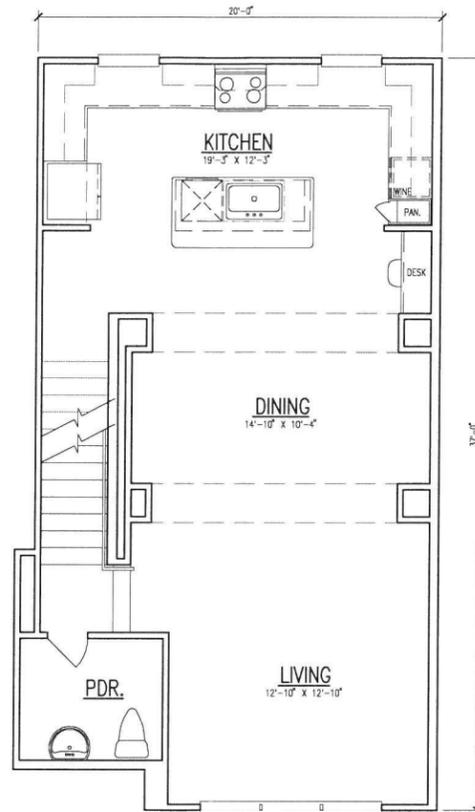
**M P** **6**  
 JOB NO. 14033

12/22/2017

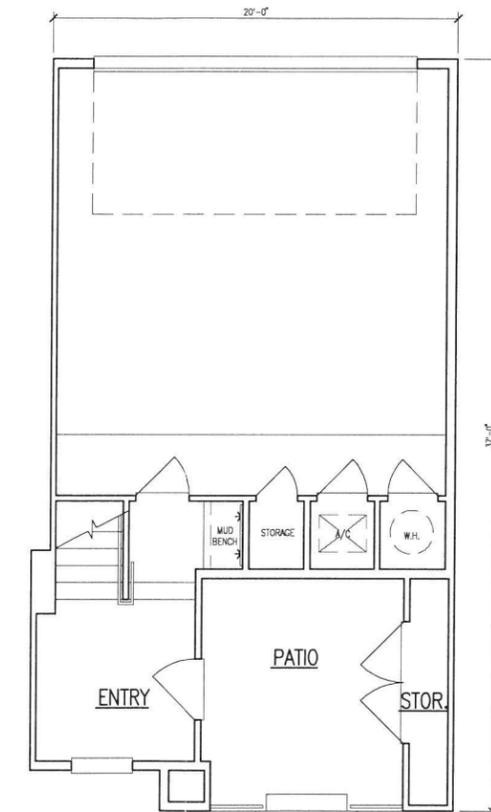
These are copyright and are subject to copyright protection as an "architectural work" under Section 102 of the Copyright Act, 17 U.S.C. as amended (hereinafter "17 U.S.C.") and Section 101 of the Copyright Act, 17 U.S.C. as amended (hereinafter "17 U.S.C."). The protection provided by 17 U.S.C. does not extend to the arrangement and composition of words and numbers of the design. Under such protection, unauthorized use of these plans, work, or forms prepared or adapted by the architect or other person, without the written consent of the architect, is prohibited.



**3 UNIT TH2A - 3RD FLOOR**  
1/4" = 1'-0"



**2 UNIT TH2A - 2ND FLOOR**  
1/4" = 1'-0"



**1 UNIT TH2A - 1ST FLOOR**  
1/4" = 1'-0"  
NET: 1,530  
GROSS: 2,220

CASE NAME: THE PRESERVE  
CASE NUMBER: Z18-01, CJ 18-02 AND PD 18-01  
LOCATION: 101 EAST GLADE ROAD  
LOT 1, BLOCK A, GLADE/300 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 7 OF 35  
APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES



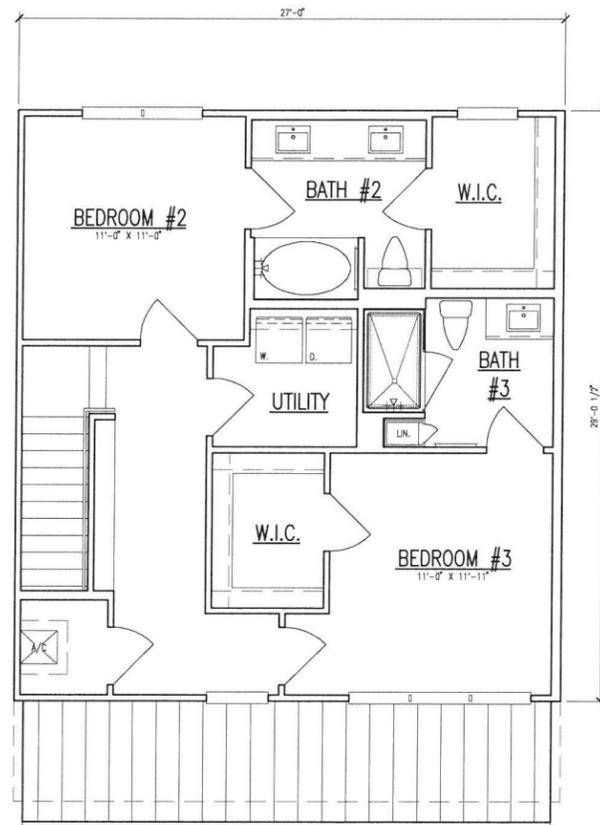
**UNIT PLAN - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

**Meeks + Partners**  
ARCHITECTURE  
LAND PLANNING  
16202 MEMORIAL DRIVE SUITE #100 - HOUSTON, TX 77073  
281-558-0787 - 281-558-5337 - www.meekspartners.com  
CONCEPTUAL DESIGN

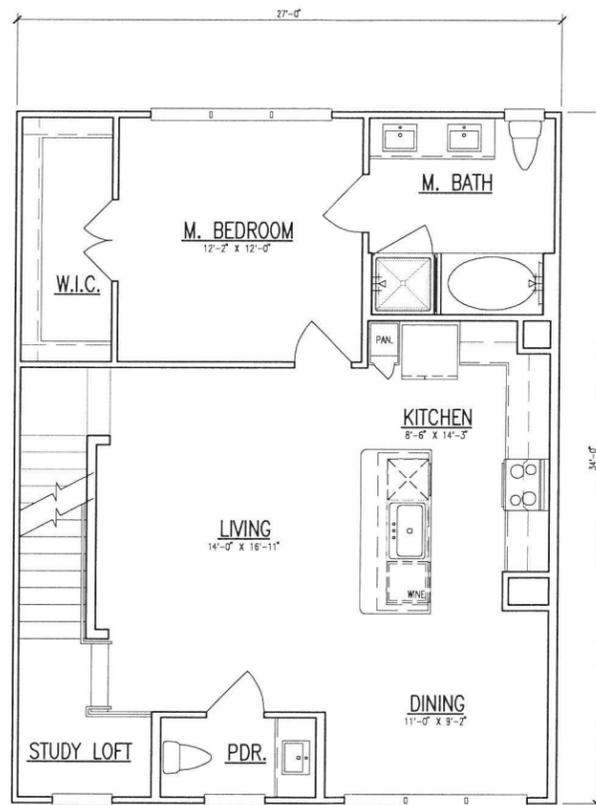
**M P**  
**7**  
JOB NO. 14033

12/22/2017

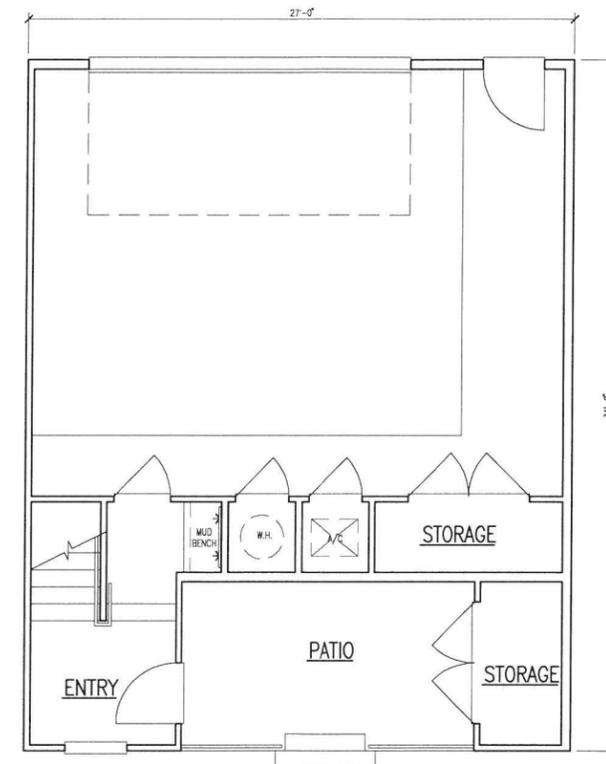
These are preliminary and are subject to copyright protection as set forth in the Copyright Act, 17 U.S.C. as amended Sections 1, 106, and 107, and known as the Architectural Works Protection Act of 1990. The protection herein is not limited to the overall form or use of the arrangement and disposition of matters and elements of the design. Color, shading, and other matters of such nature as to be considered as being part of the design are hereby represented as being part of the design.



**3 UNIT TH3 - 3RD FLOOR**  
 1/4" = 1'-0"



**2 UNIT TH3 - 2ND FLOOR**  
 1/4" = 1'-0"



**1 UNIT TH3 - 1ST FLOOR**  
 1/4" = 1'-0" NET: 1,747  
 GROSS: 2,620

CASE NAME: THE PRESERVE  
 CASE NUMBER: 218-01, CU 18-02 AND PD 18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 8 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
 CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES



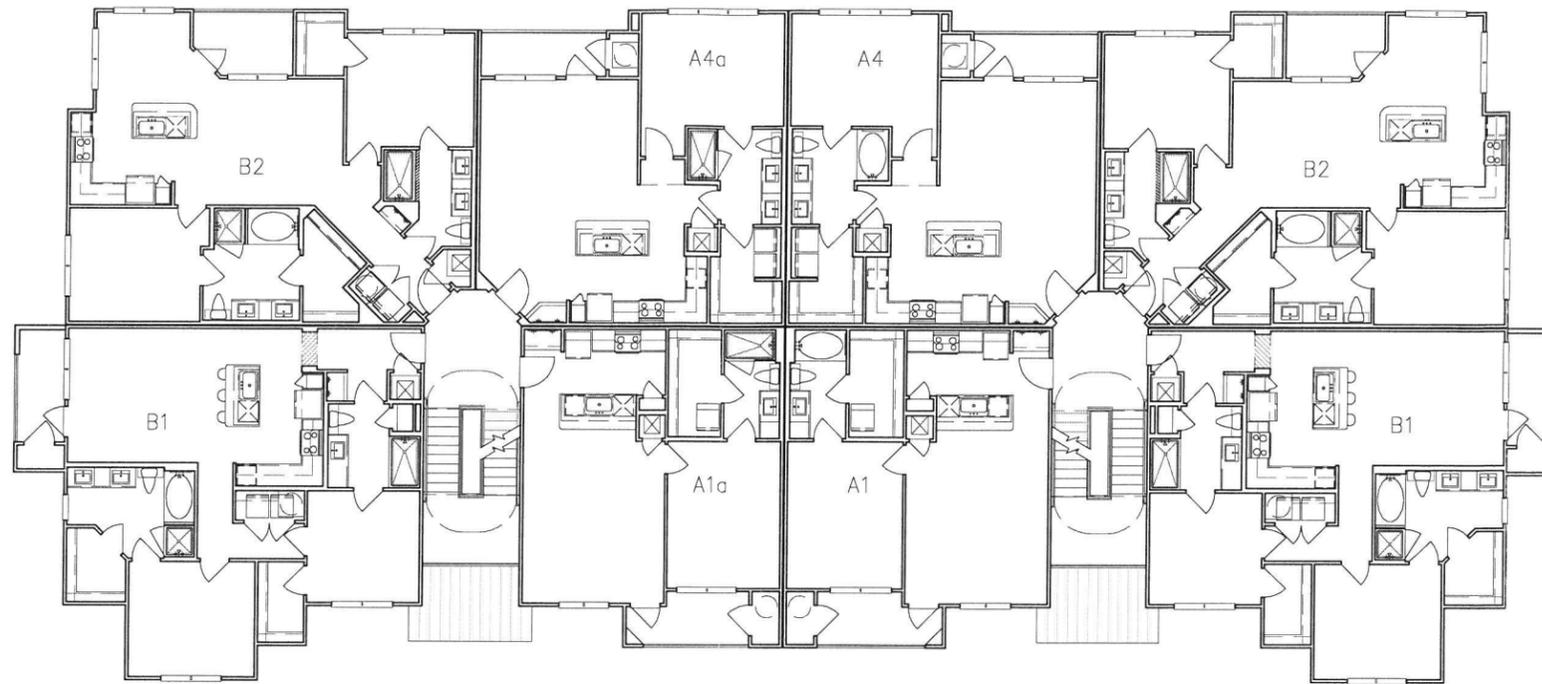
**UNIT PLAN - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

**Meeks + Partners**  
 ARCHITECTURE  
 LAND PLANNING  
 19003 MEMORIAL DRIVE SUITE 8100 - HOUSTON, TX 77079  
 281-555-6787 - 281-555-5337 - www.meekspartners.com  
 CONCEPTUAL DESIGN

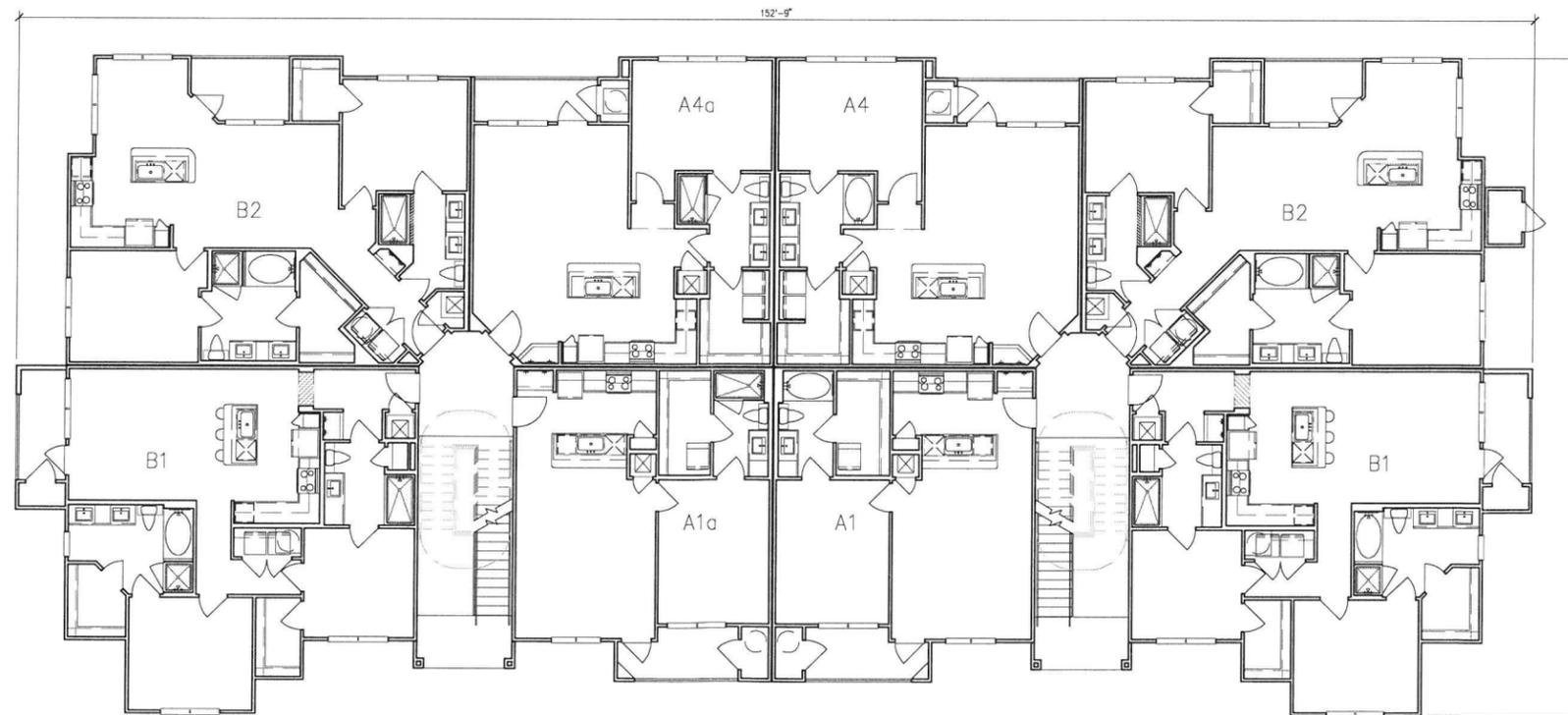
**M P**  
**8**  
 JOB NO. 14033

12/22/2017

These are preliminary and are subject to copyright protection in accordance with the Copyright Act, 17 U.S.C. §§ 101-108, and the Architectural Works Copyright Act of 1990, and herein we the undersigned do hereby certify that the drawings are the original work of the undersigned and that the drawings are the original work of the undersigned and that the drawings are the original work of the undersigned and that the drawings are the original work of the undersigned.



**2 BUILDING TYPE I - LEVEL 2**  
 1/8"=1'-0"



**1 BUILDING TYPE I - LEVEL 1**  
 1/8"=1'-0"

CASE NAME: THE PRESERVE  
 CASE NUMBER: Z18-01, CU 18-02 AND PD 18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADE/960 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 9 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
 CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES



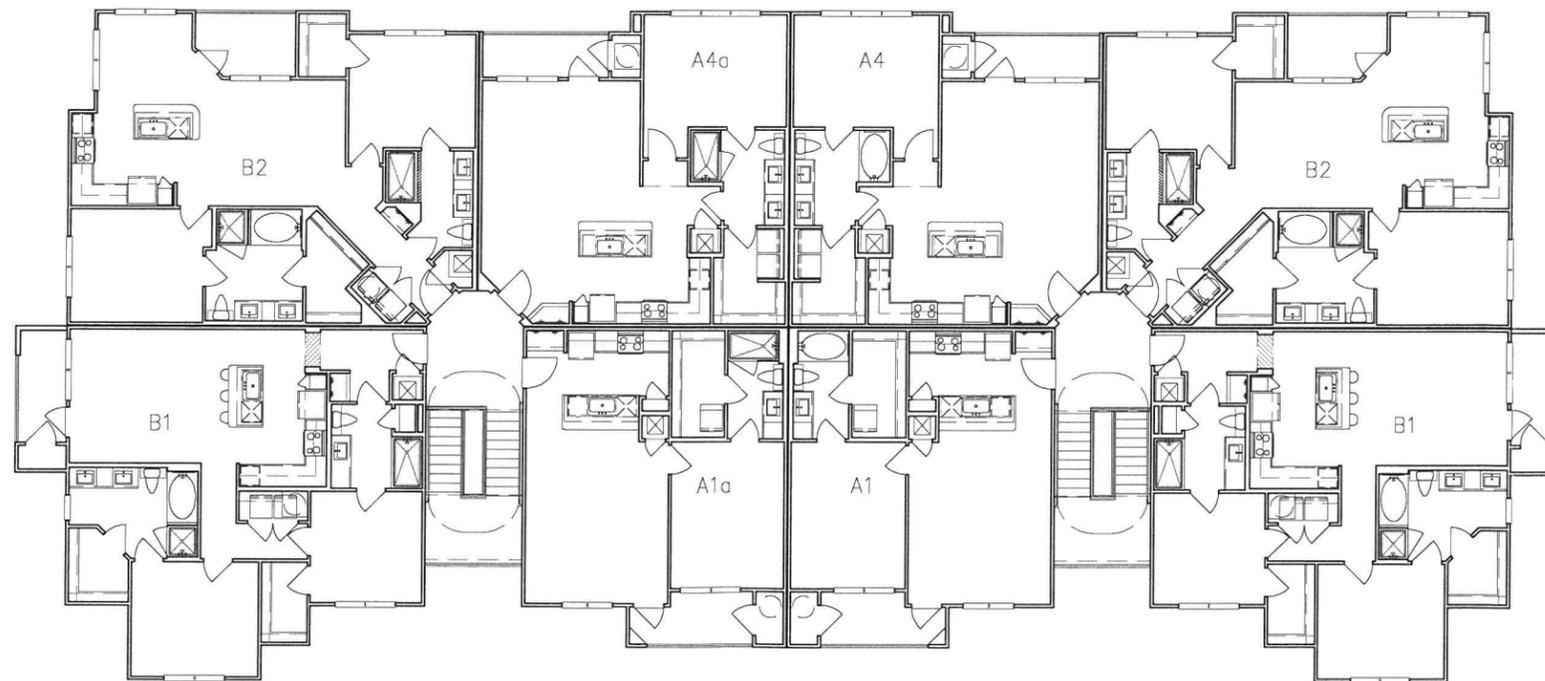
**BUILDING PLAN - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

**Meeks + Partners**  
 ARCHITECTURE  
 LAND PLANNING  
 18000 MEMORIAL DRIVE SUITE #100 - HOUSTON, TX 77029  
 281-558-6767 - 281-558-3337 - www.meekspartners.com  
 CONCEPTUAL DESIGN



These are preliminary and are subject to copyright protection. All rights reserved. Meeks + Partners, Inc. is a registered professional architectural firm in the State of Texas. The professional seal and signature of the architect are required for all drawings. The professional seal and signature of the architect are required for all drawings. The professional seal and signature of the architect are required for all drawings.

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7



1 BUILDING TYPE I - LEVEL 3  
1/8" = 1'-0"

**BUILDING PLAN - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP



CASE NAME: THE PRESERVE  
CASE NUMBER: Z18-01, CU 18-02 AND PD 18-01  
LOCATION: 101 EAST GLADE ROAD  
LOT 1, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 10 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

**Meeks + Partners**  
ARCHITECTURE  
LAND PLANNING  
18000 MEMORIAL DRIVE SUITE #100 - HOUSTON, TX 77070  
281-558-4787 - 281-558-3337 - www.meekspartners.com  
CONCEPTUAL DESIGN



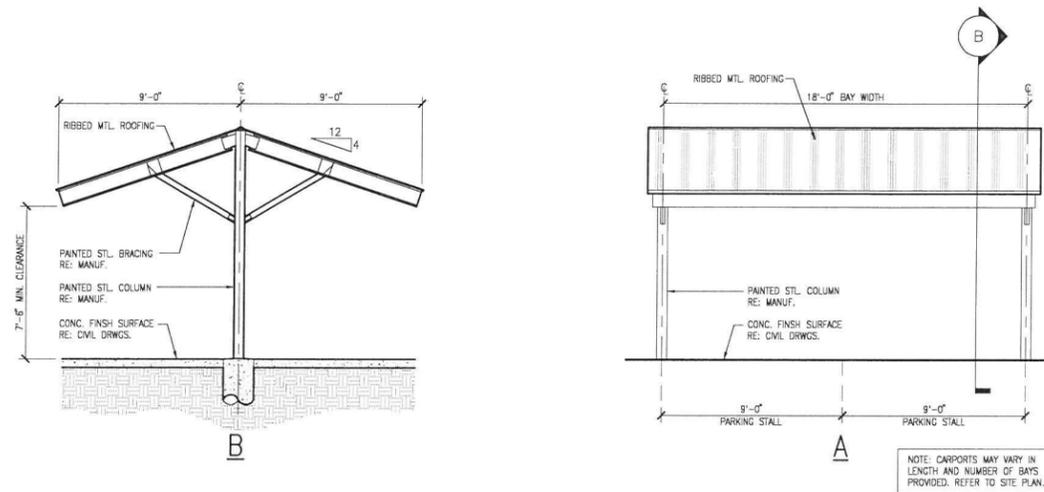
10  
JOB NO. 14033

12/22/2017

These are preliminary and are subject to copyright protection as an "Architectural Work" under Section 108 of the Copyright Act of 1976. The protection herein shall be null and void in the event that the Architectural Work is published or otherwise made available to the public in any form or by any means, including electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Architect. The Architect shall not be held liable for any errors or omissions in this drawing, and the user of this drawing shall be held responsible for any such errors or omissions. © 2015 M+P, LLC.

CC ITEM # 3, 27, 28, 29, 30  
 PZ ITEM # 3, 4, 5, 6, 7

KEYNOTE LEGEND:	
2	FIBER CEMENT SIDING - A
3	FIBER CEMENT SIDING - B
4	TYPICAL METAL GUARDRAIL
5	ACCENT ROOF
6	COMPOSITION SHINGLE ROOF
7	ARCHITECTURAL BRACKETS
8	FIBER CEMENT TRIM-MITERED CORNERS
9	TYPICAL 6" PLANE CHANGE



**2 CARPORT ELEVATION & SECTION**  
 1/4" = 1'-0"

CARPORT ELEV\_SECT



**1 BUILDING TYPE I & IA - FRONT ELEVATION**  
 1/8" = 1'-0"

MASONRY CALCULATIONS - 81%

VOID/SOLID CALCULATIONS - 1:6.2

\*TAKEN FROM FF TO TOP OF PLATE & BALCONIES INCLUDED AS SOLID



CASE NAME: THE PRESERVE  
 CASE NUMBER: Z18-01, CU 18-02 AND PD 18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 11 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES

**BUILDING ELEVATIONS - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

**Meeks + Partners**  
 ARCHITECTURE  
 LAND PLANNING  
 18200 MEMORIAL DRIVE SUITE #100 - HOUSTON, TX 77079  
 281-558-8787 - 281-558-3327 - www.meekspartners.com  
 CONCEPTUAL DESIGN

**M P**  
 11  
 JOB NO. 14033

12/22/2017

© 2015 M.P., CD.

