

AGENDA
CITY OF GRAPEVINE, TEXAS
REGULAR JOINT CITY COUNCIL
&
PLANNING & ZONING COMMISSION MEETING*
TUESDAY, AUGUST 19, 2014
GRAPEVINE CITY HALL, SECOND FLOOR
200 SOUTH MAIN STREET
GRAPEVINE, TEXAS 76051

7:00 p.m. Dinner - City Council Conference Room
7:30 p.m. Call to Order - City Council Chambers
7:30 p.m. Joint Public Hearings - City Council Chambers*
7:30 p.m. Regular Meeting - City Council Chambers

CALL TO ORDER: 7:30 p.m. - City Council Chambers

INVOCATION AND PLEDGE OF ALLEGIANCE: Commissioner Monica Hotelling

JOINT PUBLIC HEARINGS

1. Conditional Use Application **CU14-31** (Vineyard Marketplace) - City Council and Planning & Zoning Commission to conduct a public hearing relative to an application submitted by Starlite Sign requesting a conditional use permit to amend the site plan approved by Ordinance No. 97-87 to allow a 40-foot pylon sign in a planned commercial center. The subject property is located at 5325 William D. Tate Avenue and is zoned "CC" Community Commercial District Regulations.
2. Conditional Use Application **CU14-32** (Grapevine Craft Brewery) and **final plat** of Lot 1R-1, Block 1, Hilltop Addition being a replat of Lot 1R, Block 1, Hilltop Addition and Lot 1, Block 1, Slagle Addition - City Council and Planning & Zoning Commission to conduct a public hearing relative to applications submitted by Blake Architects and Spry Surveyors requesting a conditional use permit to amend the site plan approved by Ordinance No. 2013-03 to allow an expansion, outside seating and on-premise consumption of alcoholic beverages (beer only) in conjunction with a brewery previously approved for the possession, storage, wholesale sales and on-premise manufacturing (beer only) and final plat. The subject property is located at 906 and 924 Jean Street and is zoned "LI" Light Industrial District.
3. Conditional Use Application **CU14-33** (Enterprise Car and Truck Rental) and **final plat** of Lot 1-R, Block 1, Sunshine Harbor Industrial Addition being a replat of Lot 1, Tract 3, Sunshine Harbor Industrial Addition and a portion of Tract 3, Sunshine Harbor Industrial - City Council and Planning & Zoning Commission to conduct a public hearing relative to applications submitted by Baldwin Associates

requesting a conditional use permit to allow a car and truck rental facility and final plat. The subject property is located at 849 East Dallas Road and is zoned "LI" Light Industrial District.

4. Conditional Use Application **CU14-34** (Faith Christian School) - City Council and Planning & Zoning Commission to conduct a public hearing relative to an application submitted by Faith Christian School requesting a conditional use permit to amend the site plan approved by Ordinance No. 2014-42 for the redevelopment of the athletic facilities to include a new football field, running track, concessions, stadium seating, restrooms and additional parking in conjunction with a non-profit educational institution. The subject property is located at 730 East Worth Street and is zoned "R-7.5" Single Family District Regulations.
5. Conditional Use Application **CU14-35** (Faith Christian School) - City Council and Planning & Zoning Commission to conduct a public hearing relative to an application submitted by Faith Christian School requesting a conditional use permit to amend the site plan approved by Ordinance No. 2009-27 for the development of an athletic training facility and additional parking in conjunction with a non-profit education institution. The subject property is located at 729 East Dallas Road and is zoned "LI" Light Industrial District.
6. **AM14-05 proposed amendments** - City Council and Planning & Zoning Commission to conduct a public hearing relative to amendments to the Grapevine Code of Ordinances, Appendix D, Comprehensive Zoning Ordinance No. 82-73, as amended, Section Section 23A Grapevine Vintage District Regulations relative to permitted and conditional uses.

END OF JOINT PUBLIC HEARINGS

Planning & Zoning Commission to recess to Planning & Zoning Commission Conference Room, Second Floor to consider published agenda items.

City Council to remain in session in the Council Chambers to consider published business.

CITIZEN COMMENTS

7. Any person who is not scheduled on the agenda may address the City Council under Citizen Comments by completing a Citizen Appearance Request form with the City Secretary. In accordance with the Texas Open Meetings Act, the City Council is restricted in discussing or taking action during Citizen Comments.

NEW BUSINESS

8. Consider an **ordinance** amending Chapter 25, Utilities and Services, Article III, Solid Waste Disposal, Section 25-97, Service Rates--Schedules to reflect adjustments to the commercial and residential solid waste and recycling collection rates and take any necessary action.
9. Consider award of an Engineering Services Contract to Pacheco Koch Consulting Engineers, Inc. and appropriation of funds for the survey, design and plan preparation for the Park Boulevard and Wall Street Intersection Improvements and take any necessary action.
10. Consider an **ordinance** amending the Grapevine Code of Ordinances, Chapter 21 Taxation, Sections 21-28 and 21-29 relative to the composition and appointment of members to the Convention and Visitors Bureau Board and take any necessary action.
11. Consider appointments to the various boards and commissions; Mayor to make chairman appointments to the Convention & Visitors Bureau Board, the Grapevine Heritage Foundation, Parks & Recreation Advisory Board and the Senior Citizens Advisory Board; Mayor to make City Council liaison and committee appointments and take any necessary action.

CONSENT AGENDA

Consent items are deemed to need little Council deliberation and will be acted upon as one business item. Any member of the City Council or member of the audience may request that an item be withdrawn from the consent agenda and placed before the City Council for full discussion. Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations.

12. Consider award of Bid 416-2014 Water and Wastewater Chemicals Annual Contract with renewal options to multiple vendors. Public Works Director recommends approval.
13. Consider award of Bid 417-2014 Wallis Hotel Renovation Project to Concord Commercial Services, Inc. CVB Executive Director recommends approval.
14. Consider a **resolution** authorizing the purchase of drinking water fountains from PlumbMaster, Inc. through an Interlocal Participation Agreement with The Local Government Purchasing Cooperative (Buyboard). Parks & Recreation Director recommends approval.

15. Consider a **resolution** authorizing a water fountain renovation contract with Irrigators Supply, Inc. through an Interlocal Participation Agreement with The Local Government Purchasing Cooperative (Buyboard). Parks & Recreation Director recommends approval.
16. Consider a **resolution** authorizing the purchase of portable radios from Motorola Solutions through an Interlocal Agreement for Cooperative Purchasing with the Houston-Galveston Area Council (H-GAC). Police Chief recommends approval.
17. Consider a **resolution** authorizing the purchase of backup radios from Motorola Solutions through an Interlocal Agreement for Cooperative Purchasing with the Houston-Galveston Area Council (H-GAC). Police Chief recommends approval.
18. Consider a **resolution** authorizing the purchase of 10 Getac tablet computers from PCS Mobile through a contract established by the State of Texas Department of Information Resources (DIR) Cooperative Contracts Program. Police Chief recommends approval.
19. Consider a **resolution** authorizing a sole source purchase of two truck service bodies from BrandFX Body Company. Public Works Director recommends approval.
20. Consider an **ordinance** abandoning a 12-foot wide alley between Lots 4 and 5, Block 30, Yates and Jenkins Addition (East Franklin Street). Public Works Director recommends approval.
21. Consider the minutes of the July 15, July 21, July 29, and August 5, 2014 City Council meetings as published. City Secretary recommends approval.

Pursuant to the Texas Open Meetings Act, Texas Government Code, Chapter 551.001 et seq, one or more of the above items may be considered in Executive Session closed to the public. Any decision held on such matter will be taken or conducted in open session following conclusion of the executive session.

PLANNING & ZONING COMMISSION RECOMMENDATIONS

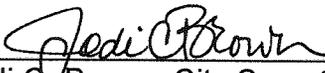
22. Conditional Use Application **CU14-31** (Vineyard Marketplace) - Consider the recommendation of the Planning & Zoning Commission and a subsequent **ordinance**, if applicable.
23. Conditional Use Application **CU14-32** (Grapevine Craft Brewery) - Consider the recommendation of the Planning & Zoning Commission and a subsequent **ordinance**, if applicable.
24. **Final Plat** of Lot 1R-1, Block 1, Hilltop Addition - Consider the recommendation of the Planning & Zoning Commission and take any necessary action.

25. Conditional Use Application **CU14-33** (Enterprise Car and Truck Rental) - Consider the recommendation of the Planning & Zoning Commission and a subsequent **ordinance**, if applicable.
26. **Final Plat** of Lot 1-R, Block 1, Sunshine Harbor Industrial Addition - Consider the recommendation of the Planning & Zoning Commission and take any necessary action.
27. Conditional Use Application **CU14-34** (Faith Christian School) - Consider the recommendation of the Planning & Zoning Commission and a subsequent **ordinance**, if applicable.
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29. **AM14-05 proposed amendments** - Consider the recommendation of the Planning & Zoning Commission relative to amending the Grapevine Code of Ordinances, Appendix D, Comprehensive Zoning Ordinance No. 82-73, as amended, Section Section 23A Grapevine Vintage District Regulations relative to permitted and conditional uses and a subsequent **ordinance**, if applicable.
30. **Final Plat** of Lot 1, Block 1, C.M. Grove Addition - Consider the recommendation of the Planning & Zoning Commission and take any necessary action.

ADJOURNMENT

If you plan to attend this public meeting and you have a disability that requires special arrangements at the meeting, please contact the City Secretary's Office at 817.410.3182 at least 24 hours in advance of the meeting. Reasonable accommodations will be made to assist your needs.

In accordance with the Open Meetings Law, Texas Government Code, Chapter 551, I hereby certify that the above agenda was posted on the official bulletin boards at Grapevine City Hall, 200 South Main Street and on the City's website on August 15, 2014 by 5:00 p.m.



Jodi C. Brown, City Secretary



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CITY OF GRAPEVINE, TEXAS
REGULAR PLANNING & ZONING COMMISSION MEETING
TUESDAY, AUGUST 19, 2014
GRAPEVINE CITY HALL, SECOND FLOOR
200 SOUTH MAIN STREET
GRAPEVINE, TEXAS 76051

7:00 p.m. Briefing Session - Planning & Zoning Commission Conference Room
7:30 p.m. Joint Public Hearings - City Council Chambers
7:30 p.m. Regular Session - Planning & Zoning Commission Conference Room

CALL TO ORDER: 7:00 p.m. - Planning & Zoning Commission Conference Room

BRIEFING SESSION

1. Planning & Zoning Commission to conduct a briefing session to discuss all items scheduled on tonight's agenda; No action will be taken. Each item will be considered during the Regular Session which immediately follows the Joint Public Hearings.

JOINT PUBLIC HEARINGS: 7:30 p.m. - City Council Chambers

INVOCATION AND PLEDGE OF ALLEGIANCE: Commissioner Monica Hotelling

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END OF JOINT PUBLIC HEARINGS

Planning & Zoning Commission to recess to Planning & Zoning Commission Conference Room, Second Floor to consider published agenda items.

REGULAR SESSION: 7:30 p.m. (Immediately following Joint Public Hearings) - Planning & Zoning Commission Conference Room

NEW BUSINESS

8. Conditional Use Application **CU14-31** (Vineyard Marketplace) - Consider the application and make a recommendation to the City Council.

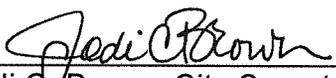
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16. **Final Plat** of Lot 1, Block 1, C.M. Grove Addition - Consider the application and make a recommendation to the City Council.
17. Consider the minutes of the July 15, 2014 Planning & Zoning Commission meetings and take any necessary action.

NOTE: Following the adjournment of the Planning & Zoning Commission meeting, a representative will present the recommendations of the Planning & Zoning Commission to the City Council for consideration in the City Council Chambers.

ADJOURNMENT

If you plan to attend this public meeting and you have a disability that requires special arrangements at the meeting, please contact the City Secretary's Office at (817) 410-3182 at least 24 hours in advance of the meeting. Reasonable accommodations will be made to assist your needs.

In accordance with the Open Meetings Law, Texas Government Code, Chapter 551, I hereby certify that the above agenda was posted on the official bulletin boards at Grapevine City Hall, 200 South Main Street and on the City's website on August 15, 2014 by 5:00 p.m.



Jodi C. Brown, City Secretary

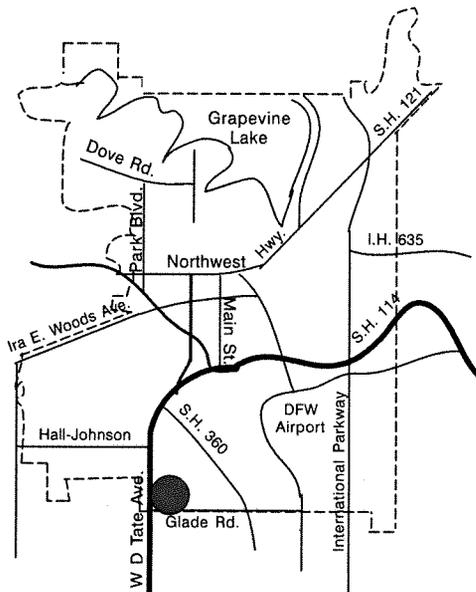


TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER ^{BR}
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: AUGUST 19, 2014

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF
CONDITIONAL USE APPLICATION CU14-31 VINEYARD
MARKETPLACE



APPLICANT: Rick Sutton – Starlite Sign

PROPERTY LOCATION AND SIZE:

The subject property is located at 5325 William D. Tate Avenue, and is platted as Lot 5R, Block 1, Mulberry Square Addition. The site contains 16.83 acres (732,998 square feet). The property has approximately 696 feet of frontage along the northbound service road of William D. Tate Avenue, 726 feet of frontage along Champagne Boulevard, and 510 feet of frontage along Glade Road.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to amend the previously approved site plan of conditional use request CU97-35 (Ord. 97-87) for a planned commercial center, specifically to allow a 40-foot multi-tenant pylon sign for the center.

Prior to 2009, pole signs in excess of 20-feet in height were not permitted within the area along William D. Tate Avenue, south of Timberline to the city limit line. Following Planning and Zoning Commission work sessions in August and December of 2008 regarding pole signs, the City Council amended the sign ordinance to allow multi-tenant pylon signs up to 40-feet in height with a maximum area of 288 square-feet within areas designated as a planned commercial centers.

With this request, the applicant proposes replacing an existing multi-tenant monument sign and in its place erect a 40-foot in height, 287 square-foot, multi-tenant pylon sign adjacent

to the State Highway 121 northbound service road. The sign will be for the use of tenants of the property. The planned commercial center is currently served by six monument signs along two street frontages.

PRESENT ZONING AND USE:

The property is currently zoned "CC", Community Commercial District with a Planned Commercial Center designation and is developed as a neighborhood shopping center.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject property, the corner lot and the day care property have been zoned "CC" Community Commercial District since the 1984 City Rezoning. Zoning Case Z94-11 rezoned the Delaney Vineyard from "HCO" Hotel/Corporate Office District to "GV" Grapevine Vintage District. Zoning Case Z96-09 rezoned the property west of the Shadow Glen subdivisions from "R-MF-1" Multifamily District to "GV" Grapevine Vintage District. Conditional Use Permits CU94-27 and CU95-01 approved a convenience store with gasoline and alcoholic beverage sales and a car wash on the corner lot. This retail center was approved by conditional use permit CU97-12 (Ordinance 97-27). The retail sale and off-premise consumption of alcoholic beverages in conjunction with the grocery store was also approved with CU97-12. CU97-35 (Ordinance 97-87) was approved at the August 19, 1997 joint public hearing and allowed for various changes to the layout of the planned commercial center. CU97-54 (Ordinance 97-136) was approved at the December 2, 1997 joint public hearing that allowed the development of a McDonald's restaurant on Lot 3. CU97-74 (Ordinance 98-09) was approved at the January 20, 1998 joint public hearing for Primacare Medical Center on Lot 6R. CU98-09 (Ordinance 98-66) was approved at the June 2, 1998 joint public hearing which modified the previously approved master site plan for Mulberry Square by realigning the drive at the southwest corner of Lot 5R and revising the landscaping on Lots 5R and 8R. Parking was removed from Lot 5R in order to provide more landscaping along W.D. Tate Avenue as well as from Lot 7R to provide more landscaping along Champagne Boulevard. Landscaping was also provided to the north of the building shown on Lot 9R. CU98-64 was approved in January 1999 allowing the development of a 2,750 square foot, 66 seat restaurant with on-premise consumption of alcoholic beverages (beer, wine and mixed drinks) within the retail area located on Lot 8R. At the September 5, 2000 meeting, Council approved a conditional use permit (CU00-47; Ord. 00-88) for on-premise alcohol beverage sales and consumption for Suite 296, within the Winn-Dixie shopping center (Mellanzanno's). At the September 17, 2002 meeting, Council approved a conditional use permit CU02-38 (Ord. 02-72) for on-premise alcohol beverage sales and consumption for Suite 296 (Mijo's), including minor modifications to the floor plan plus an expansion for an outdoor patio. The Site Plan Review Committee at their August 29, 2007 meeting approved CU07-25, which was a request for a patio cover for Suite 296 (Bayley's). Council considered and approved a conditional use request (CU11-18) for a restaurant (Fuzzy's Tacos) with on-premise alcohol beverage sales (beer, wine, and mixed beverages) at the July 19, 2011 meeting on the subject property. At the July 17, 2012 meeting City Council approved conditional use request CU12-28 (Ord. 2012-33)

which was a request to allow retail sales of second hand goods (Plato's Closet) in a lease space in excess of 3,000 square feet.

SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH: "GV" Grapevine Vintage District - Delaney Vineyards and "PO" Professional Office District, developed office park
- SOUTH: City of Euless
- EAST: "CC" Community Commercial District - Children's Courtyard
- WEST: William D. Tate Avenue and City of Colleyville

AIRPORT IMPACT:

The subject tract is not located within any of the noise zones as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map.

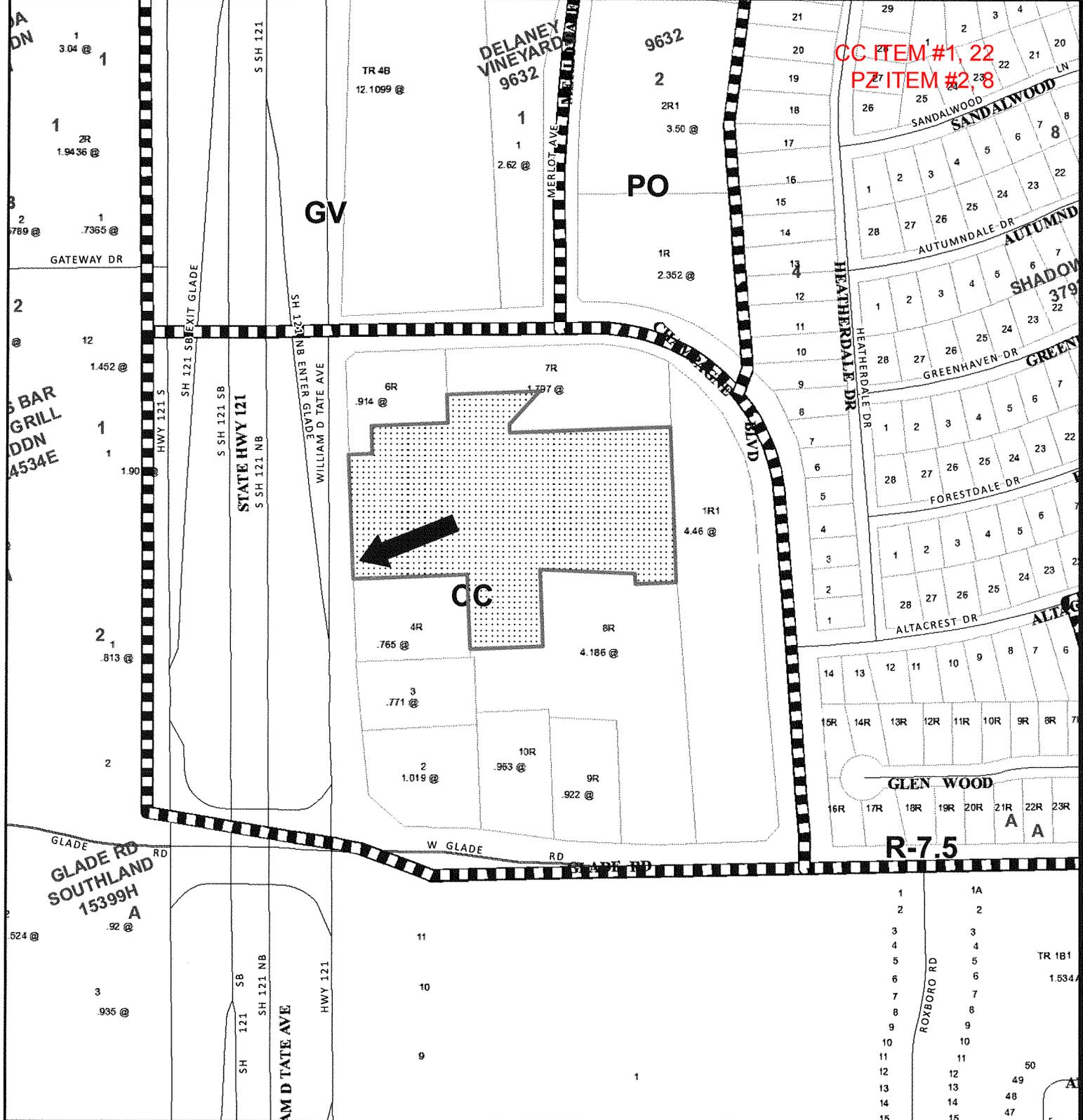
MASTER PLAN APPLICATION:

The Master Plan designates the subject property as a Commercial land use. The applicant's proposal is in compliance with the Master Plan.

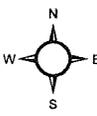
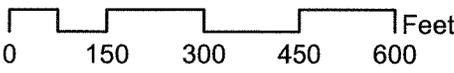
THOROUGHFARE PLAN APPLICATION:

The Thoroughfare Plan designates Glade Road as a Type B Major Arterial, with a minimum 80-foot right-of-way developed as four lanes with a median.

/at



CC ITEM #1, 22
PZ ITEM #2, 8



CU14-31 Vineyard Marketplace

Date Prepared: 8/5/2014

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

Cu14-31

CC ITEM #1, 22
PZ ITEM #2, 8



CITY OF GRAPEVINE

CONDITIONAL USE APPLICATION

Form "A"

PART 1. APPLICANT INFORMATION

Applicant Name: Rick Sutton C/O Starlite Sign, LLP

Applicant Address: 7923 E. McKinney

City/State/Zip: Denton, TX 76208

Phone No. 940-382-8850 Fax No. 940-387-0429

Email Address r.sutton@starlitesign.com Mobile Phone 940-239-9785

Applicant's interest in subject property Sign manufacture and installation

PART 2. PROPERTY INFORMATION

Street Address of subject property 5325 William D Tate Ave

Legal Description: Lot 5R Block 1 Addition Mulberry Square

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Size of subject property: acres 13.4194 square footage 121,680

Present zoning classification PCD Planned Commerce Developr Circle yes or no, if applies to this application:
Outdoor speakers Yes No

Proposed use of property Shopping Center

Zoning ordinance provision requiring a conditional use

PART 3. PROPERTY OWNER INFORMATION

Property Owner Louis Caiola C/O HSMEP Vineyard, LP

Prop Owner Address 191 Glen Rd

City/State/Zip Mountainside, NJ 07092

Phone No. 908-654-8110 Fax No. 908-654-0835

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.