CC ITEM # 3, 27, 28, 29, 30  
 PZ ITEM # 3, 4, 5, 6, 7

KEYNOTE LEGEND:	
2	FIBER CEMENT SIDING - A
3	FIBER CEMENT SIDING - B
4	TYPICAL METAL GUARDRAIL
5	ACCENT ROOF
6	COMPOSITION SHINGLE ROOF
7	ARCHITECTURAL BRACKETS
8	FIBER CEMENT TRIM-MITERED CORNERS
9	TYPICAL 6" PLANE CHANGE



**2 BUILDING TYPE I & IA - SIDE ELEVATION**  
 1/8"=1'-0"

MASONRY CALCULATIONS - 84%

VOID:SOLID CALCULATIONS - 1:6.8

\*TAKEN FROM FF TO TOP OF PLATE  
 & BALCONIES INCLUDED AS SOLID



**1 BUILDING TYPE I & IA - REAR ELEVATION**  
 1/8"=1'-0"

MASONRY CALCULATIONS - 82%

VOID:SOLID CALCULATIONS - 1:4.8

\*TAKEN FROM FF TO TOP OF PLATE  
 & BALCONIES INCLUDED AS SOLID

CASE NAME: THE PRESERVE  
 CASE NUMBER: Z18-01, CU 18-02 AND PD 18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 12 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
 CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES



**BUILDING ELEVATIONS - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

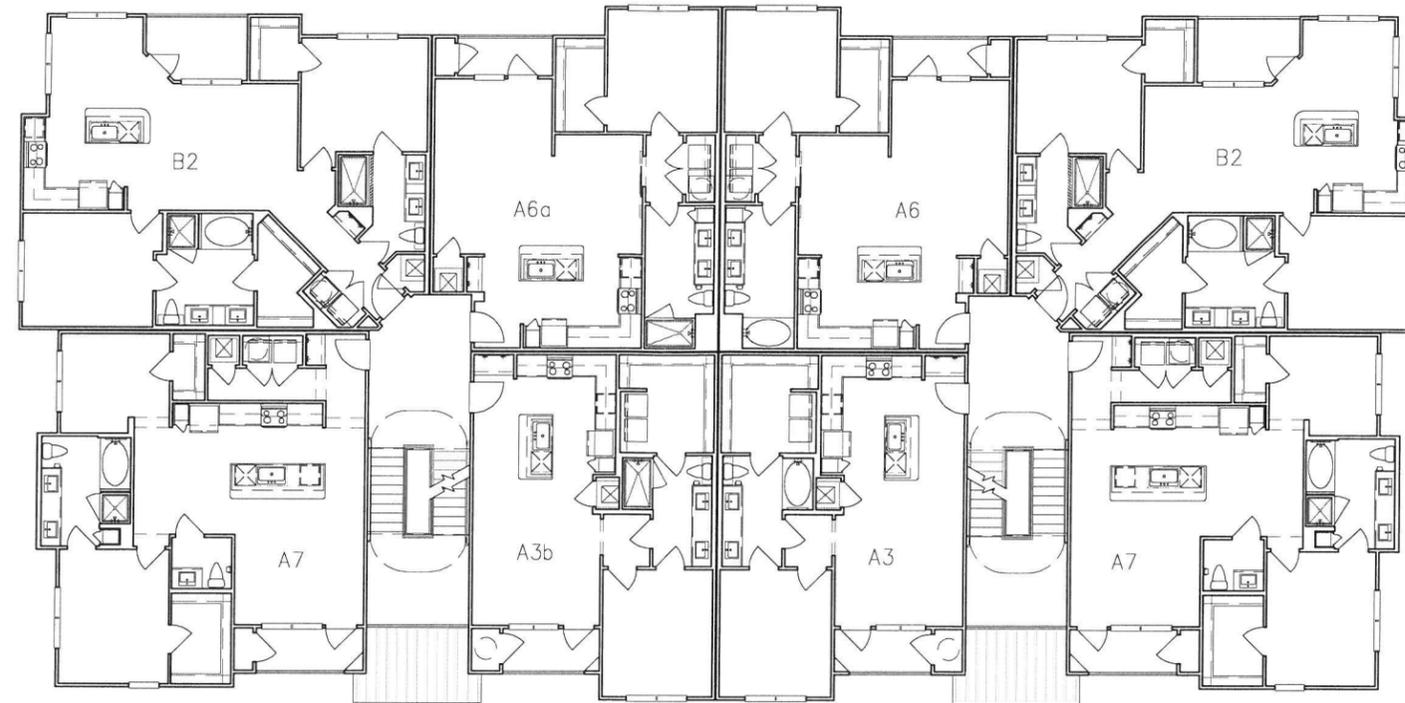
**Meeks + Partners**  
 ARCHITECTURE  
 LAND PLANNING  
 18000 MEMORIAL DRIVE SUITE 8100 - HOUSTON, TX 77079  
 281-556-8787 - 281-556-5337 - www.meekspartners.com  
 CONCEPTUAL DESIGN

**M P**  
 12  
 JOB NO. 14033

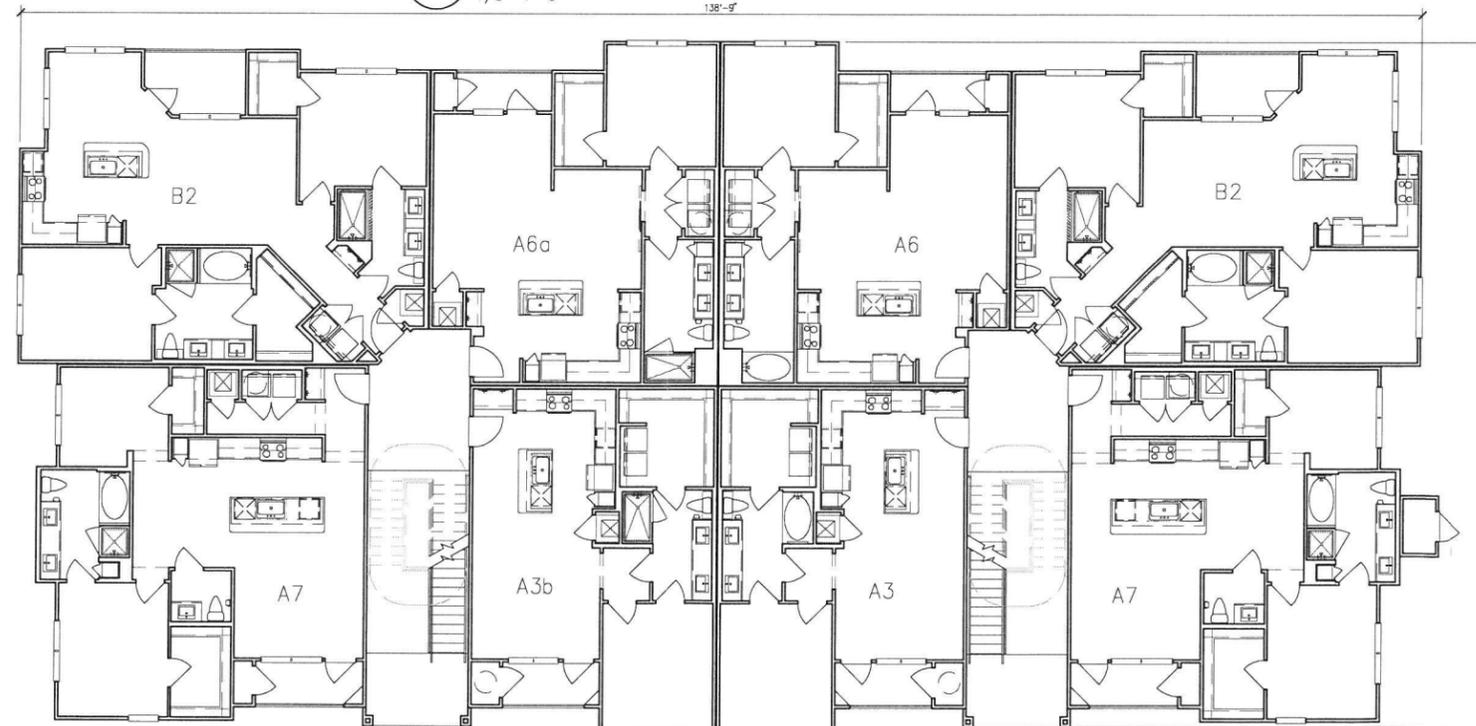
12/22/2017

© 2015 M.P., CO.

CC ITEM # 3, 27, 28, 29, 30  
 PZ ITEM # 3, 4, 5, 6, 7



**2** BUILDING TYPE II - LEVEL 2  
 1/8"=1'-0"



**1** BUILDING TYPE II - LEVEL 1  
 1/8"=1'-0"

CASE NAME: THE PRESERVE  
 CASE NUMBER: Z18-01, CU 18-02 AND PD 18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

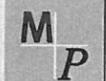
SHEET: 13 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
 CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES



**BUILDING PLAN - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

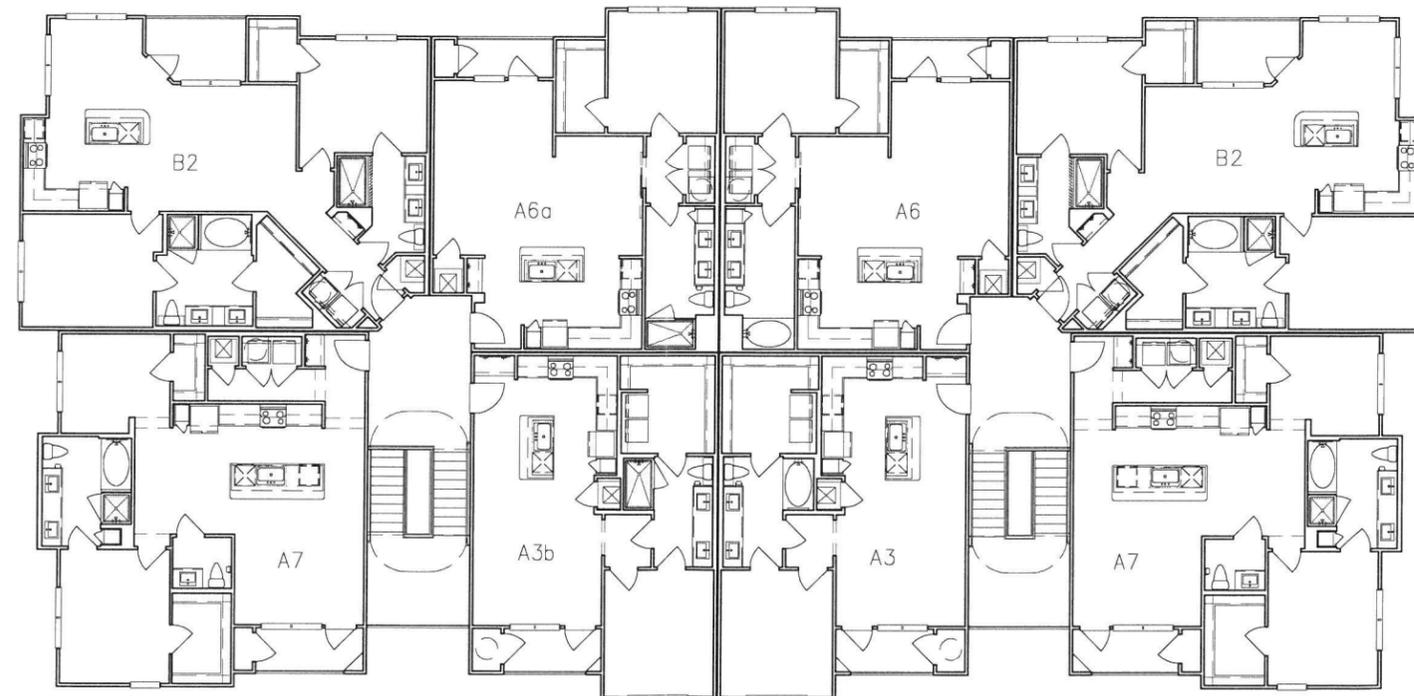
**Meeks + Partners**  
 ARCHITECTURE  
 LAND PLANNING  
 18000 MEMORIAL DRIVE SUITE #100 - HOUSTON, TX 77079  
 281-558-8787 • 281-558-3337 • www.meekspartners.com  
 CONCEPTUAL DESIGN



12/22/2017  
**13**  
 JOB NO. 14033

These are conceptual and are subject to change without notice. The architect does not warrant the accuracy of the information or the construction of buildings shown on these plans.

CC ITEM # 3, 27, 28, 29, 30  
 PZ ITEM # 3, 4, 5, 6, 7



1 **BUILDING TYPE II - LEVEL 3**  
 1/8" = 1'-0"

CASE NAME: THE PRESERVE  
 CASE NUMBER: 218-01, CU 18-02 AND PD 18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 14 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
 CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES



**BUILDING PLAN - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

**Meeks + Partners**  
 ARCHITECTURE  
 LAND PLANNING  
 1800 MEMPHIAL DRIVE SUITE #100 - HOUSTON, TX 77071  
 281-558-8787 - 281-558-3337 - www.meekspartners.com  
 CONCEPTUAL DESIGN

12/22/2017

M P 14  
 JOB NO. 14033

These are preliminary and are subject to copyright protection as set forth in the "Professional Seal" under Section 108 of the Copyright Act of 1976. The protection includes but is not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, with or without reproduction, is strictly prohibited. The copyright in these plans shall remain the property of Meeks + Partners, L.P. All rights reserved. © 2015 Meeks + Partners, L.P.

CC ITEM # 3, 27, 28, 29, 30  
 PZ ITEM # 3, 4, 5, 6, 7

KEYNOTE LEGEND	
2	FIBER CEMENT SIDING - A
3	FIBER CEMENT SIDING - B
4	TYPICAL METAL GUARDRAIL
5	ACCENT ROOF
6	COMPOSITION SHINGLE ROOF
7	ARCHITECTURAL BRACKETS
8	FIBER CEMENT TRIM-MITERED CORNERS
9	TYPICAL 6" PLANE CHANGE



**2** BUILDING TYPE II - FRONT ELEVATION  
 1/8" = 1'-0"

MASONRY CALCULATIONS - 85%

VOID/SOLID CALCULATIONS - 1:14.3

\*TAKEN FROM FF TO TOP OF PLATE  
 & BALCONIES INCLUDED AS SOLID



CASE NAME: THE PRESERVE  
 CASE NUMBER: 218-01, CJ 18-02 AND PD 18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 15 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
 CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES

**BUILDING ELEVATIONS - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

**Meeks + Partners**  
 ARCHITECTURE  
 LAND PLANNING  
 18000 MEMORIAL DRIVE SUITE #100 - HOUSTON, TX 77079  
 281-558-8787 - 281-558-3337 - www.meekspartners.com  
 CONCEPTUAL DESIGN



15

JOB NO. 14033

12/22/2017

These are conceptual and are subject to copyright protection as set forth in the Architectural Model Protection Act of 1980. The purchaser includes but is not limited to, the overall form as well as the arrangement and disposition of masses and elements of the design. Under such protection, unauthorized use of these plans, work, or forms, representations or liability arising therefrom.

CC ITEM # 3, 27, 28, 29, 30  
 PZ ITEM # 3, 4, 5, 6, 7

KEYNOTE LEGEND	
2	FIBER CEMENT SIDING - A
3	FIBER CEMENT SIDING - B
4	TYPICAL METAL GUARDRAIL
5	ACCENT ROOF
6	COMPOSITION SHINGLE ROOF
7	ARCHITECTURAL BRACKETS
8	FIBER CEMENT TRIM-MITERED CORNERS
9	TYPICAL 6" PLANE CHANGE



**2 BUILDING TYPE II - SIDE ELEVATION**  
 1/8" = 1'-0"

MASONRY CALCULATIONS - 80%

VOID:SOLID CALCULATIONS - 1:3.7

\*TAKEN FROM FF TO TOP OF PLATE  
 & BALCONIES INCLUDED AS SOLID



**1 BUILDING TYPE II - REAR ELEVATION**  
 1/8" = 1'-0"

MASONRY CALCULATIONS - 81%

VOID:SOLID CALCULATIONS - 1:5.6

\*TAKEN FROM FF TO TOP OF PLATE  
 & BALCONIES INCLUDED AS SOLID

CASE NAME: THE PRESERVE  
 CASE NUMBER: Z18-01, CU 18-02 AND PD 18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADESBO ADOTION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 16 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
 CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES



**BUILDING ELEVATIONS - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

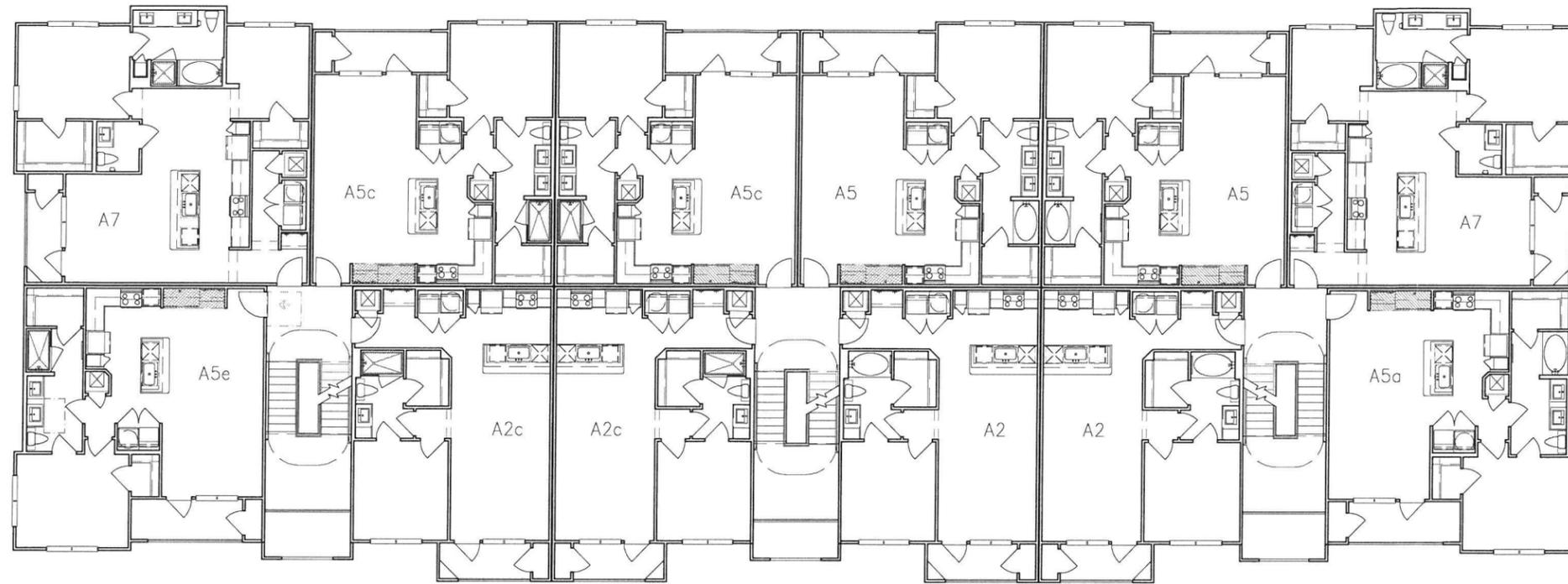
**Meeks + Partners**  
 ARCHITECTURE  
 LAND PLANNING  
 18000 MEMORIAL DRIVE SUITE #100 - HOUSTON, TX 77070  
 281-558-8787 - 281-558-5337 - www.meekspartners.com  
 CONCEPTUAL DESIGN

**M P**  
 16  
 JOB NO. 14033

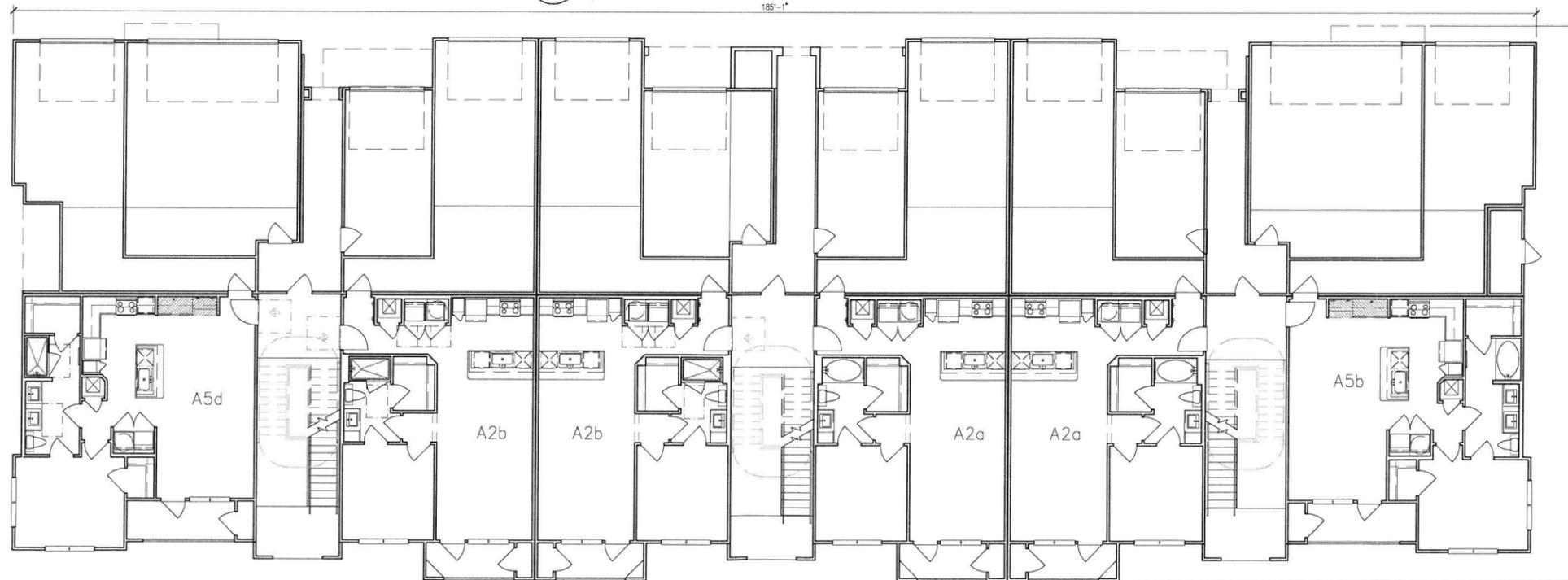
12/22/2017

These are conceptual and are subject to copyright protection as an "Architectural Work" under Section 108 of the Copyright Act of 1976. The protection includes but is not limited to: the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work, or forms represented on these plans, work, or forms is prohibited without the written consent of Meeks + Partners.

CC ITEM # 3, 27, 28, 29, 30  
 PZ ITEM # 3, 4, 5, 6, 7



**2** BUILDING TYPE III - LEVEL 2  
 1/8" = 1'-0"



**1** BUILDING TYPE III - LEVEL 1  
 1/8" = 1'-0"

CASE NAME: THE PRESERVE  
 CASE NUMBER: Z18-01, CU 18-02 AND PD 18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADES ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

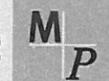
SHEET: 17 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
 CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES



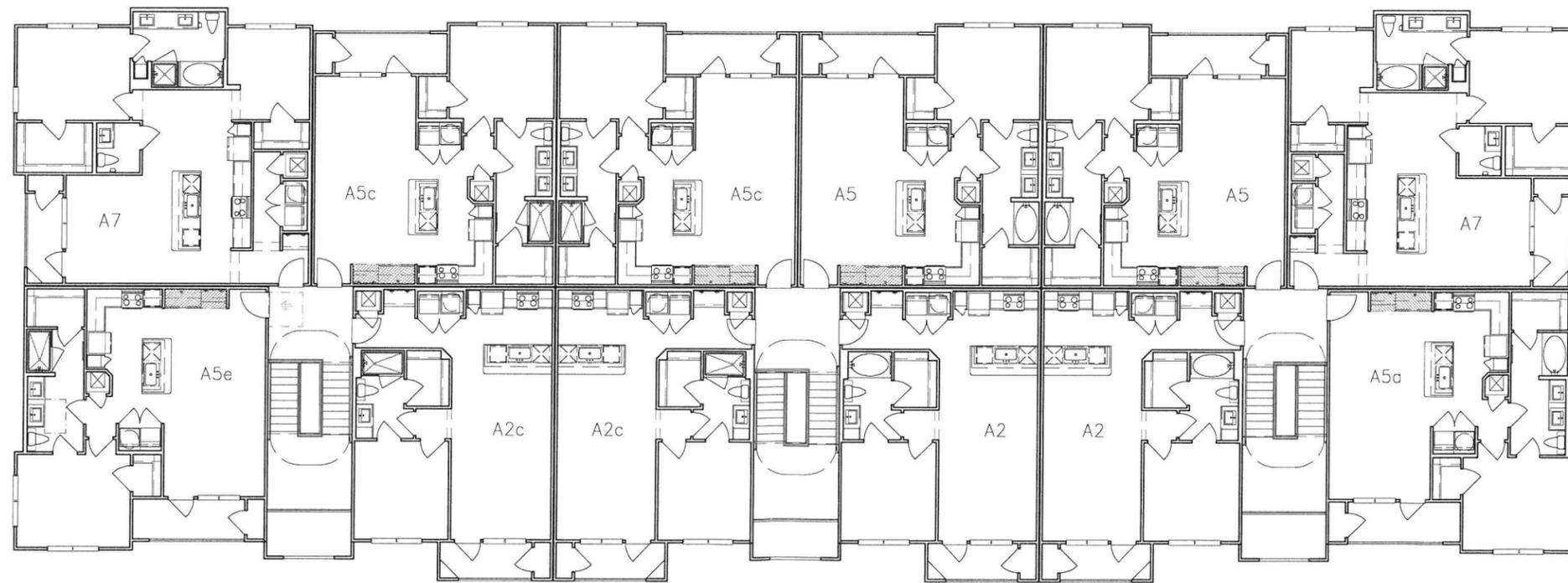
**BUILDING PLAN - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

**Meeks + Partners**  
 ARCHITECTURE  
 LANDPLANNING  
 18000 MEMORIAL DRIVE SUITE #100 - HOUSTON, TX 77079  
 281-558-6167 • 281-558-3337 • www.meekspartners.com  
 CONCEPTUAL DESIGN



12/22/2017  
 17  
 JOB NO. 14033

These are conceptual drawings and are subject to change without notice. The architect is not responsible for the construction of any building shown on these drawings. The architect is not responsible for the construction of any building shown on these drawings. The architect is not responsible for the construction of any building shown on these drawings.



1 BUILDING TYPE III - LEVEL 3  
 1/8"=1'-0"

CASE NAME: THE PRESERVE  
 CASE NUMBER: 218-01, CU 18-02 AND PD 18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 18 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
 CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES



**BUILDING PLAN - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

**Meeks + Partners**  
 ARCHITECTURE  
 LAND PLANNING

18200 MEMORIAL DRIVE, SUITE #100 - HOUSTON, TX 77079  
 281-558-8787 - 281-558-8337 - www.meekspartners.com  
 CONCEPTUAL DESIGN



12/22/2017

18

JOB NO. 14033

These are copyright and are subject to copyright protection in the United States and other countries. All rights reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Meeks + Partners, L.P.

CC ITEM # 3, 27, 28, 29, 30  
 PZ ITEM # 3, 4, 5, 6, 7

KEYNOTE LEGEND	
2	FIBER CEMENT SIDING - A
3	FIBER CEMENT SIDING - B
4	TYPICAL METAL GUARDRAIL
5	ACCENT ROOF
6	COMPOSITION SHINGLE ROOF
7	ARCHITECTURAL BRACKETS
8	FIBER CEMENT TRIM-MITERED CORNERS
9	TYPICAL 6" PLANE CHANGE



1 BUILDING TYPE III - FRONT ELEVATION  
 1/8"=1'-0"

MASONRY CALCULATIONS - 80%

VOID:SOLID CALCULATIONS - 1:7.7

\*TAKEN FROM FF TO TOP OF PLATE  
 & BALCONIES INCLUDED AS SOLID



CASE NAME: THE PRESERVE  
 CASE NUMBER: Z18-01, CU 18-02 AND PD 18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADESBO ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 19 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
 CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES

BUILDING ELEVATIONS - THE PRESERVE  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

Meeks + Partners  
 ARCHITECTURE  
 LAND PLANNING  
 18000 MEMORIAL DRIVE SUITE 8100 - HOUSTON, TX 77079  
 281-558-8787 - 281-558-5337 - www.meekspartners.com  
 CONCEPTUAL DESIGN

M P 19  
 JOB NO. 14033

12/22/2017

These are conceptual and are subject to copyright protection as an "Architectural Work" under Section 108 of the Copyright Act, 17 U.S.C. as amended December 1, 1994, and have not been filed with the Architectural Works Copyright Act of 1990. The protection provided by the Copyright Act of 1990. The protection provided by the Copyright Act of 1990. The protection provided by the Copyright Act of 1990.

CC ITEM # 3, 27, 28, 29, 30  
 PZ ITEM # 3, 4, 5, 6, 7

KEYNOTE LEGEND:	
2	FIBER CEMENT SIDING - A
3	FIBER CEMENT SIDING - B
4	TYPICAL METAL GUARDRAIL
5	ACCENT ROOF
6	COMPOSITION SHINGLE ROOF
7	ARCHITECTURAL BRACKETS
8	FIBER CEMENT TRIM-MITERED CORNERS
9	TYPICAL 6" PLANE CHANGE



**2 BUILDING TYPE III - SIDE ELEVATION**  
 1/8"=1'-0"

MASONRY CALCULATIONS - 85%

VOID:SOLID CALCULATIONS - 1:10.8

\*TAKEN FROM FF TO TOP OF PLATE  
 & BALCONIES INCLUDED AS SOLID



**1 BUILDING TYPE III - REAR ELEVATION**  
 1/8"=1'-0"

MASONRY CALCULATIONS - 83%

VOID:SOLID CALCULATIONS - 1:7.0

\*TAKEN FROM FF TO TOP OF PLATE  
 & BALCONIES INCLUDED AS SOLID

CASE NAME: THE PRESERVE  
 CASE NUMBER: 216-01, CU 18-02 AND PD 18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 20 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
 CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES



**BUILDING ELEVATIONS - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

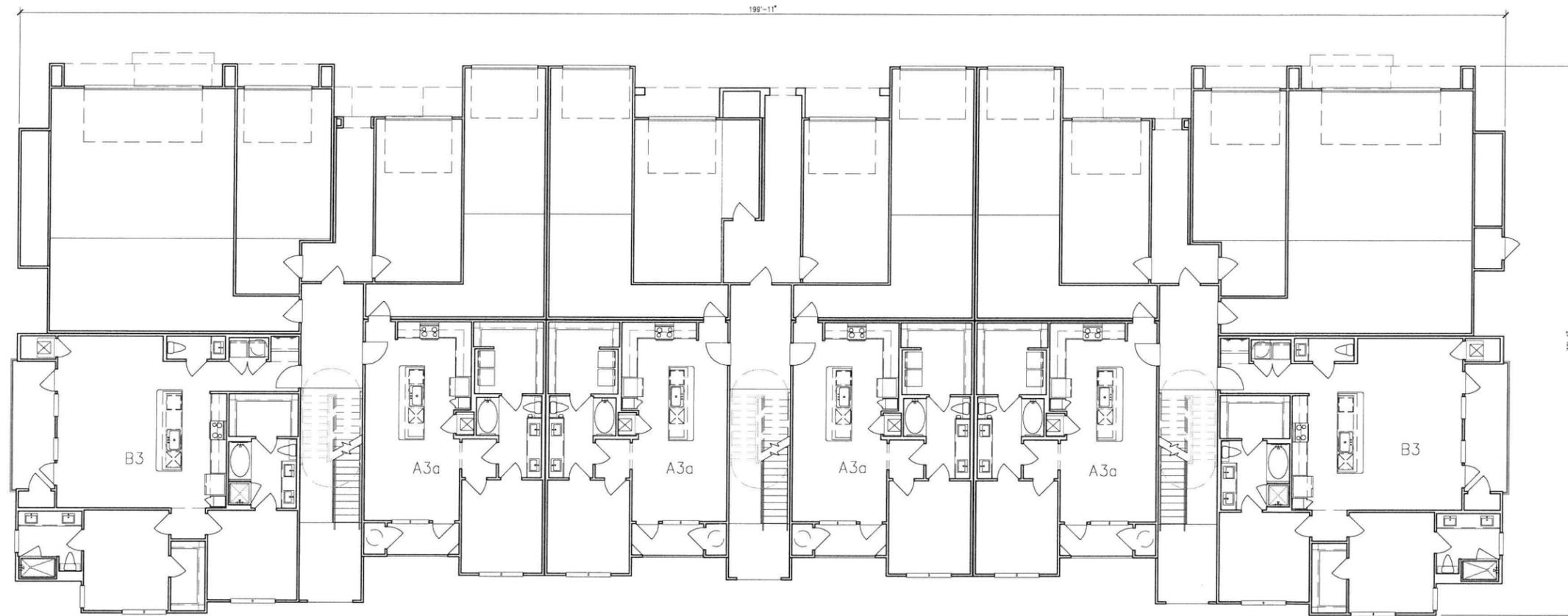
**Meeks + Partners**  
 ARCHITECTURE  
 LAND PLANNING  
 18000 MEMORIAL DRIVE SUITE #100 - HOUSTON, TX 77059  
 281-558-6787 - 281-558-2227 - www.meekspartners.com  
 CONCEPTUAL DESIGN

**M P**  
 20  
 JOB NO. 14033

12/22/2017

These are preliminary and are subject to copyright protection as provided in the "Architectural Act" under Section 102 of the Copyright Act of 1976. The proprietor herein shall be not liable in the event that the material herein is not used in the preparation and completion of plans and drawings of the project. Under such protection, reproduction, publication, use of these plans, work, or forms represented on "light" shall be the violation of such protection in violation of state and/or federal law.

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7



1 BUILDING TYPE IV - LEVEL 1  
1/8" = 1'-0"

CASE NAME: THE PRESERVE  
CASE NUMBER: Z18-01, CJ 18-02 AND PD 18-01  
LOCATION: 101 EAST GLADE ROAD  
LOT 1, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 21 OF 35  
APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES



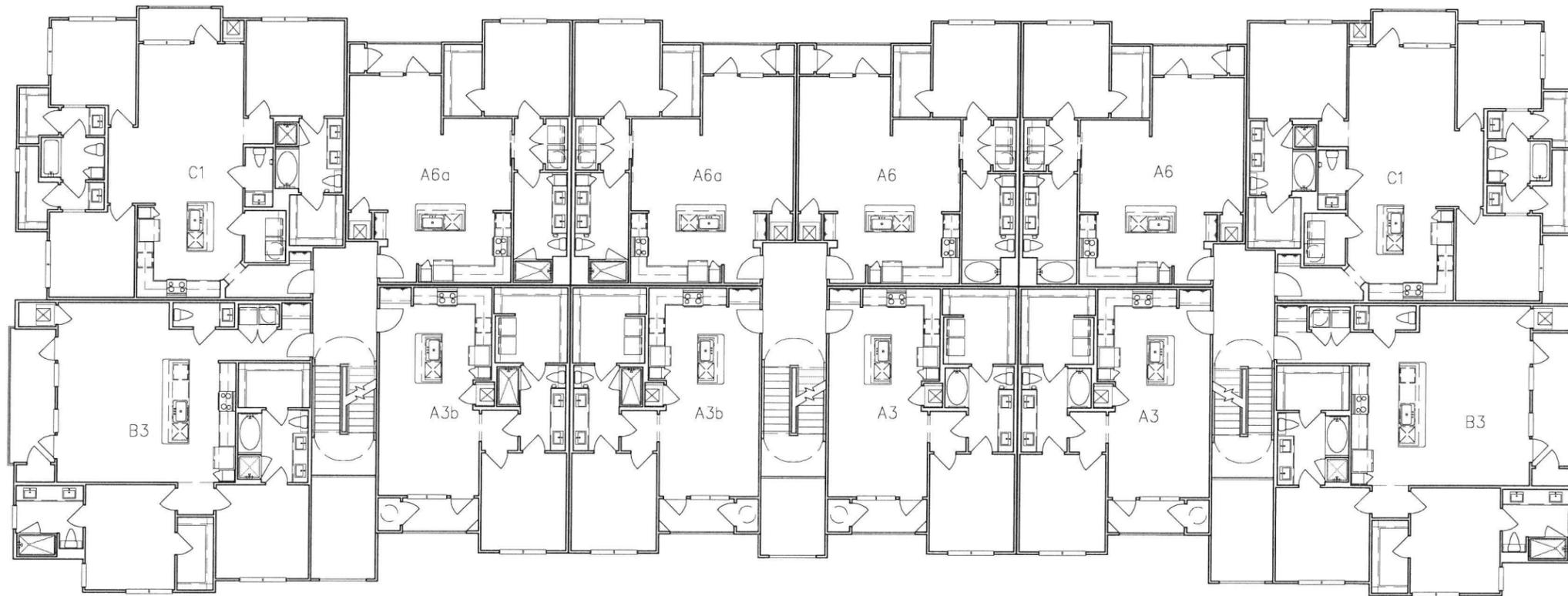
BUILDING PLAN - THE PRESERVE  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

Meeks + Partners  
ARCHITECTURE  
LANDPLANNING  
18000 MEMORIAL DRIVE SUITE 8100 - HOUSTON, TX 77057  
281-558-8787 - 281-558-3337 - www.meekspartners.com  
CONCEPTUAL DESIGN



12/22/2017  
21  
JOB NO. 14033

These are preliminary and are subject to change without notice. The architect shall be responsible for the accuracy of the information provided in this plan. The architect shall not be responsible for the construction of any structure or building shown on this plan.



**1 BUILDING TYPE IV - LEVEL 2**  
 1/8"=1'-0"

CASE NAME: THE PRESERVE  
 CASE NUMBER: Z18-01, CU 18-02 AND PD 18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADESBOO ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 22 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
 CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES



**BUILDING PLAN - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

**Meeks + Partners**  
 ARCHITECTURE  
 LAND PLANNING  
 1600 MEMORIAL DRIVE SUITE 8100 - HOUSTON, TX 77075  
 281-558-8337 - www.meekspartners.com  
 CONCEPTUAL DESIGN

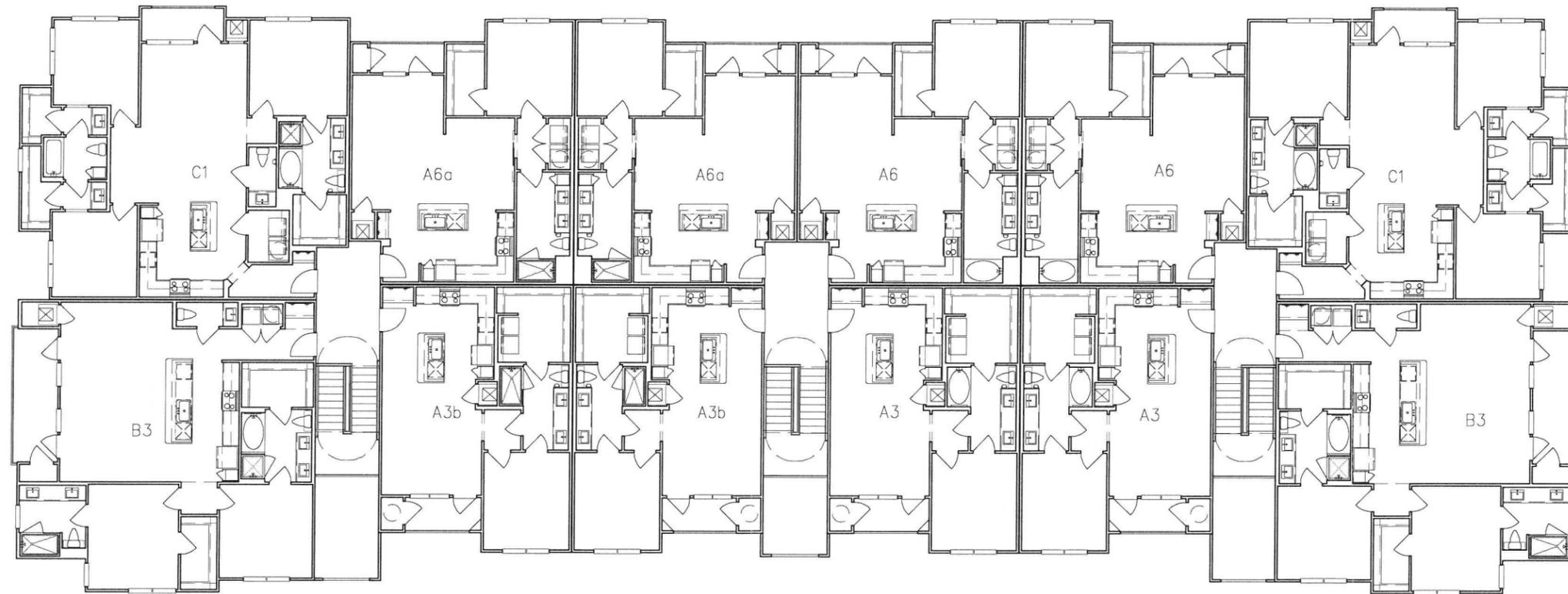


22

JOB NO. 14033

12/22/2017

These are copyrighted and are subject to copyright protection as set forth in Section 108 of the Copyright Act of 1976, and as amended. No part of this publication may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the copyright owner.



1 BUILDING TYPE IV - LEVEL 3  
 1/8"=1'-0"

CASE NAME: THE PRESERVE  
 CASE NUMBER: Z18-01, CU 18-02 AND PD 18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADESBO ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 23 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
 CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES



**BUILDING PLAN - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

**Meeks + Partners**  
 ARCHITECTURE  
 LAND PLANNING  
 18200 MEMORIAL DRIVE SUITE #100 - HOUSTON, TX 77075  
 281-558-8787 - 281-558-3337 - www.meekspartners.com

**M P**  
 23  
 JOB NO. 14033

12/22/2017

These are copyright and are subject to copyright protection in the "Architectural Work" under Section 108 of the Copyright Act, 17 U.S.C. as amended December 1, 1995, and known as the Architectural Works Protection Act of 1990. The protection herein has in no way been lost. The arrangement and composition of words and elements of the design, like each particular, uncopyrighted one of these plans, work, or forms represented on this plan, shall be the creation of such construction or building being made and/or used.

CC ITEM # 3, 27, 28, 29, 30  
 PZ ITEM # 3, 4, 5, 6, 7

KEYNOTE LEGEND	
2	FIBER CEMENT SIDING - A
3	FIBER CEMENT SIDING - B
4	TYPICAL METAL GUARDRAIL
5	ACCENT ROOF
6	COMPOSITION SHINGLE ROOF
7	ARCHITECTURAL BRACKETS
8	FIBER CEMENT TRIM-MITERED CORNERS
9	TYPICAL 6" PLANE CHANGE



**1 BUILDING TYPE IV - FRONT ELEVATION**  
 1/8" = 1'-0"

MASONRY CALCULATIONS - 80%

VOID:SOLID CALCULATIONS - 1:5.6  
 \*TAKEN FROM FF TO TOP OF PLATE  
 & BALCONIES INCLUDED AS SOLID



CASE NAME: THE PRESERVE  
 CASE NUMBER: Z18-01, CU 18-02 AND PD 18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADESBO ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 24 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
 CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES

**BUILDING ELEVATIONS - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

Meeks + Partners  
 ARCHITECTURE  
 LAND PLANNING  
 18200 MEMORIAL DRIVE, SUITE #100 - HOUSTON, TX 77079  
 281-558-8787 - 281-558-3337 - www.meekspartners.com  
 CONCEPTUAL DESIGN

**M P**

24

12/22/2017  
 JOB NO. 14033

These are copyright and are subject to copyright protection in the State of Texas and in the United States of America. All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Meeks + Partners, L.P.

CC ITEM # 3, 27, 28, 29, 30  
 PZ ITEM # 3, 4, 5, 6, 7

KEYNOTE LEGEND:	
2	FIBER CEMENT SIDING - A
3	FIBER CEMENT SIDING - B
4	TYPICAL METAL GUARDRAIL
5	ACCENT ROOF
6	COMPOSITION SHINGLE ROOF
7	ARCHITECTURAL BRACKETS
8	FIBER CEMENT TRIM-MITERED CORNERS
9	TYPICAL 6" PLANE CHANGE



**2 BUILDING TYPE IV - SIDE ELEVATION**  
 1/8"=1'-0"

MASONRY CALCULATIONS - 83%

VOID:SOLID CALCULATIONS - 1:10.3

\*TAKEN FROM FF TO TOP OF PLATE  
 & BALCONIES INCLUDED AS SOLID



**1 BUILDING TYPE IV - REAR ELEVATION**  
 1/8"=1'-0"

MASONRY CALCULATIONS - 80%

VOID:SOLID CALCULATIONS - 1:8.6

\*TAKEN FROM FF TO TOP OF PLATE  
 & BALCONIES INCLUDED AS SOLID

CASE NAME: THE PRESERVE  
 CASE NUMBER: Z18-01, CU 18-02 AND PD 18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 SHEET: 25 OF 35  
 APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
 CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES



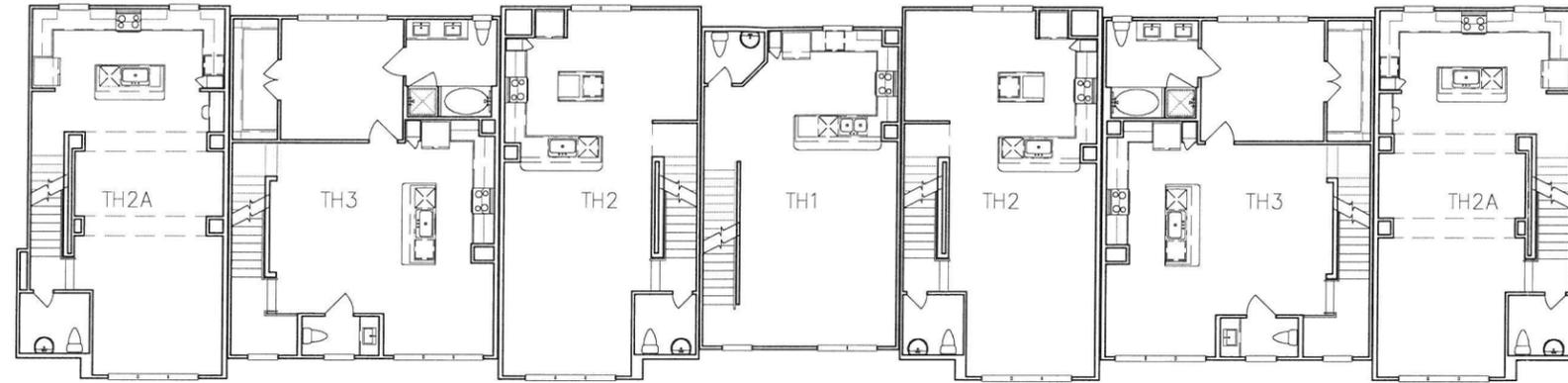
**BUILDING ELEVATIONS**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

**Meeks + Partners**  
 ARCHITECTURE  
 LANDPLANNING  
 18000 MEMORIAL DRIVE SUITE #100 - HOUSTON, TX 77078  
 281-558-5787 - 281-558-3337 - www.meekspartners.com  
 CONCEPTUAL DESIGN

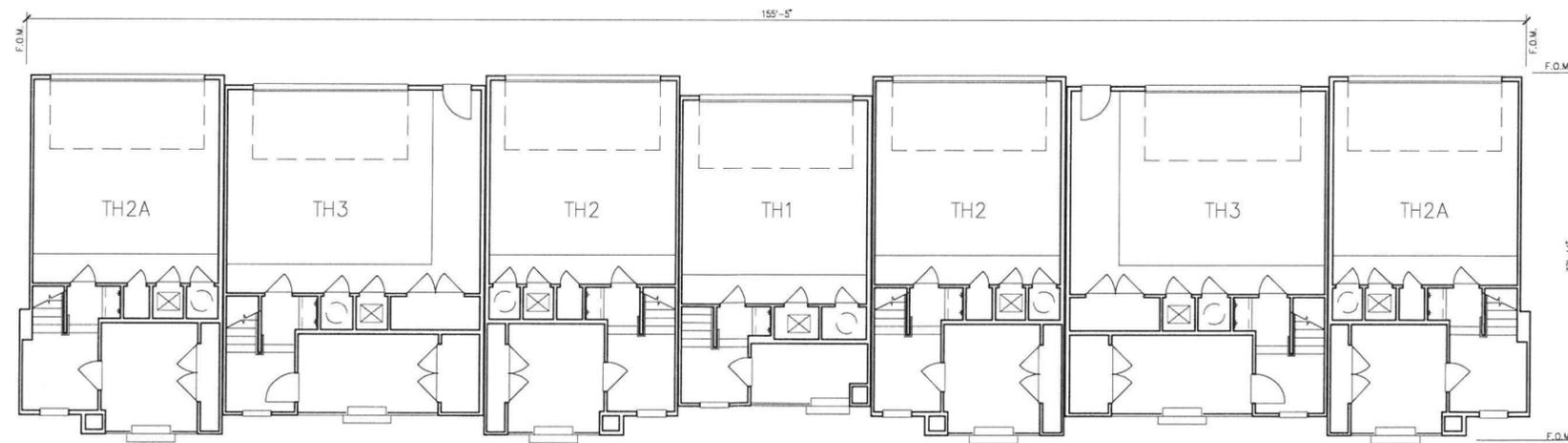


12/22/2017  
 SHEET: 25  
 JOB NO. 14033

These are conceptual drawings and are subject to change without notice. The information shown on these drawings is for informational purposes only and does not constitute a contract. The user of these drawings shall be responsible for verifying the accuracy of the information shown on these drawings. The user of these drawings shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user of these drawings shall be responsible for obtaining all necessary insurance and bonding. The user of these drawings shall be responsible for obtaining all necessary approvals from the appropriate authorities. The user of these drawings shall be responsible for obtaining all necessary approvals from the appropriate authorities.



**2 BLDG. TYPE TH1 - LEVEL 2**  
 1/8"=1'-0"



**1 BLDG. TYPE TH1 - LEVEL 1**  
 1/8"=1'-0"

CASE NAME: THE PRESERVE  
 CASE NUMBER: Z18-01, CU 18-02 AND PD 18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADESBO ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 26 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
 CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES



**BUILDING PLAN - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

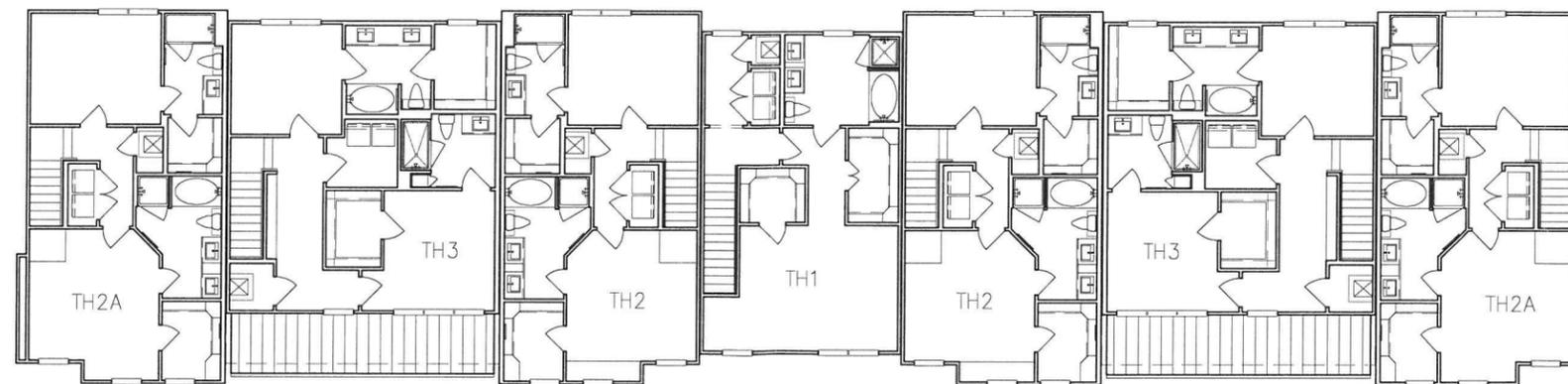
**Meeks + Partners**  
 ARCHITECTURE  
 LAND PLANNING  
 18000 MEMORIAL DRIVE SUITE 8100 - HOUSTON, TX 77079  
 281-558-8787 - 281-558-3337 - www.meekspartners.com

**M P**  
**26**  
 JOB NO. 14033

12/22/2017

These are copyright and are subject to copyright protection as an "Architectural Work" under Section 133 of the Copyright Act, 17 U.S.C. or amended Sections 1, 108, and 109 of the Architectural Works Copyright Act of 1990. The protection and copyright of these drawings and specifications of matters and elements of the design under each particular architectural work is hereby being asserted and/or reserved.

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7



1 BLDG. TYPE TH1 - LEVEL 3  
1/8" = 1'-0"

CASE NAME: THE PRESERVE  
CASE NUMBER: 218-01, CU 18-02 AND PD 18-01  
LOCATION: 101 EAST GLADE ROAD  
LOT 1, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 27 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES



12/22/2017

**BUILDING PLAN - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

**Meeks + Partners**  
ARCHITECTURE  
LAND PLANNING  
18200 MEMORIAL DRIVE SUITE #100 - HOUSTON, TX 77079  
281-558-8727 - 281-558-5337 - www.meekspartners.com  
CONCEPTUAL DESIGN



27

JOB NO. 14033

These are conceptual and are subject to copyright protection as an "Architectural Work" under Section 13B of the Copyright Act, 17 U.S.C. as amended December 1, 1995, and known as the Architectural Works Protection Act of 1990. The protection includes but is not limited to, the overall form as well as the arrangement and composition of masses and elements of the design. Under such protection, unauthorized use of these plans, maps, or forms represented on this page may result in legal action.

CC ITEM # 3, 27, 28, 29, 30  
 PZ ITEM # 3, 4, 5, 6, 7

KEYNOTE LEGEND	
2	FIBER CEMENT SIDING - A
3	FIBER CEMENT SIDING - B
4	TYPICAL METAL GUARDRAIL
5	ACCENT ROOF
6	COMPOSITION SHINGLE ROOF
7	ARCHITECTURAL BRACKETS
8	FIBER CEMENT TRIM-MITERED CORNERS
9	TYPICAL 6" PLANE CHANGE



**3 BLDG. TYPE TH1 - SIDE ELEVATION**  
 1/8"=1'-0"

MASONRY CALCULATIONS - 85%

VOID:SOLID CALCULATIONS - 1:22.0

\*TAKEN FROM FF TO TOP OF PLATE  
 & BALCONIES INCLUDED AS SOLID

**2 BLDG. TYPE TH1 - REAR ELEVATION**  
 1/8"=1'-0"

MASONRY CALCULATIONS - 82%

VOID:SOLID CALCULATIONS - 1:7.6

\*TAKEN FROM FF TO TOP OF PLATE  
 & BALCONIES INCLUDED AS SOLID



**1 BLDG. TYPE TH1 - FRONT ELEVATION**  
 1/8"=1'-0"

MASONRY CALCULATIONS - 80%

VOID:SOLID CALCULATIONS - 1:5.0

\*TAKEN FROM FF TO TOP OF PLATE  
 & BALCONIES INCLUDED AS SOLID



CASE NAME: THE PRESERVE  
 CASE NUMBER: Z18-01, CU 18-02 AND PD 18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADE/300 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 28 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
 CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES

**BUILDING ELEVATIONS - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

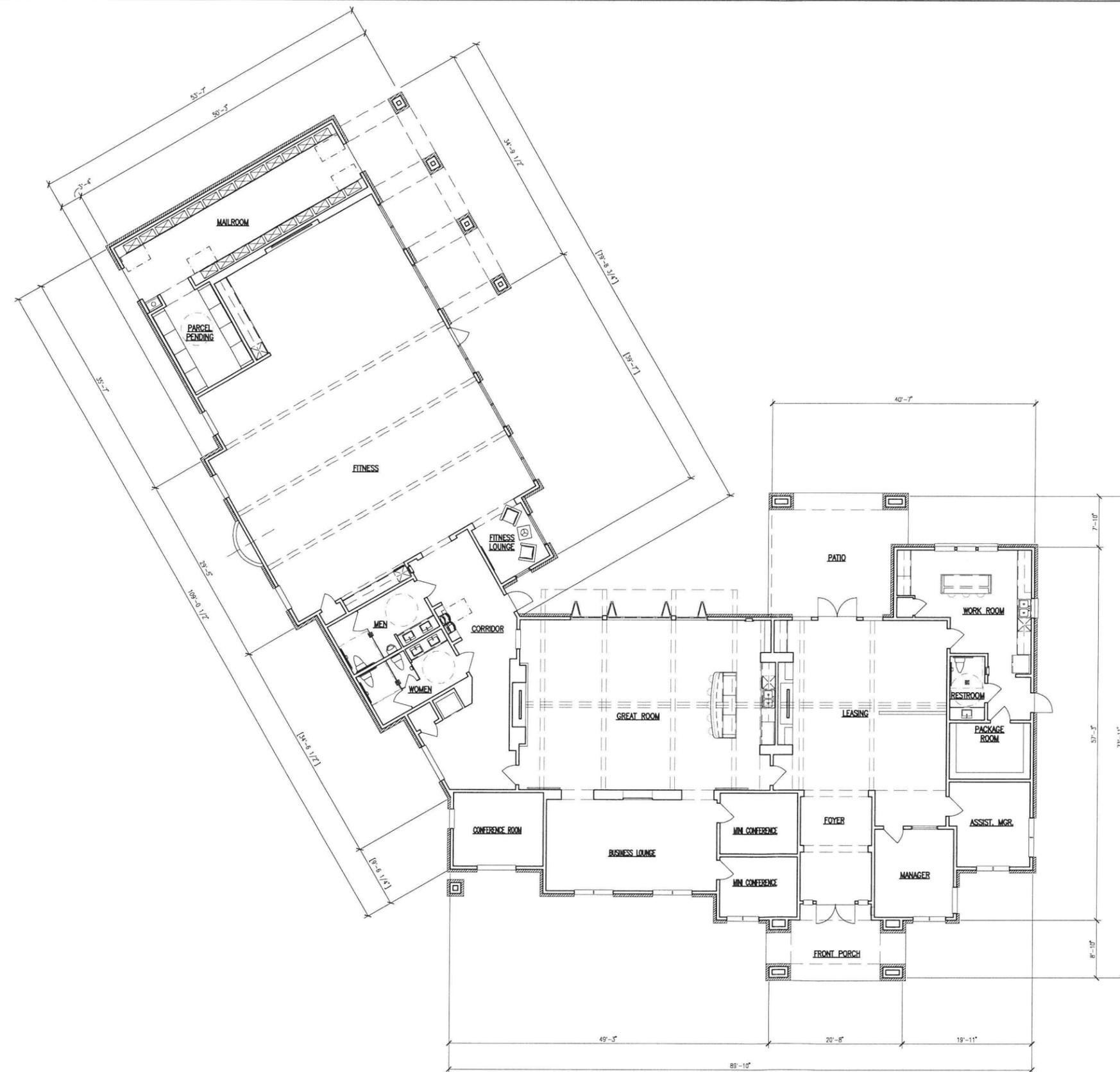
**Meeks + Partners**  
 ARCHITECTURE  
 LAND PLANNING  
 18000 MEMORIAL DRIVE SUITE #100 - HOUSTON, TX 77079  
 281-558-8787 - 281-558-3337 - www.meekspartners.com  
 CONCEPTUAL DESIGN

**M P**  
 28  
 JOB NO. 14033

12/22/2017

These are copyright and are subject to copyright protection in the "Architectural Act" of 1985, and known as the Architectural Works Protection Act of 1985. This protection includes but is not limited to, the overall form as well as the arrangement and composition of masses and elements of the design. Under each protection, unauthorized use of these plans, maps, or forms represented on any other media, in whole or in part, is prohibited.

CC ITEM # 3, 27, 28, 29, 30  
 PZ ITEM # 3, 4, 5, 6, 7



**1 CLUBHOUSE FLOOR PLAN**  
 1/8" = 1'-0"

NET: 6,724 SQ. FT.  
 GROSS: 8,558 SQ. FT.