RECEIVED
JUL 11 2014
By _____

- Attach a final plat, or replat, of the approved subdivision by city council showing property boundary lines, dimensions, easements, roadways, rail lines, and public rights-of way crossing and adjacent to the tract (1 blue-line copy)
- If a master development plan is required, attach a statement showing the proposed use substantially conforms to the master development plan.
- Submit a site plan showing all information required by Section 47.E., Site Plan review requirements (see attached requirements).
- Provide all required information demonstrating compliance with all conditions imposed on any conditional use, site plan zoning, or conditional use zoning.
- All site plans must conform to the approved concept plan. Any changes to a site plan, approved with a conditional use or a conditional use, can only be approved by city council through the public hearing process.

PART 4. SIGNATURE TO AUTHORIZE FILING OF A SITE PLAN

RIK SUTTON
Print Applicant's Name

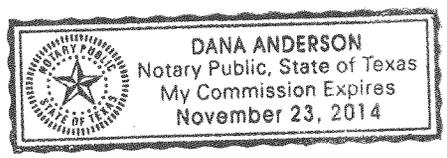
Applicant's Signature

The State of Texas

County of Denton

Before me (notary) Dana Anderson on this day personally appeared (applicant) Rick Sutton known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 11th day of July, A.D. 2014



Dana Anderson
Notary In and For State of Texas

~~LOUIS CATOLA~~ HSMZPVineyard LP
Print Property Owner's Name

By Steven Cox Manager
Property Owner's Signature Steven Cox

The State of New Jersey

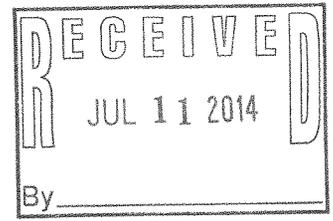
County of UNION

Before me (notary) Adele A. Damrau on this day personally appeared (applicant) Steven Cox known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 7th day of JULY, A.D. 2014

Adele A. Damrau
Notary In and For State of

ADELE A. DAMRAU
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires 1/19/2016



C114-31

ACKNOWLEDGEMENT

CC ITEM #1, 22
PZ ITEM #2, 8

All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

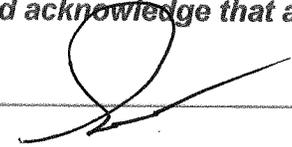
All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant



Date

7/11/14

Signature of Property Owner

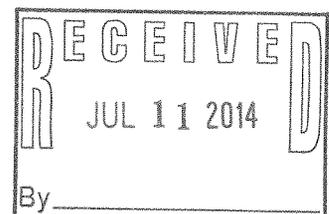
HSM & P Vineyard LP By Cuno Vineyard LLC

Date

 7/7/2014

Manager

Steven Cox



CU14-31
VINEYARD
MARKETPLACE

ORDINANCE NO. _____

AN ORDINANCE ISSUING A CONDITIONAL USE PERMIT IN ACCORDANCE WITH SECTION 48 OF ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE, BY GRANTING CONDITIONAL USE PERMIT CU14-31 AMENDING THE SITE PLAN APPROVED BY ORDINANCE NO. 97-87 FOR A PYLON SIGN IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT REGULATIONS ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED UPON EACH DAY DURING OR ON WHICH A VIOLATION OCCURS; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning & Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood;

adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU14-31 amending the site plan approved by Ordinance No. 97-87 for a planned commercial center, specifically to allow a multi-tenant 40-foot pylon sign for the center in a district zoned "CC" Community Commercial District Regulations within the following described property: Lot 5R, Block 1, Mulberry Square Addition (5325 William D. Tate Avenue) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. That the City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safely from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. That this ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. That any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

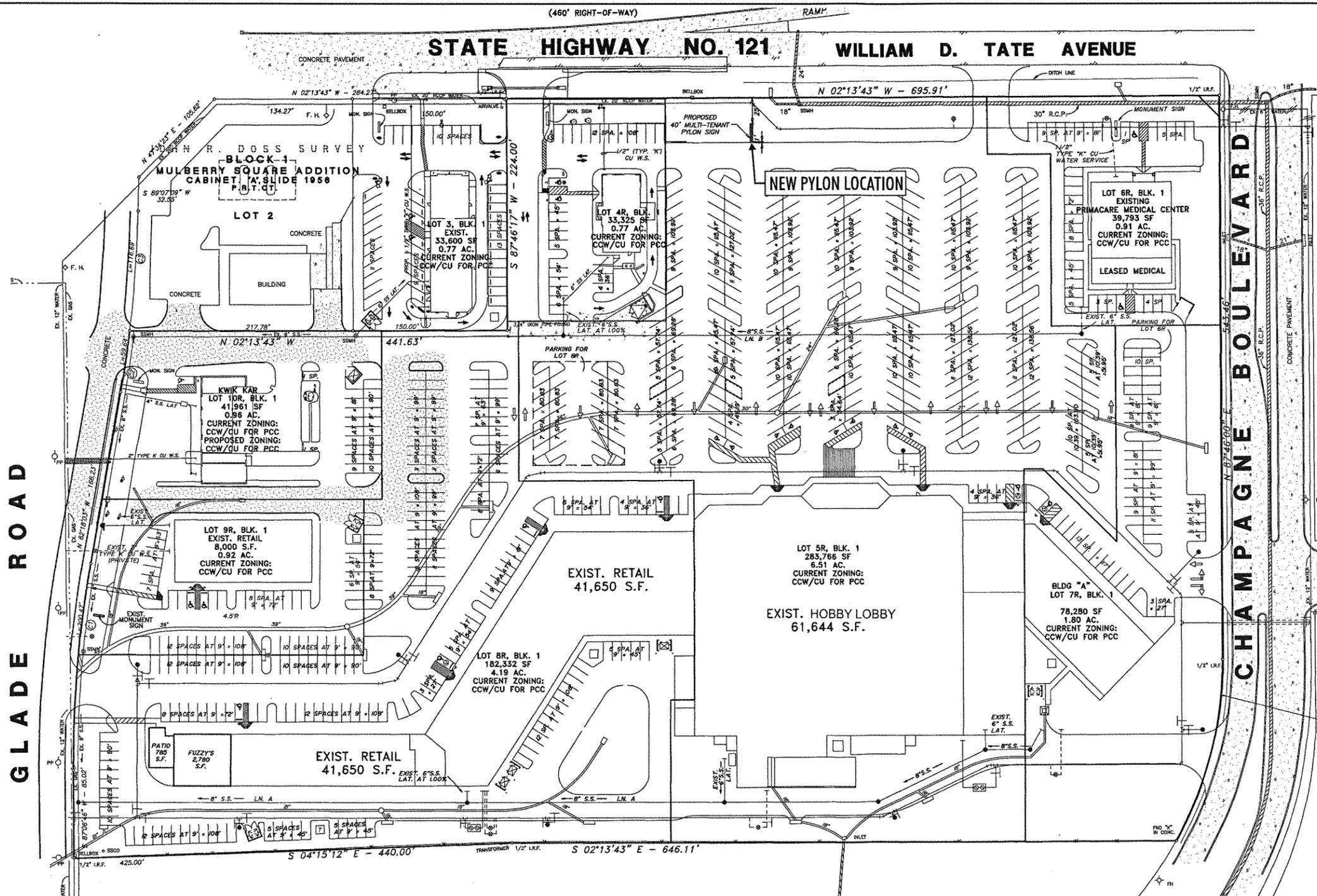
PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of August, 2014.

APPROVED:

ATTEST:

APPROVED AS TO FORM:

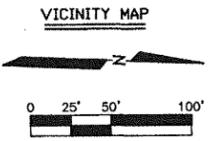
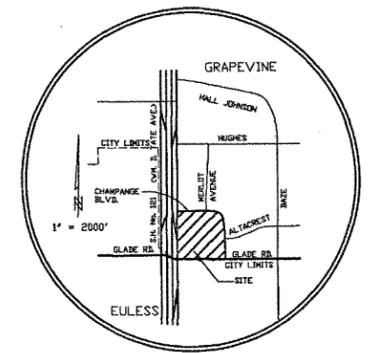
STATE HIGHWAY NO. 121 WILLIAM D. TATE AVENUE



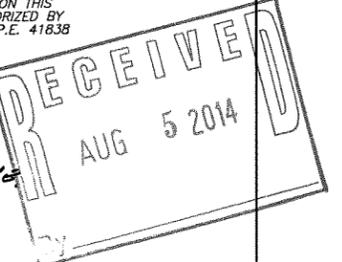
1. THE CURRENT ZONING OF LOTS 3,4R,5R,6R,7R,8R,9R AND 10R, MULBERRY SQUARE ADDITION IS C-C, COMMUNITY COMMERCIAL. **CC ITEM #1, 22**
2. SPECIAL PROMOTIONAL DISPLAYS OF BEER AND WINE ON A TEMPORARY BASIS MAY BE LOCATED IN VARIOUS AREAS WITHIN THE PREMISES. **PZ ITEM #2, 8**
3. PARKING AND DRIVE AREAS TO BE PAVED WITH MINIMUM 5" CONCRETE PAVEMENT.
4. REFER TO BUILDING ELEVATIONS AND SIGN DETAILS.
5. REFER TO LANDSCAPE PLAN FOR LANDSCAPE BUFFERS AND OTHER ON-SITE LANDSCAPE IMPROVEMENTS.
6. PROVIDE SOIL EROSION CONTROL IN ACCORDANCE WITH THE CITY OF GRAPEVINE SOIL EROSION AND SEDIMENTATION ORDINANCE (SECTION 47.E.1.b.18).
7. DISABLED PARKING TO BE DESIGNATED IN ACCORDANCE WITH CHAPTER 23, SECTION 26-64 THROUGH 23-69 OF THE CODE OF ORDINANCES.
8. TYPICAL PARKING SPACES AS FOLLOWS:
 9'x18' LOT 3, BLOCK 1
 9'x18' LOT 4R, BLOCK 1
 10'x18' LOT 5R, BLOCK 1
 9'x18' LOT 6R, BLOCK 1
 9'x18' LOT 7R, BLOCK 1
 9'x18' LOT 8R, BLOCK 1
 9'x18' LOT 9R, BLOCK 1
9. SIGNAGE WILL BE IN ACCORDANCE WITH SECTION 60 OF THE SIGN REGULATIONS.
10. ALL ON-SITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.
11. ALL REFUSE STORAGE AREAS (DUMPSTER ENCLOSURES BEHIND BUILDINGS) SHALL BE SCREENED IN ACCORDANCE WITH SECTION 50.b.3. (SECTION 47.e.1.b.22). DUMPSTER SCREENING TO BE CONCRETE PANELS PAINTED TO MATCH BUILDINGS.
12. CONDITIONAL USE REQUEST CU11-18 IS A REQUEST FOR APPROVAL OF AN AMENDMENT OF CU07-25 (ORDINANCE 2000-) FOR A PLANNED COMMERCIAL CENTER, SPECIFICALLY TO ALLOW THE POSSESSION, STORAGE, RETAIL SALE, AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER, WINE AND MIXED DRINKS) IN CONJUNCTION WITH AN EXISTING RESTAURANT, LOCATED AT 2030 GLADE ROAD, SUITE 296) ON THE REVISED SITE PLAN.
13. ALL REQUIREMENTS OF SECTION 25, "CC" COMMUNITY COMMERCIAL DISTRICT SHALL BE MET.
14. ALL REQUIREMENTS OF SECTION 53, LANDSCAPING REGULATIONS SHALL BE MET.
15. THE CURRENT LAND USE DESIGNATION AS CONTAINED IN THE COMPREHENSIVE MASTER PLAN IS COMMERCIAL.

MERLOT DRIVE

CURVE DATA
 $\Delta = 29^{\circ}25'53''$
 $R = 355.66'$
 $L = 182.69'$
 $CH = S 77^{\circ}31'07'' E$
 $180.69'$



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY LAWRENCE A. CATES, P.E. 41838 ON 07.0.14



MASTER SITE PLAN
 PLANNED COMMUNITY COMMERCIAL
 LOTS 3-10R, BLOCK ONE
 MULBERRY SQUARE ADDITION
 CITY OF GRAPEVINE, TARRANT COUNTY
 TEXAS

PROJECT DATA									
LOT	LAND AREA (S.F.)	BUILDING AREA (S.F.)	OCCUPANCY	PARKING REQUIRED	PARKING PROVIDED	BUILDING COVERAGE	LANDSCAPE AREA (S.F.)	PERVIOUS SURFACE (S.F.)	IMPERVIOUS SURFACE (S.F.)
LOT 3	33,600	5,300	RESTAURANT	40	43	16%	8,720	8,720	24,880
LOT 4R	33,325	2,886	RESTAURANT	29	29	8.7%	7,530	7,530	25,795
LOT 5R	283,766	61,644	GROCER/RETAIL	247	310	21.7%	34,300	34,300	249,466
LOT 6R	39,793	7,703	MEDICAL	47	37*	19.4%	14,816	14,816	24,977
LOT 7R*	78,280	10,000	RETAIL	40	49	12.8%	34,867	34,867	43,413
LOT 8R**	182,332	41,650	RETAIL/REST.	230	230***	22.8%	33,733	33,733	148,599
LOT 9R	39,941	8,000	RETAIL	32	49	20.0%	5,660	5,660	34,281
LOT 10R	41,961	** 5,324	RETAIL	22	22	10.9%	8,582	8,582	33,379
TOTALS	732,998	142,507	N.A.	824	773	19.3%	148,208	148,208	584,790

* (TEN) ADDITIONAL PARKING SPACES ARE PROVIDED FOR ON LOT 7R
 ** INCLUDES 748 S.F. MEZZANINE
 *** INCLUDES 22 PARKING SPACES PROVIDED ON LOT 8R

OWNER, LOT 3:
 SYSTEM CAPITAL REAL PROPERTY CORP.
 ONE MCDONALD'S PLAZA
 OAKBROOK, ILL., 60521
 (630) 623-6966

OWNER, LOTS 5R, 7R, 8R, & 9R:
 CURO ENTERPRISES, LLC
 191 GLEN ROAD
 MOUNTAIN SIDE, NJ 07092
 (917) 951-7934

OWNER, LOT 6R:
 PRIMACARE GLADE, LTD. C/O BTR DEVELOPMENT, INC.
 17500 DALLAS PKWY., SUITE 3110
 DALLAS, TX 75248
 (972) 931-9585

ENGINEER/SURVEYOR:
 CATES-CLARK
 14800 QUORUM DRIVE, SUITE 200
 DALLAS, TEXAS 75254
 (972) 385-2272

CASE NAME: VINEYARD MARKETPLACE
 CASE NUMBER: CU14-31
 LOCATION: 5225 WILLIAM D. TATE AVENUE
 LOTS 3-10R, BLOCK 1, MULBERRY SQUARE ADDITION

MAYOR _____ SECRETARY _____
 DATE: _____
 PLANNING AND ZONING COMMISSION

CHAIRMAN _____

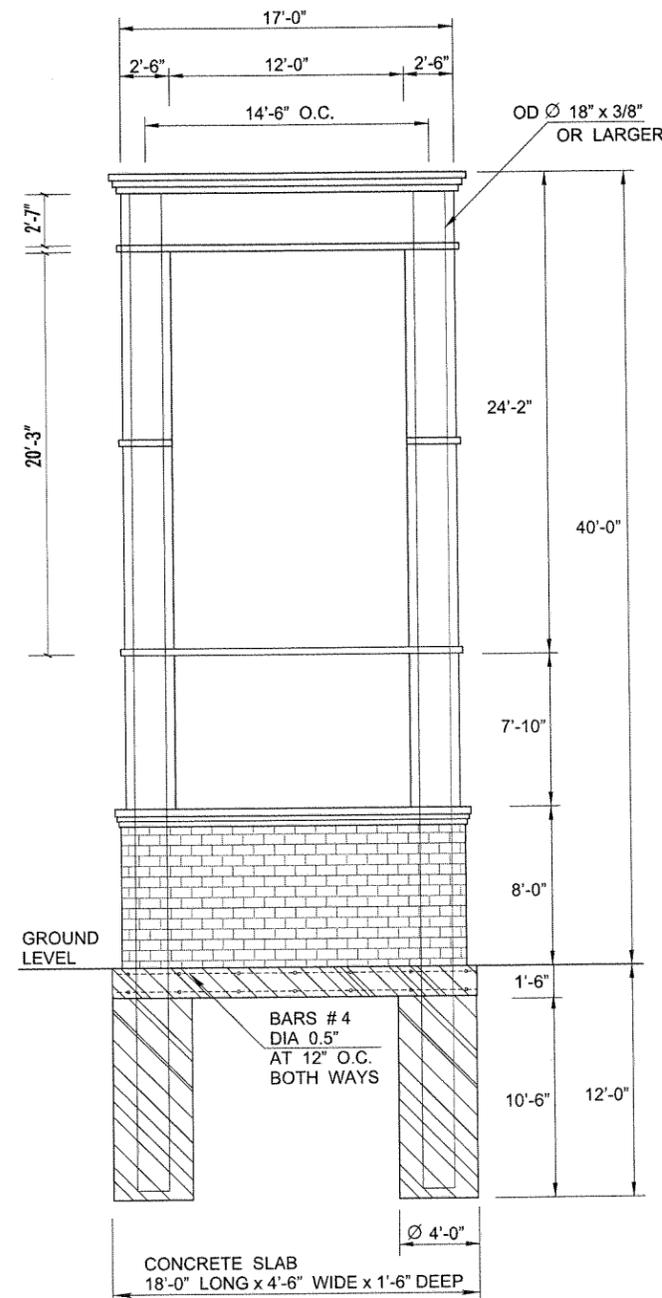
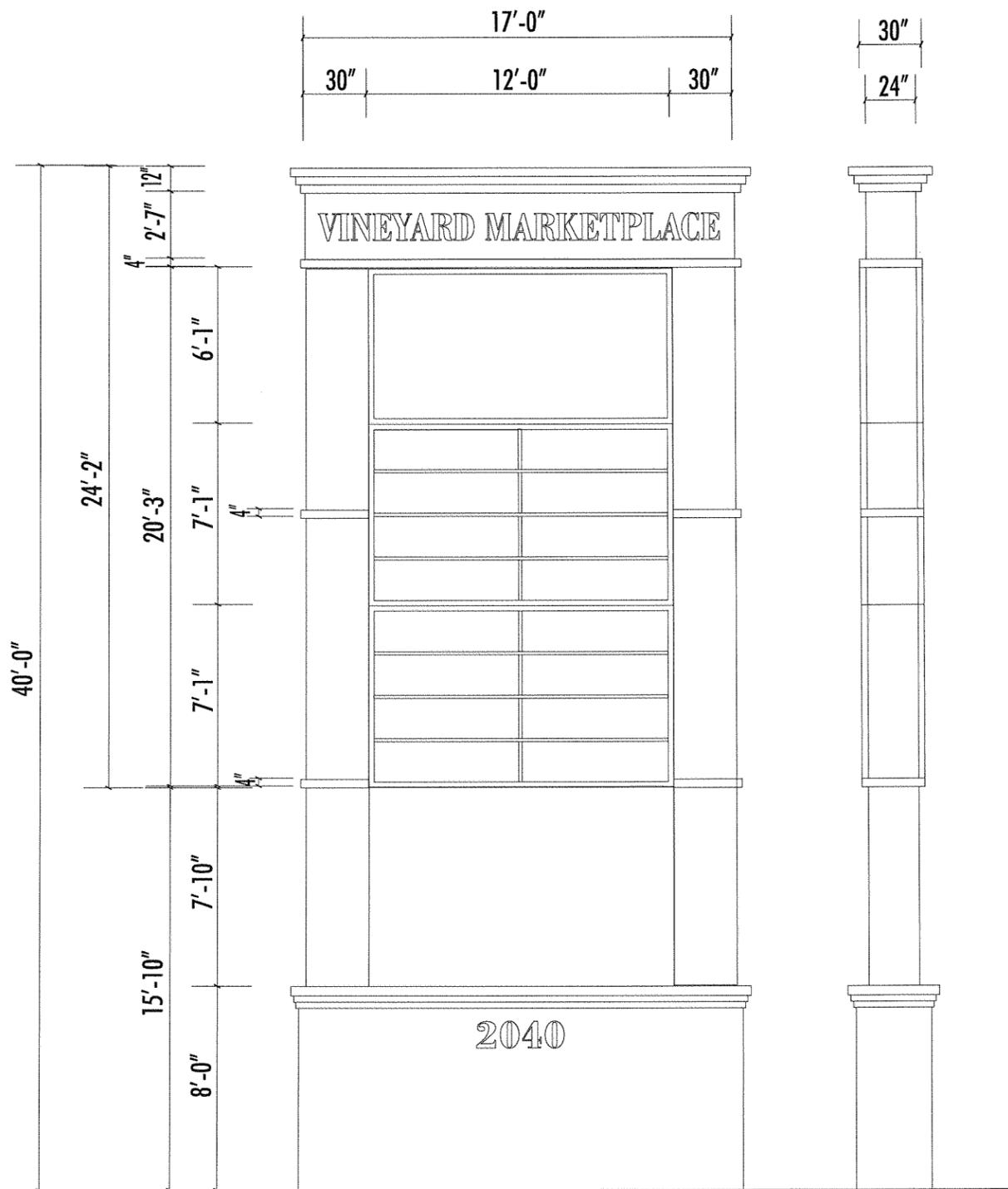
DATE: _____
 SHEET: 1 OF 3

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

Conditional use request CU14-31 is a request to amend the previously approved site plan of CU97-35 (Ord. 97-87) for a planned commercial center, specifically to allow a 40 foot pylon sign for the shopping center.

The proposed pylon sign was included in the determination of the illumination levels.