CASE NAME: THE PRESERVE  
 CASE NUMBER: Z18-01, CU 18-02 AND PD 18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 29 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
 CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES



**CLUBHOUSE PLAN - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

**Meeks + Partners**  
 ARCHITECTURE  
 LAND PLANNING  
 18000 MEMORIAL DRIVE SUITE #100 - HOUSTON, TX 77079  
 281-558-6767 • 281-558-3337 • www.meekspartners.com  
 CONCEPTUAL DESIGN

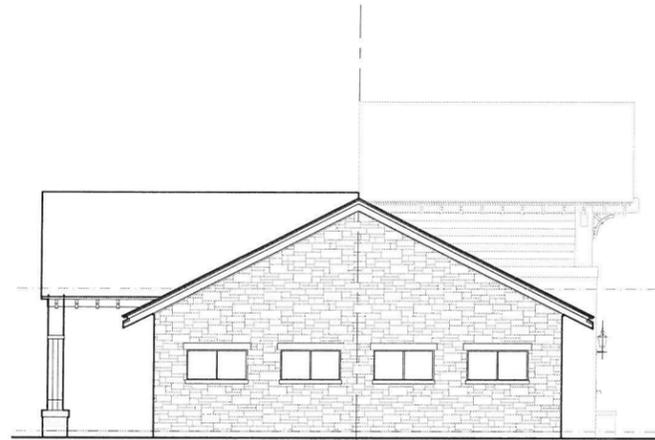
**M P**  
**29**  
 JOB NO. 14033

12/22/2017

These are preliminary drawings and are subject to change without notice. The architect shall not be responsible for the construction of any structure or building shown on these drawings. The architect shall not be responsible for the construction of any structure or building shown on these drawings. The architect shall not be responsible for the construction of any structure or building shown on these drawings.

CC ITEM # 3, 27, 28, 29, 30  
 PZ ITEM # 3, 4, 5, 6, 7

KEYNOTE LEGEND:	
2	FIBER CEMENT SIDING - A
3	FIBER CEMENT SIDING - B
4	TYPICAL METAL GUARDRAIL
5	ACCENT ROOF
6	COMPOSITION SHINGLE ROOF
7	ARCHITECTURAL BRACKETS
8	FIBER CEMENT TRIM-MITERED CORNERS
9	TYPICAL 6" PLANE CHANGE
10	STORE FRONT SYSTEM



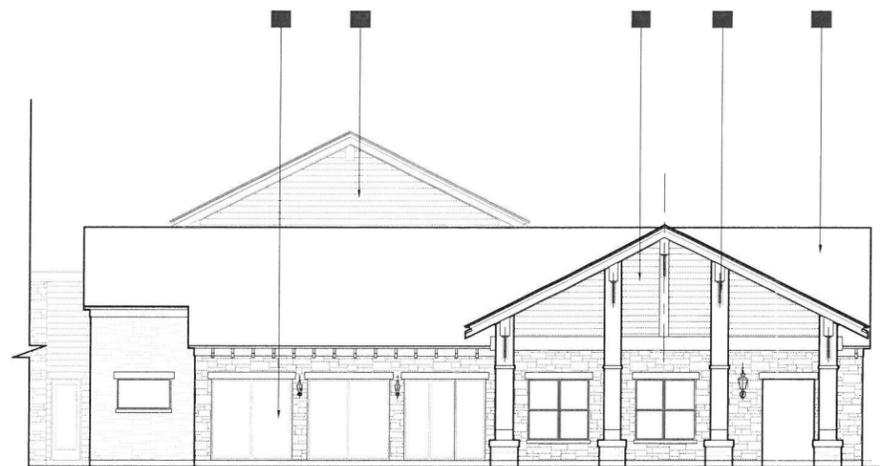
**4 CLUBHOUSE - NORTHWEST ELEVATION**  
 1/8" = 1'-0"



**3 CLUBHOUSE - EAST ELEVATION**  
 1/8" = 1'-0"



**2 CLUBHOUSE - REAR ELEVATION**  
 1/8" = 1'-0"



**1 CLUBHOUSE - FRONT ELEVATION**  
 1/8" = 1'-0"

**MASONRY CALCULATIONS - 94%**  
 \*TAKEN FROM FF TO TOP OF PLATE at 14'-0"

**VOID/SOLID CALCULATIONS - 1:3.7**  
 \*TAKEN FROM FF TO TOP OF PLATE & BALCONIES INCLUDED AS SOLID

CASE NAME: THE PRESERVE  
 CASE NUMBER: Z18-01, CU 18-02 AND PD 18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 SHEET: 30 OF 35  
 APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES



**CLUBHOUSE ELEVATIONS - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

**Meeks + Partners**  
 ARCHITECTURE  
 LAND PLANNING  
 10300 MEMORIAL DRIVE SUITE #100 - HOUSTON, TX 77036  
 281-558-8787 - 281-558-5207 - www.meekspartners.com  
 CONCEPTUAL DESIGN

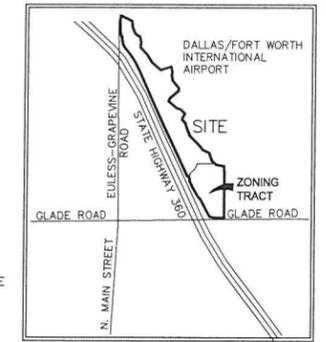
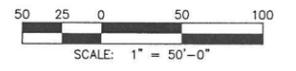
**M P**  
**30**  
 JOB NO. 14033

12/22/2017

These are preliminary and are subject to copyright protection as set forth in Section 103 of the Copyright Act of 1976. The protection includes all in and related to the overall form as well as the arrangement and composition of matter and elements of the design. Under such protection, unauthorized use or reproduction of such information is prohibited under applicable law.

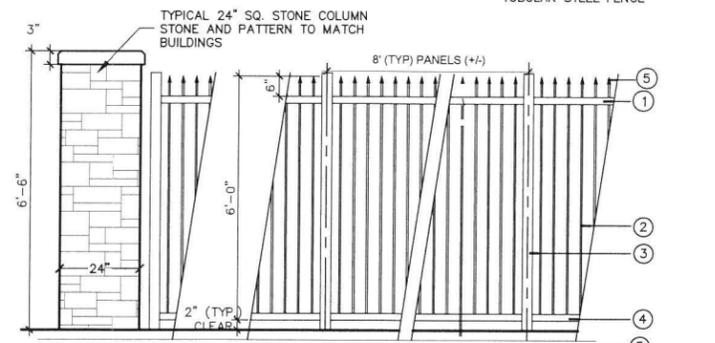


CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7



**LEGEND**

- PROPOSED SHADE / CANOPY TREE FROM APPROVED CITY PLANT LIST
- PROPOSED ORNAMENTAL TREE FROM APPROVED CITY PLANT LIST
- PROPOSED LANDSCAPE PLANTING AREAS - FROM APPROVED CITY PLANT LIST
- PROPOSED RETAINING WALL
- PROPOSED 6-FOOT HEIGHT TUBULAR STEEL FENCE



- ① 2" TUBE STEEL TOP RAIL
- ② 1" TUBE STEEL PICKETS @ 4" O.C. MAX.
- ③ 3" TUBE STEEL POST
- ④ 2" TUBE STEEL BOTTOM RAIL
- ⑤ APPROVED ORNAMENTAL PICKET FINIAL

**6" TUBULAR STEEL PERIMETER FENCE**

SCALE: 1/2" = 1'-0"

CASE NAME: THE PRESERVE  
CASE NUMBER: 218-01, CU18-02 AND PD18-01  
LOCATION: 101 EAST GLADE ROAD  
LOT 1, BLOCK A, GRAPEVINE ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: 32 OF 35

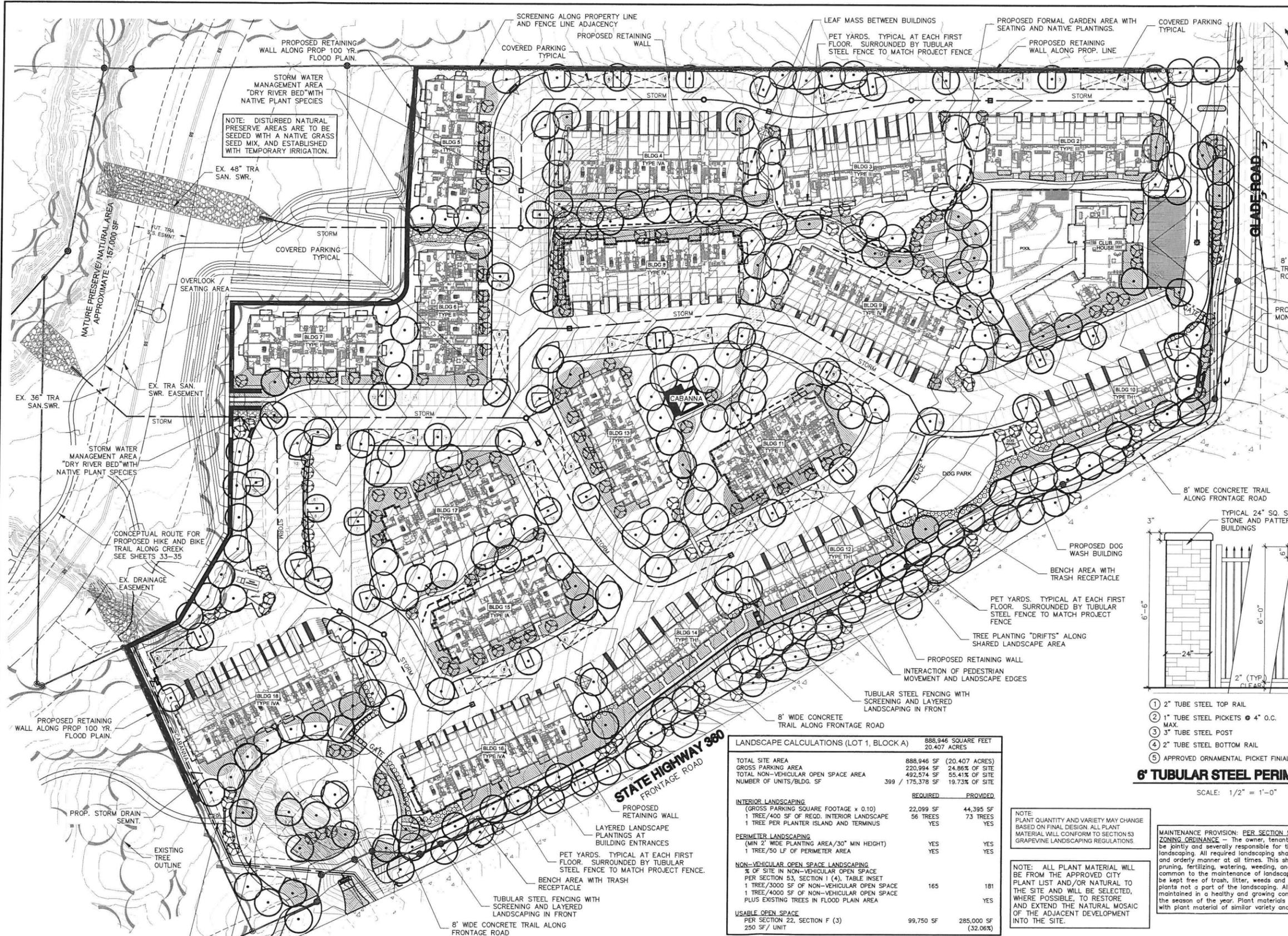
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

LANDSCAPE CALCULATIONS (LOT 1, BLOCK A)		888,946 SQUARE FEET 20.407 ACRES
TOTAL SITE AREA	888,946 SF	(20.407 ACRES)
GROSS PARKING AREA	220,994 SF	24.86% OF SITE
TOTAL NON-VEHICULAR OPEN SPACE AREA	492,574 SF	55.41% OF SITE
NUMBER OF UNITS/BLDG. SF	399 / 175,378 SF	19.73% OF SITE
<b>REQUIRED PROVIDED</b>		
<b>INTERIOR LANDSCAPING</b> (GROSS PARKING SQUARE FOOTAGE x 0.10)		
1 TREE/400 SF OF REQD. INTERIOR LANDSCAPE	22,099 SF	44,395 SF
1 TREE PER PLANTER ISLAND AND TERMINUS	56 TREES	73 TREES
<b>PERIMETER LANDSCAPING</b> (MIN 2' WIDE PLANTING AREA/30" MIN HEIGHT)		
1 TREE/50 LF OF PERIMETER AREA	YES	YES
<b>NON-VEHICULAR OPEN SPACE LANDSCAPING</b> % OF SITE IN NON-VEHICULAR OPEN SPACE		
PER SECTION 53, SECTION 1 (4), TABLE INSET	165	181
1 TREE/3000 SF OF NON-VEHICULAR OPEN SPACE		
1 TREE/4000 SF OF NON-VEHICULAR OPEN SPACE PLUS EXISTING TREES IN FLOOD PLAIN AREA		YES
<b>USABLE OPEN SPACE</b> PER SECTION 22, SECTION F (3)		
250 SF/ UNIT	99,750 SF	285,000 SF (32.06%)

NOTE: PLANT QUANTITY AND VARIETY MAY CHANGE BASED ON FINAL DESIGN. ALL PLANT MATERIAL WILL CONFORM TO SECTION 53 GRAPEVINE LANDSCAPING REGULATIONS.

NOTE: ALL PLANT MATERIAL WILL BE FROM THE APPROVED CITY PLANT LIST AND/OR NATURAL TO THE SITE AND WILL BE SELECTED, WHERE POSSIBLE, TO RESTORE AND EXTEND THE NATURAL MOSAIC OF THE ADJACENT DEVELOPMENT INTO THE SITE.

**MAINTENANCE PROVISION: PER SECTION 53 OF THE GRAPEVINE ZONING ORDINANCE** - The owner, tenant and their agent, if any shall be jointly and severally responsible for the maintenance of all landscaping. All required landscaping shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding, and other such activities common to the maintenance of landscaping. Landscaped areas shall be kept free of trash, litter, weeds and other such material or plants not a part of the landscaping. All plant materials shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant materials which die shall be replaced with plant material of similar variety and size.



NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	REVISIONS DURING PLAN REVIEW	BY	DATE

DESIGNED BY: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_



ZONING DOCUMENT  
NOT FOR CONSTRUCTION



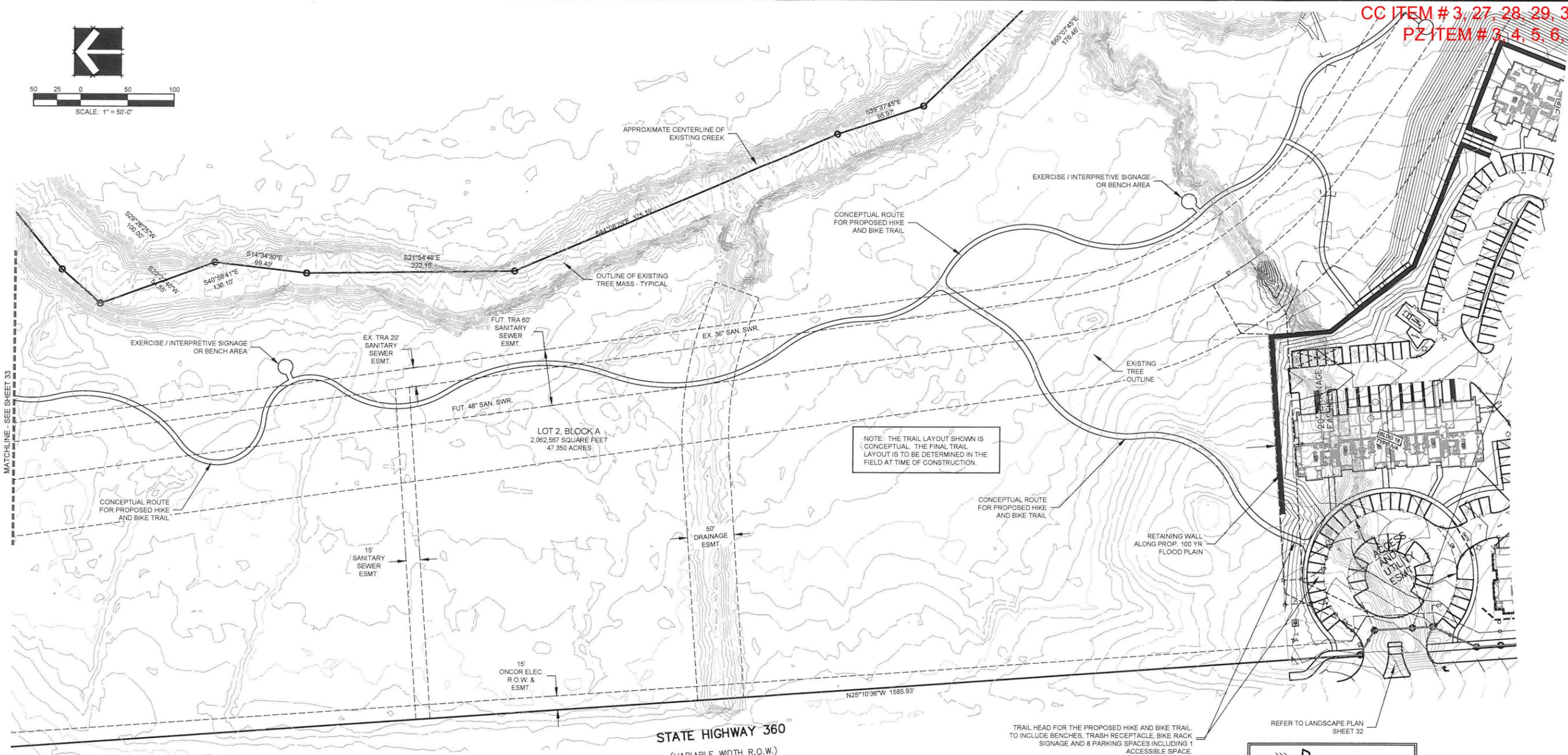
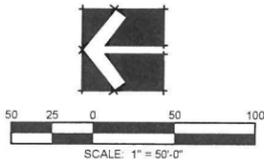
16301 Quorum Drive  
Suite 200 B  
Addicks, Texas 75240  
Main 972.248.7676  
Fax 972.248.1414  
www.jbipartners.com

**LANDSCAPE PLAN**  
**LANDSCAPE PLANTING PLAN**  
**THE PRESERVE AT GRAPEVINE**  
Grapevine, Tarrant County, Texas

PROJECT NO. \_\_\_\_\_  
GRS001  
SHEET NO. \_\_\_\_\_  
32

Plotted by: cmckinney Plot Date: 2/13/2018 5:49 PM  
Drawing: H:\Projects\GRS001\Restort\11062017\GRS001-LSP-1.dwg Saved By: cmckinney Save Time: 2/13/2018 5:17 PM

CC ITEM # 3, 27, 28, 29, 30  
 PZ ITEM # 3, 4, 5, 6, 7

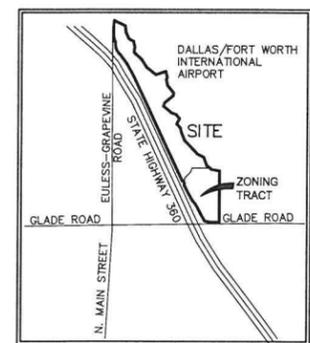


MATCHLINE - SEE SHEET 33

**STATE HIGHWAY 360**  
 (VARIABLE WIDTH R.O.W.)

TRAIL HEAD FOR THE PROPOSED HIKE AND BIKE TRAIL TO INCLUDE BENCHES, TRASH RECEPTACLE, BIKE RACK, SIGNAGE AND 8 PARKING SPACES INCLUDING 1 ACCESSIBLE SPACE.

REFER TO LANDSCAPE PLAN SHEET 32



LOCATION MAP (NOT TO SCALE)

CASE NAME: THE PRESERVE  
 CASE NUMBER: 218-01, CU18-02 AND PD18-01  
 LOCATION: 101 EAST GLADE ROAD  
 LOT 1, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 33 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES

NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	REVISIONS DURING PLAN REVIEW	BY	DATE

DESIGNED BY: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_

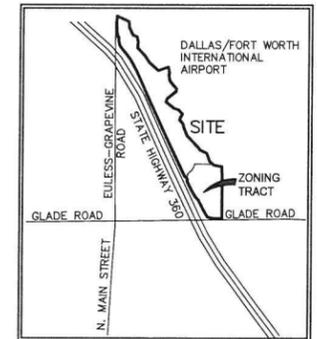
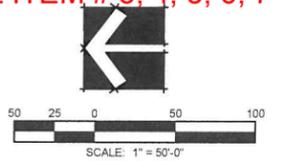


**LANDSCAPE PLAN**  
**TRAIL PLAN - SHEET 1**  
**THE PRESERVE AT GRAPEVINE**  
 Grapevine, Tarrant County, Texas

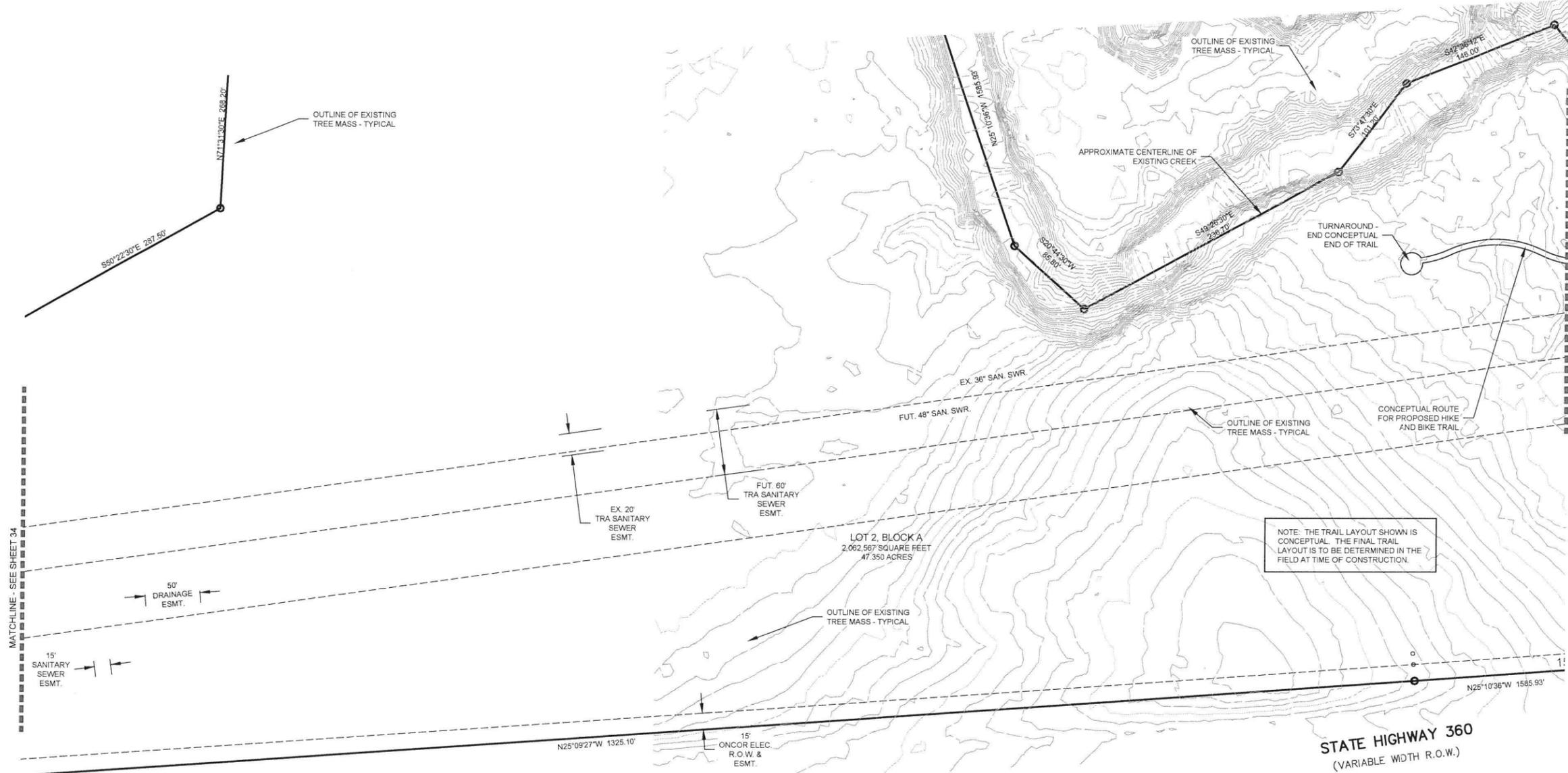
PROJECT NO. **GRS001**  
 SHEET NO. **33**

Drawing: H:\Projects\GRS001\Restart 11082017\GRS001-TRAIL SHEETS.dwg Saved By: cmckinney Save Time: 2/7/2018 4:55 PM Plotted by: cmckinney Plot Date: 2/8/2018 1:05 PM

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7



LOCATION MAP  
(NOT TO SCALE)



CASE NAME: THE PRESERVE  
CASE NUMBER: Z18-01, CU18-02 AND PD18-01  
LOCATION: 101 EAST GLADE ROAD  
LOT 1, BLOCK A, GLADE360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 34 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	REVISIONS DURING PLAN REVIEW	BY	DATE

DESIGNED BY:  
DRAWN BY:  
CHECKED BY:



ZONING DOCUMENT  
NOT FOR CONSTRUCTION



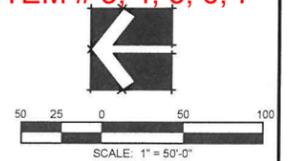
16301 Quorum Drive  
Suite 200 B  
Addison, Texas 75240  
Main 972.248.7376  
Fax 972.248.1414  
www.jbipartners.com

LANDSCAPE PLAN  
TRAIL PLAN - SHEET 2  
THE PRESERVE AT GRAPEVINE  
Grapevine, Tarrant County, Texas

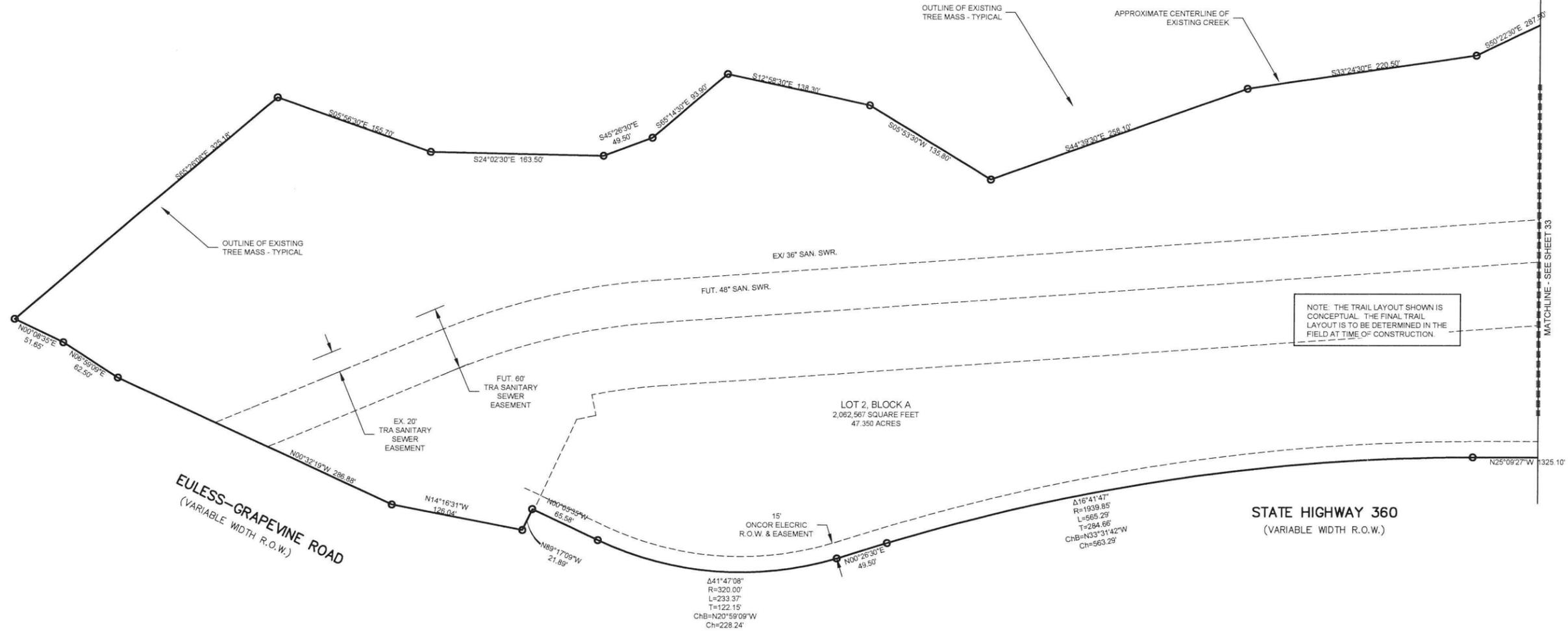
PROJECT NO.  
GRS001  
SHEET NO.  
34

Drawing: H:\Projects\GRS001\Restort\_11062017\GRS001-TRAIL SHEETS.dwg Saved By: cmckinney Save Time: 2/7/2018 4:55 PM Plotted by: cmckinney Plot Date: 2/8/2018 1:05 PM

CC ITEM # 3, 27, 28, 29, 30  
PZ ITEM # 3, 4, 5, 6, 7



LOCATION MAP  
(NOT TO SCALE)



NOTE: THE TRAIL LAYOUT SHOWN IS CONCEPTUAL. THE FINAL TRAIL LAYOUT IS TO BE DETERMINED IN THE FIELD AT TIME OF CONSTRUCTION.