NOTES:

- SITE CONDITIONS:**
WIND SPEED 90 MPH, 3 SEC GUST
SURFACE ROUGHNESS EXPOSURE C
SOIL VERTICAL PRESSURE 1500 PSF,
SLIDING RESISTANCE 130 PSF,
LATERAL PRESSURE 150 PSF,
AT MINIMUM, PER FOOT OF DEPTH
BELOW NATURAL GRADE
- SUPPORT MEMBERS:**
STEEL POLE ASTM A500 GRADE B
YIELD STRENGTH
35000 PSI FOR PIPE,
46000 PSI FOR TUBE

PLATE, ANGLE, CHANNEL ASTM A36
FASTENERS A325, ZINK COATED
ELECTRODES FOR WELDS E70xx

REINFORCING BARS ASTM 615
GRADE 60 WITH DEFORMATIONS
IN ACCORDANCE WITH ASTM A-305,
NO WELDING ON BARS

CONCRETE MINIMUM COMPRESSIVE
STRENGTH 3000 PSI IN 28 DAYS
- CONTROLLED VALUES:**
COMPRESSION STRESS 571 PSI
SHEAR STRESS 390 PSI
BENDING STRESS 30204 PSI
SECTION MODULUS REQUIRED
FOR SUPPORTING PIPE 79 CUB.IN
APPLY OD 18 IN 0.375 IN THICK
SLENDERNESS RATIO 182 < 200
SATISFACTORY
REINFORCEMENT BARS:
FACTORED WIND LOAD BENDING 5213 PSI
TENSILE STEEL AREA 3 IN
REINFORCING STEEL RATIO 0.01
TOTAL AREA STEEL REQUIRED 0.8 SQ.IN
APPLY BARS #4 DIA 0.5 IN BOTH WAYS
TWO LAYERS AT 12 IN ON CENTER

FOUNDATION RIGIDITY THROUGH
4 FT DIA, 12 FT DEPTH
SLAB 18 FT LONF 4.5 FT WIDE,
1.5 FT DEEP

CALCULATIONS ARE ON FILE
CONFIGURATION DIMENSIONS ARE
SHOWN AS MINIMUM REQUIRED

THE DESIGN IS BASED UPON EXISTING
ADEQUATE BUILDING ELEMENTS BEING
STRUCTURALLY SOLID
CONTRACTOR'S RESPONSIBILITY IS TO
ENSURE WORKMANSHIP AND CONFIRM
ASSUMED VALUES
THE SYSTEM SHOULD BE INSPECTED
DURING AND AFTER THE INSTALLATION

ALTECOR ENGINEERING
SIGN STRUCTURES
DESIGN & ANALYSIS

3617 FLAMINGO AVE
MCALLEN, TX 78504
P: (956) 687-7389
F: (956) 687-7390
EMAIL: INFO@ALTECOR.US
WEB: WWW.ALTECOR.US

PROJECT TITLE:
VINEYARD MARKETPLACE

DOUBLE POLE SIGN,
ILLUMINATED

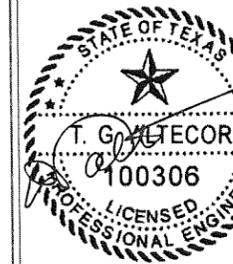
INSEPARABLE ASSEMBLY
OUTLINE DRAWING

THE DRAWING COMPRISES
EVALUATION OF SUPPORTS
AND FOOTING. NO CABINET
ENGINEERING IS INCLUDED

DESIGNED FOR:
STARLITE SIGN CO. LP.
7923 E. MCKINNEY ST.
DENTON, TX 76208
P: (940) 382-8850
F: (940) 387-0429

SITE LOCATION:
2040 W. GRADE RD. @ SH 121
GRAPEVINE, TX

TEXAS FIRM #: F-10807
TDLR MSE #: 95180



THIS SEAL IS AUTHORIZED BY
T. G. ALTECOR, P.E., 07 / 29 / 2014

DRAWING #: 001622
REVISION #: 1
PAGE #: 1 OF 1

CODE: IBC - 2012 / ICC
STANDARD: ASCE / SEL-7
SPECIFICATION: ANSI/ASTM

DOUBLE FACE INTERNALLY ILLUMINATED PYLON SIGN:

1/2 SECTION TO HAVE ROUTED ALUMINUM FACES WITH TEXTURED FINISH PAINTED MATTHEWS MP23647 FIRE WEED RED WITH PUSH THRU ACRYLIC GRAPHICS.

(3) TENANT CABINETS WITH WHITE ACRYLIC FACES AND VINYL TENANT GRAPHICS. ALL GRAPHICS TO BE PROVIDED AND APPROVED BY TENANT. CABINET AND RETAINERS PAINTED MATTHEWS MP23647 FIRE WEED RED.

TEXTURED ALUMINUM CAP AND POLE COVERS PAINTED MATTHEWS MP25833 BONE WHITE.
TEXTURED ALUMINUM 1/2 BOTTOM TRIM AND POLE TRIMS PAINTED MATTHEWS MP23647 FIRE WEED RED.

BRICK BASES WITH BRICK CAP TO MATCH BUILDING.

31" x 17'-0" = 44 SQ. FT.
20'-3" x 12'-0" = 243 SQ.FT.
(44 + 243 = 287 TOTAL SQ. FT.)

DOUBLE-FACE PYLON SIGN
SCALE: 3/8" = 1'-0"

CASE NAME: VINEYARD MARKETPLACE
CASE NUMBER: CU14-31
LOCATION: 5325 WILLIAM D. TATE AVENUE
LOT 1, BLOCK 1, MULLBERRY SQUARE ADDITION

MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION

CHAIRMAN _____
DATE: _____
SHEET 2 OF 3

APPROVAL DOES NOT AUTHORIZE ANY
WORK IN CONFLICT WITH ANY CODES OR
ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES



7923 E. McKinney St., Denton, TX 76208
(940) 382-8850 Fax: (940) 387-0429

VINEYARD MARKETPLACE CUSTOMER
5325 William D. Tate Ave. LOCATION
Grapevine TX CITY, ST

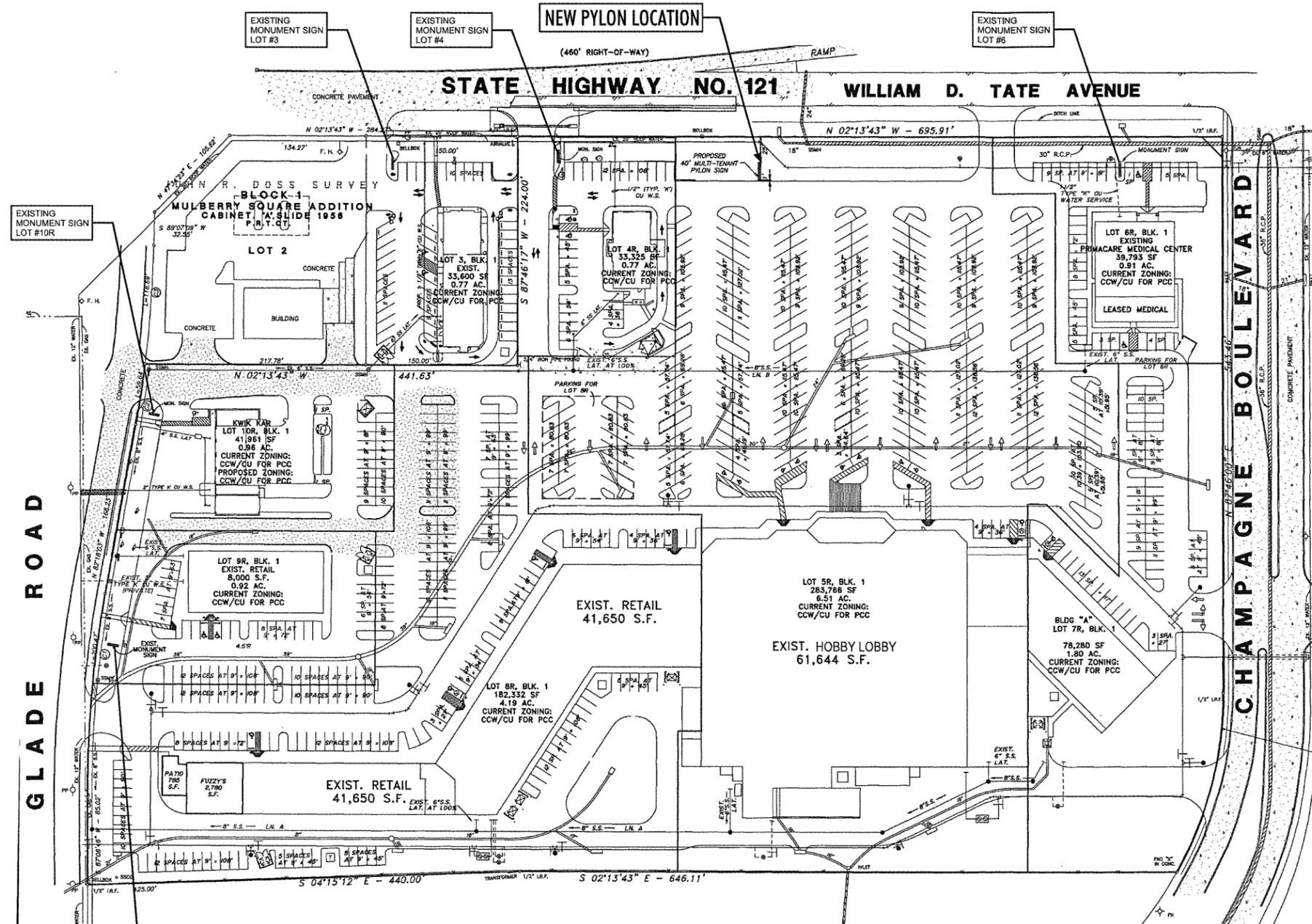
Rick Sutton ACCT. EXEC. Kristy Crep PRJ. MGR.

Bids are good if accepted within 30 days of proposal. This drawing is the property of Starlite Sign, which reserves all rights to its reproduction and display.

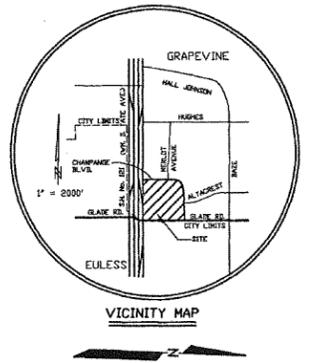
DESIGNER: JCR (940) 33543 (940) 33543
ORIG. DATE: 107-03-14
DWG. # 1407-012
PAGE 01 of 01

BALLAST(S) WIRING ACCORDING TO SCHEMATIC ON BALLAST; PRIMARY CONNECTED TO LINE VOLTAGE IN ACCORDANCE WITH NEC ARTICLE 600.

Construct & Install Using Only U.L. Listed Components & In Accordance w/Art. 600 of the N.E.C. & any Applicable Local Codes
U/L LABELS REQUIRED
(2) 20amp
120V DEDICATED CIRCUIT(S) REQ'D.



- NOTES:
1. THE CURRENT ZONING OF LOTS 3,4R,5R,6R,7R,8R,9R AND 10R, MULBERRY SQUARE ADDITION IS C-C, COMMUNITY COMMERCIAL.
 2. SPECIAL PROMOTIONAL DISPLAYS OF BEER AND WINE ON A TEMPORARY BASIS MAY BE LOCATED IN VARIOUS AREAS WITHIN THE PREMISES.
 3. PARKING AND DRIVE AREAS TO BE PAVED WITH MINIMUM 5" CONCRETE PAVEMENT.
 4. REFER TO BUILDING ELEVATIONS AND SIGN DETAILS.
 5. REFER TO LANDSCAPE PLAN FOR LANDSCAPE BUFFERS AND OTHER ON-SITE LANDSCAPE IMPROVEMENTS.
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 14. ALL REQUIREMENTS OF SECTION 53, LANDSCAPING REGULATIONS SHALL BE MET.
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CURVE DATA
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 $R = 355.66'$
 $L = 182.69'$
 $CH = S 77^{\circ}31'07'' E$
 $180.69'$

CASE NAME: VINEYARD MARKETPLACE
CASE NUMBER: CU14-31
LOCATION: 5325 WILLIAM D. TATE AVENUE
LOT 3R, BLOCK 1, MULBERRY SQUARE ADDITION

MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION

CHAIRMAN _____
DATE: _____
SHEET: 3 OF 3

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.
DEPARTMENT OF DEVELOPMENT SERVICES

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY LAWRENCE A. CATES, P.E. 41838 ON 07.01.14

PROJECT DATA										
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** INCLUDES 748 S.F. MEZZANINE
*** INCLUDES 22 PARKING SPACES PROVIDED ON LOT 5R

OWNER, LOT 3: SYSTEM CAPITAL REM PROPERTY CORP.
ONE MEDGANLY'S PLAZA
OAKBROOK, ILL., 60521
(630) 623-6566

OWNER, LOTS 5R, 7R, 8R, & 9R: CURO ENTERPRISES, LLC
181 GLEN ROAD
MOUNTAINVIEW, NJ 07092
(917) 951-7934

OWNER, LOT 6R: PRIMACARE GLADE, LTD. C/O BTR DEVELOPMENT, INC.
17300 DALLAS PKWY., SUITE 3110
DALLAS, TEXAS 75248
(972) 921-8548

ENGINEER/SURVEYOR: CATES-CLARK
LAWRENCE A. CATES
41838
14800 QUORUM DRIVE, SUITE 200
DALLAS, TEXAS 75254
(972) 385-7979

MASTER SITE PLAN
PLANNED COMMUNITY COMMERCIAL
LOTS 3-10R, BLOCK ONE
MULBERRY SQUARE ADDITION
CITY OF GRAPEVINE, TARRANT COUNTY
TEXAS

Since 1956

Starlite Sign LP
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7923 E. McKinney St., Denton, TX 76208
(940) 382-8850 Fax: (940) 387-0429

VINEYARD MARKETPLACE CUSTOMER
5325 William D. Tate Ave. LOCATION
Grapevine TX CITY, ST

Rick Sutton ACCT. EXEC. Kristy Crep PRJ. MGR.
Bids are good if accepted within 30 days of proposal. This drawing is the property of Starlite Sign, which reserves all rights to its reproduction and display.

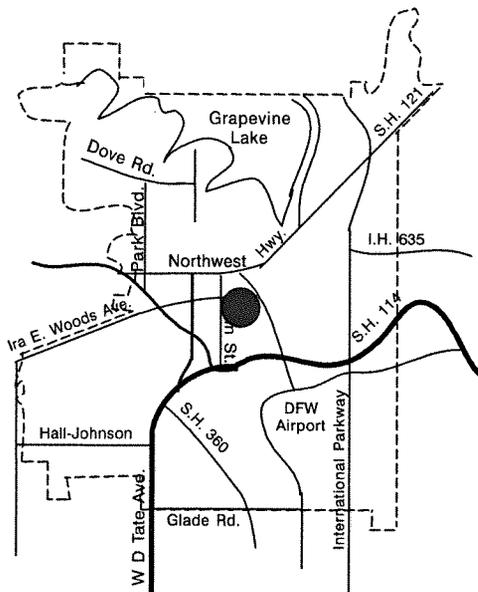
DESIGNER	BID / JOB	ORIG. DATE	DWG #	PAGE
JCR	33543	07-03-14	1407-012	of 01

TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER ^{BR}
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: AUGUST 19, 2014

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF
CONDITIONAL USE APPLICATION CU14-32, GRAPEVINE
CRAFT BREWERY



APPLICANT: Blake Architects

PROPERTY LOCATION AND SIZE:

The subject property is located at 906 and 924 Jean Street and is proposed to be platted as Lot 1R1, Block 1, Hilltop Addition. The site contains approximately 1.1289 acres. The property has 140 feet of frontage along East Dallas Road and 282 feet of frontage along Jean Street.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to amend the previously approved site plan of CU12-49 (Ord. 2013-03) for the possession, storage, wholesale sales, on-premise manufacturing (beer only) in conjunction with a brewery, specifically to allow an expansion, outside seating and on-premise consumption of alcoholic beverages (beer only).

Conditional Use Permit CU12-49 was approved by the City Council at the January 15, 2013 meeting on a portion of the subject site for the establishment of a 6,740 square foot brewery. The approval provided for wholesale sales of beer to restaurants and pubs along with providing free samples in conjunction with facility tours.

With this request the applicant proposes to expand the site by incorporating a developed 0.626 acre parcel including an existing 5,960 square foot office warehouse into the previously approved site plan. The proposed brewery totals 10,284 square-feet; an

increase of 4,324 square-feet. Total seating including indoor and outdoor seating is 72 seats. Total required parking for the proposed use is 36 spaces and there are 45 spaces provided. No outdoor speakers are proposed with this request.

The operator of the use has applied for a Brewers Permit (B Permit) from the Texas Alcoholic Beverage Commission. The B Permit allows for on-premise consumption of the brewer's products on the brewer's premises. The operator intends to manufacture beer, allow for wholesale sales of the product to restaurants, bars and grocers and allow for on-premise consumption of the product. The City Council on June 17, 2014 approved AM14-04 (Ord. 2014-36) which makes the B Permit accessible to brewers through the conditional use process.

PRESENT ZONING AND USE:

The subject property is currently zoned "LI" Light Industrial District and is partially developed with an office warehouse.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject property and the immediate surrounding area were rezoned in the 1984 City Rezoning from "I-1" Light Industrial District to "LI" Light Industrial District. The site to the west received approval of Conditional Use Request CU99-23 (Ord. No. 99-80) in May 1999, amending the previously approved site plan in order to allow the retail sale and outdoor display of new medium sized trucks. Also on the site to the west Conditional Use Request CU96-24 (Ord. 96-77) approved by Council at their October 15, 1996 meeting established the truck leasing facility with the sale and repair of new and used heavy trucks and associated outside land uses. Conditional Use Request CU01-41 was considered and denied by Council at their August 21, 2001 meeting. At that meeting the applicant requested to expand the site for further inventory/outdoor display of new, medium-duty trucks. At the January 20, 2004 meeting Council approved a revised conditional use request CU03-54 (Ord. 2004-03) on the site to the west for an expansion of the main structure and an expansion to the site to be used for additional employee parking however neither expansion took place. Conditional Use Request CU08-07 (Ord. 2008-19) was approved at the April 15, 2008 meeting on the site the west to allow for an automotive repair/collision repair center. The Site Plan Review Committee at their May 14, 2008 meeting in conjunction with recommendations from the City's Historic Preservation Officer approved exterior elevation revisions and enhanced landscaping on the site to the west. Conditional Use Request CU12-49 (Ord. 2013-03) was approved at the January 15, 2013 meeting on the subject site to allow for a brewery.

SURROUNDING ZONING AND EXISTING LAND USE:

NORTH: "LI" Light Industrial District – Sunbelt Rentals and a single story office building

- SOUTH: "LI" Light Industrial District - office
- EAST: "LI" Light Industrial District – manufacturing
- WEST: "LI" Light Industrial District - Grapevine Collision Center and Richards Auto Body Shop

AIRPORT IMPACT:

The subject tract is located within "Zone A" Zone of Minimal Effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" Map. Few activities will be affected by aircraft sounds in "Zone A" except for sound sensitive activities such as auditoriums, churches, schools, hospitals, and theaters. The applicant's proposal is an appropriate use in this noise zone.

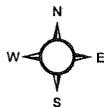
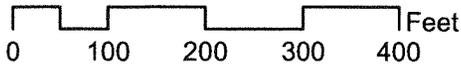
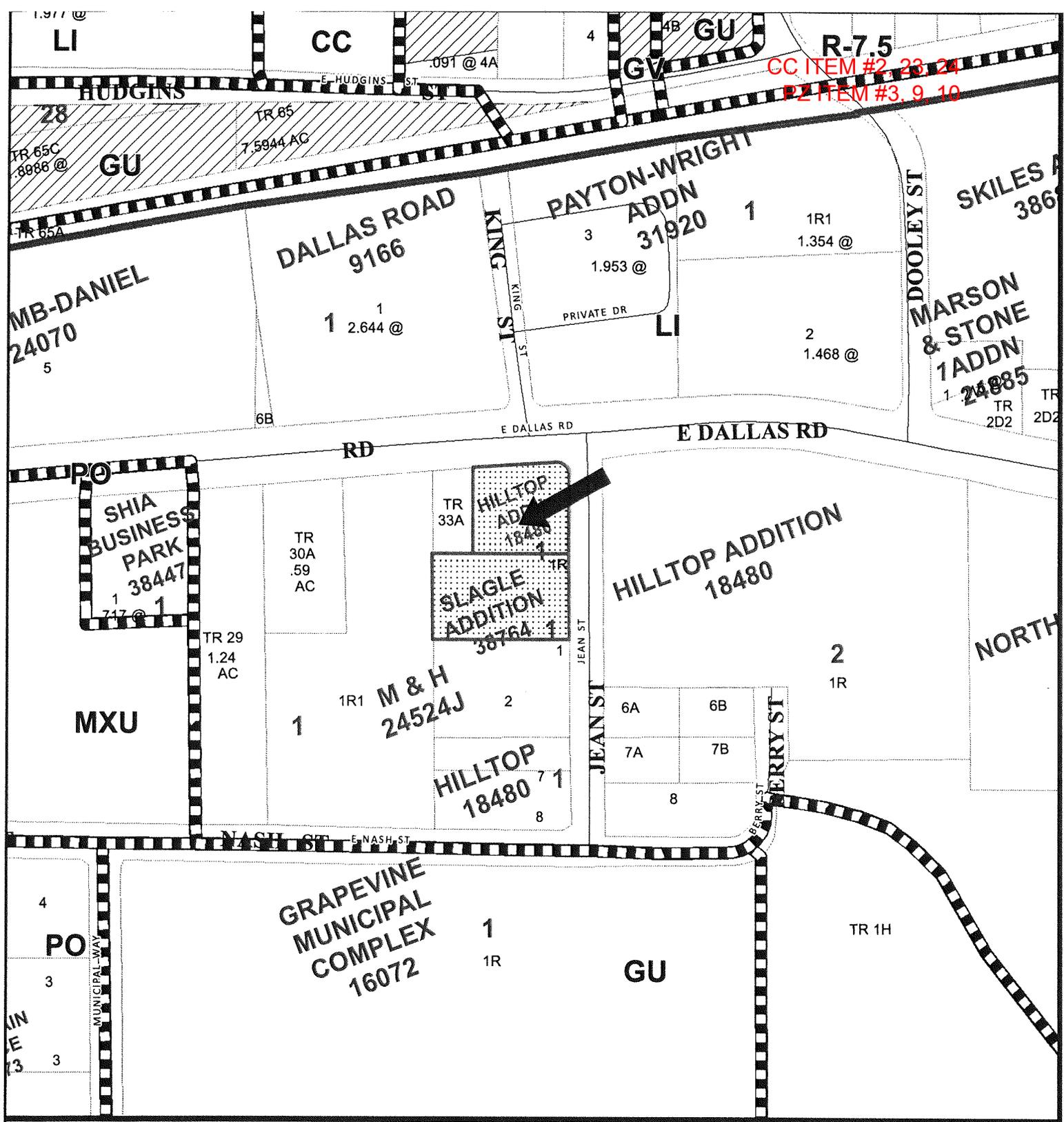
MASTER PLAN APPLICATION:

The Master Plan designates the subject property as Commercial Low Intensity use. The applicant's request is in compliance with the Master Plan.