CASE NAME: THE PRESERVE  
CASE NUMBER: Z18-01, CU18-02 AND PD18-01  
LOCATION: 101 EAST GLADE ROAD  
LOT 1, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE \_\_\_\_\_

SHEET: 35 OF 35

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	REVISIONS DURING PLAN REVIEW	BY	DATE

DESIGNED BY:  
DRAWN BY:  
CHECKED BY:



ZONING DOCUMENT  
NOT FOR CONSTRUCTION



16301 Quorum Drive  
Suite 200 B  
Addicks, Texas 75240  
Main 972.248.7878  
Fax 972.248.1414  
www.jbipartners.com

LANDSCAPE PLAN  
TRAIL PLAN - SHEET 3  
THE PRESERVE AT GRAPEVINE  
Grapevine, Tarrant County, Texas

PROJECT NO.  
GRS001  
SHEET NO.  
35

Drawing: H:\Projects\GRS001\Restart 11062017\GRS001-TRAIL SHEETS.dwg Saved By: cmckinney Save Time: 2/7/2018 4:55 PM Plotted by: cmckinney Plot Date: 2/8/2018 1:05 PM

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,  
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: FEBRUARY 20, 2018

SUBJECT: PRELIMINARY PLAT APPLICATION  
LOTS 1 AND 2, BLOCK A, GLADE 360 ADDITION

PLAT APPLICATION FILING DATE..... February 13, 2018

APPLICANT..... Paul Gardner, Silvertree Partners

REASON FOR APPLICATION ..... Platting unplatted property  
to build apartment complex

PROPERTY LOCATION..... North of Glade Road and  
east of SH 360 service road

ACREAGE ..... 67.757

ZONING..... Existing LI & PCD  
Proposed R-MF

NUMBER OF LOTS..... Two (2)

PREVIOUS PLATTING..... No

CONCEPT PLAN..... Z18-01, CU18-02

SITE PLAN ..... PD18-01

OPEN SPACE REQUIREMENT ..... No

AVIGATION RELEASE..... Yes

PUBLIC HEARING REQUIRED..... No

**PLAT INFORMATION SHEET  
PRELIMINARY PLAT APPLICATION  
LOTS 1 AND 2, BLOCK A, GLADE 360 ADDITION**

I. GENERAL:

- The applicant, Paul Gardner with Silvertree Partners is preliminary platting 67.757 into an apartment complex. The property is located north of Glade Road and east of State Highway 360 service road.

II. STREET SYSTEM:

- The development has access to Glade Road and SH360.
- ALL abutting roads:  are on the City Thoroughfare Plan: Glade Road  
 are not on the City Thoroughfare Plan: SH360

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 15.00 / LF		

Periphery Street Fees are not due:

Developer is required to construct the north half of a Four (4) Lane Undivided Roadway of Glade Road to match up with the four (4) lane bridge over SH360.

III. STORM DRAINAGE SYSTEM:

- The site drains northeast towards Bear Creek.
- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for:
- Water and Wastewater Impact Fees are due prior to the issuance of building permits for: Lots 1 and 2, Block A, Glade 360 Addition
  - Single Family Residential ( \$ 2,414/ Lot)
  - Multifamily ( \$ 1,134/ Unit)
  - Hotel ( \$ 43,632/ Acre)
  - Corporate Office ( \$ 20,523/ Acre)
  - Government ( \$ 4,414/ Acre)
  - Commercial / Industrial ( \$ 5,739 / Acre)
- Open Space Fees are not required for: Lots 1 and 2, Block A, Glade 360 Addition
- Open Space Fees are due prior to the issuance of building permits and/or any public infrastructure improvements for
  - R-5.0, R-TH, Zero Lot District ( \$ 1,416.00 / Lot)
  - R-7.5, Single Family District ( \$ 1,146.00 / Lot)
  - R-12.5, Single Family District ( \$ 1,071.00 / Lot)
  - R-20.0, Single Family District ( \$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
  - Front building line
  - Allowing a setback of 3 feet for the rear property line for an accessory building
  - Lot width & depth
  - Max. Impervious Area
  - Landscaping Regulations, allowing no landscape buffer between the edge of the parking area and the adjacent property line.
- The following items associated with this plat are not in accordance with the current subdivision standards:
  - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
  - Length of cul-de-sac street exceeds the 600-foot limit:
  - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

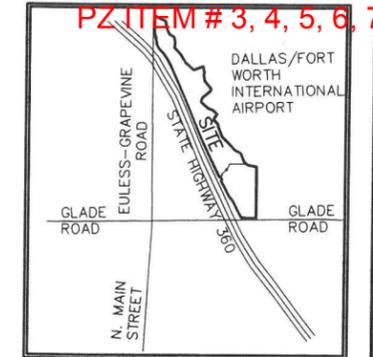
- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
- The right-of-way provides for future widening of public streets that will serve the development of this site.
  - The onsite utility easements provide for a utility network to serve the development of this site.
  - The onsite drainage easements provide for a drainage network to serve the development of this site.
  - The onsite access easements provide cross access capabilities to this site and surrounding property.
  - The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:

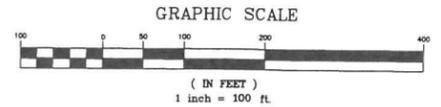
- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
- The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
- The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
- The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
- The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
- All of the dedications benefit the development to at least the extent of the impact of such on the development.

VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Preliminary Plat of Lots 1 and 2, Block A, Glade 360 Addition."



LOCATION MAP (NOT TO SCALE)



- NOTES:
1. THE BASIS OF BEARING IS DERIVED FROM GPS OBSERVATIONS USING THE CITY OF GRAPEVINE GEODETIC MONUMENTS. (COORDINATE SYSTEM: NORTH CENTRAL ZONE 4202 STATE PLANE COORDINATES, NAD 83)
  2. BENCHMARK: CITY OF GRAPEVINE MONUMENT NO. 9 (ELEVATION=589.64') CITY OF GRAPEVINE MONUMENT NO. 12 (ELEVATION=576.96')
  3. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 48439C0115K MAP REVISED SEPTEMBER 25, 2009, A PORTION OF THE SUBJECT TRACT LIES WITHIN SPECIAL FLOOD HAZARD AREA ZONE AE, AREAS DETERMINED TO BE INSIDE THE 100 YEAR FLOODPLAIN AS SHOWN ON THE MAP.



PRELIMINARY PLAT

GLADE 360 ADDITION  
LOTS 1 AND 2, BLOCK A

67.757 ACRES OUT OF THE  
ELIJAH C. CLARY SURVEY, ABSTRACT NUMBER 323,  
AND THE GREEN W. MINTER SURVEY, ABSTRACT NUMBER 1083  
CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS

EXISTING ZONING: LI & PCD  
PROPOSED ZONING: R-MF

**SILVER TREE PARTNERS** APPLICANT  
17101 Preston Road, Suite 100  
Dallas, Texas 75248 (972) 669-9955

**GRAPEVINE HOLDINGS, LTD** OWNER  
17101 Preston Road, Suite 100  
Dallas, Texas 75248 (972) 669-9955

**THE GARDNER 360 WLC PARTNERSHIP-WEST** OWNER  
17101 Preston Road, Suite 100  
Dallas, Texas 75248 (972) 669-9955

**KFF, LIMITED PARTNERSHIP  
AN OHIO LIMITED PARTNERSHIP** OWNER  
1810 Arling Lane  
Columbus, Ohio 43228

**JB PARTNERS, INC.** SURVEYOR  
16301 Quorum Drive, Suite 200 B  
Addison, Texas 75001 (972) 248-7676  
Contact: Chuck McKinney  
TBPE No. F-438 TBPLS No. 10076000

CURVE TABLE

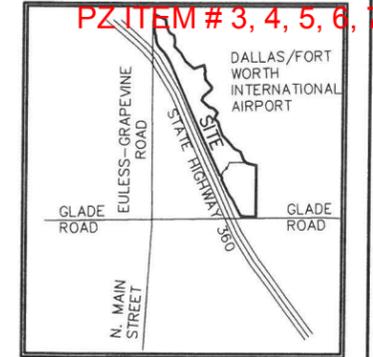
NO.	LENGTH	DELTA	RADIUS	TANGENT	CHORD BEARING	CHORD
C1	47.53'	005°59'09"	455.00'	23.79'	S53°15'28"E	47.51'
C2	23.92'	045°41'12"	30.00'	12.84'	N56°30'01"E	23.29'
C3	24.30'	019°36'25"	71.00'	12.27'	N23°27'37"E	24.18'
C4	30.80'	058°28'25"	30.00'	16.78'	N04°02'37"E	29.29'
C5	37.10'	070°50'49"	30.00'	21.34'	S60°36'00"E	34.78'
C6	282.77'	212°03'08"	71.00'	247.18'	S10°00'10"W	136.48'
C7	3.28'	006°15'41"	30.00'	1.84'	N87°06'08"W	3.28'
C8	87.91'	001°20'04"	3774.72'	43.98'	N25°49'41"W	87.90'
C9	394.27'	008°00'02"	3784.72'	197.32'	S28°09'40"E	394.09'
C10	298.30'	004°31'40"	3774.72'	148.23'	S28°54'39"E	298.23'
C11	569.86'	018°41'47"	1954.85'	286.86'	N33°31'42"W	567.84'
C12	572.57'	018°41'47"	1964.85'	288.33'	S33°31'42"E	570.55'

LINE TABLE

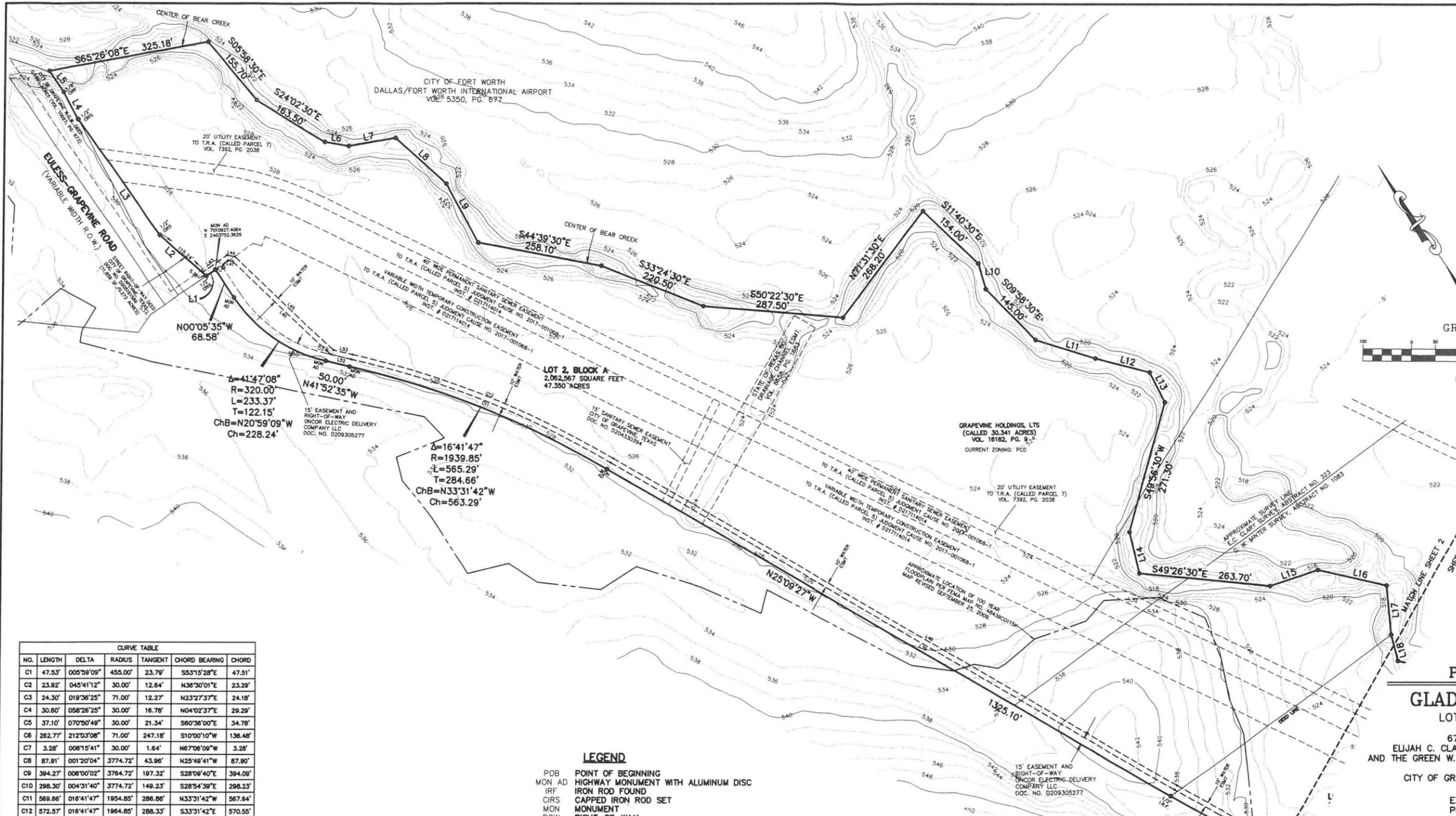
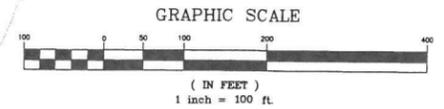
NO.	BEARING	LENGTH	NO.	BEARING	LENGTH	NO.	BEARING	LENGTH	NO.	BEARING	LENGTH
L1	N85°17'09"W	21.86'	L20	S14°34'30"E	99.40'	L39	N25°09'27"W	1325.10'	L58	S29°23'17"E	181.27'
L2	N14°16'31"W	128.04'	L21	S39°37'45"E	95.97'	L40	N12°14'50"W	276.76'	L59	S78°23'48"E	48.78'
L3	N00°32'19"W	286.88'	L22	S65°07'45"E	176.48'	L41	N45°02'48"W	10.61'	L60	S90°00'00"E	300.74'
L4	N06°59'08"E	62.50'	L23	N04°33'32"E	88.22'	L42	N80°00'00"W	53.79'	L61	S90°00'00"E	301.88'
L5	N00°08'35"E	51.65'	L24	N84°49'28"E	277.10'	L43	N90°00'00"W	60.47'	L62	S78°23'48"E	54.37'
L6	S45°28'30"E	49.50'	L25	N19°40'16"W	29.91'	L44	N45°02'48"W	17.89'	L63	S29°23'17"E	186.08'
L7	S65°14'30"E	93.90'	L26	N37°58'21"E	60.12'	L45	N12°14'50"W	277.06'	L64	S27°58'48"E	195.32'
L8	S12°58'30"E	136.30'	L27	S33°44'57"W	67.83'	L46	N25°09'27"W	1325.10'	L65	S31°03'10"E	101.05'
L9	S05°53'30"W	135.80'	L28	S64°49'28"W	286.27'	L47	N25°10'36"W	1513.51'			
L10	S17°59'30"W	53.80'	L29	S04°33'32"W	78.66'	L48	S64°49'24"W	19.52'			
L11	S38°11'30"E	129.00'	L30	N25°10'36"W	28.90'	L49	N25°10'36"W	10.00'			
L12	S40°53'30"E	115.80'	L31	N64°49'24"E	28.00'	L50	N64°49'24"E	19.52'			
L13	S08°02'30"W	87.70'	L32	S25°10'36"E	19.56'	L51	N25°10'36"W	79.12'			
L14	S20°44'30"W	85.80'	L33	N63°31'31"E	15.00'	L52	N41°52'35"W	42.53'			
L15	S73°47'30"E	101.20'	L34	N25°24'31"W	54.05'	L53	N41°52'35"W	39.89'			
L16	S42°36'12"E	146.00'	L35	S25°24'31"E	72.57'	L54	N02°57'29"E	21.05'			
L17	S29°28'25"W	100.00'	L36	S41°19'29"E	104.86'	L55	S41°19'29"E	104.89'			
L18	S20°23'40"W	54.55'	L37	S63°31'31"W	15.00'	L56	S31°03'10"E	102.21'			
L19	S40°58'41"E	130.10'	L38	N25°10'36"W	1595.95'	L57	S27°58'48"E	195.48'			

- LEGEND**
- POB POINT OF BEGINNING
  - MON AD HIGHWAY MONUMENT WITH ALUMINUM DISC
  - IRF IRON ROD FOUND
  - CIRS CAPPED IRON ROD SET
  - MON MONUMENT
  - ROW RIGHT-OF-WAY
  - HWY HIGHWAY
  - ESMT EASEMENT
  - ELEC ELECTRIC
  - PP POWER POLE
  - UGL UNDERGROUND LINE
  - TV TRAFFIC VAULT
  - TSP TRAFFIC SIGNAL POLE
  - TSB TRAFFIC SIGNAL BOX
  - LP LIGHT POLE
  - CONC CONCRETE
  - MHST MANHOLE STORM

Plotted by: cmckinney Plot Date: 2/13/2018 5:26 PM  
Drawing: H:\Projects\GRC001\DWG\XGRS001PPT.dwg Saved By: cmckinney Save Time: 2/13/2018 5:12 PM



LOCATION MAP  
(NOT TO SCALE)



CURVE TABLE						
NO.	LENGTH	DELTA	RADIUS	TANGENT	CHORD BEARING	CHORD
C1	47.53'	005°59'09"	455.00'	23.79'	S53°15'28"E	47.51'
C2	23.92'	045°41'12"	30.00'	12.64'	N36°30'01"E	23.29'
C3	24.30'	019°36'25"	71.00'	12.27'	N23°27'37"E	24.18'
C4	30.60'	058°26'25"	30.00'	16.78'	N04°02'37"E	29.29'
C5	37.10'	070°50'49"	30.00'	21.34'	S60°38'00"E	34.78'
C6	282.77'	212°03'08"	71.00'	247.18'	S10°00'10"W	136.48'
C7	3.28'	008°15'41"	30.00'	1.64'	N67°08'09"W	3.28'
C8	87.91'	001°20'04"	3774.72'	43.96'	N25°49'41"W	87.90'
C9	394.27'	008°00'02"	3784.72'	197.32'	S28°08'40"E	394.09'
C10	298.30'	004°31'40"	3774.72'	149.23'	S28°54'39"E	298.23'
C11	569.66'	016°41'47"	1954.85'	286.86'	N33°31'42"W	567.64'
C12	572.57'	016°41'47"	1964.85'	288.33'	S33°31'42"E	570.55'

LINE TABLE			LINE TABLE			LINE TABLE			LINE TABLE		
NO.	BEARING	LENGTH	NO.	BEARING	LENGTH	NO.	BEARING	LENGTH	NO.	BEARING	LENGTH
L1	N89°17'09"W	21.89'	L20	S14°34'30"E	99.40'	L39	N25°09'27"W	1325.10'	L58	S29°23'17"E	181.27'
L2	N14°16'31"W	128.04'	L21	S39°37'45"E	95.97'	L40	N12°14'50"W	276.78'	L59	S79°23'48"E	48.78'
L3	N00°32'19"W	288.88'	L22	S65°07'45"E	176.46'	L41	N45°02'48"W	10.61'	L60	S90°00'00"E	300.74'
L4	N08°59'09"E	62.50'	L23	N04°33'32"E	88.22'	L42	N90°00'00"W	53.79'	L61	S90°00'00"E	301.68'
L5	N00°08'35"E	51.85'	L24	N84°49'28"E	277.10'	L43	N90°00'00"W	60.47'	L62	S79°23'48"E	54.37'
L6	S45°26'30"E	49.50'	L25	N19°40'16"W	29.91'	L44	N45°02'48"W	17.69'	L63	S29°23'17"E	186.06'
L7	S85°14'30"E	93.90'	L26	N37°58'21"E	60.12'	L45	N12°14'50"W	277.06'	L64	S27°58'48"E	195.32'
L8	S12°56'30"E	138.30'	L27	S33°44'57"W	67.83'	L46	N25°09'27"W	1325.10'	L65	S31°03'10"E	101.05'
L9	S05°53'30"W	135.80'	L28	S84°49'28"W	286.27'	L47	N25°10'36"W	1513.51'			
L10	S17°59'30"W	53.80'	L29	S04°33'32"W	76.86'	L48	S84°49'24"W	19.52'			
L11	S38°11'30"E	128.00'	L30	N25°10'36"W	28.90'	L49	N25°10'36"W	10.00'			
L12	S40°53'30"E	115.80'	L31	N84°49'24"E	28.00'	L50	N84°49'24"E	19.52'			
L13	S08°02'30"W	67.70'	L32	S25°10'36"E	19.58'	L51	N25°10'36"W	79.12'			
L14	S20°44'30"W	85.80'	L33	N63°31'31"E	15.00'	L52	N41°52'35"W	42.53'			
L15	S73°47'30"E	101.20'	L34	N25°24'31"W	54.05'	L53	N41°52'35"W	39.89'			
L16	S42°36'12"E	148.00'	L35	S25°24'31"E	72.57'	L54	N02°57'29"E	21.05'			
L17	S29°26'25"W	100.00'	L36	S41°19'29"E	104.68'	L55	S41°19'29"E	104.69'			
L18	S20°23'40"W	54.55'	L37	S63°31'31"W	15.00'	L56	S31°03'10"E	102.21'			
L19	S40°56'41"E	130.10'	L38	N25°10'36"W	1595.95'	L57	S27°58'48"E	195.46'			

**LEGEND**

POB POINT OF BEGINNING  
 MON AD HIGHWAY MONUMENT WITH ALUMINUM DISC  
 IRF IRON ROD FOUND  
 CIRS CAPPED IRON ROD SET  
 MON MONUMENT  
 ROW RIGHT-OF-WAY  
 HWY HIGHWAY  
 ESMT EASEMENT  
 ELEC ELECTRIC  
 PP POWER POLE  
 UGL UNDERGROUND LINE  
 TV TRAFFIC VAULT  
 TSP TRAFFIC SIGNAL POLE  
 TSB TRAFFIC SIGNAL BOX  
 LP LIGHT POLE  
 CONC CONCRETE  
 MHST MANHOLE STORM

**NOTES:**

1. THE BASIS OF BEARING IS DERIVED FROM GPS OBSERVATIONS USING THE CITY OF GRAPEVINE GEODETIC MONUMENTS. (COORDINATE SYSTEM: NORTH CENTRAL ZONE 4202 STATE PLANE COORDINATES, NAD 83)
2. BENCHMARK: CITY OF GRAPEVINE MONUMENT NO. 9 (ELEVATION=589.64')  
 CITY OF GRAPEVINE MONUMENT NO. 12 (ELEVATION=576.96')
3. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 48439C0115K MAP REVISED SEPTEMBER 25, 2009, A PORTION OF THE SUBJECT TRACT LIES WITHIN SPECIAL FLOOD HAZARD AREA ZONE AE, AREAS DETERMINED TO BE INSIDE THE 100 YEAR FLOODPLAIN.

**PRELIMINARY PLAT**  
**GLADE 360 ADDITION**  
 LOTS 1 AND 2, BLOCK A

67.757 ACRES OUT OF THE  
 ELIJAH C. CLARY SURVEY, ABSTRACT NUMBER 323,  
 AND THE GREEN W. MINTER SURVEY, ABSTRACT NUMBER 1083  
 CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS

EXISTING ZONING: LI & PCD  
 PROPOSED ZONING: R-MF

**SILVER TREE PARTNERS** APPLICANT  
 17101 Preston Road, Suite 100  
 Dallas, Texas 75248 (972) 669-9955

**GRAPEVINE HOLDINGS, LTD** OWNER  
 17101 Preston Road, Suite 100  
 Dallas, Texas 75248 (972) 669-9955

**THE GARDNER 360 WLC PARTNERSHIP-WEST** OWNER  
 17101 Preston Road, Suite 100  
 Dallas, Texas 75248 (972) 669-9955

**KFF, LIMITED PARTNERSHIP  
 AN OHIO LIMITED PARTNERSHIP** OWNER  
 1810 Arlington Lane  
 Columbus, Ohio 43228

**JBI PARTNERS, INC.** SURVEYOR  
 16301 Quorum Drive, Suite 200 B  
 Addison, Texas 75001 (972) 248-7676  
 Contact: Chuck McKinney  
 TBPE No. F-438 TBPLS No. 10076000

Drawing: H:\Projects\GR5001\Drawings\GR5001P1.dwg Saved By: cmlkinney Save Time: 2/13/2018 5:12 PM Plotted by: cmlkinney Plot Date: 2/13/2018 5:26 PM

OWNER'S CERTIFICATE

STATE OF TEXAS §

COUNTY OF TARRANT §

WHEREAS, KFF Limited Partnership, an Ohio limited partnership, The Gardner 360 WLC Partnership--West, and Grapevine Holdings, LTD are the owners of a parcel of land located in the City of Grapevine, Tarrant County, Texas, being a part of the Elijah C. Clary Survey, Abstract Number 323, and being a part of the Green W. Minter Survey, Abstract 1083, and being all of that called 14.324 acre tract of land described in deed to KFF Limited Partnership, an Ohio limited partnership as recorded in Volume 14006, Page 43, Tarrant County Deed Records, and being all of that called 23.918 tract of land described in deed to The Gardner 360 WLC Partnership--West as recorded in Volume 15348, Page 75, Tarrant County Deed Records, and also being a part of that called 30.341 acre tract of land described in deed to Grapevine Holdings Ltd as recorded in Volume 16182, Page 9, Tarrant County Deed Records, and being further described as follows:

BEGINNING at a highway monument with an aluminum disc found at southwest corner of said 14.324 acre tract, said point also being at the intersection of the north right-of-way of Glade Road (a variable width right-of-way) with the east right-of-way of State Highway 360 (a variable width right-of-way);

THENCE along the east right-of-way line of State Highway 360 as follows:

North 29 degrees 23 minutes 17 seconds West, 193.24 feet to a highway monument with an aluminum disc found for corner;

North 27 degrees 58 minutes 48 seconds West, 195.10 feet to a highway monument with an aluminum disc found for corner;

North 31 degrees 03 minutes 10 seconds West, 99.30 feet to a highway monument with an aluminum disc found for corner;

North 41 degrees 19 minutes 29 seconds West, 104.66 feet to a highway monument with an aluminum disc found for corner;

Northwesterly, 399.12 feet along a curve to the right having a central angle of 06 degrees 02 minutes 03 seconds, a radius of 3789.72 feet, a tangent of 199.74 feet, and whose chord bears North 28 degrees 10 minutes 40 seconds West, 398.93 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

North 25 degrees 24 minutes 31 seconds West, 26.27 feet to a highway monument with an aluminum disc found for corner;

North 02 degrees 57 minutes 29 seconds East, 52.70 feet to a highway monument with an aluminum disc found for corner;

North 24 degrees 54 minutes 48 seconds West, 21.60 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner, said point being the northwest corner of said 14.324 acre tract, said point also being the southwest corner of that said 23.918 acre tract;

North 25 degrees 05 minutes 05 seconds West, 40.30 feet to a highway monument with an aluminum disc found for corner;

North 81 degrees 25 minutes 40 seconds West, 30.15 feet to a highway monument with an aluminum disc found for corner;

North 25 degrees 10 minutes 36 seconds West, 1585.93 feet to a one-half inch iron rod found for corner, said point being the northwest corner of said 23.918 acre tract, said point also being the southwest corner of said 30.341 acre tract;

North 25 degrees 09 minutes 27 seconds West, 1325.10 feet to a highway monument with an aluminum disc found for corner;

Northwesterly, 565.29 feet along a curve to the left having a central angle of 16 degrees 41 minutes 47 seconds, a radius of 1939.85 feet, a tangent of 284.66 feet, and whose chord bears North 33 degrees 31 minutes 42 seconds West, 563.29 feet to a highway monument with an aluminum disc found for corner;

North 41 degrees 52 minutes 35 seconds West, 50.00 feet to a highway monument with an aluminum disc found for corner;

Northwesterly, 233.37 feet along a curve to the right having a central angle of 41 degrees 47 minutes 08 seconds, a radius of 320.00 feet, a tangent of 122.15 feet, and whose chord bears North 20 degrees 59 minutes 09 seconds West, 228.24 feet to a highway monument with an aluminum disc found for corner;

North 00 degrees 05 minutes 35 seconds West, 68.58 feet to a highway monument with an aluminum disc found for corner;

North 89 degrees 17 minutes 09 seconds West, 21.89 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner in the east right-of-way line of Eules--Grapevine Road per a street right-of-way deed to the City of Grapevine as recorded in Document Number D205161589, Tarrant County Deed Records;

THENCE along the east right-of-way line of Eules--Grapevine Road as follows:  
North 14 degrees 16 minutes 31 seconds West, 126.04 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

North 00 degrees 32 minutes 19 seconds West, 286.88 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