THOROUGHFARE PLAN APPLICATION:

The Thoroughfare Plan designates East Dallas Road as a Type C Minor Arterial, with a minimum 80-foot right-of-way developed as four lanes with a turn lane. Jean Street is not designated a thoroughfare as shown on the City's Thoroughfare Plan.

/at



CU14-32 Grapevine Craft Brewery

Date Prepared: 8/5/2014

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

CW4-3a

CC ITEM #2, 23, 24
PZ ITEM #3, 9, 10



CITY OF GRAPEVINE

CONDITIONAL USE APPLICATION

Form "A"

PART 1. APPLICANT INFORMATION

Applicant Name: **ROGER (SKIP) BLAKE - BLAKE ARCHITECTS**

Applicant Address: **1202 SOUTH WHITE CHAPEL, STE. A.**

City/State/Zip: **SOUTH LAKE, TEXAS 76092**

Phone No. **817-488-9397** Fax No. **817-251-3205**

Email Address **blakearch@vizon.com** Mobile Phone **817-538-2078**

Applicant's interest in subject property **PROJECT ARCHITECT**

PART 2. PROPERTY INFORMATION

Street Address of subject property **906 / 924 JEAN STREET**

Legal Description: Lot **16-1** Block **I** Addition **HILLTOP ADDITION**

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Size of subject property: acres **1.124** square footage

Present zoning classification **LI** Circle yes or no, if applies to this application: Outdoor speakers Yes No

Proposed use of property **MICKO BREWERY**

Zoning ordinance provision requiring a conditional use **ALCOHOL SALES (MFG.)**

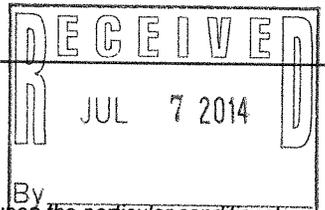
PART 3. PROPERTY OWNER INFORMATION

Property Owner **906 JEAN STREET - LP INDUSTRIES, LLC**

Prop Owner Address **4100 HERITAGE AVE, SUITE 105**

City/State/Zip **GRAPEVINE, TEXAS 76051**

Phone No. **817-925-2569** Fax No.



- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.

**OWNER: 924 JEAN STREET - BREWER PROPERTIES OF TX.
2150 N. NORTHWEST HIGHWAY #114-1094
GRAPEVINE, TEXAS 76051 PHONE 214-708-8091**

CU14-32

- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

CC ITEM #2, 23, 24
PT ITEM #3, 9, 10

PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY

ROGER BLAKE
Print Applicant's Name

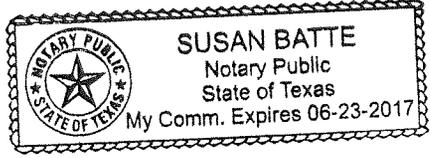
[Signature]
Applicant's Signature

The State of Texas

County of Tarrant

Before me (notary) Susan Batte on this day personally appeared (applicant) Roger Blake known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 7th day of July, A.D. 2014



[Signature]
Notary In and For State of _____

Tim Lancaster
Print Property Owner's Name

[Signature]
Property Owner's Signature

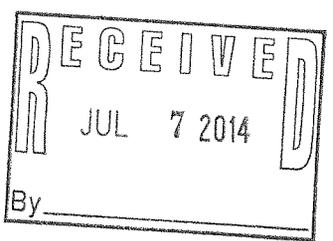
The State of _____

County of _____

Before me (notary) _____ on this day personally appeared (applicant) _____ known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this _____ day of _____, A.D. _____

Notary In and For State of _____



CC ITEM #2, 23, 24
BZ ITEM #3, 8, 10

- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
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- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY

Print Applicant's Name	Applicant's Signature
------------------------	-----------------------

The State of _____

County of _____

Before me (notary) _____ on this day personally appeared (applicant) _____

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this _____ day of _____, A.D. _____

Notary In and For State of _____

Brewery Properties of Texas, LLC

Gary Humble, President

Print Property Owner's Name

[Signature]

Property Owner's Signature

The State of TEXAS

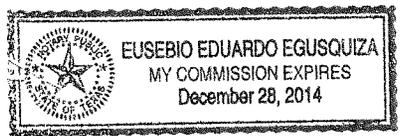
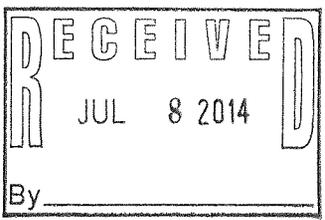
County of DALLAS

Before me (notary) E. E. EGUSQUIZA on this day personally appeared (applicant) Gary A. Humble

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 7th day of JULY, A.D. 2014

Notary In and For State of TEXAS



- Attach a final plat, or replat, of the approved subdivision by city council showing property boundary lines, dimensions, easements, roadways, rail lines, and public rights-of way crossing and adjacent to the tract (1 blue line copy)
- If a master development plan is required, attach a statement showing the proposed use substantially conforms to the master development plan.
- Submit a site plan showing all information required by Section 47 E., Site Plan review requirements (see attached requirements).
- Provide all required information demonstrating compliance with all conditions imposed on any conditional use, site plan zoning, or conditional use zoning.
- All site plans must conform to the approved concept plan. Any changes to a site plan, approved with a conditional use or a conditional use, can only be approved by city council through the public hearing process.

CC ITEM #2, 23, 24
BZ ITEM #3, 8, 10

PART 4. SIGNATURE TO AUTHORIZE FILING OF A SITE PLAN

Print Applicant's Name	Applicant's Signature
------------------------	-----------------------

The State of _____

County of _____

Before me (notary) _____ on this day personally appeared (applicant) _____

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this _____ day of _____, A.D. _____

Brewery Properties of Texas, LLC
Gary Humble, President
 Print Property Owner's Name

Notary In and For State of _____

 Property Owner's Signature

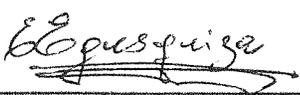
The State of TEXAS

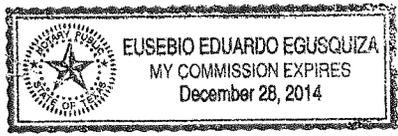
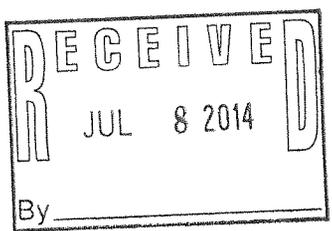
County of DALLAS

Before me (notary) EUSEBIO E. EGUSQUIZA on this day personally appeared (applicant) Gary P. Humble

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 7th day of JULY, A.D. 2014


 Notary In and For State of TEXAS



ACKNOWLEDGEMENT

CU14-32

CC ITEM #2, 23, 24

PZ ITEM #3, 9, 10

All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.

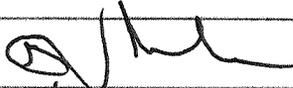
Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant

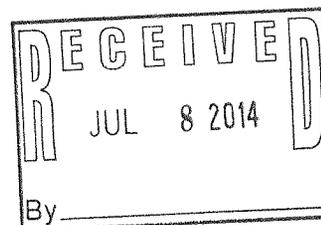
Date

Signature of Property Owner



Date

7/7/2014



Grapevine Craft Brewery, LLC
c/o Gary Humble
2150 W Northwest Hwy STE 114-1094
Grapevine, TX 76051
Tel: 214.708.8091

June 30, 2014

Grapevine City Council
Grapevine Planning & Zoning Commission
c/o Development Services Depart
200 S. Main Street
Grapevine, TX 76051

Re: Conditional Use Request for Grapevine Craft Brewery
906 & 924 Jean Street, Grapevine, Texas

Dear Council members and Commissioners:

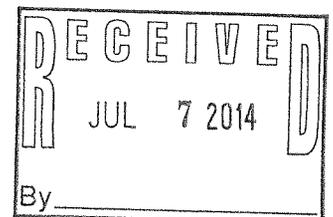
Grapevine Craft Brewery, LLC is excited about the opportunity to bring the very first production microbrewery to Grapevine. We feel that the current winery environment in Grapevine in conjunction with the gain in popularity of craft beer in North Texas makes Grapevine a prime market for our microbrewery. Additionally, we have a strong desire to work with the city in providing yet another attraction to our great community and just one more reason for people to stop in and visit Grapevine.

At this time, we would ask you to consider our request to:

1. allow a microbrewery use within the "LI" zoning district.
2. allow for the on-premise manufacturing and storage of alcoholic beverages (beer) as part of this use request.
3. allow for weekly touring of our facility by the public.
4. allow for the on-premise consumption of alcoholic beverages (beer) and retail sales of alcohol in our taproom on premise.

As a production microbrewery, our primary business and source of revenue is the wholesale of draft beer to restaurants and bars across North Texas, the wholesale of packaged beer (cans and bottles) to grocery and C stores, and the retail sales of beer for on-premise consumption at the brewery.

The brewing process is fairly straight forward and does not require the use of toxic or potentially harmful chemicals. Beer is made primarily of four main ingredients: grain, hops, yeast and water. Beer manufacturing is an organic process where yeast cells metabolize sugars (starches) to release alcohol and CO₂ as bi-products. We plan to employ a 30bbl (barrel) brewhouse with 90bbl and 120bbl fermenter tanks that will give



C114-32

CC ITEM #2, 23, 24

PZ ITEM #3, 9, 10

our facility a maximum capacity of 34,000 bbls/year. The state of Texas legally defines a "microbrewery" as a brewery with less than 75,000 bbls/year of production.

We do not believe that our operations will have any negative impact on our neighbors and the surrounding area. In fact, we would hope that our improvements to the property are viewed as a valuable asset to the community and something that would make our neighbors proud.

I (Gary Humble, the owner) started Grapevine Craft Brewery in September 2012. Since launching our brand into the market in November 2013, our products are now represented in over 800 locations throughout North Texas and the Austin metro area at the time of writing this letter including major grocery chains like Kroger, Central Market, Whole Foods and Costco to name a few. Additionally we are on tap at notable major venues such as Globe Life Park, home of the Texas Rangers and the Dell Diamond, home of the Round Rock Express triple A ball club. In June 2014, we marked our first month with sales of over \$100,000 in a one month period and are on track to do over \$1.2M in revenue this year, our first full year of business. We are excited and passionate about bringing this growing business to downtown Grapevine, Texas, our brewery's namesake and our home.

That said, building a brewery is not only about starting a profitable business and making great beer. For me, it's about operating my business in a manner that makes Grapevine Craft Brewery a meaningful part of this community. Since starting our company in 2012, we've been able to partner with great local organizations like GRACE, the Women's Division of the Grapevine Chamber, Grapevine Rotary Club, Lake Grapevine Runners and Walkers, and other organizations across DFW. As our business becomes profitable, we will continue our commitment to give back 5% of our profits back into local community organizations that are in the business of doing good for our citizens.

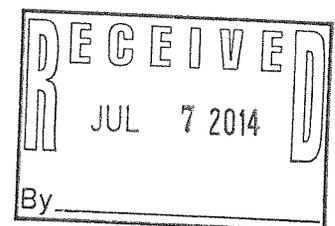
My wife and I own a home in Grapevine and have lived here now for six years. It has been an absolute pleasure getting to meet members of the city staff and council as well as from the Grapevine Chamber and the Convention and Visitors Bureau. We are very excited about the opportunity to work with the city and be part of a community that we love and support.

Thank you for your time and consideration for our request.

Sincerely,



Gary Humble



ORDINANCE NO. _____

CU14-32
GRAPEVINE
CRAFT BREWERY

AN ORDINANCE ISSUING A CONDITIONAL USE PERMIT IN ACCORDANCE WITH SECTION 48 OF ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE, BY GRANTING CONDITIONAL USE PERMIT CU14-32 AMENDING THE SITE PLAN APPROVED BY ORDINANCE NO. 2013-03 TO ALLOW AN EXPANSION, OUTSIDE SEATING AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER ONLY) IN CONJUNCTION WITH A BREWERY IN A DISTRICT ZONED "LI" LIGHT INDUSTRIAL DISTRICT ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED UPON EACH DAY DURING OR ON WHICH A VIOLATION OCCURS; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning & Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control

and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU14-32 is a request to amend the previously approved site plan of CU12-49 (Ordinance No. 2013-03) for the possession, storage, wholesale sales and on-premise manufacturing (beer only) in conjunction with a brewery (Grapevine Craft Brewery), specifically to allow an expansion, outside seating and on-premise consumption of alcoholic beverages (beer only) in a district zoned "LI" Light Industrial District within the following described property: Lot 1R1, Block 1, Hilltop Addition (906 and 924 Jean Street) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. That the City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. That this ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. That any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of August, 2014.

APPROVED:

ATTEST:

APPROVED AS TO FORM:

CC ITEM # 1533
PZ ITEM # 1533



SITE DATA SUMMARY CHART	
EXISTING ZONING	LI
PROPOSED ZONING	LI
LAND USE DESIGNATION (LUD)	COMMERCIAL LOW INTENSITY
GROSS ACREAGE	1.1289 ACRES
NET ACREAGE	49,179 SF 1.1289 ACRES
BUILDING COVERAGE	49,179 SF 50%(REQUIRED) 21%(PROVIDED)
AREA OF OPEN SPACE	17,624 SF
PERCENTAGE OF OPEN SPACE	15% MIN.(REQUIRED) 36%(PROVIDED)
AREA OF IMPERVIOUS COVERAGE	31,555 SF
PERCENTAGE OF IMPERVIOUS COVERAGE	85% MAX.(REQUIRED) 64%(PROVIDED)
PROPOSED BUILDING AREA (FOOTPRINT IN SQ. FT. W/ PORCHES)	10,284 SF 10,284 SF
NUMBER OF STORIES	2 1/2 STORIES(REQUIRED) 1 (PROVIDED)
MAXIMUM BUILDING HEIGHT	50 FEET (REQUIRED) 28'-8" (PROVIDED)
PROPOSED FLOOR AREA	10,284 SF
REQUIRED PARKING	
MANUFACTURING OFFICES SEATING AREA	(9,137/1000)= 10 (200/150)= 2 (72 SEATS/3)= 24
TOTAL	36
PROVIDED PARKING SPACES	STANDARD 41 HANDICAP 4 TOTAL 45

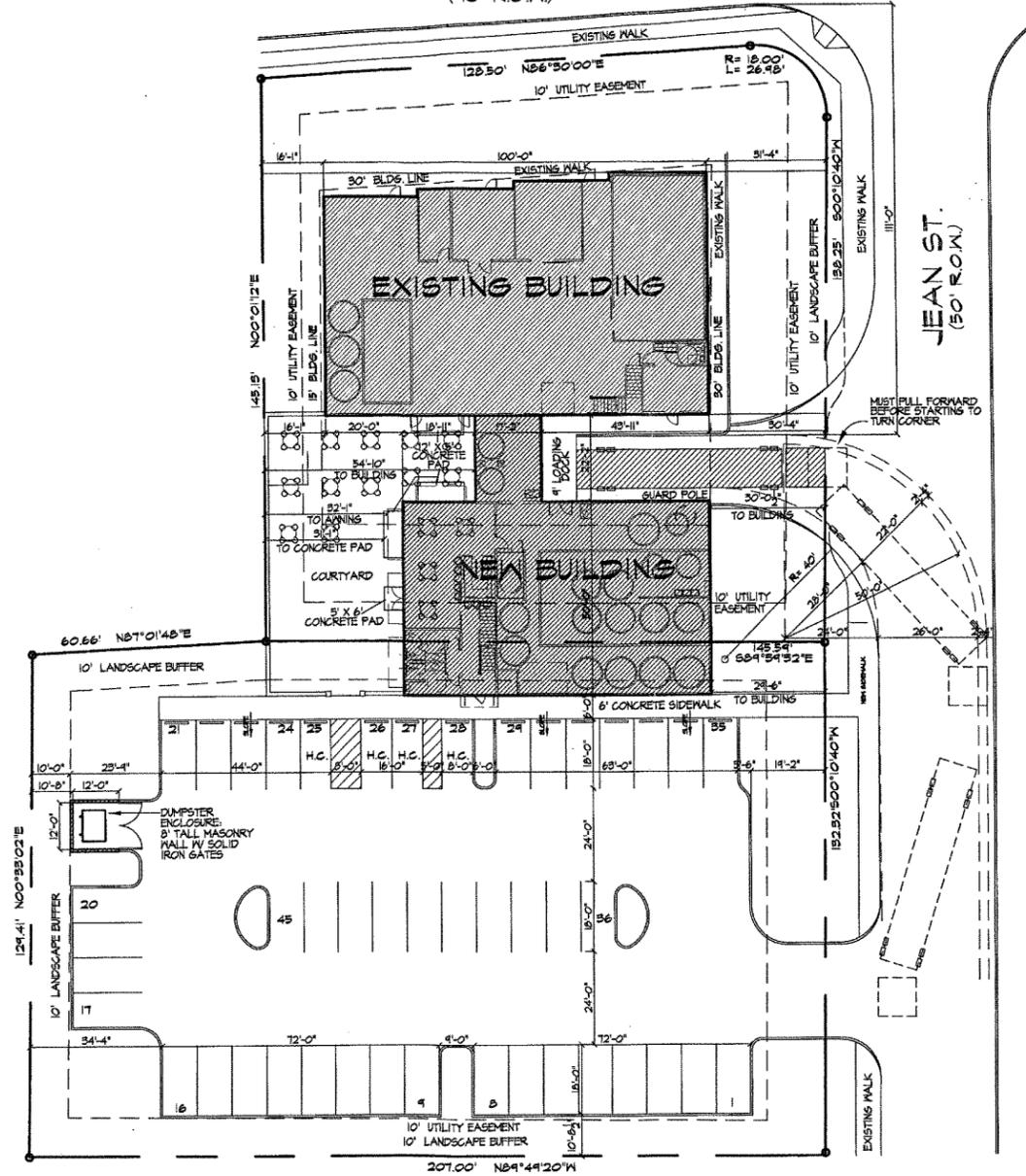
JOB #1424
5/1/JULY/2014
07/AUG/2014

BLAKE ARCHITECTS
Suite A
1202 S. White Chapel Road
Southlake, Texas 76092
817-488-9397

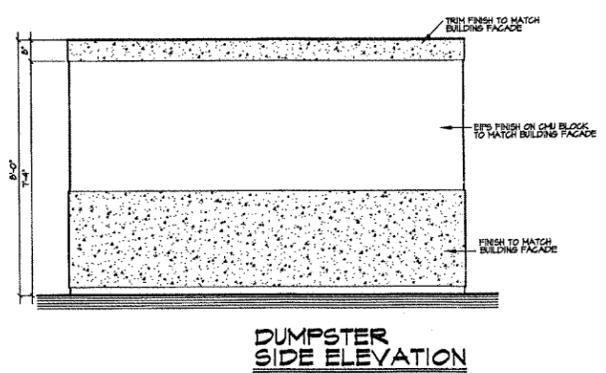
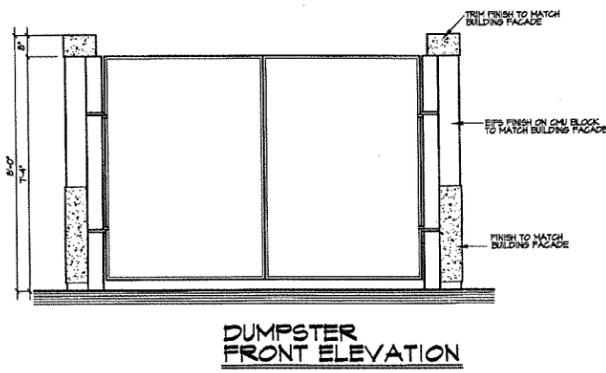
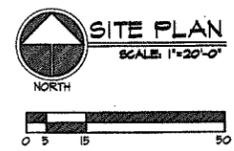
GRAPEVINE CRAFT BREWERY
906 & 924 JEAN ST. GRAPEVINE, TX

SHEET
1 OF 15 SHEETS

EAST DALLAS ROAD
(90' R.O.W.)



LOT: IR BLOCK: I
HILLTOP ADDITION
CITY OF GRAPEVINE
TARRANT COUNTY, TEXAS

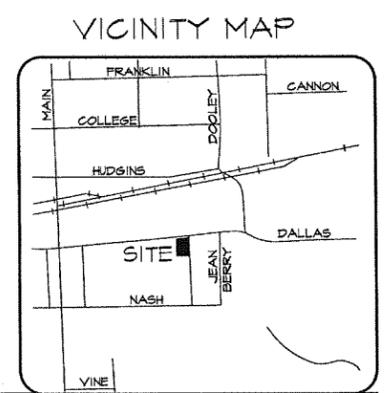


CONDITIONAL USE REQUESTED CUI4-32 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF CUI2-44 (ORD. 2013-03) FOR THE POSSESSION, STORAGE, WHOLESALE SALES, ON-PREMISE MANUFACTURING (BEER ONLY) IN CONJUNCTION WITH A BREWERY, SPECIFICALLY TO ALLOW AN EXPANSION, OUTSIDE SEATING AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER ONLY).

THE ENTIRE SITE IS THE PREMISE

LIGHT FIXTURES INCLUDING THE BASE SHALL BE MOUNTED NO HIGHER THAN THE HIGHEST POINT ON THE PRIMARY STRUCTURE OR 28.75 FEET IN HEIGHT.

LIGHTING LEVELS AT THE PROPERTY LINES, INCLUDING ON-PREMISE SIGNAGE MAY NOT EXCEED 5.0 FOOT CANDLES.



CASE NAME: GRAPEVINE CRAFT BREWERY
CASE NUMBER: CUI4-32
LOCATION: LOT: IR, BLOCK: I
HILLTOP ADDITION
906 & 924 JEAN STREET

MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION
CHAIRMAN _____
SHEET: 1 OF 15

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES
DEPARTMENT OF DEVELOPMENT SERVICES

OUTSIDE COURTYARD IS FOR THE PURPOSE OF BUILDING BUSINESS CLIENT RELATIONSHIPS.
EXTERIOR COURTYARD TABLE & CHAIRS TO BE LARGE OUTDOOR FURNITURE EQUAL TO KONTIKI OUTDOOR DINING SET.