North 06 degrees 59 minutes 09 seconds East, 62.50 feet to a five-eighths inch iron rod with yellow cap stamped "SURVCON INC." found for corner;

North 00 degrees 08 minutes 35 seconds East, 51.65 feet to a point for corner in the centerline of Bear Creek, said point also being in the west line of the Dallas/Fort Worth International Airport;

THENCE along the centerline of Bear Creek and the east line of said 30.341 acre tract and the west line of the Dallas/Fort Worth International Airport as follows:

South 65 degrees 26 minutes 08 seconds East, 325.18 feet to a point for corner;

South 05 degrees 58 minutes 30 seconds East, 155.70 feet to a point for corner;

South 24 degrees 02 minutes 30 seconds East, 163.50 feet to a point for corner;

South 45 degrees 26 minutes 30 seconds East, 49.50 feet to a point for corner;

South 65 degrees 14 minutes 30 seconds East, 93.90 feet to a point for corner;

South 12 degrees 58 minutes 30 seconds East, 138.30 feet to a point for corner;

South 05 degrees 53 minutes 30 seconds West, 135.80 feet to a point for corner;

South 44 degrees 39 minutes 30 seconds East, 258.10 feet to a point for corner;

South 33 degrees 24 minutes 30 seconds East, 220.50 feet to a point for corner;

South 50 degrees 22 minutes 30 seconds East, 287.50 feet to a point for corner;

North 71 degrees 31 minutes 30 seconds East, 268.20 feet to a point for corner;

South 11 degrees 40 minutes 30 seconds East, 154.00 feet to a point for corner;

South 17 degrees 59 minutes 30 seconds West, 53.80 feet to a point for corner;

South 09 degrees 58 minutes 30 seconds East, 145.00 feet to a point for corner;

South 38 degrees 11 minutes 30 seconds East, 129.00 feet to a point for corner;

South 40 degrees 02 minutes 30 seconds East, 115.60 feet to a point for corner;

South 08 degrees 02 minutes 30 seconds West, 67.70 feet to a point for corner;

South 49 degrees 56 minutes 30 seconds West, 271.30 feet to a point for corner;

South 20 degrees 44 minutes 30 seconds West, 85.80 feet to a point for corner;

South 49 degrees 26 minutes 30 seconds East, 263.70 feet to a point for corner;

South 73 degrees 47 minutes 30 seconds East, 101.20 feet to a point for corner;

South 42 degrees 36 minutes 12 seconds East, 146.00 feet to a point for corner;

South 29 degrees 26 minutes 25 seconds West, 100.00 feet to the northeast corner of said 23.918 acre tract of land;

THENCE continuing along the centerline of Bear Creek and the east line of said 23.918 acre tract and the west line of the Dallas/Fort Worth International Airport as follows:

South 20 degrees 23 minutes 40 seconds West, 54.55 feet to a point for corner;

South 40 degrees 58 minutes 41 seconds East, 130.10 feet to a point for corner;

South 14 degrees 34 minutes 30 seconds East, 99.40 feet to a point for corner;

South 21 degrees 54 minutes 48 seconds East, 222.15 feet to a point for corner;

South 44 degrees 08 minutes 29 seconds East, 375.19 feet to a point for corner;

South 39 degrees 37 minutes 45 seconds East, 95.97 feet to a point for corner;

South 65 degrees 07 minutes 45 seconds East, 176.46 feet to a point for corner;

South 20 degrees 43 minutes 45 seconds East, 212.81 feet to a point for corner;

South 48 degrees 50 minutes 35 seconds East, 144.20 feet to a point for corner;

South 79 degrees 25 minutes 45 seconds East, 205.58 feet to a point for corner;

THENCE continuing along the east line of said 23.918 acre tract and the west line of the Dallas/Fort Worth International Airport as follows:  
South 01 degrees 20 minutes 13 second West, 30.64 feet to a point for corner;

South 01 degrees 06 minutes 45 seconds East, 239.36 feet to a five-eighths inch iron rod found at the southeast corner of said 23.918 acre tract, said point also being the northeast corner of said 14.324 acre tract;

THENCE South 00 degrees 00 minutes 54 seconds East, 993.83 feet along the west line of the Dallas/Fort Worth International Airport to a monument with brass disc found for corner, said point being the southeast corner of said 14.324 acre tract, said point also being in the north right-of-way line of Glade Road;

THENCE along the north right-of-way line of Glade Road as follows:  
West, 234.43 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

North 79 degrees 23 minutes 48 seconds West, 132.59 feet to the POINT OF BEGINNING and containing 2,951,513 square feet or 67.757 acres of land.

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS, THAT KFF Limited Partnership, an Ohio limited partnership, The Gardner 360 WLC Partnership--West, and Grapevine Holdings, LTD does hereby adopt this plat of GLADE 360 ADDITION, an addition to the City of Grapevine, Tarrant County, Texas, and does hereby dedicate to the public use forever the right-of-way and easements shown hereon. The easements shown hereon are hereby reserved for the purposes as indicated. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of paving on the easements is the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed, or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using, or desiring to use same. Any City or franchised utility shall have the full right to remove and keep removed all or parts of any fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all City or franchised utilities shall at all times have the full right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone. We have reviewed the City's findings concerning dedications and I do agree that the statements are true and correct. This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

Witness my hand this the \_\_\_\_\_ day of \_\_\_\_\_, 2018.

(Signature of KFF Limited Partnership Representative)

(printed Title of KFF Signee)

STATE OF \_\_\_\_\_ §

COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared \_\_\_\_\_ known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 2018.

Notary Public, State of Texas

Witness my hand this the \_\_\_\_\_ day of \_\_\_\_\_, 2018.

(Signature of The Gardner 360 WLC Partnership--West)

(printed Title)

STATE OF \_\_\_\_\_ §

COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared \_\_\_\_\_ known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 2018.

Notary Public, State of Texas

Witness my hand this the \_\_\_\_\_ day of \_\_\_\_\_, 2018.

(Signature of Grapevine Holdings, LTD)

(printed Title)

STATE OF \_\_\_\_\_ §

COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared \_\_\_\_\_ known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 2018.

Notary Public, State of Texas

PLANNING & ZONING COMMISSION:

Date Approved: \_\_\_\_\_

Chairman: \_\_\_\_\_

Secretary: \_\_\_\_\_

GRAPEVINE CITY COUNCIL:

Date Approved: \_\_\_\_\_

Mayor: \_\_\_\_\_

City Secretary: \_\_\_\_\_

AVIGATION RELEASE

THE STATE OF TEXAS §

COUNTY OF TARRANT §

WHEREAS, KFF Limited Partnership, an Ohio limited partnership, The Gardner 360 WLC Partnership--West, and Grapevine Holdings, LTD, hereinafter called "Owner", are the owners of that certain parcel of land situated in the City of Grapevine, Tarrant County, Texas, being said property as described as shown on this plat. NOW THEREFORE, in consideration of the sum of ONE AND 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confessed, Owner does hereby waive, release, remise and quitclaim to the City of Grapevine, Tarrant County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas, Texas and Fort Worth, Texas, their successors and assigns, hereinafter called "Cities", for the use and benefit of the public and its agencies, any and all claims for damages of any kind to persons or property that Owner may suffer by reason of the passage and flight of all aircraft in the air space above Owner's property above the height restriction as presently established by Ordinance No. 73-50 for the City of Grapevine, known as the Airport Zoning Ordinance of the Dallas-Fort Worth International Airport, to an infinite height above same, whether such damage shall originate from noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft, landing at, or taking off from, or operating at or on the Dallas-Fort Worth International Airport. This instrument does not release the owners or operators of aircraft from liability for damage to person or property caused by falling aircraft or falling physical objects from aircraft, except as stated herein with respect to noise, fumes, dust, fuel, and lubricant particles. It is agreed that this Release shall be binding upon said owner and his heirs and assigns, and successors in interest to said property, and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of the county or counties in which the property is situated.

EXECUTED at \_\_\_\_\_, Texas, this \_\_\_ day of \_\_\_\_\_, 2018.

(Signature of KFF Limited Partnership Representative)

(printed Title of KFF Signee)

STATE OF \_\_\_\_\_ §

COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared \_\_\_\_\_ known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 2018.

Notary Public, State of Texas

EXECUTED at \_\_\_\_\_, Texas, this \_\_\_ day of \_\_\_\_\_, 2018.

(Signature of The Gardner 360 WLC Partnership--West)

(printed Title)

STATE OF \_\_\_\_\_ §

COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared \_\_\_\_\_ known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 2018.

Notary Public, State of Texas

EXECUTED at \_\_\_\_\_, Texas, this \_\_\_ day of \_\_\_\_\_, 2018.

(Signature of Grapevine Holdings, LTD)

(printed Title)

STATE OF \_\_\_\_\_ §

COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared \_\_\_\_\_ known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 2018.

Notary Public, State of Texas

Surveyor's Certificate

Know All Men By These Presents:

That I, Mark W. Harp, of JBI Partners Inc., a Registered Professional Land Surveyor of the State of Texas, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the platting rules and regulations of the State of Texas and the City of Grapevine, Texas.

Dated this, the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

FOR REVIEW AND PRELIMINARY PURPOSES ONLY

Mark W. Harp, R.P.L.S. # 6425

JBI Partners, Inc.

STATE OF TEXAS §

COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Mark W. Harp, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 2018.

Notary Public, State of Texas

PRELIMINARY PLAT

GLADE 360 ADDITION

LOTS 1 AND 2, BLOCK A

67.757 ACRES OUT OF THE  
ELIJAH C. CLARY SURVEY, ABSTRACT NUMBER 323,  
AND THE GREEN W. MINTER SURVEY, ABSTRACT NUMBER 1083

CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS

EXISTING ZONING: LI & PCD  
PROPOSED ZONING: R-MF

SILVER TREE PARTNERS APPLICANT

17101 Preston Road, Suite 100 (972) 669-9955  
Dallas, Texas 75248

GRAPEVINE HOLDINGS, LTD OWNER

17101 Preston Road, Suite 100 (972) 669-9955  
Dallas, Texas 75248

THE GARDNER 360 WLC PARTNERSHIP--WEST OWNER

17101 Preston Road, Suite 100 (972) 669-9955  
Dallas, Texas 75248

KFF, LIMITED PARTNERSHIP AN OHIO LIMITED PARTNERSHIP OWNER

1810 Arlingdale Lane Columbus, Ohio 43228

JBI PARTNERS, INC. SURVEYOR

16301 Quorum Drive, Suite 200 B (972) 248-7676  
Addison, Texas 75001

Contact: Chuck McKinney  
TBPE No. F-438 TBPLS No. 10076000

THIS PLAT WAS FILED IN CABINET \_\_\_\_\_, SLIDE \_\_\_\_\_, DATE \_\_\_\_\_

February 13, 2018

Sheet 3 of 3

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER BR

MEETING DATE: FEBRUARY 20, 2018

SUBJECT: CITY COUNCIL PUBLIC HEARING – 44TH YEAR COMMUNITY DEVELOPMENT BLOCK GRANT (CDBG) PROGRAM

RECOMMENDATION:

City Council to:

- Conduct a Public Hearing to receive public input relative to the proposed 44th Year Community Development Block Grant (CDBG) Program street reconstruction project; and
- Authorize staff to proceed with the application submittal to Tarrant County and take any necessary action.

FUNDING SOURCE:

The current estimated cost of the project is \$446,545 of which approximately \$212,000 is expected to be provided by Tarrant County. The City's match of \$234,545 is expected to be funded from the Capital Projects – Streets Fund.

BACKGROUND:

The scope of the project is the reconstruction of the 500 block of South Dooley Street (from Franklin Street to College Street) including new curb and gutter, asphalt paving, sidewalks on both sides of the road, handicap ramps and driveway approaches.

The roadway reconstruction project is located in the Original Town of Grapevine, CDBG Target Area designated as census tract 1137.05 Block Group 4 in the Housing and Urban Development (HUD) Low/Moderate Income Survey Data (LMISD).

These improvements will contribute to the upgrade of the areas by providing an improved travel surface for motorists and pedestrians in the neighborhood.

The construction cost estimate for this project including engineering is \$446,545. The application process requires that the following statement be included in the memo:

The City shall be responsible for all costs of the 44th Year CDBG project that exceeds the amount of the grant fund.

Staff recommends approval.

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>

MEETING DATE: FEBRUARY 20, 2018

SUBJECT: APPROVAL OF A RESOLUTION AND RELATED DOCUMENTS  
FOR THE PURCHASE OF SOFTBALL FIELD LIGHTING

RECOMMENDATION:

City Council to consider approval of a resolution for the purchase and financing of softball field lighting from Musco Lighting through an interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) and execute all necessary documents.

FUNDING SOURCE:

Appropriation for future payments related to this purchase will be budgeted annually and paid for from account 121-48850-312-000-170003 (Capital Improvements Other than Buildings) for a total amount not to exceed \$2,499,251.00 plus related financing costs.

BACKGROUND:

This project will add a fourth field to the Oak Grove Softball Complex, remove and replace the existing parking lot, along with upgrade the concession stand area and restroom facility to meet current ADA standards. Youth and adult softball, along with kickball, continue to grow in participation numbers and the existing facility and amenities have become outdated. The scope for Musco in this project will include Musco's Light Structure TLC-LED along with all electrical work plans and specs. These lights will be financed over a ten-year period (at approximately \$300,000 per year) at 3.95% interest through Musco. Annual payments will be budgeted in the Quality of Life fund.

This purchase will be made in accordance with an existing interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to Musco Lighting. The Parks and Recreation and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would best meet the needs of the City.

Staff recommends approval.

CS/BS



**Oak Grove Park Softball Complex Lighting and Electrical  
Grapevine, Texas**

**Buy Board**

**Contract Number: 512-16, Expiration: 09/30/2019**

**Commodity: Parks/Rec & Field Lighting**

**Date: February 8, 2018**

Equipment Description

Light-Structure Green™ System delivered to your site in Five Easy Pieces™

- Pre-cast concrete bases
- Galvanized steel poles
- UL Listed remote electrical component enclosure
- Pole length wire harness
- Factory-aimed and assembled LED luminaires

Also Includes:

- 50% less spill and glare light than Musco's prior industry leading technology
- Musco Constant 25™ warranty and maintenance program that eliminates 100% of your maintenance costs for 25 years, including labor and materials for the sports lighting
- Guaranteed constant light level of 50 footcandles on the infield and 30 footcandles on the outfield for 25 years
- Control Link® Control & Monitoring System for flexible control and solid management of your lighting system
- Lighting Contactors
- Push Button Player Activations
- Structural Engineering
- Turnkey Installation of all electrical per plans and specs (see page 2 for installation services)
- Bonding and Insurance

Quote

Musco's Light Structure TLC-LED with all Electrical.....\$2,499,251

**Pricing furnished is effective for 60 days unless otherwise noted and is considered confidential.**

Payment Terms

**Net 30.**

Musco will attempt to coordinate shipment so that delivery corresponds with the customer's payment schedule. We will expect payment within the terms described above unless there is a written statement from Musco's corporate headquarters stating the acceptance of different terms.

- **Delivery to the job site from the time of order, submittal approval, and confirmation of order details including voltage and phase, pole locations is approximately 30-45 days. Due to the built-in custom light control per luminaire, pole locations need to be confirmed prior to production. Changes to pole locations after the product is sent to production could result in additional charges.**

Notes

---

Quote is based on:

- Shipment of entire project together to one location
- Structural code and wind speed = 2015 IBC, 115 MPH
- Confirmation of pole locations prior to production

Installation Services

Stand (20) Musco Light Structure poles with (168) LED fixtures. Also install (27) parking lot poles and bases with (33) LED fixtures. All electrical associated with print sheets E1.1, E1.2, E1.3, E1.4, E1.5, E1.6, E1.7, E1.8, E1.9, E1.10, E1.11, E2.1, E2.2, E2.3, E3.1, E3.2, E3.3, E3.4, E4.1, E4.2, and E5.1 includes the following:

- Unload Musco poles, fixtures and components at site
- Storage of glass product at site
- Assemble Musco poles, Musco fixtures, and driver containers
- Install wiring harness from ballast containers to light fixtures
- Drill holes and install Musco's precast concrete; backfill with concrete per Musco structural design
- Use of casings; steel or suspended pole bases
- Stand poles and attach to base
- Clean-up paper wrappings
- Check light levels; make aiming adjustments if necessary
- Trench, Pipe, and Wire
- Electrical Panels and associated gear
- Lighting not provided by Musco
- Misc. Materials
- Labor

RESOLUTION NO. 2018-013

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE SOFTBALL FIELD LIGHTING THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT; AUTHORIZING THE CITY OF GRAPEVINE, TEXAS TO ENTER INTO A PUBLIC PROPERTY FINANCE ACT CONTRACT; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas (the "City") is a local government in the State of Texas (the "State") and as such is empowered by the Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791 to enter into an interlocal agreement with other qualified agencies in the State of Texas; and

WHEREAS, the City is authorized under the Constitution and laws of the State, particularly by the Texas Local Government Code, Chapter A, Chapter 271, as amended, to enter into financing agreements to finance the acquisition and installation of personal property; and

WHEREAS, The Local Government Purchasing Cooperative (BuyBoard) is a qualified purchasing cooperative program as authorized by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791; and

WHEREAS, the City has established an interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) and wishes to utilize established contracts meeting all State of Texas bidding requirements; and

WHEREAS, The Local Government Purchasing Cooperative (BuyBoard) has an established contract no. 512-16, Parks and Recreation Equipment and Field Lighting Products and Installation, with Musco Lighting; and

WHEREAS, the City has a need to replace softball field lighting for the Parks and Recreation department; and

WHEREAS, the City Council of the City hereby finds and determines that it is in the best interest of the City of enter into a Public Property Finance Contract with First Security Finance, Inc. in substantially the form as presented at this meeting for the purpose of providing financing for the acquisition and installation of certain personal property at City facilities as identified above.

WHEREAS, the City finds that it is in the best interests of the City to finance the Personal Property by entering into the Finance Contract with First Security Finance, Inc., an Arkansas corporation; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase of softball field lighting from Musco Lighting through an interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) for an amount not to exceed \$2,499,251.00.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of said softball field lighting.

Section 4. Under the authority of the Constitution and laws of the State, including particularly the Authorizing Legislation, there is hereby authorized the execution of the Finance Contract with First Security Finance, Inc. substantially in the same form as that which was presented to this meeting. The Finance Contract shall mature on \_\_\_\_\_, in the aggregate amount of \$2,499,251.00 and shall bear interest at the rate of 3.95% per annum commencing on \_\_\_\_\_, 2018 and is payable on the dates and in the amounts provided in the Finance Contract.

Section 5. To provide for the payment of the principal and interest installment amounts of the Finance Contract (the "Payments"), there shall be and there is hereby levied for the current year and each succeeding year thereafter while the Finance Contract shall remain in effect, a sufficient tax, within the limitations prescribed by law, on each one hundred dollars valuation of taxable property in the City, adequate to pay the Payments, full allowance being made for delinquencies and costs of collection; said tax shall be assessed and collected each year and applied to the payment of the Payments, and the same shall not be diverted to any other purpose. The taxes so levied and collected shall be paid into the Payment Fund and are thereafter pledged to the payment of the Finance Contract. The City Council hereby declares its purpose and intent to provide and levy a tax legally and fully sufficient to pay such Payments, it having been determined that the existing and available taxing authority of the City for such purpose is adequate to permit a legally sufficient tax in consideration of all other outstanding indebtedness.

Section 6. The Mayor, the City Secretary, and the City Manager, for and on behalf of the City, are hereby authorized and directed to do any and all things necessary to effect the execution and delivery of the Finance Contract and the exhibits thereto and the performance of all other acts of whatever nature necessary to effect and carry out the authority conferred by this Resolution. The Mayor, the City Secretary, and the City

Manager are hereby authorized and directed, for and on behalf of the City, to execute all papers, documents, certificates, and other instruments that may be required for the carrying out of such authority or to evidence the exercise thereof.

Section 7. The provisions of this Resolution are hereby declared to be severable, and if any such provision shall be for any reason be held illegal or invalid, such holding shall not affect the validity of the remainder of this Resolution.

Section 8. All resolutions and parts thereof in conflict herewith are hereby repealed to the extent of such conflict.

Section 9. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of February, 2018.

APPROVED:

\_\_\_\_\_  
William D. Tate  
Mayor

ATTEST:

\_\_\_\_\_  
Tara Brooks  
City Secretary

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
MEETING DATE: February 20, 2018  
SUBJECT: BUILDING BOARD OF APPEALS APPOINTMENT

RECOMMENDATION

City Council to consider the mid-year appointment of Kosse Maykus and Neal Cooper to fill vacancies on the Building Board of Appeals.

BACKGROUND

The Building Board of Appeals has a vacant regular position and an alternate position with both terms to expire this year. These positions were not filled during the regular appointments last summer due to a lack of applications.

Per Ordinance, the Board should consist of members with the following qualifications:

- General Contractor
- Registered Master Electrician
- Registered Mechanical Contractor
- Registered Master Plumber
- Architect or Engineer
- 2 members and alternate from any profession

The vacant positions would both be for a citizen from any profession.

Council Member Coy has requested Kosse Maykus be appointed as the regular member and Neal Cooper be appointed to the alternate position on the Board. A copy of the applications for Mr. Maykus and Mr. Cooper are attached.

TAB



CITY OF GRAPEVINE  
BOARD AND COMMISSION APPLICATION

**BOARD OR COMMISSION:** Building Board of Appeals  
Use a separate application for each appointment desired.

Name: Ms. Mrs. Mr. Dr. Kosse Maykus

Address: 421 Smith

Cell phone: 817.991.8182 Work phone: 817.329.3111

Employer: Maykus Custom Homes

Occupation: builder

Grapevine Resident 3 Years Tarrant Co. Voter Registration No. 1046751912

E-mail Address: -

**Why are you interested in being appointed to this board/commission?**

I love Grapevine. This is an opportunity to benefit my community, Grapevine, and my industry, homebuilding.

**List any City service and experience, civic organizations, as well as professional activities.**

Irving Planning & Zoning Commission 1983-1989, Chairman 1986-1989; Southlake Building Board of Appeals Chair

**What is your educational and occupational experience?**

Resume attached

What other knowledge, experience, or education do you have that is applicable to the board/commission function?

Certified Master Builder, certified graduate builder, graduate master builder, certified green builder

What do you believe will be your most significant contribution to the board/commission?

Bring my 40 years of building experience to the Board

What else would you like to tell us about yourself?

List the name and phone number of one Grapevine resident, City staff, City Council, or current Committee member who may be contacted on your behalf.

Paul Slehta

Number of Board/Commission meetings attended in past 12 months 0

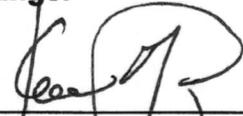
Number of City Council meetings attended in past 12 months 4

Have you ever entered a guilty plea or no contest or been convicted of a crime in a civilian or military court or received a deferred adjudication (not including traffic violations)? no

If yes to the above question, what offense(s) and counties/states/dates? If this is not applicable, type "NA". (A criminal record will not necessarily disqualify you from appointment).

I understand that by signing this application my attendance will be required at all committee meetings.

Signature:



Date:

2/13/2018

Please return completed application to:

City Secretary's Office, 200 South Main Street, Grapevine, TX 76051  
Office 817-410-3182 Fax: 817-410-3004  
Email: tbrooks@grapevinetexas.gov

# Kosse Kyle Maykus

ITEM # 9

421 Smith; Grapevine, Texas; 76051  
Cell-817.991.8182;office-817.329.3111  
E-Mail:

<b>Education</b>	1974 - 1978 <b>Texas Tech University, Lubbock, Texas</b>	BBA-Accounting
<b>Professional Experience</b>	1979-Present <b>KM Properties, Inc. DBA Maykus Custom Homes</b>	President
	1994-Present <b>Hat Creek Development, LLC</b>	President
	1996-Present <b>Certified Master Builder Certification</b>	
	2007-Present <b>Certified Graduate Builder</b>	
	2011-Present <b>Graduate Master Builder</b>	
	2007-Present <b>Certified Green Professional</b>	
	1999-Present <b>Hat Creek Realty</b>	President
	2004-Present <b>BIG Title</b>	Managing Partner
<b>Community &amp; Volunteer Activities</b>	<b>Texas Onsite Wastewater Commission</b>	Appointed May 2002
	Vice-Chairman	2004-2006
	<b>Chairman</b>	2006-2009
	<b>Fort Worth Builder's Association</b>	1992-Present
	President	2001-2002
	<b>Texas Association of Builders</b>	
	Board of Directors	1998-2009
	Area Vice-President	2002-2007
	Trustee-HOME PAC	2002-2007
	Life Director	appointed 2006
	<b>Southlake Building Board of Appeals</b>	Chairman 1995-2007
	<b>Southlake Chamber of Commerce</b>	
	Board of Directors	1993-1998
Chairman	1996-1997	
<b>Whites Chapel Methodist Church</b>		
Administrative Board	1994-Present	
Long Range Planning, Co-Chair	1997-2009	
Building Committee, Co-Chairman	1995, 1998-2010	
<b>Southlake Adventure Alley (\$250,000 Community Funded Park)</b>	Chairman	
<b>Irving Home Builders, President</b>	1987	
<b>Dallas Home &amp; Apartment Builders</b>	1987	
<b>Construction Technology-North Lake College, Adjunct Professor</b>	1986-1993	

# Kosse Kyle Maykus

ITEM # 9

<b>Awards</b>	Southlake "Builder of the Year"	2002
	Greater Fort Worth Builder's Association "Builder of the Year"	2003
	Greater Fort Worth Builder's Association "Developer of the Year"	2005
	Stewart Title-Sanctity of Contract	2004
	Greater Fort Worth Builder's Association "Developer of the Year"	2017



ITEM # 9

CITY OF GRAPEVINE  
BOARD AND COMMISSION APPLICATION

**BOARD OR COMMISSION:** Building Board of Appeals  
Use a separate application for each appointment desired.

Name: Ms. Mrs. Mr. Dr. Neal Cooper

Address: 404 E Wall St

Cell phone: 214-435-4502 Work phone: 817-727-3467

Employer: Copper Street Homes

Occupation: Home Builder

Grapevine Resident 6 Years Tarrant Co. Voter Registration No. 1189685362

E-mail Address: \_\_\_\_\_

**Why are you interested in being appointed to this board/commission?**

It would be an opportunity for me to give back some time to the city in an area that I have a great interest in.  
\_\_\_\_\_  
\_\_\_\_\_

**List any City service and experience, civic organizations, as well as professional activities.**

New Home builder for 8 years with homes built in Grapevine, Southlake, Coppell, Farmers Branch, Flower Mound, and Burleson  
\_\_\_\_\_  
\_\_\_\_\_

**What is your educational and occupational experience?**

I have a BSEE from Southern Methodist University, 19 patents in imaging technology, and have authored several articles on technology.  
I have created and sold two technology companies over the past 18 years.  
\_\_\_\_\_  
\_\_\_\_\_

RECEIVED  
FEB 05 2018  
City Secretary's  
Office

What other knowledge, experience, or education do you have that is applicable to the board/commission function?

I have been a hands on builder for the last 8 years with a strong desire to create and build homes that have superior construction, forward thinking technologies, and are unique to the market. I have strong interactions with all the trades of the home construction along with direct interface to city services in all aspects.

What do you believe will be your most significant contribution to the board/commission?

I have a strong desire to understand and implement new technologies and approaches that help advance home construction. This requires a strong understanding on the fundamentals along with current processes and techniques in order to access future trends and how to create new home construction processes.

What else would you like to tell us about yourself?

I am strong on innovation.

List the name and phone number of one Grapevine resident, City staff, City Council, or current Committee member who may be contacted on your behalf.

Joe Lipscomb 817-929-4013

Number of Board/Commission meetings attended in past 12 months 15

Number of City Council meetings attended in past 12 months 3

Have you ever entered a guilty plea or no contest or been convicted of a crime in a civilian or military court or received a deferred adjudication (not including traffic violations)? No

If yes to the above question, what offense(s) and counties/states/dates? If this is not applicable, type "NA". (A criminal record will not necessarily disqualify you from appointment).

I understand that by signing this application my attendance will be required at all committee meetings.

Signature: Neal Cooper Digitally signed by Neal Cooper Date: 2018.02.04 14:48:10 -06'00'

Date:

Please return completed application to:

City Secretary's Office, 200 South Main Street, Grapevine, TX 76051
Office 817-410-3182 Fax: 817-410-3004
Email: tbrooks@grapevintexas.gov

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>

MEETING DATE: FEBRUARY 20, 2018

SUBJECT: APPROVAL OF TO RENEW AN ANNUAL CONTRACT FOR OFFICE SUPPLIES

RECOMMENDATION:

City Council to consider approval to renew an annual contract for office supplies with Office Depot, Inc.

FUNDING SOURCE:

Funding for this purchase is limited to the budgeted amount by each department for an annual estimated budgeted amount of \$200,000.00.