FILE NAME: 1424-SITE (08/07/14)

CC ITEM # 24
PZ ITEM # 9

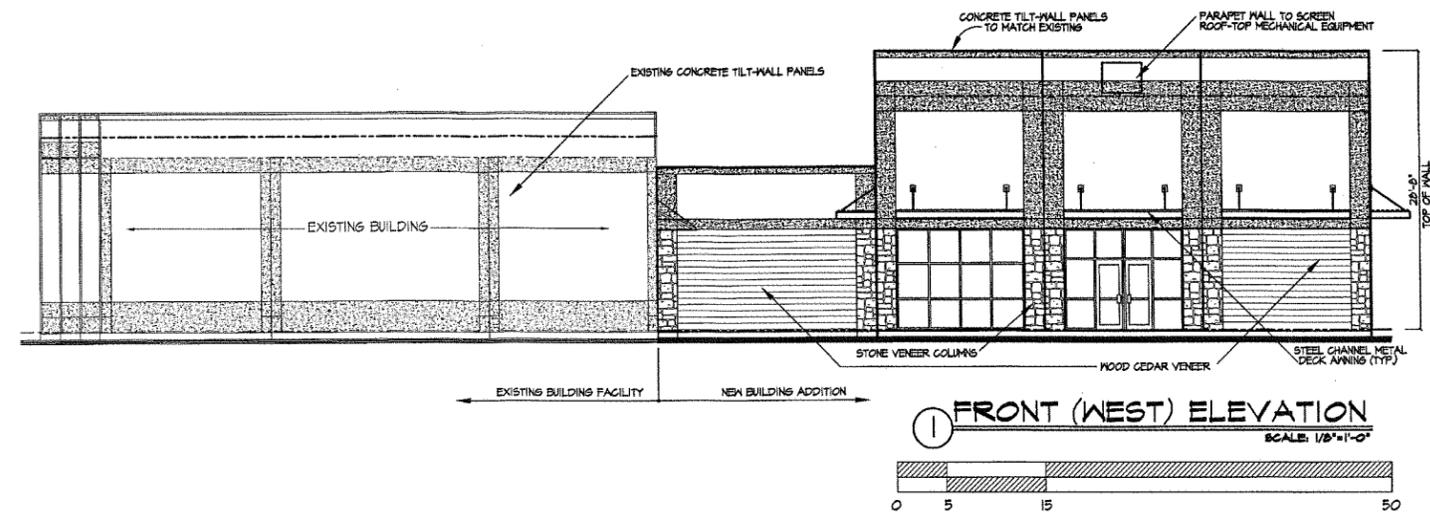


JOB # 1424
04/AUG/2014

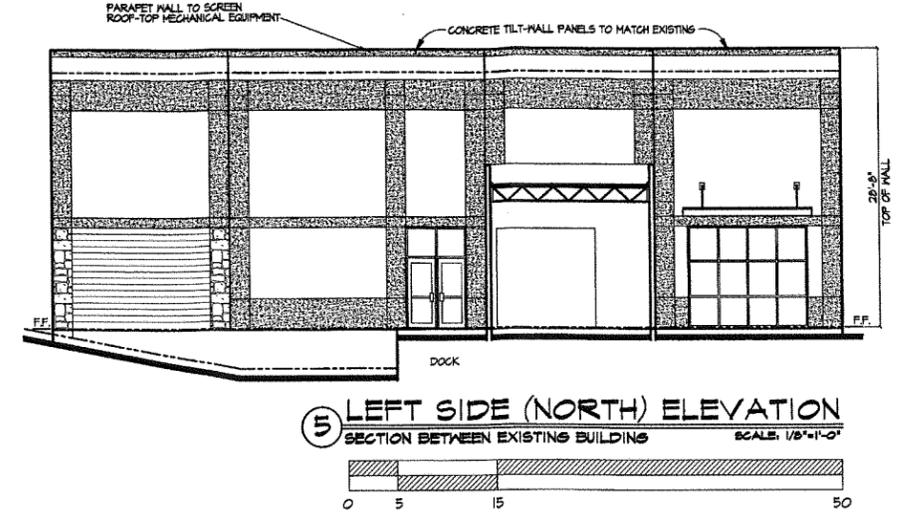
BLAKE ARCHITECTS
Suite A
1202 S. White Chapel Road
Southlake, Texas 76092
817-488-9397

GRAPEVINE CRAFT BREWERY
DALLAS ST. GRAPVINE, TEXAS

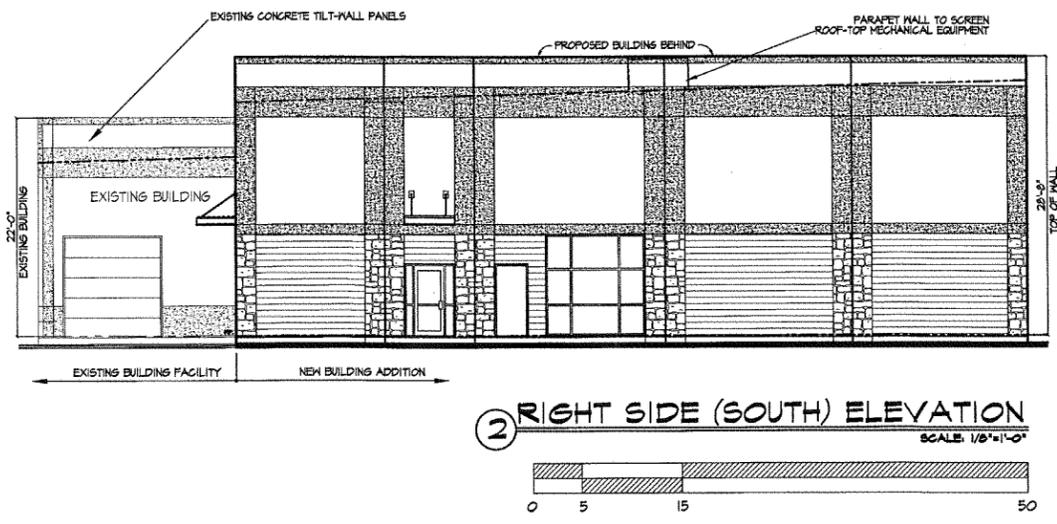
SHEET
A = 1
OF 2A SHEETS



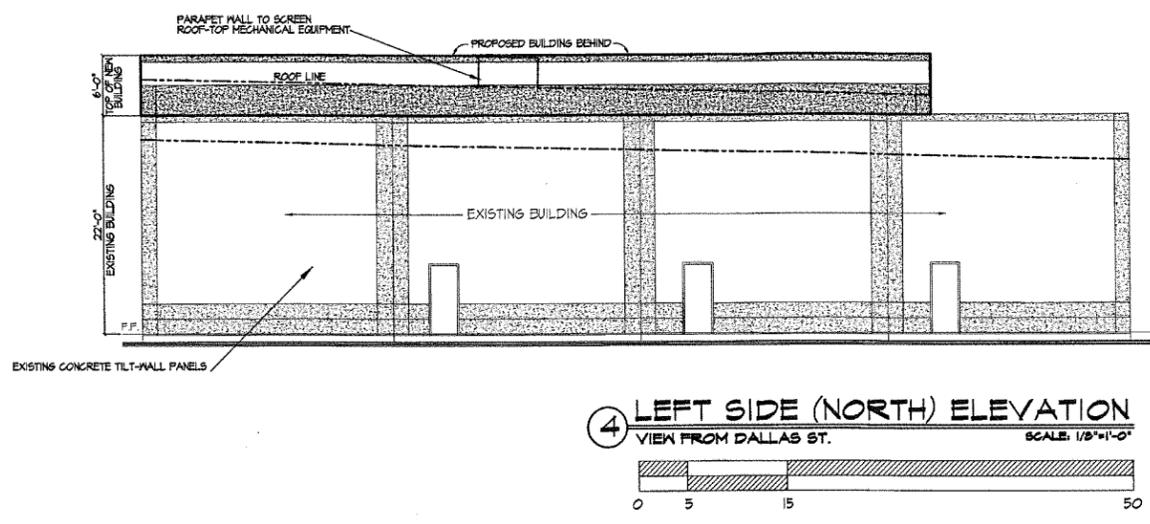
① FRONT (WEST) ELEVATION
SCALE: 1/8"=1'-0"



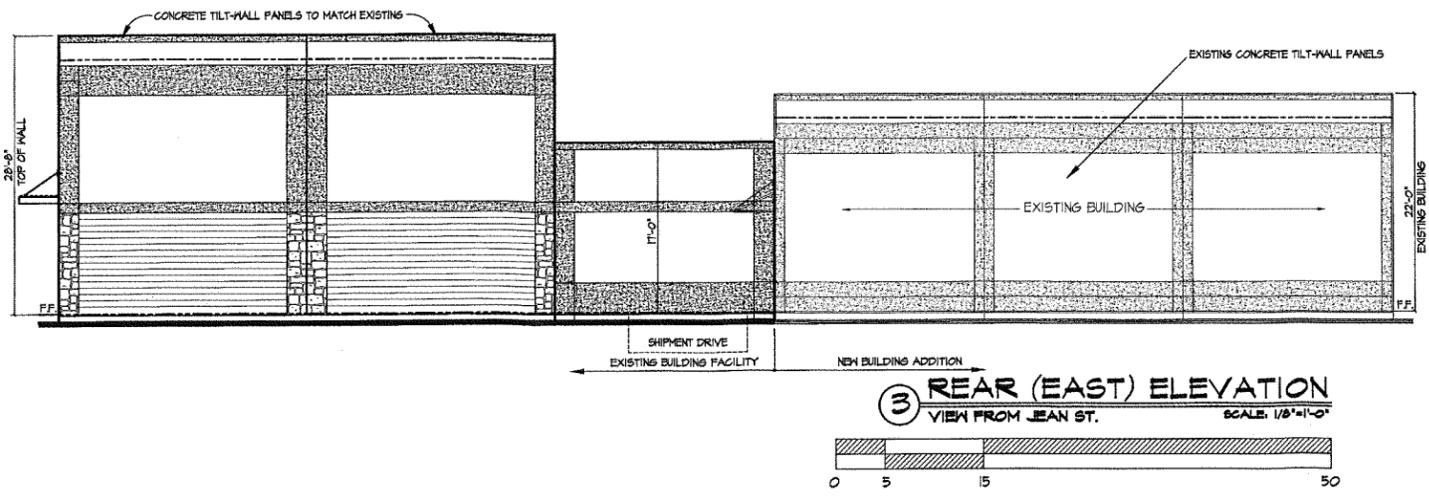
⑤ LEFT SIDE (NORTH) ELEVATION
SECTION BETWEEN EXISTING BUILDING
SCALE: 1/8"=1'-0"



② RIGHT SIDE (SOUTH) ELEVATION
SCALE: 1/8"=1'-0"



④ LEFT SIDE (NORTH) ELEVATION
VIEW FROM DALLAS ST.
SCALE: 1/8"=1'-0"



③ REAR (EAST) ELEVATION
VIEW FROM JEAN ST.
SCALE: 1/8"=1'-0"

THE BUILDING EXTERIOR MATERIAL IS 100% MASONRY
MECHANICAL UNITS SHALL BE ROOF TOP EQUIPMENT BEHIND PARAPET WALLS

CASE NAME: GRAPEVINE CRAFT BREWERY
CASE NUMBER: CUI4-B2
LOCATION: LOT 1R BLOCK 1 HILLTOP ADDITION 906 & 924 JEAN STREET

MAYOR _____ SECRETARY _____
DATE: _____
PLANNING AND ZONING COMMISSION
CHAIRMAN _____

SHEET: 2 OF 8

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

DEPARTMENT OF DEVELOPMENT SERVICES

FILE NAME: 1404-RELEV (08-04-14) C-1_B3

REVISIONS	BY
8-1-2014	SEB
8-11-2014	SEB

PLANTING LEGEND

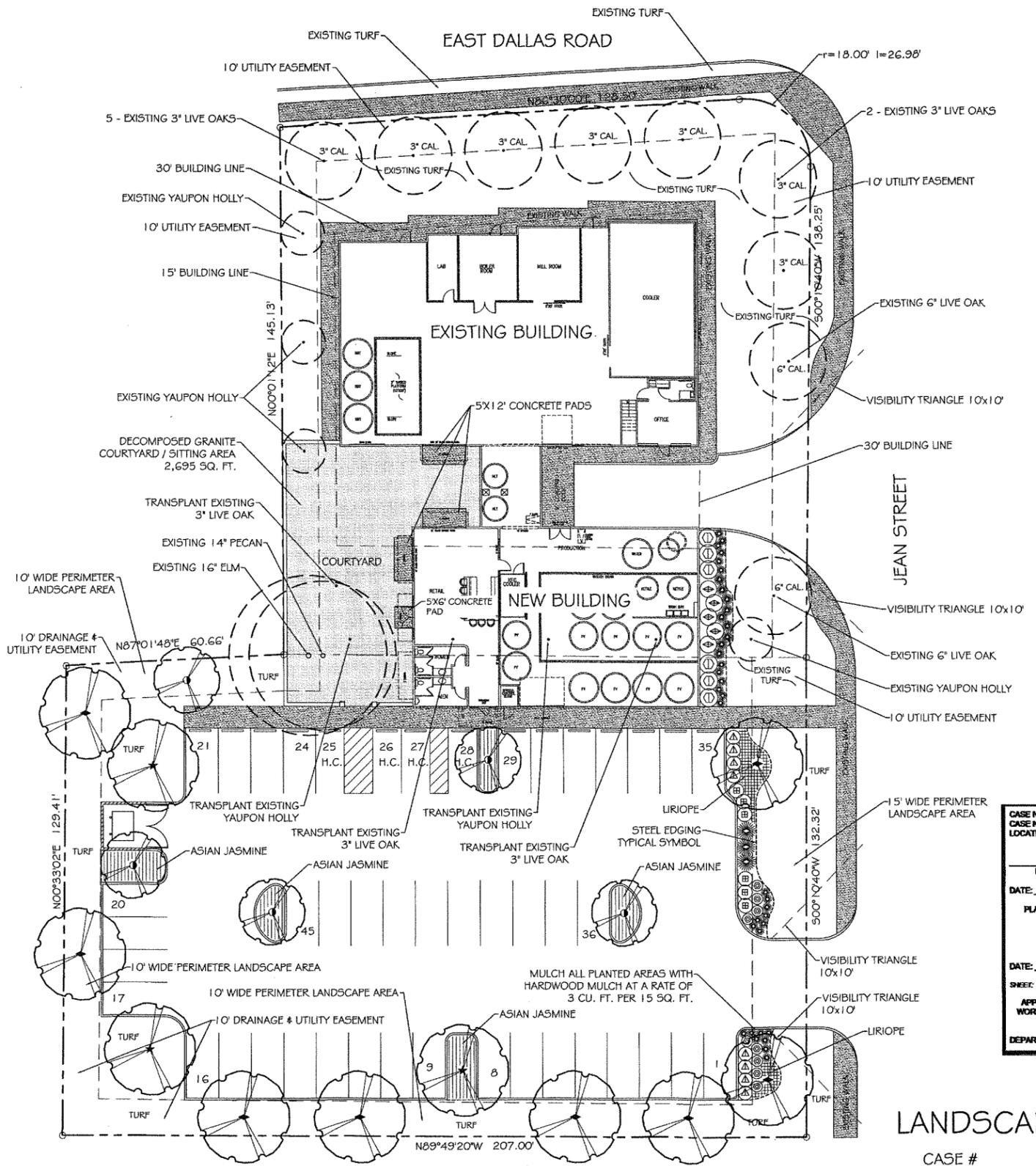
SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	QUANTITY
TREES			
	ILEX VOMITORIA YAUPOH HOLLY	3" CAL. MIN.	3
	QUERCUS SHUMARDII SHUMARD RED OAK	3" CAL. MIN.	3
	QUERCUS VIRGINIANA LIVE OAK	3" CAL. MIN	5
	QUERCUS VIRGINIANA LIVE OAK	TRANSPLANT EXISTING	3
SHRUBS			
	HESPERALOE PARVIFLORA RED YUCCA	5 GAL	9
	ILEX CORNUTA 'BURFORDII NANA' DWARF BURFORD HOLLY	5 GAL	8
	LEUCOPHYLLUM FRUTESCENS 'DESPERADO' DESPERADO TEXAS SAGE	5 GAL	6
	LOROPETALUM CHINENSE 'PLUM DELIGHT' CHINESE FRINGE FLOWER	5 GAL	5
	MISCANTHUS SINENSIS 'GRACILLIMUS' MAIDEN GRASS	5 GAL	3
	MUHLENBERGIA CAPILLARIS MUHLEY GRASS	5 GAL	9
	SPIRAEA PRUNIFOLIA BRIDAL WREATH SPIRAEA	5 GAL	6
ANNUALS / PERENNIALS / GROUND COVERS			
	NASSELLA TENUISSIMA MEXICAN FEATHER GRASS	1 GAL	28
	LIRIOPE MUSCARI GREEN LIRIOPE	4" POTS 12" ON CENTER	120
	TRACHELOSPERMUM ASIATICUM ASIAN JASMINE	4" POTS 12" ON CENTER	420
TURF - BERMUDA GRASS SOD 6,755 SQ. FT. = 751 SQ. YDS.			

NOTE: TOTAL PLANTED AREA FOR MULCH AND SOIL PREP CALCULATIONS = 1,569 SQ. FT.

OPEN SPACE DATA CALCULATIONS

	REQUIRED	PROVIDED
OFF-STREET PARKING / VEHICULAR USE AREAS		
INTERIOR LANDSCAPING		
GROSS PARKING AREA (18,862 SQ. FT.)		
REQUIRED LANDSCAPE AREA 10% = 1,886 SQ. FT.		
TREES		
(1 TREE PER 400 SQ. FT. OF REQUIRED)	5	7
PERIMETER LANDSCAPING		
EAST SIDE (JEAN STREET)		
1 TREE PER 50 L.F. (103)	2 TREES	2 TREES
NORTH SIDE		
1 TREE PER 50 L.F. (28)	1 TREES	1 TREE
WEST SIDE		
1 TREE PER 50 L.F. (103)	2 TREES	2 TREES
SOUTH SIDE		
1 TREE PER 50 L.F. (186)	4 TREES	4 TREES
NON-VEHICULAR OPEN SPACE		
MIN. 15% OF TOTAL SITE (49,218 SQ. FT.)	7,383 SQ. FT.	19,998 SQ. FT.
15%	40 %	
38% 1 TREE PER 3,000 SQ. FT.	3 TREES	15 EXISTING TREES

IRRIGATION NOTE: INSTALL UNDER GROUND AUTOMATIC IRRIGATION SYSTEM ON ALL PLANTED AREAS AND TURF AREAS PROVIDING 100% COVERAGE. INCLUDE RAIN AND FREEZE GUARD SENSORS. SYSTEM SHALL BE CONFIGURED TO PREVENT OVER-SPRAY ON TO STREETS AND SIDEWALKS.

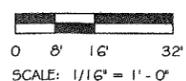


ALL LANDSCAPING WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE REQUIREMENTS AS STATED IN SECTION J OF THE CITY OF GRAPEVINE'S LANDSCAPE REGULATIONS

SOIL PREP NOTE: ALL PLANTED AREAS SHALL HAVE 6" OF PROFESSIONAL BED MIX BY LIVING EARTH TECHNOLOGY (OR EQUAL) TILLED INTO TOP 10" OF EXISTING SOIL. REMOVE ALL CONSTRUCTION DEBRIS FROM BED AREAS BEFORE BED PREP.

LANDSCAPE PLAN

CASE #

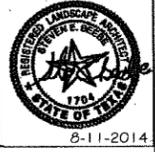


SCALE: 1/16" = 1'-0"



MAINTENANCE NOTE: THE PROPERTY OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, WEEDING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. PLANTS WHICH ARE LEFT FREE OF TRASH, LITTER, WEEDS AND OTHER UNDESIRABLE PLANTS SHALL BE REMOVED AND REPLACED WITH HEALTHY AND GROWING PLANTS OF SIMILAR VARIETY AND SIZE. PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANTS OF SIMILAR VARIETY AND SIZE.

beebe & associates p.c.
LANDSCAPE ARCHITECTURE
3 Durango Drive
Trophy Club, TX 75288
(817) 481-8888



GRAPEVINE CRAFT BREWERY
906 JEAN STREET
GRAPEVINE, TEXAS

CASE NAME: _____
CASE NUMBER: _____
LOCATION: _____

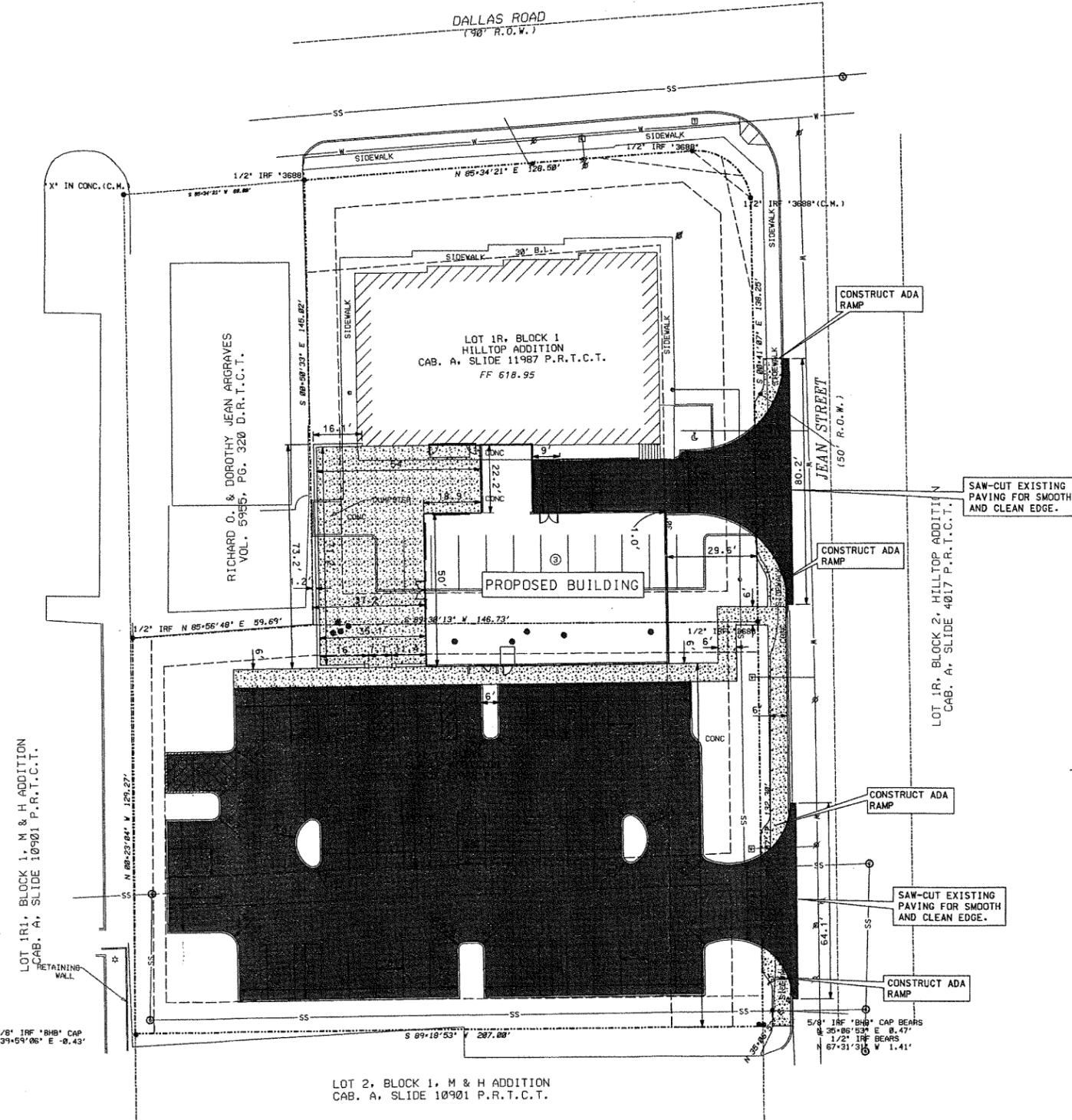
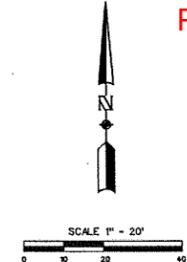
MAYOR: _____ SECRETARY: _____
DATE: _____
PLANNING AND ZONING COMMISSION

CHAIRMAN: _____
DATE: _____
SHEET: 4 OF 8

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.
DEPARTMENT OF DEVELOPMENT SERVICES

DRAWN BY	SEB
CHECKED BY	SEB
DATE	7-2-2014
SCALE	1/16" = 1'-0"
JOB NUMBER	
SHEET NUMBER	L-1

HAMILTON
DUFFY, P.C.
CONSULTING
CIVIL & ENVIRONMENTAL ENGINEERS - PLANNERS - CONSTRUCTION MANAGERS
1824 MID-CITIES BLVD. - NORTH RICHLAND HILLS, TEXAS 76182-4733
PHONE (817) 286-9888 FAX (817) 286-1040



PAVING LEGEND

	7" THICK CONCRETE PAVEMENT W/ #3 BARS @ 18" O.C.E.W. (DUMPSTER AREA)
	6" THICK CONCRETE PAVEMENT W/ #3 BARS @ 18" O.C.E.W. (FIRE LANE)
	4" THICK CONCRETE SIDEWALK W/ #3 BARS @ 18" O.C.E.W.

CASE NAME:
CASE NUMBER:
LOCATION:

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: _____

SHEET: **5** OF **8**

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

GENERAL NOTES FOR PAVING

- STREET CUT PERMIT (ISSUED BY PUBLIC WORKS DEPARTMENT) IS REQUIRED BEFORE CUTTING IN ANY CITY STREET.
- THE TOP FOUR (4") INCHES OF TOP SOIL SHALL BE REMOVED FROM SITE AND STOCKPILED FOR LANDSCAPE USE.
- ALL FILL AND STABILIZATION PROCEDURES SHALL BE PER GEOTECHNICAL REPORT. AT MINIMUM, SELECT FILL SHALL BE PLACED IN 6" LIFTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY. FIELD DENSITY TESTS SHALL BE PERFORMED BY GEOTECHNICAL ENGINEER OR HIS REPRESENTATIVE. ALL COSTS FOR TESTING SHALL BE BORNE BY THE CONTRACTOR.
- DRAINAGE SHALL NOT BE DIRECTED TOWARD THE BUILDING PAD. PROVIDE A MINIMUM OF 1% SLOPE AROUND BUILDING PAD.
- ALL CONCRETE SHALL BE 3,600 PSI AT 28 DAYS. TWO TEST CYLINDERS SHALL BE TAKEN BY AN APPROVED TESTING LABORATORY EACH DAY CONCRETE IS POURED. SEVEN DAY AND TWENTY-EIGHT DAY TEST RESULTS SHALL BE FURNISHED TO THE OWNER AND ENGINEER. ALL COSTS FOR TESTING SHALL BE BORNE BY THE CONTRACTOR. SUBGRADE STABILIZATION SHALL BE PER CITY STANDARD DETAIL.
- SAW JOINTS SHALL BE CUT ON MAXIMUM FIFTEEN (15') FOOT CENTERS WITHIN 24 HOURS FOLLOWING EACH POUR. CONTRACTOR SHALL SUBMIT SHOP DRAWING OF INTENDED JOINT LAYOUT TO ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- SIX (6") INCH CURB SHALL BE INSTALLED INTEGRAL WITH CONCRETE PAVEMENT. SAW JOINTS SHALL EXTEND THROUGH THE CURB.
- REFERENCE SITE PLAN FOR DETAILED DIMENSION LAYOUT.
- CONTRACTOR SHALL FURNISH ALL CONSTRUCTION STAKING.
- ALL PARKING LOT PAVING SHALL BE 5" THICK REINFORCED CONCRETE W/ # 3 BARS AT 18" CTRS. ON SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY OR AS SPECIFIED PER GEOTECHNICAL REPORT. DUMPSTER AREAS SHALL BE 7" THICK. FIRE LANES AND TRAFFIC LANES SHALL BE 6" THICK.
- PUBLIC SIDEWALKS SHALL BE CONSTRUCTED PER CITY OF GRAPEVINE STANDARDS.
- SEE GRADING PLAN FOR FINISHED PAVEMENT ELEVATIONS.
- CONTRACTOR SHALL PAINT & STRIPE ALL PARKING AS SHOWN. CONTRACTOR SHALL ALSO PROVIDE CONCRETE RAMPS, SIGNS, AND CURB STOPS AS SHOWN.

CONSTRUCTION MATERIALS AND METHODS SHALL BE PER NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) AND IN STRICT ACCORDANCE WITH THE CITY OF GRAPEVINE'S STANDARD DETAILS.

BENCHMARK:
CITY OF GRAPEVINE MONUMENT #3 - 9.0' ALUMINUM ROD WITH CAP SET 0.6' BELOW ACCESS COVER. ACCESS COVER IS STAMPED "CITY OF GRAPEVINE, MON. 3" MONUMENT IS LOCATED AT THE INTERSECTION OF SCRIBNER AND SHADY BROOK INSIDE THE GRAPEVINE PUBLIC WORKS FACILITY.

SITE CONSTRUCTION PLANS
GRAPEVINE CRAFT BREWERY
CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS
SITE LAYOUT AND PAVING PLAN

PRELIMINARY
FOR REVIEW ONLY
THESE DOCUMENTS ARE FOR DESIGN REVIEW PURPOSES ONLY. THEY WERE PREPARED BY, OR UNDER SUPERVISION OF,
KEITH M. HAMILTON, 87384, SDATES
FE. NO. _____ DATE _____

NO.	REVISION	DATE	BY	DATE	JOB	DATE	DATE	DATE	DATE
						021-071	6-30-14		
						DESIGNED	K.M.H.	T.O.T.	K.M.H.
						DRAWN			TEXAS REGISTERED ENGINEERING FIRM NUMBER F-2520
						CHECKED			

SHEET
C1.02

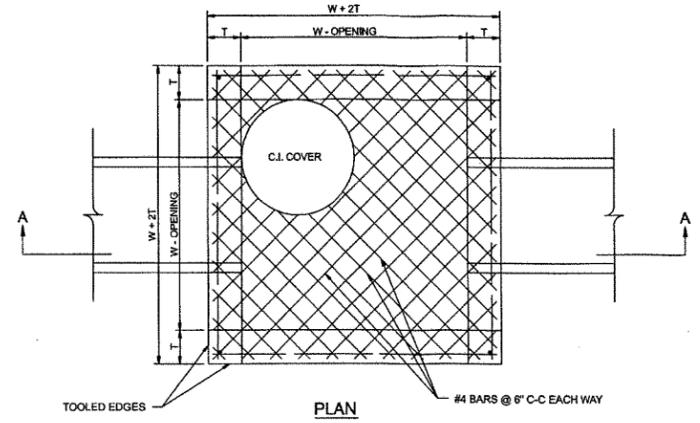
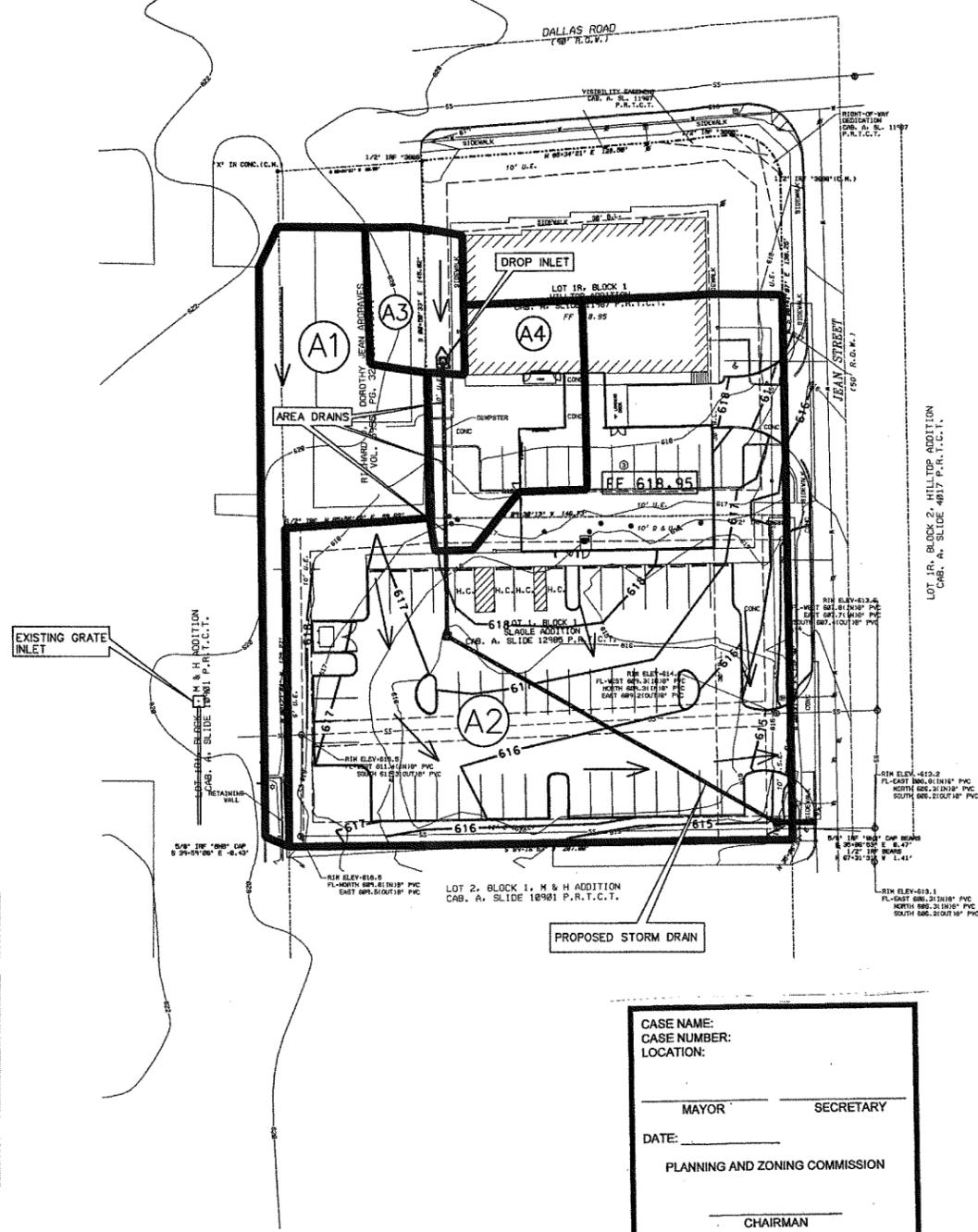
HAMILTON
H DUFFY, P.C.
CONSULTING
CIVIL & ENVIRONMENTAL ENGINEERS - PLANNERS - CONSTRUCTION MANAGERS
8041 MIDCITIES BLVD., NORTH RICHLAND HILLS, TEXAS 76182-4732
PHONE (817) 252-8488 FAX (817) 284-9488

SITE CONSTRUCTION PLANS
GRAPEVINE CRAFT BREWERY
CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS
DRAINAGE AREA MAP

PRELIMINARY FOR REVIEW ONLY
THESE DOCUMENTS ARE FOR DESIGN REVIEW PURPOSES ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION. ANY USE FOR CONSTRUCTION SHALL BE UNDER SUPERVISION OF THE ENGINEER OF RECORD.
KEITH M. HAMILTON 87394 \$DATE\$
PE NO. DATE

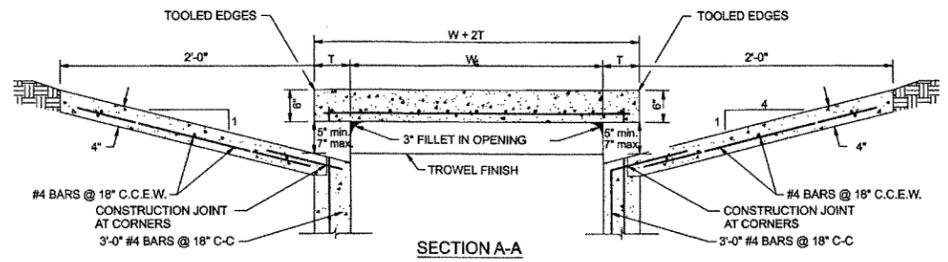
JOB NO.	021-097
DATE	6-20-14
DESIGNED BY	K.M.H.
DRAWN BY	T.D.T.
CHECKED BY	K.M.H.
TEXAS REGISTERED ENGINEERING FIRM NUMBER	75260
DATE	
BY	
NO. REVISION	
SHEET	C1.03

CONSTRUCTION MATERIALS AND METHODS SHALL BE PER NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) AND IN STRICT ACCORDANCE WITH THE CITY OF GRAPEVINE'S STANDARD DETAILS.

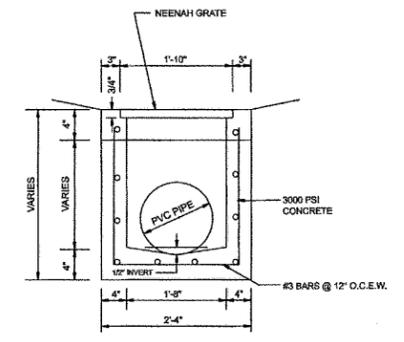


INLET SIZE	T	W
2' SQUARE	7"	2'-0"
4' SQUARE	7"	4'-0"
5' SQUARE	8"	5'-0"
6' SQUARE	9"	6'-0"
7' SQUARE	9"	7'-0"
8' SQUARE	9"	8'-0"

- GENERAL NOTES FOR DROP INLET**
- EXCAVATION FOR MANHOLE TO BE INCLUDED IN THE UNIT PRICE BID FOR MANHOLE.
 - DEPTH OF DROP INLET FROM FINISHED GRADE TO FLOW LINE OF INLET VARIABLE. APPROXIMATE DEPTH WILL BE SHOWN ON PLANS AT LOCATION OF INLET.
 - ALL STANDARD DROP INLETS SHALL HAVE ONE OPENING ON EACH SIDE UNLESS SHOWN OTHERWISE ON PLANS.



STANDARD DROP INLET
N.T.S.



AREA DRAIN INLET DETAIL
N.T.S.

- GENERAL NOTES:**
- ALL CONCRETE SHALL BE CLASS "A" (5 BAGS OF CEMENT PER C.Y. AND A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI). ALL EXPOSED CORNERS SHALL BE CHAMFERED 3/4".
 - IN GENERAL, REINFORCING STEEL SHALL BE NO. 4 BARS, ON 12" CENTERS EACH WAY FOR GUTTER, BOTTOM SLAB, ENDS, AND FRONT AND BACK WALLS, AND NO. 4 BARS ON 6" CENTERS EACH WAY FOR TOP SLAB IN BOTH INLETS AND EXTENSIONS. ADDITIONAL REINFORCING STEEL SHALL BE PLACED AROUND MANHOLES AS SHOWN.
 - ALL REINFORCING STEEL SHALL BE OPEN HEARTH NEW BILLET STEEL OF INTERMEDIATE OR HARD GRADE CONFORMING TO ASTM A-15. DEFORMATIONS SHALL CONFORM TO ASTM A-305-58T.
 - ALL REINFORCING STEEL SHALL HAVE A MINIMUM COVER OF 2" 8'-0" OF EXISTING CURB AND GUTTER UPSTREAM AND 4'-0" OF EXISTING CURB AND GUTTER DOWNSTREAM SHALL BE REMOVED AND RE-POURED INTEGRALLY WITH EACH INLET.
 - DIMENSIONS RELATING TO REINFORCING STEEL ARE TO THE CENTER OF BARS.
 - ALL BACKFILL SHALL BE PERFORMED BY MECHANICAL TAMPING.

LEGEND

- 690 — EXISTING ELEVATION CONTOUR
- 690 — PROPOSED ELEVATION CONTOUR
- ← FLOW DIRECTION
- DRAINAGE DIVIDE
- (A2) DRAINAGE AREA

POST-DEVELOPED SITE DRAINAGE DATA								
MARK	AREA (ACRE)	C	T _c (MIN.)	I _s (IN/HR)	I ₁₀₀ (IN/HR)	Q _s (CFS)	Q ₁₀₀ (CFS)	NOTES
A1	0.19	0.90	10	6.6	11.6	1.1	2.0	TO AREA A2
A2	0.80	0.90	10	6.6	11.6	4.8	8.4	TO JEAN STREET
A3	0.05	0.90	10	6.6	11.6	0.3	0.5	TO 2' DROP INLET
A4	0.12	0.90	10	6.6	11.6	0.7	1.3	TO AREA DRAINS

- NOTES:**
- RATIONAL METHOD C_{IA} = Q
 - DRAINAGE DESIGNED PER CITY OF GRAPEVINE STANDARDS.
 - C FACTOR OF 0.90 USED FOR COMMERCIAL/INDUSTRIAL AREAS.
 - RAINFALL INTENSITY FROM TP-40.

**HAMILTON
DUFFY, P.C.**
CONSULTING
CIVIL & ENVIRONMENTAL ENGINEERS - PLANNERS - CONSTRUCTION MANAGERS
8541 MID-CITIES BLVD. - NORTH RICHLAND HILLS, TEXAS 76182-1102
PHONE (817) 289-9400 FAX (817) 289-9408

SITE CONSTRUCTION PLANS
GRAPEVINE CRAFT BREWERY
CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS
GRADING PLAN

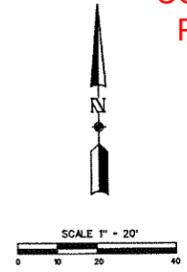
PRELIMINARY
FOR REVIEW ONLY
THESE DOCUMENTS ARE FOR DESIGN REVIEW PURPOSES ONLY. THEY ARE NOT TO BE USED FOR PERMITS, BIDDING, OR PRELIMINARY CONSTRUCTION. THEY WERE PREPARED BY OR UNDER SUPERVISION OF:
KEITH M. HAMILTON B/2384 SDATES
PE NO. DATE

NO.	REVISION	DATE	BY	JOB	DATE	DESIGNED	DRAWN	CHECKED	SCALE	DATE
				01-1097	6-20-14	K.M.H.	T.D.T.	K.M.H.		

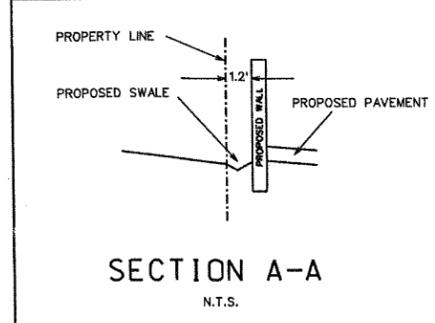
CONSTRUCTION MATERIALS AND METHODS SHALL BE PER NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) AND IN STRICT ACCORDANCE WITH THE CITY OF GRAPEVINE'S STANDARD DETAILS.

FINAL GRADING NOTE II
FINISHED GRADES SHOWN HEREON REPRESENT TOP OF PAVING, TOP OF SOD AND/OR LANDSCAPING, UNLESS NOTED OTHERWISE.
UNDER NO CIRCUMSTANCES SHALL SOD OR LANDSCAPING BE PLACED ABOVE THE BRICK LEDGE. FINAL GRADE SHALL ENSURE POSITIVE FLOW AWAY FROM THE BUILDING AND OTHER STRUCTURES.

SITE GRADING LEGEND
FF - FINISHED FLOOR
TP - TOP PAVEMENT
TI - TOP INLET
TG - TOP GRATE INLET
TC - TOP CURB
GT - GUTTER
FG - FINISHED GRADE
TW - TOP WALL
BW - BOTTOM WALL
FL - FLOW LINE
→ FLOW DIRECTION
--- EXISTING ELEVATION CONTOUR
-620- PROPOSED ELEVATION CONTOUR



ROUGH GRADING SHALL BE WITHIN 0.1 FT +/- OF FINISHED GRADES SHOWN. UNDER PAVEMENT AND/OR BUILDING FINISHED FLOORS, FINISHED GRADES SHALL BE CONSTRUCTED TO THE TOP OF SUBGRADE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ADA ACCESSIBILITY TO ALL DOORWAYS, ETC. IF ANY GRADES AS SHOWN ON THE PLANS CONFLICT WITH TAS/ADA ACCESSIBILITY GUIDELINES, THE DISCREPANCIES SHALL BE REPORTED IMMEDIATELY, IN WRITING, TO THE ENGINEER FOR RECONCILIATION.