BACKGROUND:

This purchase will be made in accordance with an existing Cooperative Agreement with The Cooperative Purchasing Network (TCPN) as allowed by Texas Local Government Code, Section 271.102, Cooperative Purchasing Program. The contract was for an initial one-year period with four optional, one-year renewals. If approved, this will be the third renewal option.

Bids were taken by the Cooperative and a contract was awarded to Office Depot. The Purchasing staff reviewed the contract for specification compliance and pricing and determined that the contract would provide the best service and pricing for meeting the needs of the City.

Staff recommends approval.

BS

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
MEETING DATE: FEBRUARY 20, 2018  
SUBJECT: APPROVAL OF A RESOLUTION FOR THE PURCHASE OF A  
TORO GROUNDSMASTER 3280 MOWER

RECOMMENDATION:

City Council to consider approval of a resolution for the purchase of a Toro Groundsmaster 3280 mower from Professional Turf Products, L.P. for use at the Grapevine Golf Course.

FUNDING SOURCE:

Funding for this purchase is currently available in account 210-48860-340-002 (Machinery and Equipment) for a total amount not to exceed \$25,004.54.

BACKGROUND:

The mower is being purchased as a replacement for a mower that is 10 years old and has become a burden to the repair budget.

This purchase will be made in accordance with an existing interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the cooperative and a contract was awarded to Professional Turf Products, L.P. The Golf Department and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

Staff recommends approval.

MT/LW

RESOLUTION NO. 2018-014

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE A TORO GROUNDSMASTER 3280 MOWER THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791 to enter into an interlocal agreement with other qualified agencies in the State of Texas; and

WHEREAS, The Local Government Purchasing Cooperative (BuyBoard) is a qualified purchasing cooperative program as authorized by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791; and

WHEREAS, the City of Grapevine, Texas has established an interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) and wishes to utilize established contracts meeting all State of Texas bidding requirements; and

WHEREAS, The Local Government Purchasing Cooperative (BuyBoard) has an established contract no. 529-17, Grounds Maintenance Equipment, Irrigation Parts, Supplies and Installation, with Professional Turf Products, L.P.; and

WHEREAS, the City of Grapevine, Texas has a need to purchase a new Toro Groundskeeper 3280 mower for the Grapevine Golf Course; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase of a new Toro Groundskeeper 3280 mower from Professional Turf Products, L.P. through an interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) for an amount not to exceed \$25,004.54.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of said Toro Groundsmaster 3280 mower.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of February, 2018.

APPROVED:

\_\_\_\_\_  
William D. Tate  
Mayor

ATTEST:

\_\_\_\_\_  
Tara Brooks  
City Secretary

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
MEETING DATE: FEBRUARY 20, 2018  
SUBJECT: APPROVAL OF A RESOLUTION FOR THE PURCHASE OF  
VMWARE SUPPORT SERVICES

RECOMMENDATION:

City Council to consider approval of a resolution for the purchase of VMware support services from SHI Government Solutions.

FUNDING SOURCE:

Funds for this purchase are available in account 100-44500-101-002 (IT Software and Maintenance Fees) for an amount not to exceed \$69,198.49.

BACKGROUND:

This is for one year of software license maintenance of VMWare for the virtual desktop infrastructure and virtual desktop infrastructure management and administration tools.

This purchase will be made in accordance with an existing interlocal agreement with the State of Texas Department of Information Resources (DIR) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to SHI Government Solutions. The IT Department staff and Purchasing reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

Staff recommends approval.

TA/BS

RESOLUTION NO. 2018-015

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE VMWARE SUPPORT SERVICES THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791 to enter into an interlocal agreement with other qualified agencies in the State of Texas; and

WHEREAS, the State of Texas Department of Information Resources (DIR) is a qualified purchasing cooperative program as authorized by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791; and

WHEREAS, the City of Grapevine, Texas has established an interlocal agreement with the DIR and wishes to utilize established contracts meeting all State of Texas bidding requirements; and

WHEREAS, the DIR has established contract no. DIR-TSO-3926 for IT Products and Related Services with SHI Government Solutions; and

WHEREAS, the City of Grapevine, Texas has a need for VMware support services for the City; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase of VMware support services from SHI Government Solutions through an interlocal agreement with DIR for an amount not to exceed \$69,198.49.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase VMware support services for the City.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of February, 2018.

APPROVED:

---

William D. Tate  
Mayor

ATTEST:

---

Tara Brooks  
City Secretary

APPROVED AS TO FORM:

---

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
MEETING DATE: FEBRUARY 20, 2018  
SUBJECT: APPROVAL OF A RESOLUTION FOR THE SOLE SOURCE  
PURCHASE OF POOL FURNITURE

RECOMMENDATION:

City Council to consider approval of a resolution for a sole source purchase of pool furniture for the Parks and Recreation Department from Leisure Creations.

FUNDING SOURCE:

Funding for this purchase is available in account 174-74015-312-070 (Aquatic Repairs and Replacement) in the amount not to exceed \$46,687.46.

BACKGROUND:

This purchase is to replace furniture that is damaged and/or broken at Dove Waterpark, Dove Sprayground and Pleasant Glade Pool. This purchase is being made as a sole source due to the need to purchase furniture that is the same brand and model as the existing furniture at these locations.

The procurement of the pool furniture will be made as a sole source purchase from Leisure Creations in accordance with Local Government Code Chapter 252, Subchapter B, §252.022. General Exemptions (a) (7) (A) & (D).

Staff recommends approval.

TK/BS

RESOLUTION NO. 2018-016

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE POOL FURNITURE FROM A SOLE SOURCE VENDOR AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by Texas Local Government Code Chapter 252, Subchapter B, § 252.022. General Exemptions (a)(7)(A) and (D) to purchase pool furniture for the Parks and Recreation department on a sole source basis; and

WHEREAS, The Parks and Recreation department has a need to replace pool furniture at various pools; and

WHEREAS, Leisure Creations is the exclusive manufacturer and distributor of this pool furniture design; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the sole source purchase of pool furniture from Leisure Creations for an amount not to exceed \$46,687.46.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of said pool furniture.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of February, 2018.

APPROVED:

---

William D. Tate  
Mayor

ATTEST:

---

Tara Brooks  
City Secretary

APPROVED AS TO FORM:

---

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
MEETING DATE: FEBRUARY 20, 2018  
SUBJECT: APPROVAL TO RENEW AN ANNUAL CONTRACT FOR SWIMMING POOL MAINTENANCE SERVICES

RECOMMENDATION:

City Council to consider approval to renew an annual contract for swimming pool maintenance services with Grapevine Pool & Spa.

FUNDING SOURCE:

Funds for this purchase are available in account 100-44540-312-3 (General Fund/Professional Services/Parks and Recreation Maintenance) and account 100-44540-312-5 (General Fund/Professional Services/Parks and Recreation Aquatics) for an estimated budgeted amount of \$40,000.00.

BACKGROUND:

The purpose of this contract is to establish fixed annual pricing for swimming pool maintenance services for City aquatic facilities and fountains on an as-needed basis. Grapevine Pool & Spa will assist with sanitization needs to comply with maintaining public health standards and provide scheduled cleaning of pools and fountains. These services include vacuuming of pool walls and floors, scrubbing and brushing, removing debris and complete any normal repair issues that might arise.

Informal quotes were taken in accordance with the City Purchasing Policy. Formal bids and advertisements are not required for purchases under \$50,000.00. Three quotes were submitted. Grapevine Pool & Spa submitted the lowest responsive and responsible quote. The contract was for an initial one-year period with four, one-year renewal options. If approved, this will be the first renewal available.

Staff recommends approval.

TK/LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: FEBRUARY 20, 2018

SUBJECT: APPROVAL OF A RESOLUTION FOR THE SOLE SOURCE PURCHASE OF A LIGHTNING WARNING SYSTEM

RECOMMENDATION:

City Council to consider approval of a resolution for a sole source purchase of a lightning warning system for three of the City's parks from Perry Weather Consulting.

FUNDING SOURCE:

Funding for this purchase is available in account 171-46680-000-000NE in the amount not to exceed \$31,500.00.

BACKGROUND:

The Pocket Perry Weather & Emergency notification platform will replace lightning prediction systems at Meadowmere Soccer, Oak Grove Soccer and Parr Park which have reached end of life. The new system provides both a proactive weather notification system as well as an emergency management option.

The procurement of the lightning warning system will be made as a sole source purchase from Perry Weather Consulting in accordance with Local Government Code Chapter 252, Subchapter B, §252.022. General Exemptions (a) (7) (A).

Staff recommends approval.

KM/BS

RESOLUTION NO. 2018-017

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE A LIGHTNING WARNING SYSTEM FOR THE PARKS AND RECREATION DEPARTMENT FROM A SOLE SOURCE VENDOR AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by Texas Local Government Code Chapter 252, Subchapter B, § 252.022. General Exemptions (a)(7)(A) to purchase a lightning warning system for the Parks and Recreation department on a sole source basis; and

WHEREAS, The Parks and Recreation department has a need for a lightning warning system; and

WHEREAS, Perry Weather Consulting is the exclusive manufacturer and distributor of the lightning warning system; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the sole source purchase of a lightning warning system from Perry Weather Consulting for an amount not to exceed \$31,500.00.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of said lightning warning system.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of February, 2018.

APPROVED:

---

William D. Tate  
Mayor

ATTEST:

---

Tara Brooks  
City Secretary

APPROVED AS TO FORM:

---

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER BR  
MEETING DATE: FEBRUARY 20, 2018  
SUBJECT: APPROVAL TO RENEW ANNUAL CONTRACTS FOR MASONRY SERVICES

RECOMMENDATION:

City Council to consider approval to renew annual contracts for masonry services with Chibli Stone Works, Inc., Caststone Solutions Co. and Austin Masonry Construction.

FUNDING SOURCE:

Funds for this purchase are currently available in account 100-43355-312-3 (Recreation Facility Maintenance) in an estimated annual amount of \$40,000.00.

BACKGROUND:

The purpose of this contract is to establish annual pricing for masonry services.

The primary contract will be with Chibli Stone Works, Inc., secondary will be with Caststone Solutions Co. and thirdly with Austin Masonry Construction. The contracts will be for an initial one-year period with four, one-year optional renewals. If approved, this will be for the first renewal available.

Bids were taken in accordance with Local Government Code Chapter 252, Subchapter B, Section 252.021 (a) and Section 252.041 (a). The bid advertisement was posted in the Fort Worth *Star-Telegram* on July 28 and August 4, 2016. There were 48 invitations sent out through the eBid Procurement system with 17 vendors downloading and viewing the Request for Bid (RFB). There were three bids received.

Staff recommends approval.

MH/LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
MEETING DATE: FEBRUARY 20, 2018  
SUBJECT: APPROVAL OF A RESOLUTION FOR THE PURCHASE OF A  
BUS

RECOMMENDATION:

City Council to consider approval of a resolution for the purchase of a bus from Creative Bus Sales for the Recreation Division of the Parks & Recreation Department.

FUNDING SOURCE:

Funding for this purchase is currently available in accounts 325-48910-312-002-180001 (Motor Vehicles) for a total amount not to exceed \$112,980.00.

BACKGROUND:

Purchase of one 2018, 23-passenger bus with two wheelchair positions which replaces a unit in the Recreation Division that was approved on the FY 2018 Vehicle Replacement list and meets the replacement criteria as well as the department's specifications. This bus is ADA compliant and will provide safe and reliable transportation for Senior Citizens' activities and other recreational functions.

This purchase will be made in accordance with an existing interlocal agreement with Houston-Galveston Area Council (H-GAC) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to Creative Bus Sales. The Fleet Service Division and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

Staff recommends approval.

PH/BS

RESOLUTION NO. 2018-018

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE A BUS THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791 to enter into an interlocal agreement with other qualified agencies in the State of Texas; and

WHEREAS, the Houston-Galveston Area Council (H-GAC), a regional planning commission, is a qualified purchasing cooperative program as authorized by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791; and

WHEREAS, the City of Grapevine, Texas has established an interlocal agreement with H-GAC and wishes to utilize established contracts meeting all State of Texas bidding requirements; and

WHEREAS, H-GAC has established contract no. BT01-17, Busses with Creative Bus Sales; and

WHEREAS, the City of Grapevine, Texas has a need to replace a bus; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase of a bus from Creative Bus Sales through an interlocal agreement with H-GAC for an amount not to exceed \$112,980.00.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of said bus.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of February, 2018.

APPROVED:

\_\_\_\_\_  
William D. Tate  
Mayor

ATTEST:

\_\_\_\_\_  
Tara Brooks  
City Secretary

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER BR  
MEETING DATE: FEBRUARY 20, 2018  
SUBJECT: APPROVAL OF A RESOLUTION FOR THE PURCHASE OF FORD VEHICLE

RECOMMENDATION:

City Council to consider approval of a resolution for the purchase of a Ford vehicle for the Public Works Department from Chastang Ford.

FUNDING SOURCE:

Funding for this purchase is currently available in accounts 200-48910-531-001 (Motor Vehicles) for a total amount not to exceed \$38,873.00.

BACKGROUND:

Purchase of a Ford Transit for Public Works Utilities Division to be up-fitted on delivery as a pipe inspection camera truck approved in the FY 2018 Vehicle Replacement list and has met the replacement criteria.

This purchase will be made in accordance with an existing interlocal agreement with Houston-Galveston Area Council (H-GAC) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to Chastang Ford. The Fleet Service Division and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

Staff recommends approval.

PH/BS

RESOLUTION NO. 2018-019

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE A FORD VEHICLE FOR THE PUBLIC WORKS DEPARTMENT THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791 to enter into an interlocal agreement with other qualified agencies in the State of Texas; and

WHEREAS, the Houston-Galveston Area Council (H-GAC), a regional planning commission, is a qualified purchasing cooperative program as authorized by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791; and

WHEREAS, the City of Grapevine, Texas has established an interlocal agreement with H-GAC and wishes to utilize established contracts meeting all State of Texas bidding requirements; and

WHEREAS, H-GAC has established contract no. AM10-16, Ambulance, EMS and other special service vehicles with Chastang Ford; and

WHEREAS, the City of Grapevine, Texas has a need to replace a Ford truck in the Public Works department; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase of a Ford vehicle for the Public Works department from Chastang Ford through an interlocal agreement with H-GAC for an amount not to exceed \$38,873.00.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of said Ford vehicle.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of February, 2018.

APPROVED:

\_\_\_\_\_  
William D. Tate  
Mayor

ATTEST:

\_\_\_\_\_  
Tara Brooks  
City Secretary

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER BR

MEETING DATE: FEBRUARY 20, 2018

SUBJECT: APPROVAL OF A RESOLUTION FOR THE PURCHASE OF CHEVROLET TAHOES

RECOMMENDATION:

City Council to consider approval of a resolution for the purchase of Chevrolet Tahoes from Sam Pack's Five Star Chevrolet.

FUNDING SOURCE:

Funding for this purchase is currently available in accounts 325-48910-209-002-180001 (Motor Vehicles) for a total amount not to exceed \$488,315.01.

BACKGROUND:

Purchase of nine PPV Tahoes for the Police Department. All nine Tahoes are replacements that were approved on the FY 2018 Vehicle Replacement list and have met the replacement criteria.

This vehicle purchase will be made in accordance with an existing interlocal agreement with the State of Texas Term Contracts Program. Purchases through this program are authorized under Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the cooperative and a contract was awarded to Sam Pack's Five Star Chevrolet. The Purchasing and Fleet Services Department staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

Staff recommends approval.

PH/BS

RESOLUTION NO. 2018-020

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE CHEVROLET TAHOES FOR THE POLICE DEPARTMENT THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791 to enter into an interlocal agreement with other qualified agencies in the State of Texas; and

WHEREAS, the State of Texas Term Contracts Program is a qualified purchasing program as authorized by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791; and

WHEREAS, the City of Grapevine, Texas has an interlocal agreement with the State of Texas Term Contracts Program and wishes to utilize an established contract meeting all State of Texas bidding requirements; and

WHEREAS, the State of Texas Term Contracts Program has an established annual contract no. 071-A1, Automobiles and Law Enforcement Vehicles, with Sam Pack's Five Star Chevrolet; and

WHEREAS, the City of Grapevine, Texas has a need to replace nine Chevrolet Tahoes in the Police Department; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase of nine Chevrolet Tahoes for the Police Department from Sam Pack's Five Star Chevrolet through an interlocal agreement with the State of Texas Term Contracts Program for an amount not to exceed \$488,315.01.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of said Chevrolet Tahoes.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of February, 2018.

APPROVED:

---

William D. Tate  
Mayor

ATTEST:

---

Tara Brooks  
City Secretary

APPROVED AS TO FORM:

---

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER BR

MEETING DATE: FEBRUARY 20, 2018

SUBJECT: APPROVAL OF A RESOLUTION FOR THE PURCHASE OF A  
NEW ARTICULATING TRENCH ROLLER

RECOMMENDATION:

City Council to consider approval of a resolution for the purchase a new articulating trench roller from Kirby-Smith Machinery, Inc.

FUNDING SOURCE:

Funding for this purchase is currently available in account 116-48860-535-001-000010 (SDUS Unlicensed Machinery, Equipment and Implements) for a total amount not to exceed \$37,880.00

BACKGROUND:

This purchase is for a new trench roller compactor for use by primarily the Drainage Division but also for use by all City crews needing to compact soil on job sites throughout the City.

This purchase will be made in accordance with an existing interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to Kirby-Smith Machinery, Inc. The Public Works Department and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would best meet the needs of the City.

Staff recommends approval.

KH/LW

RESOLUTION NO. 2018-021

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE AN ARTICULATING TRENCH ROLLER THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791 to enter into an interlocal agreement with other qualified agencies in the State of Texas; and

WHEREAS, The Local Government Purchasing Cooperative (BuyBoard) is a qualified purchasing cooperative program as authorized by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791; and

WHEREAS, the City of Grapevine, Texas has established an interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) and wishes to utilize established contracts meeting all State of Texas bidding requirements; and

WHEREAS, The Local Government Purchasing Cooperative (BuyBoard) has an established contract no. 515-16, Construction, Road/Bridge, Ditching, Trenching, Utility and Other Equipment, with Kirby-Smith Machinery, Inc.; and

WHEREAS, the City of Grapevine, Texas has a need to purchase an articulating trench roller; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase of an articulating trench roller from Kirby-Smith Machinery, Inc. through an interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) for an amount not to exceed \$37,880.00.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of said articulating trench roller.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of February, 2018.

APPROVED:

---

William D. Tate  
Mayor

ATTEST:

---

Tara Brooks  
City Secretary

APPROVED AS TO FORM:

---

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>

MEETING DATE: FEBRUARY 20, 2018

SUBJECT: APPROVAL OF A RESOLUTION FOR THE PURCHASE OF A  
PIPE INSPECTION CAMERA SYSTEM

RECOMMENDATION:

City Council to consider approval of a resolution for the purchase of a pipe inspection camera system for the Public Works Department from Green Equipment Company.

FUNDING SOURCE:

Funding for this purchase is currently available in accounts 200-48910-531-001 (Motor Vehicles) for a total amount not to exceed \$137,328.37.

BACKGROUND:

Purchase of a Rovver X 130 Truck Mount System (pipe inspection truck) for Public Works Utilities Division to be installed and up-fitted on the new Ford Transit upon delivery. The current equipment is obsolete and the associated camera software is longer supported. This equipment is used to visually inspect underground utility lines for evaluation and condition assessment. The Transit vehicle and associated camera equipment were approved on the FY 2018 Vehicle Replacement list and have met the replacement criteria.

This purchase will be made in accordance with an existing interlocal agreement with Houston-Galveston Area Council (H-GAC) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the Cooperative and a contract was awarded to Green Equipment Company. The Fleet Service division and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

Staff recommends approval.

PH/BS

RESOLUTION NO. 2018-022

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE A PIPE INSPECTION CAMERA SYSTEM FOR THE PUBLIC WORKS DEPARTMENT THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791 to enter into an interlocal agreement with other qualified agencies in the State of Texas; and

WHEREAS, the Houston-Galveston Area Council (H-GAC), a regional planning commission, is a qualified purchasing cooperative program as authorized by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791; and

WHEREAS, the City of Grapevine, Texas has established an interlocal agreement with H-GAC and wishes to utilize established contracts meeting all State of Texas bidding requirements; and

WHEREAS, H-GAC has established a contract no. SC01-18, Sewer Cleaning, Hydro-Excavating, Inspection Equipment and Miscellaneous Services with Green Equipment Company; and

WHEREAS, the City of Grapevine, Texas has a need to replace a pipe inspection camera system in the Public Works department; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase of a pipe inspection camera system for the Public Works department from

Green Equipment Company through an interlocal agreement with H-GAC for an amount not to exceed \$137,328.37.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of said pipe inspection camera system.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of February, 2018.

APPROVED:

\_\_\_\_\_  
William D. Tate  
Mayor

ATTEST:

\_\_\_\_\_  
Tara Brooks  
City Secretary

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER *BR*  
MEETING DATE: FEBRUARY 20, 2018  
SUBJECT: APPROVAL OF A RESOLUTION FOR THE PURCHASE OF A  
REHABILITATION OF A PIPELINE

RECOMMENDATION:

City Council to consider approval of a resolution for the purchase of a structural liner to repair of a sanitary sewer main from Fuquay, Inc.

FUNDING SOURCE:

Funding for this purchase is currently available in account 200-43370-534-000 (Wastewater Treatment Infrastructure Maintenance) for a total amount not to exceed \$119,939.00.

BACKGROUND:

The structural liner is being purchased and installed in order to repair a structural failure of a 30-inch sanitary sewer main adjacent to Fellowship Way near Fellowship Church. This liner will also prevent other structural failures caused by chemical erosion in this section of line.

This purchase will be made in accordance with an existing interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) as allowed by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791.

Bids were taken by the cooperative and a contract was awarded to Fuquay, Inc. The Public Works Department and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

Staff recommends approval.

JD/BS

RESOLUTION NO. 2018-023

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE OF A STRUCTURAL LINER TO REPAIR A PIPE STRUCTURAL FAILURE THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791 to enter into an interlocal agreement with other qualified agencies in the State of Texas; and

WHEREAS, The Local Government Purchasing Cooperative (BuyBoard) is a qualified purchasing cooperative program as authorized by Texas Local Government Code, Chapter 271 and Texas Government Code, Chapter 791; and

WHEREAS, the City of Grapevine, Texas has established an interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard) and wishes to utilize established contracts meeting all State of Texas bidding requirements; and

WHEREAS, The Local Government Purchasing Cooperative (BuyBoard) has an established contract no. 462-14, Cured In Place Pipe for Pipeline Rehabilitation, Underground Asset Renewal and Water Storage Asset Management, with Fuquay, Inc.; and

WHEREAS, the City of Grapevine, Texas has a need to purchase a structural liner to repair a 30-inch sanitary sewer main; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this resolution have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this resolution to be in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase of a structural liner to repair a 30-inch sanitary sewer main from Fuquay, Inc. through an interlocal

agreement with The Local Government Purchasing Cooperative (BuyBoard) for an amount not to exceed \$119,939.00.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of said structural liner.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of February, 2018.

APPROVED:

\_\_\_\_\_  
William D. Tate  
Mayor

ATTEST:

\_\_\_\_\_  
Tara Brooks  
City Secretary

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

# 30" SEWER MAIN REHABILITATION PROJECT

ITEM # 22



GENESIS WAY

30" Sewer Main rehabilitation

FELLOWSHIP WAY

Hilton liftstation

### Sewer Mains

- Gravity
- Force Main



0 50 100 200 300 400 Feet

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>

MEETING DATE: FEBRUARY 20, 2018

SUBJECT: APPROVAL OF A CONTRACT FOR CONSTRUCTION  
MATERIALS AND ENGINEERING SERVICES

RECOMMENDATION:

City Council to consider a contract for construction materials and engineering services with Terracon Consultants, Inc.

FUNDING SOURCE:

This agreement is for the acquisition of construction materials and engineering services for approved projects. Funding is to come from departmental operation budgets, Permanent Capital Maintenance Funds (PCMF), Stormwater Drainage Utility System (SDUS) funds and bond issuance funds in an amount not to exceed \$250,000.

BACKGROUND:

The purpose of this contract is to establish third party support for construction materials and engineering services required by the City for capital projects on an as-needed basis. These services will include geotechnical testing, materials testing, asbestos survey and testing, environmental testing, and inspection services.

Staff intends to use this contract in support of specific currently authorized capital facility, roadway, parks, storm drain, and utility projects. This contract will also be used for small-scale projects where testing is required.

Staff has historically executed material testing and environmental contracts on a project by project basis. The proposed action will not modify the work needed but will consolidate this work into one central contract.

Staff is recommending Terracon based on the firm's full suite of services and previous experience on City projects.

Staff recommends approval.

BB

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>

MEETING DATE: FEBRUARY 20, 2018

SUBJECT: CONSIDER APPROVAL OF A NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) GRANT FUNDING AGREEMENT FOR THE REGIONAL TRAFFIC SIGNAL DATA SHARING PROGRAM AND APPROPRIATION ORDINANCE

RECOMMENDATION:

City Council consider:

- Authorizing the City Manager to execute an agreement with the North Central Texas Council of Governments (NCTCOG) for the Regional Traffic Signal Data Sharing Program reimbursing the City \$25,000; and
- Adopt an appropriation ordinance for \$20,000 in the Capital Projects – Streets Fund, transfer \$20,000 to the Grant Fund and appropriate \$45,000 in the Grant Fund; and
- Authorizing staff to execute said agreement and take any necessary action.

FUNDING SOURCE:

Upon approval of the attached ordinance, \$45,000 will be available in the Grant Fund account 113-44500-415-018-181002.

BACKGROUND:

The North Central Texas Council of Governments (NCTCOG) is encouraging traffic signal data sharing between regional partners to support automated vehicle applications in the region. Use of this technology is just one approach Grapevine intends to sustain a reliable transportation system in the future. As part of this agreement, the NCTCOG will provide \$25,000 in funding to secure the \$45,000 traffic signal software package. Purchase of the software module will enhance the City's Traffic Management System by improving access to traffic data from surrounding cities along key transportation corridors.

Staff recommends approval.

ORDINANCE NO. 2018-018

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, APPROPRIATING \$20,000 IN THE CAPITAL PROJECTS STREETS FUND; TRANSFERRING \$20,000 FROM THE CAPITAL PROJECTS STREETS FUND TO THE GRANT FUND; APPROPRIATING \$45,000 IN THE GRANT FUND; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine is participating with the North Central Texas Council of Governments (NCTCOG) in the Regional Traffic Signal Data Sharing Program; and

WHEREAS, the NCTCOG will reimburse the City in the amount of \$25,000 for this project; and

WHEREAS, the City's portion of \$20,000 will be appropriated from the Capital Projects – Streets Fund interest; and

WHEREAS, approval of this ordinance will make the total project funds available for NCTCOG Regional Traffic Signal Data Sharing Program in the amount of \$45,000; and

WHEREAS, all constitutional and statutory prerequisites for the approval of this ordinance have been met, including but not limited to the Open Meetings Act; and

WHEREAS, the City Council deems the adoption of this ordinance is in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated herein above are true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That the City Council hereby appropriates \$20,000 in the Capital Projects Streets Fund, transfers \$20,000 from the Capital Project Streets Fund and appropriates \$45,000 in the Grant Fund.

Section 3. The fact that the present ordinances and regulations of the City of Grapevine, Texas are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the public creates an emergency which requires that this ordinance become effective from and after the date of its passage, and it is accordingly so ordained.

Section 4. That this ordinance shall take effect immediately upon passage by the City Council of the City of Grapevine, Texas.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 20th day of February, 2018.

APPROVED:

---

William D. Tate  
Mayor

ATTEST:

---

Tara Brooks  
City Secretary

APPROVED AS TO FORM:

---

City Attorney

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER *BR*  
MEETING DATE: FEBRUARY 20, 2018  
SUBJECT: APPROVAL FOR THE AWARD OF AN INFORMAL REQUEST  
FOR QUOTE TO PURCHASE A REPLACEMENT PUMP

RECOMMENDATION:

City Council to consider approval for the award of an informal request for quote to purchase a replacement pump for the Dove Lift Station from Pump Solutions, Inc.

FUNDING SOURCE:

Funds for this purchase are available in account 200-43370-534-000 (Wastewater Treatment Infrastructure Maintenance) for an amount not to exceed \$21,315.00.

BACKGROUND:

The purchase of the KSB pump quoted from Pump Solutions, Inc. is needed for Dove 1 Lift Station. The pump currently in place is failing and must be replaced.

Quotes were taken in accordance with City Purchasing Policy. Formal bids and advertisements are not required for purchases under \$50,000. Two vendors submitted quotations. Pump Solutions, Inc. submitted the lowest responsive and responsible quote meeting specifications.

Pump Solutions, Inc.	\$21,315.00
Pump Solutions, Inc.	\$26,675.00
Odessa Pumps	\$27,678.00

Staff recommends approval.

BB/KM/LW

STATE OF TEXAS  
COUNTY OF TARRANT  
CITY OF GRAPEVINE

ITEM # 26

The City Council of the City of Grapevine, Texas met in Regular Session on this the 6th day of February, 2018 in the City Council Chambers, Second Floor, 200 South Main Street, with the following members present:

William D. Tate	Mayor
Darlene Freed	Mayor Pro Tem
Sharron Spencer	Council Member
Mike Lease	Council Member
Chris Coy	Council Member
Duff O'Dell	Council Member
Paul Slechta	Council Member

constituting a quorum, with the following members of the Planning and Zoning Commission:

Larry Oliver	Chairman
Jim Fechter	Member
Beth Tiggelaar	Member
Robert Rainwater	Member

and, with Vice Chairman BJ Wilson and Commissioners Monica Hotelling, Gary Martin, and Dennis Luers being absent, and with the following members of the City Staff:

Bruno Rumbelow	City Manager
Jennifer Hibbs	Assistant City Manager
Matthew C.G. Boyle	Assistant City Attorney
Tara Brooks	City Secretary

Call to Order

Mayor Tate called the meeting to order at 6:01 p.m.

Council Member Coy arrived at 6:04 p.m.

SPECIAL JOINT SESSION WITH THE PLANNING AND ZONING COMMISSION

Item 1. Architexas and Mesa Planning to present possible scope of services for the Dallas Road Transit Corridor Planning.

Development Services Director Scott Williams introduced Craig Melde from Architexas and Robin McCaffrey from Mesa Planning who presented the scope of services for the planning of the Dallas Road Transit Corridor. Mr. Melde, Mr. McCaffrey and Mr. Williams answered questions from the Commission and Council.

The Commission and Council discussed this item. No action was taken.

City Attorney Matthew C.G. Boyle arrived at 6:28 p.m.

The Planning and Zoning Commission adjourned at 6:46 p.m. City Council continued with the agenda as published.

### EXECUTIVE SESSION

Mayor Tate announced the City Council would recess to the City Council Conference Room to conduct a closed session regarding:

#### Item 1. Executive Session

- A. Real property relative to deliberation to the purchase, exchange, lease, sale or value of real property (City facilities, Public Works, and the 185 acres) pursuant to Section 551.072, Texas Government Code.
- B. Conference with City Manager and Staff to discuss and deliberate commercial and financial information received from business prospects the City seeks to have locate, stay, or expand in the City; deliberate the offer of a financial or other incentive; with which businesses the City is conducting economic development negotiations pursuant to Section 551.087, Texas Government Code.

The City Council recessed to the City Council Conference Room and began the closed session at 6:48 p.m. The closed session ended at 7:31 p.m.

Upon reconvening in open session in the Council Chambers, Mayor Tate asked if there was any action necessary relative to Sections 551.072 or 551.087.

Relating to Section 551.087, City Manager Rumbelow requested Council approve an Economic Development Agreement with Grapevine Equity Partners, LLC, authorizing the City Manager to execute same and to take all other necessary action.

Motion was made to approve an Economic Development Agreement with Grapevine Equity Partners, LLC, authorizing the City Manager to execute same and to take all other necessary action.

Motion: Slechta

Second: Coy

Ayes: Tate, Freed, Spencer, Lease, Coy, O'Dell and Slechta

Nays: None

Approved: 7-0

Relating to Section 551.072, City Manager Rumbelow requested Council approve the Second Amendment to the Land Purchase and Sale Agreement with Stand Rock Grapevine, LLC, authorizing the City Manager to execute same and to take all other necessary action.

Motion was made to approve the Second Amendment to the Land Purchase and Sale Agreement with Stand Rock Grapevine, LLC, authorizing the City Manager to execute same and to take all other necessary action.

Motion: Spencer  
Second: Slechta  
Ayes: Tate, Freed, Spencer, Lease, Coy, O'Dell and Slechta  
Nays: None  
Approved: 7-0

NOTE: City Council continued with the Regular portion of the Agenda in open session in the City Council Chambers.

## **REGULAR MEETING**

### Call to Order

Mayor Tate called the meeting to order at 7:37 p.m. in the City Council Chambers.

### Item 2. Invocation

Council Member Paul Slechta delivered the invocation.

### Item 3. Posting the Colors and American Pledge of Allegiance

Boy Scout Troop 168 posted the colors and led the Pledges of Allegiance.

### Item 4. Citizen Comments

Daniel Czyz, 1532 Country Forest Court, Grapevine spoke about Oncor power outages and the need for more broad band services and providers in the City.

## PUBLIC HEARING AND RELATED ITEMS

### Item 6. City Council to conduct a public hearing relative to the adoption of the Youth Programs Standards of Care.

Mayor Tate declared the public hearing open.

Parks and Recreation Director Kevin Mitchell presented this item and answered questions from Council. Adopted standards are a Texas Department of Family and Protective Services requirement for an exempt status for day care licensing. The Youth Programs Standards of Care will provide basic child care regulations for day camp activities operated by the Parks and Recreation Department.

No one spoke during the public hearing and there was no correspondence to report.

Motion was made to close the public hearing.

Motion: Freed

Second: Coy  
Ayes: Tate, Freed, Spencer, Lease, Coy, O'Dell and Slechta  
Nays: None  
Approved: 7-0

Item 7. Consider **Ordinance No. 2018-010** adopting the Youth Programs Standards of Care, amending the Code of Ordinances Section 16-19 and take any necessary action.

Motion was made to approve Ordinance No. 2018-010 adopting the Youth Programs Standards of Care.

Motion: Freed  
Second: Coy  
Ayes: Tate, Freed, Spencer, Lease, Coy, O'Dell and Slechta  
Nays: None  
Approved: 7-0

#### ORDINANCE NO. 2018-010

AN ORDINANCE AMENDING THE GRAPEVINE CODE OF ORDINANCES BY ADDING SECTION 16-19, ADOPTING THE YOUTH PROGRAMS STANDARDS OF CARE, CITY OF GRAPEVINE, TEXAS; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE

#### PRESENTATIONS

Item 8. Economic Development Director to present Economic Development department update.

Economic Development Director Bob Farley highlighted the activities of the Economic Development department over the last three years which included new developments, development of retail, business retention and corridor plans.

#### NEW BUSINESS

Item 9. Consider the award of RFB 459-2018, an agreement with Denco Construction Specialists for Oak Grove Softball Park renovations, **Ordinance No. 2018-011** appropriating funds in the Quality of Life Fund, and take any necessary action.

Parks and Recreation Director Mitchell presented this item in conjunction with items 10 and 11. This project will add a fourth field to the Oak Grove Softball Complex, completely renovate the current fields, remove and replace the existing parking lot, and upgrade the concession stand area and restroom facility to meet current ADA standards for an amount not to exceed \$6,773,876.

Motion was made to approve the award of RFB 459-2018 an agreement with Denco Specialists for Oak Grove Softball Park renovations and Ordinance No. 2018-011 to appropriate the funds.

Motion: Freed

Second: Slechta  
Ayes: Tate, Freed, Spencer, Lease, Coy, O'Dell and Slechta  
Nays: None  
Approved: 7-0

ORDINANCE NO. 2018-011

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS APPROPRIATING \$6,773,876 IN THE QUALITY OF LIFE FUND FOR THE OAK GROVE PARK SOFTBALL RENOVATION; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 10. Consider **Resolution No. 2018-007** authorizing the purchase of shade structures for Oak Grove Park from Site Source, Inc. through an interlocal agreement with The Local Government Purchasing Cooperative (BuyBoard), **Ordinance No. 2018-012** appropriating funds in the Quality of Life Fund, and take any necessary action.

Parks and Recreation Director Mitchell presented this item in conjunction with items 9 and 11. The purchase is for a shade trellis, roof structures, and columns as part of the Oak Grove Softball Park renovation project for a total amount not to exceed \$536,031.

Motion was made to approve Resolution No. 2018-007 authorizing the purchase of shade structures from Site Source, Inc. and Ordinance No. 2018-012 to appropriate the funds.

Motion: Freed  
Second: Coy  
Ayes: Tate, Freed, Spencer, Lease, Coy, O'Dell and Slechta  
Nays: None  
Approved: 7-0

RESOLUTION NO. 2018-007

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE SHADE STRUCTURES THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT AND PROVIDING AN EFFECTIVE DATE

ORDINANCE NO. 2018-012

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS APPROPRIATING \$536,031 IN THE QUALITY OF LIFE FUND FOR THE PURCHASE OF SHADE STRUCTURES IN OAK GROVE PARK DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 11. Consider **Resolution No. 2018-008** authorizing the purchase of a prefabricated restroom for Oak Grove Park from CXT Precast Products, Inc. through an interlocal

agreement with the National Joint Powers Alliance, Ordinance No. 2018-013 appropriating funds in the Quality of Life Fund, and take any necessary action.

Parks and Recreation Director Mitchell presented this item in conjunction with items 9 and 10. This purchase is for a prefabricated CXT Cortez restroom building as part of the Oak Grove Softball Park renovation project for a total amount not to exceed \$54,850.

Motion was made to approve Resolution No. 2018-008 authorizing the purchase of a prefabricated restroom from CXT Precast Products, Inc. and Ordinance No. 2018-013 to appropriate the funds.

Motion: Slechta  
Second: Spencer  
Ayes: Tate, Freed, Spencer, Lease, Coy, O'Dell and Slechta  
Nays: None  
Approved: 7-0

#### RESOLUTION NO. 2018-008

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE A PRECAST RESTROOM FOR THE PARKS AND RECREATION DEPARTMENT THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT AND PROVIDING AN EFFECTIVE DATE

#### ORDINANCE NO. 2018-013

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS APPROPRIATING \$54,850 IN THE QUALITY OF LIFE FUND FOR THE PURCHASE OF A PREFABRICATED RESTROOM FOR OAK GROVE PARK; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

#### Consent Agenda

Consent items are deemed to need little Council deliberation and were acted upon as one business item. Any member of the City Council or member of the audience may request that an item be withdrawn from the consent agenda and placed before the City Council for full discussion.

Council Member Lease requested item 21 be removed from the consent agenda. Item 21 was considered after the remaining consent agenda items.

Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations.

Item 12. Consider **AM18-01** being **Ordinance No. 2018-014** amendments to the Code of Ordinances, Chapter 15, Offenses and Miscellaneous Provisions by adding Section 15-23, Code Enforcement Authority to Enforce.

Development Services Director Williams recommended approval of the amendments to the Code of Ordinances to clarify the authority of Code Enforcement Officers to issue citations for code violations.

Motion was made to approve the Consent Agenda as presented.

Motion: O'Dell

Second: Coy

Ayes: Tate, Freed, Spencer, Lease, Coy, O'Dell and Slechta

Nays: None

Approved: 7-0

ORDINANCE NO. 2018-014

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS AMENDING THE CODE OF ORDINANCES CHAPTER 15, OFFENSES AND MISCELLANEOUS PROVISIONS BY ADDING SECTION 15-23, CODE ENFORCEMENT AUTHORITY TO ENFORCE, AUTHORIZING CODE ENFORCEMENT OFFICERS TO ISSUE CITATIONS FOR CERTAIN VIOLATIONS OF THE CODE OF ORDINANCES; PROVIDING A SEVERABILITY CLAUSE; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 13. Consider **Resolution No. 2018-009** authorizing the purchase of emergency reporting software from Dell, Inc. through an interlocal agreement with the State of Texas Department of Information Resources (DIR).

Fire Chief Darrell Brown recommended approval of the purchase of emergency reporting software for an amount not to exceed \$23,032.

Motion was made to approve the Consent Agenda as presented.

Motion: O'Dell

Second: Coy

Ayes: Tate, Freed, Spencer, Lease, Coy, O'Dell and Slechta

Nays: None

Approved: 7-0

RESOLUTION NO. 2018-009

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE EMERGENCY REPORTING SOFTWARE FOR THE FIRE DEPARTMENT THROUGH AN ESTABLISHED

INTERLOCAL AGREEMENT AND PROVIDING AN  
EFFECTIVE DATE

Item 14. Consider **Resolution No. 2018-010** authorizing the purchase of Meraki security licenses from Netsync Network Solutions through an interlocal agreement with the State of Texas Department of Information Resources (DIR).

Chief Technology Officer Tessa Allberg recommended approval of the purchase of Meraki security licenses for firewalls and access points for an amount not to exceed \$41,772.50.

Motion was made to approve the Consent Agenda as presented.

Motion: O'Dell

Second: Coy

Ayes: Tate, Freed, Spencer, Lease, Coy, O'Dell and Slechta

Nays: None

Approved: 7-0

RESOLUTION NO. 2018-010

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF  
GRAPEVINE, TEXAS AUTHORIZING THE CITY MANAGER  
OR THE CITY MANAGER'S DESIGNEE TO PURCHASE  
MERAKI SECURITY LICENSES THROUGH AN  
ESTABLISHED INTERLOCAL AGREEMENT AND  
PROVIDING AN EFFECTIVE DATE

Item 15. Consider the award of an informal request for quote to purchase a Flygt replacement pump from FCX Performance.

Public Works Director Bryan Beck recommended approval of the award of an informal request for quote to purchase a Flygt replacement pump for an amount not to exceed \$32,185. The pump at the Hilton Lift Station is currently failing and must be replaced.

Motion was made to approve the Consent Agenda as presented.

Motion: O'Dell

Second: Coy

Ayes: Tate, Freed, Spencer, Lease, Coy, O'Dell and Slechta

Nays: None

Approved: 7-0

Item 16. Consider **Resolution No. 2018-011** authorizing the purchase of Ford trucks from Sam Pack's Five Star Ford through an interlocal agreement with the State of Texas Term Contracts Program.

Public Works Director Beck recommended approval of the purchase of three Ford trucks for Public Works and the Fire Department in an amount not to exceed \$87,804.

Motion was made to approve the Consent Agenda as presented.

Motion: O'Dell

Second: Coy  
Ayes: Tate, Freed, Spencer, Lease, Coy, O'Dell and Slechta  
Nays: None  
Approved: 7-0

RESOLUTION NO. 2018-011

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE FORD TRUCKS FOR THE PUBLIC WORKS AND FIRE DEPARTMENTS THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT AND PROVIDING AN EFFECTIVE DATE

Item 17. Consider an engineering services contract with DeOtte Engineering Inc. to perform project scoping and design services for sidewalk and minor intersection safety improvements.

Public Works Director Beck recommended approval of the engineering services contract for project scoping and design services for sidewalk and minor intersection safety improvements. As part of the safe routes to school program and to increase capacity at various intersections, staff has identified eight areas to study. DeOtte Engineering, Inc. will provide surveying, franchise utility location, and engineering services at these locations in an amount not to exceed \$250,000.

Motion was made to approve the Consent Agenda as presented.

Motion: O'Dell  
Second: Coy  
Ayes: Tate, Freed, Spencer, Lease, Coy, O'Dell and Slechta  
Nays: None  
Approved: 7-0

Item 18. Consider the revised developer agreement with BR's Pork Chop, LTD for the cost participation in the development of Perry's Steakhouse and **Ordinance No. 2018-015** amending the Fiscal Year 2018 Capital Improvements Budget and appropriating funds.

Public Works Director Beck recommended approval of the revised developer agreement with BR's Pork Chop, LTD and the ordinance amending the Fiscal Year Capital Improvements Budget. On June 6, 2017, a developer's agreement and funding ordinance were approved for this project. During construction, the City and the Developer agreed to relocations of both the water and sanitary sewer lines to address field conditions which resulted in an increase of cost of \$77,266.83.

Motion was made to approve the Consent Agenda as presented.

Motion: O'Dell  
Second: Coy  
Ayes: Tate, Freed, Spencer, Lease, Coy, O'Dell and Slechta

Nays: None  
Approved: 7-0

ORDINANCE NO. 2018-015

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS REVISING THE ADOPTED CAPITAL IMPROVEMENTS BUDGET FOR THE FISCAL YEAR ENDING IN 2018; PROVIDING FOR THE FUNDS; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 19. Consider additional funding for participation with the Texas Department of Transportation (TxDOT) in the acquisition of right-of-way for the State Highway 121 Section 13 improvements.

Public Works Director Beck recommended approval of the additional funding for the acquisition of right-of-way for the State Highway 121 Section 13 improvements. On May 5, 2009, Council approved local funding agreement with TxDOT for the 10% local match for this project at an estimated amount of \$495,300.93. The final cost of the program is \$9,775,681 which requires a local match of \$977,568.13.

Motion was made to approve the Consent Agenda as presented.

Motion: O'Dell  
Second: Coy  
Ayes: Tate, Freed, Spencer, Lease, Coy, O'Dell and Slechta  
Nays: None  
Approved: 7-0

Item 20. Consider an amendment to the interlocal agreement with Tarrant County for State Highway 26 improvements.

Public Works Director Beck recommended approval of the amendment to the interlocal agreement for State Highway 26 improvements. After completion of Phase I of this project, the \$300,000 that was allocated by the City and Tarrant County was not needed. This amendment will apply these funds to Phase II, being a segment of State Highway 26 from Pool Road to a point west of John McCain.

Motion was made to approve the Consent Agenda as presented.

Motion: O'Dell  
Second: Coy  
Ayes: Tate, Freed, Spencer, Lease, Coy, O'Dell and Slechta  
Nays: None  
Approved: 7-0

Item 22. Consider the award of an informal request for quote from Garrett Demolition, Inc. for the abatement and demolition of 3100 Timberline Drive to allow for the construction of Fire Station 3 and **Ordinance No. 2018-017** appropriating funds in the Capital Projects General Facilities Fund.

Public Works Director Beck recommended approval of the award of an informal request quote for the abatement and demolition of 3100 Timberline Drive for an amount not to exceed \$72,120 and an Ordinance No. 2018-017 to appropriate the funds.

Motion was made to approve the Consent Agenda as presented.

Motion: O'Dell  
Second: Coy  
Ayes: Tate, Freed, Spencer, Lease, Coy, O'Dell and Slechta  
Nays: None  
Approved: 7-0

#### ORDINANCE NO. 2018-017

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS APPROPRIATING \$72,120 IN THE CAPITAL PROJECTS GENERAL FACILITIES FUND FOR THE ABATEMENT AND DEMOLITION OF 3100 TIMBERLINE FOR FIRE STATION 3 CONSTRUCTION; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 23. Consider **Resolution No. 2018-012** authorizing and ratifying the emergency purchase and installation of windows in the City Council Chambers from Leeds Clark, Inc.

Public Works Director Beck recommended approval of the resolution authorizing and ratifying the emergency purchase and installation of windows in the City Council Chambers for an estimated amount of \$77,471.

Motion was made to approve the Consent Agenda as presented.

Motion: O'Dell  
Second: Coy  
Ayes: Tate, Freed, Spencer, Lease, Coy, O'Dell and Slechta  
Nays: None  
Approved: 7-0

Item 24. Consider the minutes of the January 16, 2018 Regular City Council meeting.

City Secretary Tara Brooks recommended approval of the minutes as provided.

Motion was made to approve the Consent Agenda as presented.

Motion: O'Dell  
Second: Coy  
Ayes: Tate, Freed, Spencer, Lease, Coy, O'Dell and Slechta  
Nays: None  
Approved: 7-0

Item 21. Consider **Ordinance No. 2018-016** abandoning a 10-foot wide utility easement in Lot 2R, Block 1, Placid Peninsula located at 3539 Red Bird Lane.

Public Works Director Beck reported the request was to abandon a 10-foot wide utility easement in Lot 2R, Block 1, Placid Peninsula. Mr. Beck answered questions from Council.

Motion was made to approve Ordinance No. 2018-016 abandoning a utility easement in Lot 2R, Block 1, Placid Peninsula.

Motion: Freed  
Second: Lease  
Ayes: Tate, Freed, Spencer, Lease, Coy, O'Dell and Slechta  
Nays: None  
Approved: 7-0

ORDINANCE NO. 2018-016

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS ABANDONING AND VACATING A 10-FOOT WIDE UTILITY EASEMENT ON LOT 2R, BLOCK 1, PLACID PENINSULA ADDITION (3539 RED BIRD LANE) IN THE CITY OF GRAPEVINE, TEXAS AS HEREINAFTER DESCRIBED; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

ADJOURNMENT

Motion was made to adjourn the meeting at 8:07 p.m.

Motion: Spencer  
Second: Slechta  
Ayes: Tate, Freed, Spencer, Lease, Coy, O'Dell and Slechta  
Nays: None  
Approved: 7-0

Passed and approved by the City Council of the City of Grapevine, Texas on this the 20th day of February, 2018.

APPROVED:

\_\_\_\_\_  
William D. Tate  
Mayor

ATTEST:

\_\_\_\_\_  
Tara Brooks  
City Secretary

STATE OF TEXAS  
COUNTY OF TARRANT  
CITY OF GRAPEVINE

The Planning and Zoning Commission of the City of Grapevine, Texas met in Regular Session on this the 16th day of January 2018 in the Planning and Zoning Conference Room, 200 South Main Street, 2nd Floor, Grapevine, Texas with the following members present-to-wit:

Larry Oliver	Chairman
B J Wilson	Vice-Chairman
Monica Hotelling	Member
Gary Martin	Member
Dennis Luers	Member
Robert Rainwater	Alternate

constituting a quorum with Jimmy Fechter and Beth Tiggelaar absent and the following City Staff:

Ron Stombaugh	Development Services Assistant Director
John Robertson	Engineering Manager
Albert Triplett, Jr.	Planner II
Susan Batte	Planning Technician

### CALL TO ORDER

Chairman Oliver called the meeting to order at 7:00 p.m.

### **BRIEFING SESSION**

#### ITEM 1.

Chairman Oliver announced the Planning and Zoning Commission would conduct a work session relative to the following cases:

CU17-25	GRAPEVINE ANTIQUE MARKET
CU17-28	GRAPEVINE HONDA
CU17-29	1331 WEST WALL STREET
PD17-05	SHADY BROOK ADDITION
AM17-04	AMENDMENTS TO SECTION 52 AND SECTION 53

Chairman Oliver closed the Briefing Session at 7:16 p.m.

## JOINT PUBLIC HEARINGS

Mayor Tate called the meeting to order at 7:30 p.m. in the City Council Chambers. Items 2-7 of the Joint Public Hearings were held in the City Council Chambers. The Planning and Zoning Commission recessed to the Planning and Zoning Conference Room, Second Floor to consider published agenda items.

### PLANNING AND ZONING COMMISSION REGULAR SESSION

#### CALL TO ORDER

Chairman Oliver called the Planning and Zoning Commission deliberation session to order at 8:28 p.m.

#### ITEM 8. CONDITIONAL USE APPLICATION CU17-25 – GRAPEVINE ANTIQUE MARKET

First for the Commission to consider and make recommendation to City Council was conditional use application CU17-25 submitted by Jay Ho for property located at 1641 West Northwest Highway and platted as Lot 1, Block 1, Northwest Plaza. The applicant was requesting a conditional use permit to allow for retail sales of secondhand goods in an enclosed building where the size of the space exceeds 3,000 square feet.

The Grapevine Antique Market requested to expand into the adjacent retail space formerly occupied by Angel's Attic. This expansion would increase the antique market to over 35,000 square feet.

In the Commission's deliberation session, B J Wilson moved to approve conditional use application CU17-25. Dennis Luers seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Martin, Luers and Rainwater  
Nays: None

#### ITEM 9. CONDITIONAL USE APPLICATION CU17-28 – GRAPEVINE HONDA

Next for the Commission to consider and make recommendation to the City Council was conditional use application CU17-28, submitted by 121 GV Holdings for property located at 2301 William D Tate Avenue and proposed to be platted as Lot 2, Block 1, First Baptist Church of Grapevine. The applicant was requesting a conditional use permit to establish an automobile dealership with sales and service of new and used vehicles and a 40 foot pole sign.

The applicant proposed a dealership to be comprised of two structures—a 107,000 square foot two story primary structure containing the sales, service and administrative operations of the dealership and a single story, 11,000 customer car wash.

In the Commission's deliberation session, B J Wilson moved to approve conditional use application CU17-28. Gary Martin seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Martin, Luers and Rainwater  
Nays: None

ITEM 10. FINAL PLAT LOTS 1R AND 2, BLOCK 1, FIRST BAPTIST CHURCH OF GRAPEVINE ADDITION

Next for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Final Plat Application of Lots 1R and 2, Block 1, First Baptist Church of Grapevine Addition. The applicant was final platting 26.905 acres for the development of a Honda dealership.

In the Commission's deliberation session, Monica Hotelling moved to approve the Statement of Findings and Final Plat Application of Lots 1R and 2, Block 1, First Baptist Church of Grapevine Addition. Dennis Luers seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Martin, Luers and Rainwater  
Nays: None

ITEM 11. CONDITIONAL USE APPLICATION CU17-29 – 1331 WEST WALL STREET

Next for the Commission to consider and make recommendation to City Council was conditional use application CU17-29 submitted by Eric Legge for property located at 1331 West Wall Street and platted as Lot 4, Block A, Shamrock Ventures. The applicant was requesting a conditional use permit to allow an owner or caretaker residential facilities having accommodations for and occupied by only one family within a single professional office building.

In the Commission's deliberation session, Gary Martin moved to approve conditional use application CU17-29 with the stipulation that only the current owner can serve as the owner/caretaker and this cannot be conveyed to a subsequent owner. Gary Martin seconded the motion, which prevailed by the following vote:

Ayes: Martin, Luers and Rainwater  
Nays: Wilson and Hotelling  
Abstain: Oliver

ITEM 12. PLANNED DEVELOPMENT OVERLAY APPLICATION PD17-05 – SHADY BROOK ADDITION

Next for the Commission to consider and make recommendation to the Council was planned development overlay application PD17-05 submitted by Kosse Maykus for

property located at 993 Shady Brook Drive and proposed to be platted as Lots 1-34, Block A, Lots 1-10, Block B, and Lots 1X, 2X, 3X, 4X, Shady Brook Addition. The applicant was requesting a planned development overlay to deviate from but not be limited to the density requirements and area regulations relative to the "R-5.0" Zero Lot Line District.

In the Commission's deliberation session, B J Wilson moved to approve planned development overlay PD17-05. Dennis Luers seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Martin, Luers and Rainwater

Nays: None

ITEM 13. PRELIMINARY PLAT LOTS 1-34, BLOCK A, LOTS 1-10, BLOCK B AND LOTS 1X, 2X, 3X AND 4X, SHADY BROOK ADDITION

Next for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Preliminary Plat Application of Lots 1-34, Block A, Lots 1-10, Block B, and Lots 1X, 2X, 3X and 4X, Shady Brook Addition. The applicant was preliminary platting 11.83 acres for a residential development.

In the Commission's deliberation session, Dennis Luers moved to approve the Statement of Findings and Preliminary Plat Application of Lots 1-34, Block A, Lots 1-10, Block B, and Lots 1X, 2X, 3X and 4X, Shady Brook Addition. B J Wilson seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Martin, Luers and Rainwater

Nays: None

ITEM 14. AM17-04 – ZONING ORDINANCE AMENDMENTS TO SECTION 52, TREE PRESERVATION AND SECTION 53, LANDSCAPING REGULATIONS

Next for the Commission to consider and make recommendation to the Council was zoning ordinance amendments AM17-04.

The approved tree list adopted by the City of Grapevine allowed ornamental pear trees as acceptable trees to meet landscaping requirements. These trees often receive the greatest damage during wind and ice storms.

Another problematic tree is the Bald Cypress. These trees not only require tremendous amounts of water, but also have rampant and destructive root systems, making them a very poor choice as a general landscaping tree.

In the Commission's deliberation session, Dennis Luers moved to approve AM17-04. Monica Hotelling seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Martin, Luers and Rainwater  
Nays: None

ITEM 15. FINAL PLAT LOT 1, BLOCK 1, BALL SUNSET ADDITION

Next for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Final Plat Application of Lot 1, Block 1, Ball Sunset Addition. The applicant was final platting 0.386 for a residential lot.

In the Commission's deliberation session, B J Wilson moved to approve the Statement of Findings and Final Plat Application of Lot 1, Block 1, Ball Sunset Addition. Gary Martin seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Martin, Luers and Rainwater  
Nays: None

ITEM 16. CONSIDERATION OF MINUTES

Next for the Commission to consider were the minutes of the December 19, 2017, Planning and Zoning meeting.

Dennis Luers moved to approve the December 19, 2017 public hearing minutes. Monica Hotelling seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Luers and Rainwater  
Nays: None  
Abstain: Martin

ADJOURNMENT

With no further business to discuss, Gary Martin moved to adjourn the meeting at 8:41 p.m. Dennis Luers seconded the motion which prevailed by the following vote:

Ayes: Oliver, Wilson, Hotelling, Martin, Luers and Rainwater  
Nays: None

PASSED AND APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF GRAPEVINE, TEXAS ON THIS THE 20th DAY OF FEBRUARY 2018.

ITEM # PZ 08

APPROVED:

---

CHAIRMAN

ATTEST:

---

PLANNING TECHNICIAN