CASE NAME: _____
CASE NUMBER: _____
LOCATION: _____

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: _____

SHEET: **7** OF **8**

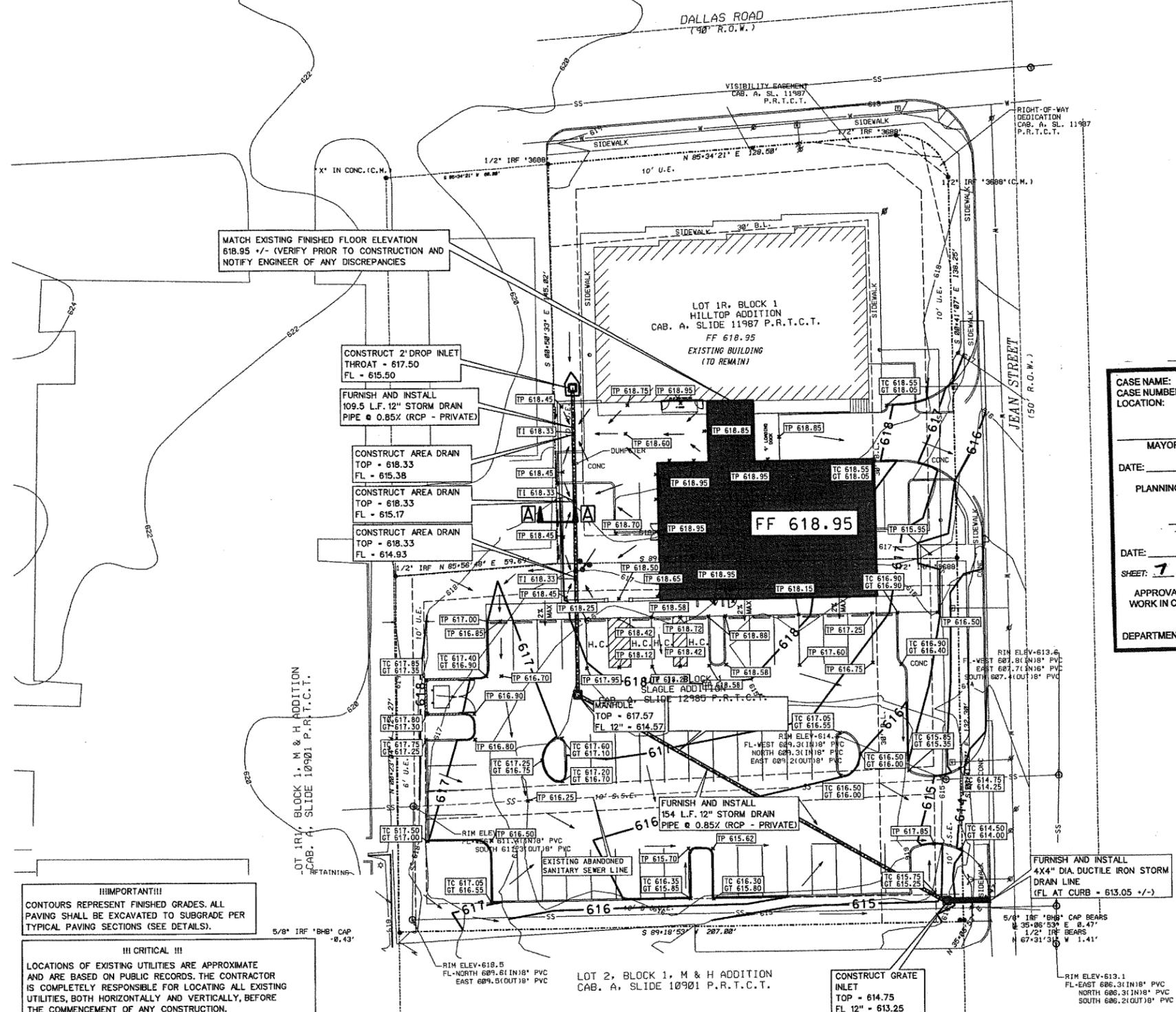
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

CONSTRUCTION NOTES:
AREAS DISTURBED BY CONSTRUCTION WILL BE FULLY SODED WITH NATIVE BERMUDA GRASS OR HYDROMULCHED AS DIRECTED BY ENGINEER.
ALL CONCRETE INTERFACES AND CHANGES IN CONCRETE THICKNESS WILL HAVE AN EXPANSION JOINT FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS PROVIDED.
ALL SIDEWALKS SHALL CONFORM TO A.D.A. REQUIREMENTS.
ALL SIDEWALKS SHALL BE BACKFILLED TO FINISHED GRADE SO AS NOT TO IMPEDE DRAINAGE.
ALL EXISTING/NEW CONCRETE INTERFACES SHALL BE PROVIDED WITH DOWELED EXPANSION JOINT CONSISTING OF PREMOULDED EXPANSION JOINT MATERIAL AND SEALANT.
MATCH ALL WATER METERS, SANITARY SEWER CLEANOUTS, ETC. WITH FINISHED GRADE.

GENERAL NOTES FOR GRADING

- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES THAT MAY CONFLICT WITH PROPOSED LAYOUT.
- THE TOP FOUR (4") INCHES OF TOP SOIL SHALL BE REMOVED FROM SITE AND STOCKPILED FOR LANDSCAPE USE. ALL CUT OR FILL SLOPES TO BE 3H:1V OR FLATTER UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO THE ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO, TRENCH BACKFILL, SIDE SLOPES, FENCES, IRRIGATION SYSTEMS, CULVERT PIPES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS, ROADWAYS, ETC.
- ALL FILL AND STABILIZATION PROCEDURES SHALL BE PER GEOTECHNICAL REPORT. AT MINIMUM, SELECT FILL SHALL BE PLACED IN 6" LIFTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY. FIELD DENSITY TESTS SHALL BE PERFORMED BY GEOTECHNICAL ENGINEER OR HIS REPRESENTATIVE. ALL COSTS FOR TESTING SHALL BE BORNE BY THE CONTRACTOR.
- DRAINAGE SHALL NOT BE DIRECTED TOWARD THE BUILDING PAD. PROVIDE A MINIMUM OF 1% SLOPE AROUND BUILDING PAD.
- SEE PAVING PLAN FOR CONCRETE SPECIFICATIONS AND JOINT LAYOUT.
- CONTRACTOR SHALL FURNISH ALL CONSTRUCTION STAKING.
- ALL PARKING LOT PAVING SHALL BE REINFORCED PER PAVING PLAN.
- ALL PUBLIC SIDEWALKS SHALL BE CONSTRUCTED PER CITY OF GRAPEVINE STANDARDS.
- CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL T.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.



MATCH EXISTING FINISHED FLOOR ELEVATION 618.95 +/- (VERIFY PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES)

CONSTRUCT 2' DROP INLET THROAT - 617.50
FL - 615.50

FURNISH AND INSTALL 109.5 L.F. 12" STORM DRAIN PIPE @ 0.85% (RCP - PRIVATE)

CONSTRUCT AREA DRAIN TOP - 618.33
FL - 615.38

CONSTRUCT AREA DRAIN TOP - 618.33
FL - 615.17

CONSTRUCT AREA DRAIN TOP - 618.33
FL - 614.93

FF 618.95

FURNISH AND INSTALL 154 L.F. 12" STORM DRAIN PIPE @ 0.85% (RCP - PRIVATE)

FURNISH AND INSTALL 4X4" DIA. DUCTILE IRON STORM DRAIN LINE (FL AT CURB = 613.05 +/-)

IMPORTANT!!!
CONTOURS REPRESENT FINISHED GRADES. ALL PAVING SHALL BE EXCAVATED TO SUBGRADE PER TYPICAL PAVING SECTIONS (SEE DETAILS).

CRITICAL !!!
LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE AND ARE BASED ON PUBLIC RECORDS. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES, BOTH HORIZONTALLY AND VERTICALLY, BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION.

CONTRACTOR NOTICE I
ALL SIDEWALKS, AND PAVED AREAS, REQUIRING ADA ACCESS SHALL BE CONSTRUCTED WITH 5% (MAX.) SLOPE AND 2.0% (MAX.) CROSS SLOPE IN ORDER TO ENSURE A.D.A. ACCESS TO ALL ENTRANCES. IF ANY GRADES AND/OR CONTOURS SHOWN ON THIS PLAN CONFLICT WITH THESE PARAMETERS, THE CONTRACTOR SHALL REPORT SUCH DISCREPANCIES (IN WRITING) FOR RECONCILIATION BEFORE CONSTRUCTION COMMENCES.

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: AUGUST 19, 2014

SUBJECT: FINAL PLAT APPLICATION
LOT 1R-1, BLOCK 1, HILLTOP ADDITION
(BEING A REPLAT OF LOT 1R, BLOCK 1, HILLTOP ADDITION AND
LOT 1, BLOCK 1, SLAGLE ADDITION)

PLAT APPLICATION FILING DATE.....August 12, 2014

APPLICANT..... Joesph Inbeck, Spry Surveyors

REASON FOR APPLICATIONPlatting two lots into one

PROPERTY LOCATION..... Southwest corner of Dallas Road and Jean Street

ACREAGE 1.129

ZONING..... LI: Light Industrial

NUMBER OF LOTS..... 1

PREVIOUS PLATTING.....2008

CONCEPT PLAN..... CU14-32

SITE PLAN No

OPEN SPACE REQUIREMENT No

AVIGATION RELEASE..... Yes

PUBLIC HEARING REQUIRED..... Yes

**PLAT INFORMATION SHEET
FINAL PLAT APPLICATION
LOT 1R-1, BLOCK 1, HILLTOP ADDITION
(BEING A REPLAT OF LOT 1R, BLOCK 1, HILLTOP ADDITION AND LOT 1, BLOCK
1, SLAGLE ADDITION)**

I. GENERAL:

- The applicant, Joseph Inbeck is platting two existing lots into one lot. The property is 1.129 acres and is located at southwest corner of Dallas Road and Jean Street.

II. STREET SYSTEM:

- The development has access to Dallas Road and Jean Street
- ALL abutting roads: are on the City Thoroughfare Plan: Dallas Road
 are not on the City Thoroughfare Plan: Jean Street

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 10.00 / LF		

Periphery Street Fees are not due:

TOTAL

III. STORM DRAINAGE SYSTEM:

- The site drains south into Jean Street storm water system.
- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for:
- Water and Wastewater Impact Fees are due prior to the issuance of building permits: Lot 1R-1, Block 1, Hilltop Addition
 - Single Family Residential (\$ 2,191/ Lot)
 - Multifamily (\$ 1,026 / Unit)
 - Hotel (\$ 38,107/ Acre)
 - Corporate Office (\$ 18,847/ Acre)
 - Government (\$ 4,037/ Acre)
 - Commercial / Industrial (\$ 5,209 / Acre)
- Open Space Fees are not required for: Lot 1R-1, Block 1, Hilltop Addition
- Open Space Fees are required for:
 - R-5.0, Zero Lot District (\$ 1,416.00 / Lot)
 - R-7.5, Single Family District (\$ 1,146.00 / Lot)
 - R-12.5, Single Family District (\$ 1,071.00 / Lot)
 - R-20.0, Single Family District (\$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
 - Front building line
 - Rear building line
 - Lot width & depth
 - Max. Impervious Area
 - Special Exception to the required front yard landscape setback
- The following items associated with this plat are not in accordance with the current subdivision standards:
 - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
 - Length of cul-de-sac street exceeds the 600-foot limit:
 - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
- The right-of-way provides for future widening of public streets that will serve the development of this site.
 - The onsite utility easements provide for a utility network to serve the development of this site.
 - The onsite drainage easements provide for a drainage network to serve the development of this site.
 - The onsite access easements provide cross access capabilities to this site and surrounding property.
 - The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

- B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:
- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
 - The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
 - The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
 - The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
 - The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
 - All of the dedications benefit the development to at least the extent of the impact of such on the development.

VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Final Plat of Lot 1R-1, Block 1, Hilltop Addition."

APPLICATION FOR PLATTING
CITY OF GRAPEVINE, TEXAS

TYPE OF PLAT: Preliminary Final Replat Amendment

PROPERTY DESCRIPTION:

Name of Addition: Hilltop Addition
Number of Lots: 1 Gross Acreage: 1.24 Proposed Zoning: _____
Location of Addition: Southwest corner of Dallas Road and Jean Street

PROPERTY OWNER:

Name: Brewery Properties of Texas Contact: Gary Humble
Address: 2150 W. Northwest Hwy #114-1094
City / State: _____ Zip: _____ Phone: (817) 823-7225
Grapevine, TX 76081 Fax: ()
Signature: [Signature] Email: _____
APPLICANT:

Name: Spry Surveyors Contact: Joseph Falbeck
Address: 3247 Mid-Cities Blvd, Ste. 1000
City / State: _____ Zip: _____ Phone: (817) 494-6359
North Richland Hills, TX 76182 Fax: ()
Signature: [Signature] Email: joc@sprysurveyors.com

SURVEYOR:

Name: Spry Surveyors Contact: Joseph Falbeck
Address: 3247 Mid-Cities Blvd, Ste. 1000
City / State: _____ Zip: _____ Phone: (817) 494-6359
North Richland Hills, TX 76182 Fax: ()
Email: _____

***** FOR OFFICE USE ONLY *****

Application Received: _____ Date: _____

APPLICATION FOR PLATTING
CITY OF GRAPEVINE, TEXAS

TYPE OF PLAT: Preliminary Final X Replat Amendment

PROPERTY DESCRIPTION:

Name of Addition: Hilltop Addition

Number of Lots: 1 Gross Acreage: 1.129 Proposed Zoning:

Location of Addition: The Southwest corner of Dallas Road and Jean Street

PROPERTY OWNER:

Name: LP Industrial LLC Contact:

Address: 1001 W. Northwest Hwy.

City / State: Grapevine, Tx Zip: 76051 Phone: ()

Signature: Tom Lancaster Fax: ()

Email:

APPLICANT:

Name: Spry Surveyors Contact: Joseph Irbeck

Address: 8241 Mid-Cities Blvd, Ste. 100

City / State: North Richland Hills, Tx Zip: 76182 Phone: (817) 494-6359

Fax: ()

Signature: [Signature] Email: joe@sprysurveyors.com

SURVEYOR:

Name: Spry Surveyors Contact: Joseph Irbeck

Address: 8241 Mid-Cities Blvd, Ste. 100

City / State: Tx Zip: 76182 Phone: (817) 494-6359

Fax: ()

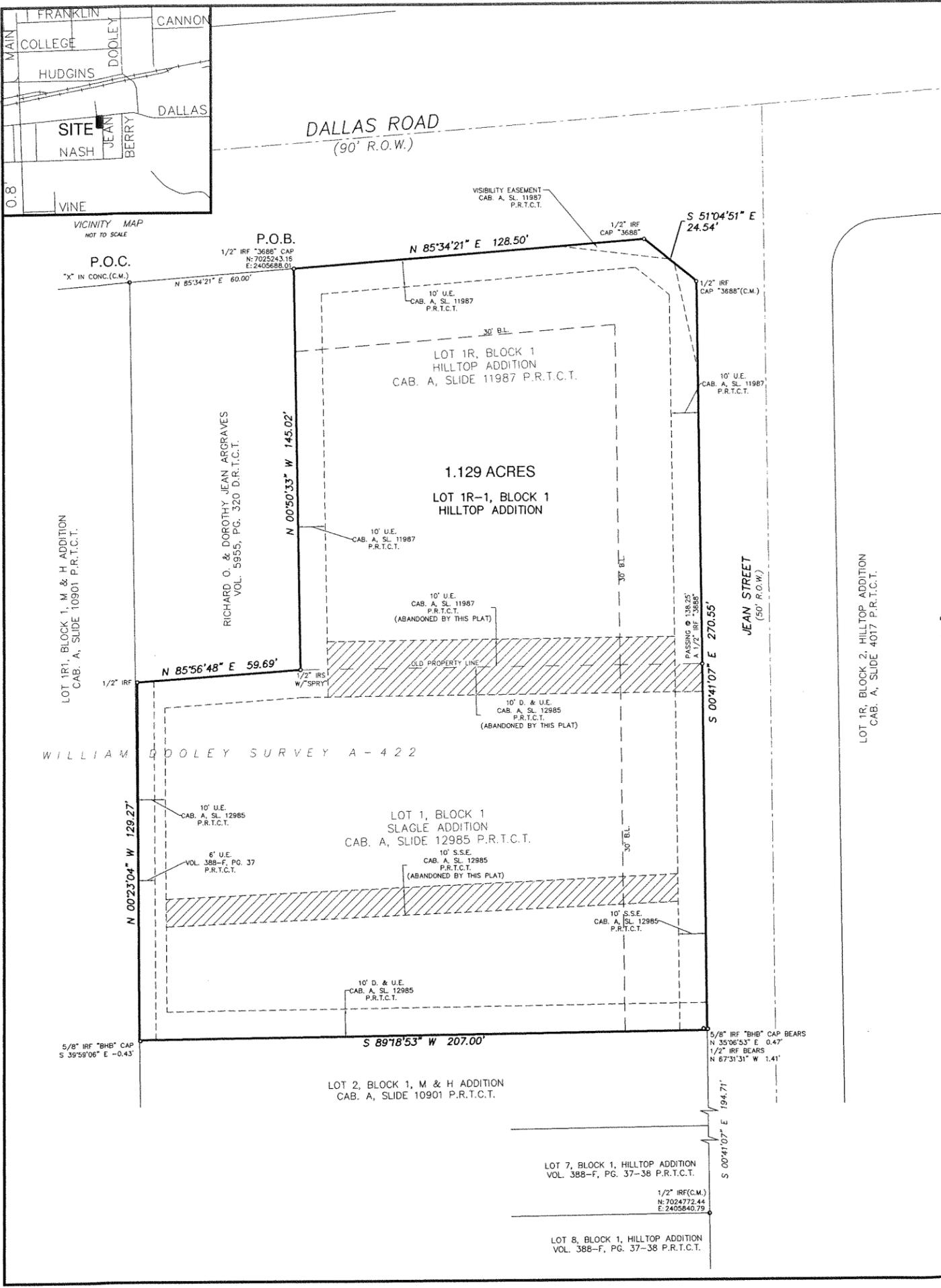
Email: joe@sprysurveyors.com

***** FOR OFFICE USE ONLY *****

Application Received: / /
Fee Amount: \$

By:
Check Number:

Aug 08, 2014 - 3:23pm S:\JobOrders\034_Hamilton Duffy\034-120 Grapevine Craft Brewery\30-Plat\spry-GrapevineCraftBrewery.dwg



AVIGATION RELEASE
THE STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS, LP Industrial LLC, hereinafter called "Owner" (whether one or more), is the owner of that certain parcel of land situated in the City of Grapevine, Tarrant County, Texas, being said property as described as shown on this plat.

NOW THEREFORE, in consideration of the sum of ONE AND 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confessed, Owner does hereby waive, release, remise and quitclaim to the City of Grapevine, Tarrant County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas, Texas and Fort Worth, Texas, their successors and assigns, hereinafter called "Cities", for the use and benefit of the public and its agencies, any and all claims for damages of any kind to persons or property that Owner may suffer by reason of the passage and flight of all aircraft in the air space above Owner's property above the height restriction as presently established by Ordinance No. 73-50 for the City of Grapevine, known as the Airport Zoning Ordinance of the Dallas-Fort Worth International Airport, to an infinite height above same, whether such damage shall originate from noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft, landing at, or taking off from, or operating of or on the Dallas-Fort Worth International Airport.

This instrument does not release the owners or operators of aircraft from liability for damage to person or property caused by falling aircraft or falling physical objects from aircraft, except as stated herein with respect to noise, fumes, dust, fuel, and lubricant particles.

It is agreed that this Release shall be binding upon said owner and his heirs and assigns, and successors in interest to said property, and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of the county or counties in which the property is situated.

EXECUTED at _____, Texas, this ____ day of _____, 2014.

OWNER
The State of Texas
County of Tarrant
Before me, _____ on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.
Given under my hand and seal of office this ____ day of _____, A.D. 2014.

Notary Signature _____ Notary Stamp: _____

SURVEYOR CERTIFICATE
I, David Carlton Lewis, of Spry Surveyors, a Registered Professional Land Surveyor of the State of Texas, do hereby certify that I prepared this plat from an actual and accurate survey on the land and that the corner monuments shown thereon were properly placed under my personal supervision and in accordance with the Platting Rules and Regulations of the State of Texas and the City of Grapevine.

REVIEW PURPOSES ONLY
This document shall not be recorded for any purpose. This drawing shall be used for _____

David Carlton Lewis
R.P.L.S. No. 5647
Date: AUGUST 8, 2014
David Carlton Lewis R.P.L.S. No. 5647
Spry Surveyors



- NOTES**
- According to the Flood Insurance Rate Map No. 4843900115 K, published by the Federal Emergency Management Agency, dated September 25, 2009, the surveyed property shown hereon does not lie within any special flood hazard area inundated by the 100-year flood.
 - All coordinates shown hereon based on the Texas State Plane Coordinate System, North Central Zone, NAD 83.
 - Right-of-way dedication area: 0
Easement dedication area: 0.2128 acre
Net plotted area: 0.9162 acre
Total plotted area: 1.129 acres



ABBREVIATIONS

D.R.T.C.T.	DEED RECORDS OF TARRANT COUNTY, TEXAS
P.R.T.C.T.	PLAT RECORDS OF TARRANT COUNTY, TEXAS
VOL.	VOLUME
PG.	PAGE
DOC. NO.	DOCUMENT NUMBER
IRF	IRON ROD FOUND
IRS	IRON ROD SET
P.O.B.	POINT OF BEGINNING
C.M.	CONTROLLING MONUMENT
U.E.	UTILITY EASEMENT
B.L.	BUILDING LINE

OWNER'S CERTIFICATE
THE STATE OF TEXAS §
COUNTY OF TARRANT §

CC ITEM #2, 23, 24
PZ ITEM #3, 9, 10

WHEREAS, LP Industrial LLC, is the owner of a 1.129 acres of land in the William Dooley Survey, A-336, situated City of Grapevine, Tarrant County, Texas and being that tract described in Lot 1R, Block 1, Hilltop Addition, recorded in Cabinet A, Slide 11987 in the Plat Records of Tarrant County, Texas (P.R.T.C.T.), and Lot 1, Block 1, Slagle Addition, recorded in Cabinet A, Slide 12985 P.R.T.C.T., and being more particularly described as follows: (all bearings shown hereon are based on the Texas State Plane Coordinate System, North Central Zone)

COMMENCING at an "X" in concrete found for the northeast corner of Lot 1R, Block 1, M & H Addition, recorded in Cabinet A, Slide 10901 P.R.T.C.T., in the south right-of-way line of Dallas Road (90' R.O.W.), then North 85° 34' 21" East - 60.00' along the south right-of-way line of said Dallas Road, to a 1/2" iron rod with a "3688" cap found for the most northerly northwest corner and POINT OF BEGINNING of the herein described tract;

THENCE North 85° 34' 21" East - 128.50' along the south right-of-way line of said Dallas Road, to a 1/2" iron rod with a "3688" cap found for the west corner of the southwest right-of-way cutback line at the intersection of said Dallas Road and Jean Street(50' R.O.W.);

THENCE South 51° 04' 51" East - 24.54' along said southwest right-of-way cutback line to a 1/2" iron rod with a "3688" cap found for south corner of said cutback line, in the west right-of-way of Jean Street ;

THENCE South 00° 41' 07" East - along the west right-of-way line of said Jean Street, passing at a distance of 138.25' a 1/2" iron rod with a "3688" cap found for the southeast corner of said Lot 1R, Block 1, Hilltop Addition, common with the northeast corner of said Lot 1, Block 1, Slagle Addition, and continuing for a total distance of 270.55' to the southeast corner of said Lot 1, Block 1, Slagle Addition, common with the northeast corner of Lot 2, Block 1, M & H Addition, recorded in Cabinet A, Slide 10901 P.R.T.C.T., from which a 5/8" iron rod capped with "BHB" bears North 35° 06' 53" East - 0.47', and a 1/2" iron rod found bears North 67° 31' 31" West - 1.41', and from which a 1/2" iron rod found for the common east corner of said Lot 7 and Lot 8, Block 1, Hilltop Addition, recorded in Volume 388-F, Page 37-38 P.R.T.C.T., bears North 35° 06' 53" East - 0.47';

THENCE South 89° 18' 53" West - 207.00' to the southwest corner of said Lot 1, Block 1, Slagle Addition, common to the northwest corner of said Lot 2, Block 1, M & H Addition, from which a 5/8" iron rod capped with "BHB" bears South 39° 59' 06" East - 0.43';

THENCE North 00° 23' 04" West - 129.27' to a 1/2" iron rod found for the most westerly northwest corner of the herein described tract, common to the northwest corner of said Lot 1, Block 1, Slagle Addition and the southwest corner of the tract deeded to Richard O. & Dorothy Jean Argraves, recorded in Volume 5955, Page 320 in the Deed Records of Tarrant County, Texas;

THENCE North 85° 56' 48" East - 59.69' along the north property line of said Lot 1, Block 1, Slagle Addition, to a 1/2" iron rod capped with "SPRY" set for an angle corner of the herein described tract, common with the southeast corner of said "Argraves" tract;

THENCE North 00° 50' 33" West - 145.02' to the POINT OF BEGINNING and containing 1.129 acres of land.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS, THAT LP Industrial LLC, the Owner, does hereby adopt this plat of 1R-1, BLOCK 1, HILLTOP ADDITION, an addition to the City of Grapevine, Tarrant County, Texas, and does hereby dedicate to the public use forever the rights-of-way and easements shown hereon. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of paving on the easements is the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed, or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using, or desiring to use same. Any City or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all City or franchised utilities shall at all times have the full right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity of any time of procuring the permission of anyone.

I have reviewed the City's findings concerning dedications and I do agree that the statements are true and correct.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

Witness my hand this the ____ day of _____, 2014.

Signature _____ Title _____

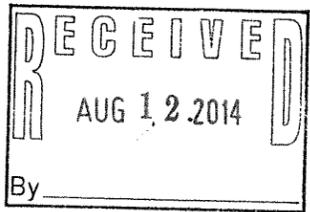
NOTARY CERTIFICATE
STATE OF TEXAS
COUNTY OF TARRANT

Before me, the undersigned authority, a Notary Public in and for the said County and State, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

Given under my hand and seal of office, this ____ day of _____, 2014.

Notary Signature _____ Notary Stamp: _____

Planning and Zoning Commission:
Date Approved: _____
Chairman: _____
Secretary: _____
Grapevine City Council:
Date Approved: _____
Mayor: _____
City Secretary: _____



FINAL PLAT OF
LOT 1R-1, BLOCK 1
HILLTOP ADDITION

BEING A REPLAT OF LOTS 1R, BLOCK 1, HILLTOP ADDITION, RECORDED IN CABINET A, SLIDE 11981, IN THE PLAT RECORDS OF TARRANT COUNTY, TEXAS, AND LOT 1, BLOCK 1, SLAGLE ADDITION, RECORDED IN CABINET A, SLIDE 12985, IN THE PLAT RECORDS OF TARRANT COUNTY, TEXAS, WHICH IS 1.129 ACRES IN THE WILLIAM DOOLEY SURVEY, A - 336 CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS

OWNER: LP Industrial LLC
1001 W Northwest Hwy
Grapevine, TX 76051
Phone: xxxxxxxxxxxx
ENGINEER: Hamilton Duffy, P.C.
E.S.&C.M., Inc.
8241 Mid-Cities Blvd., Ste. 100
North Richland Hills, TX 76182
Phone: 817-268-0408
Fax: 817-284-8408
SURVEYOR: Spry Surveyors
8241 Mid-Cities Blvd., Ste. 100
North Richland Hills, TX 76182
Phone: 817-494-6359
Firm Reg. No. 10112000

ZONING: U - LIGHT INDUSTRIAL DISTRICT
SPRY PROJECT NO. 034-120-30
DATE: AUGUST 2014

THIS PLAT WAS FILED IN DOCUMENT NO. _____ ON DATE _____

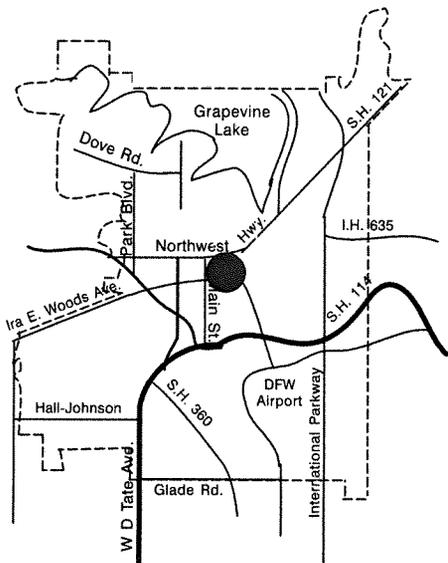
TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS, AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

BR

MEETING DATE: AUGUST 19, 2014

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF
CONDITIONAL USE APPLICATION CU14-33 ENTERPRISE CAR
AND TRUCK RENTAL



APPLICANT: Baldwin Associates

PROPERTY LOCATION AND SIZE:

The subject property is addressed as 829 East Dallas Road and is proposed to be platted as Lot 1R, Block 1, Sunshine Harbor Addition. The property contains approximately 1.828 acres and has approximately 250 feet of frontage along East Dallas Road and 306 feet of frontage along Dawn Lane.

REQUESTED CONDITIONAL USE COMMENTS:

The applicant is requesting a conditional use permit to allow a car and truck rental facility.

The applicant proposes utilizing an unoccupied office building to establish a 2,800 square-foot car and truck rental facility (Enterprise Car and Truck Rental) on the subject site. Accessory to the use are proposed truck and car wash stations located at the rear or north side of the existing building. Access to the site is provided by two driveways including a relocated driveway on East Dallas Road and a proposed driveway on Dawn Lane. The required parking for the proposed use is 40 spaces and 72 spaces are provided. An existing pole sign on East Dallas Road will be removed and in its place an 8' in height, 36 square-foot monument sign is proposed.

PRESENT ZONING AND USE:

The property is currently zoned "LI" Light Industrial District and is developed with a single story office building.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject property and the property to the north and south were rezoned from "LI" Limited Industrial District to "LI" Light Industrial District during the city-wide rezoning of 1984. The site to the west was rezoned from "I-1" Light Industrial District to "LI" Light Industrial District in the city-wide rezoning of 1984 and is the former site of the Super Shuttle transportation service. On the site to the west at the April 18, 2006 meeting conditional use permit (CU06-06) and planned development overlay (PD06-04) was approved on the subject property establishing the site for the Faith Christian School high school expansion in addition to ball field light standards which exceeded the maximum permitted height within the "LI" District. At the April 17, 2007 meeting conditional use permit (CU07-09) was approved on the site to the west to modify the site layout and elevations of the proposed facility. This approval also outlined the applicant's intention to phase construction under one roof, with the athletic, performing arts facilities and classrooms contained in the first phase and subsequent phases for additional classrooms and a football stadium. At the December 12, 2007 SPRC meeting, conditional use permit (CU07-38) was approved for the addition of two exterior staircases, a porte cochere, plus a condition of approval was added for 85 additional parking spaces to be located due north of the existing building in order to receive a Certificate of Occupancy for the 800 seat auditorium. The property to the east was rezoned from "R-1" Single Family Dwelling District to "R-7.5" Single Family District in the city-wide rezoning of 1984.

SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH: "LI" Light Industrial District – burial vault business
- SOUTH: "LI" Light Industrial District – Northfield Distribution Center
- EAST: "R-7.5" Single Family District – Sunshine Harbor residential subdivision
- WEST: "LI" Light Industrial District – Faith Christian School

AIRPORT IMPACT:

The subject tract is located within "Zone A" zone of minimal effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map. Few activities will be affected by aircraft sounds in Zone A, except for sound sensitive activities such as auditoriums, churches, schools, hospitals, and theaters. The applicant's proposal is an appropriate use in this noise zone only if appropriate noise attenuation measures are

considered and applied during the construction process.

MASTER PLAN APPLICATION:

The Master Plan designates the subject property as an Industrial/Commercial land use. The applicant's proposal is in compliance with the Master Plan.

THOROUGHFARE PLAN APPLICATION:

The Thoroughfare Plan designates Dallas Road as a Type C, Minor Arterial with a minimum 80-foot right-of-way developed as four lanes with a center left turn lane. Dawn Lane is not designated a thoroughfare as shown on the City's Thoroughfare Plan.

/at

13568F

TOTAL
5.561 AC

R-MF-2

BP

CC ITEM #3, 25, 26
PZ ITEM #4, 11, 12

R-7.5

FAITH CHRISTIAN SCHOOL
13568F

1
1A
13.397 @

LI

SUNSHINE
HARBOR IND
40940

TRACT
3A

TRACT
3B1
538 @

TRACT
3
LOT 1
1.276 @

E DALLAS RD

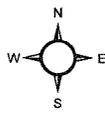
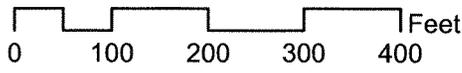
23	24	25	26	27	28	29	30	31	32	33	34
169	148	147	125	124							
168	149	146	126	123							
167	150	145	127	122							
166	151	144	128	121							
165	152	143	129	120							
164	153	142	130	119							
163	154	141	131	118							
162	155	140	132	117							
161	156	139	133	116							
160	157	138	134	115							
159	158	137	135	114							
			136	113							

NORTHFIELD DISTRIBUTION
CENTER
30281J

1R

LI

A



CU14-33 Enterprise Car & Truck Rental

Date Prepared: 8/5/2014

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.



CITY OF GRAPEVINE

CONDITIONAL USE APPLICATION

Form "A"

PART 1. APPLICANT INFORMATION

Applicant Name: Robert Baldwin c/o Baldwin Associates, LLC

Applicant Address: 3904 Elm Street - Suite B

City/State/Zip: Dallas, Texas 75226

Phone No. (214) 824-7949 Fax No. (866) 362-0238

Email Address rob@baldwinplanning.com Mobile Phone (214) 729-7949

Applicant's interest in subject property Owner's Representative

PART 2. PROPERTY INFORMATION

Street Address of subject property 849 E. Dallas Road

Legal Description: Lot 3,3B, 34 Block 1 Addition Sunshine Harbor Ind.

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Size of subject property: acres 1.8 square footage 79,367

Present zoning classification LI Light Industrial District Circle yes or no, if applies to this application:
Outdoor speakers Yes No

Proposed use of property Vehicle Rental

Zoning ordinance provision requiring a conditional use Automotive and Truck Rental

PART 3. PROPERTY OWNER INFORMATION

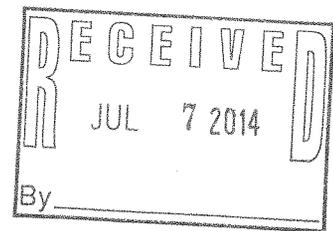
Property Owner Mary Hannah Watson

Prop Owner Address 1351 Woodbrook Lane

City/State/Zip Southlake, TX 76092

Phone No. 817-480-6467 Fax No.

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.



- Attach a final plat, or replat, of the approved subdivision by city council showing property boundary lines, dimensions, easements, roadways, rail lines, and public rights-of way crossing and adjacent to the tract (1 blue-line copy)
- If a master development plan is required, attach a statement showing the proposed use substantially conforms to the master development plan.
- Submit a site plan showing all information required by Section 47.E.. Site Plan review requirements (see attached requirements).
- Provide all required information demonstrating compliance with all conditions imposed on any conditional use, site plan zoning, or conditional use zoning.
- All site plans must conform to the approved concept plan. Any changes to a site plan, approved with a conditional use or a conditional use, can only be approved by city council through the public hearing process.

PART 4. SIGNATURE TO AUTHORIZE FILING OF A SITE PLAN

Robert Baldwin
 Print Applicant's Name

[Signature]
 Applicant's Signature

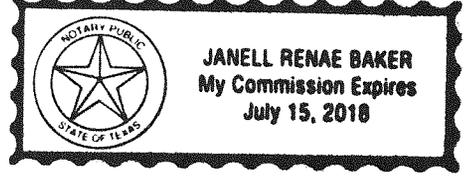
The State of Dallas

County of Dallas

Before me (notary) Janell Baker on this day personally appeared (applicant) Robert Baldwin

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 8th day of July, A.D. 2014



[Signature]
 Notary In and For State of Texas

Mary Hannah Watson
 Print Property Owner's Name

[Signature]
 Property Owner's Signature

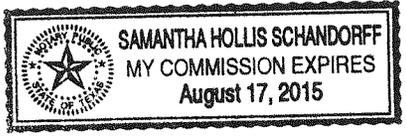
The State of Texas

County of Denton

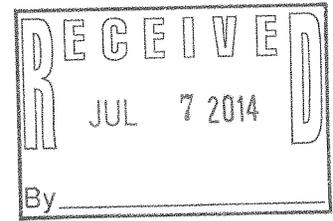
Before me (notary) Samantha Schandorff on this day personally appeared (applicant) Mary Hannah Watson

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 2nd day of July, A.D. 2014



[Signature]
 Notary In and For State of Texas



Cu 14-33

CC ITEM #3, 25, 26
PZ ITEM #4, 11, 12

ACKNOWLEDGEMENT

All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant

[Handwritten Signature]

Date

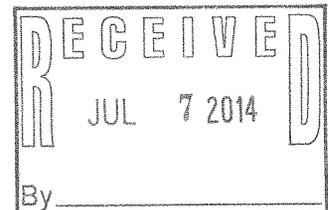
7-8-14

Signature of Property Owner

Mary Hannah Watson

Date

07/02/14



Land Use Statement

Request for Conditional Use Permit for Vehicle Rental
on property zoned an LI Light Industrial District

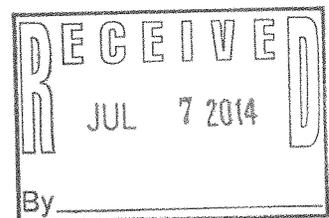
Northeast corner of E. Dallas Road and Dawn Lane
849 E. Dallas Road

This request is to utilize an existing building for an office for the rental of passenger vehicles and trucks. The proposed use will require additional paving for the storage of vehicles and the addition of a car washing bay located on the north side of the existing building. The car wash facilities will be an accessory use to the vehicle rental facility, not a separate business. The property will provide screening and landscape buffer along the north and east boundary lines.

The proposed vehicle rental use will be compatible with the commercial / light industrial nature of E. Dallas Road. Vehicle rental is a low traffic generating use, similar to an office use, and will have minimal impact on the adjacent single family uses to the east due to the landscape buffer and solid screening fence.

The surrounding land uses are:

North	Light Industrial
East	Single Family Residential
South	Office/distribution warehouses, restaurant
West	Private School



ORDINANCE NO. _____

CU14-33
ENTERPRISE
CAR & TRUCK
RENTAL

AN ORDINANCE ISSUING A CONDITIONAL USE PERMIT IN ACCORDANCE WITH SECTION 48 OF ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE, BY GRANTING CONDITIONAL USE PERMIT CU14-33 FOR A CAR AND TRUCK RENTAL FACILITY IN A DISTRICT ZONED "LI" LIGHT INDUSTRIAL DISTRICT ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED UPON EACH DAY DURING OR ON WHICH A VIOLATION OCCURS; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning & Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking

facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU14-33 to allow for a car and truck rental facility (Enterprise Car and Truck Rental) in a district zoned "LI" Light Industrial District within the following described property: Lot 1R, Block 1, Sunshine Harbor Industrial Addition (849 East Dallas Road) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. That the City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. That this ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. That any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum

not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

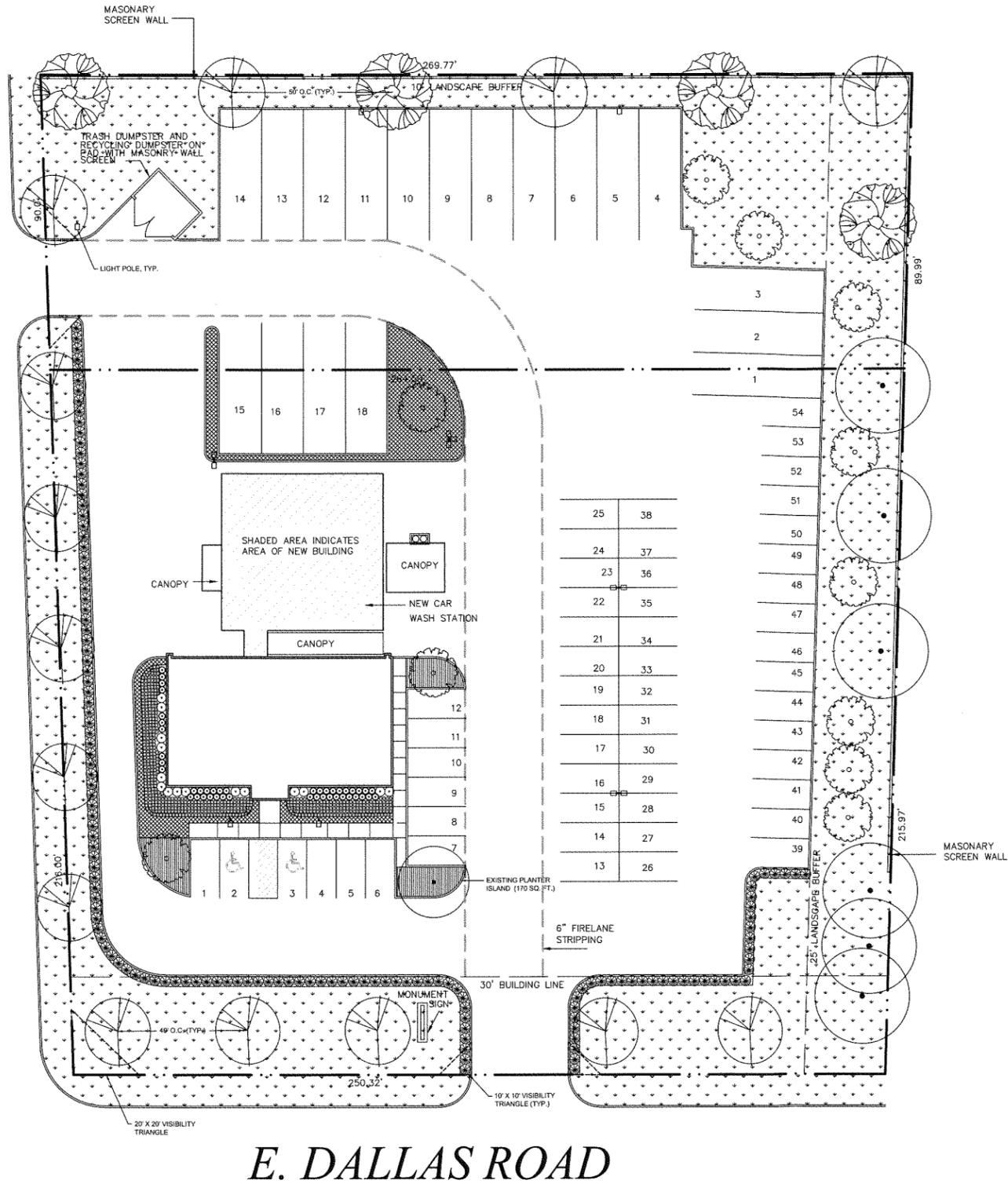
PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of August 2014.

APPROVED:

ATTEST:

APPROVED AS TO FORM:

DAWN LANE



E. DALLAS ROAD



VICINITY MAP

NTS



PLANT NAME	SIZE	QTY.
<i>Ulmus crasifolia</i> , Cedar Elm	3.5" Cal. 14' tall	14
<i>Quercus shumardii</i> , Shumard Oak	3.0" Cal. 8' tall	4
<i>Cercis canadensis</i> "Oklahoma", Red Bud	3.0" Cal. 8' tall	11
<i>Podocarpus macrophyllus</i> var. <i>Macri</i> , Upright Japanese Yew	15 gal. 4' tall	15
<i>Rhaphiolepis indica</i> "Snow White", Indian Hawthorn	3 gal., 2' tall	44
<i>Buxus microphylla</i> "Winter Gem", Winter Gem Boxwood	3 gal., 2' tall	144
<i>Liriope gigantea</i> , Giant Lily Turf	1 gal.	547
<i>Trachelospermum asiaticum</i> , Asian Jasmine	1 gal. 12" O.C.	50
<i>Ophiopogon japonicus</i> "Nana", Dwarf Mondo Grass	4" pot, 6" O.C.	216
Existing Grass to Remain		

LANDSCAPE AREAS	SQ. FT.
Gross Parking Area	46,974
Interior Landscape (10% of Gross Parking Area)	4,697
Provided Interior Landscape	7,659
TREES	QTY
Lineal Feet of Perimeter	1,133 ft.
Req. Perimeter Trees (1 tree/50 lineal feet of perimeter)	23
Provided Perimeter Trees (including 6 existing trees)	23
Req. Int. Trees (1 tree/ 400 sq. ft. of Int. Landscape Area)	12
Provided Interior Trees (including 1 existing tree)	12
TOTAL REQ. TREES	35

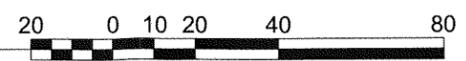
PROJECT NUMBER
08705114

CASE NUMBER

BALDWIN ASSOCIATES
3904 Elm Street, Suite B
Dallas, Texas 75226
MOBILE: 214.729.7949
OFFICE: 214.824.7949
rob@baldwinplanning.com

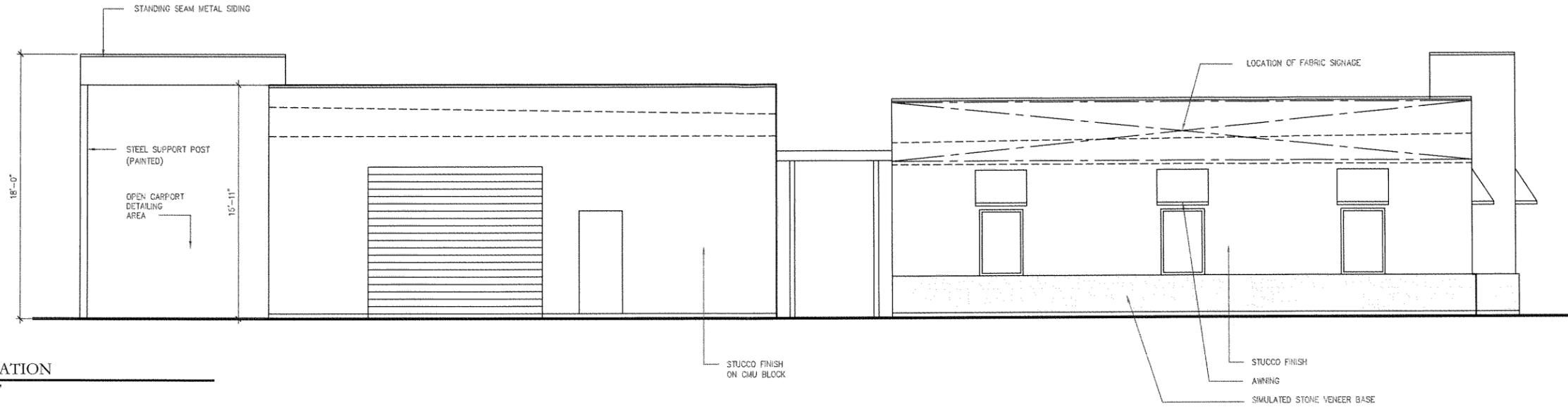
Baldwin Associates

849 E. DALLAS RD.
CITY OF GRAPEVINE, TEXAS



MASONRY PERCENTAGES

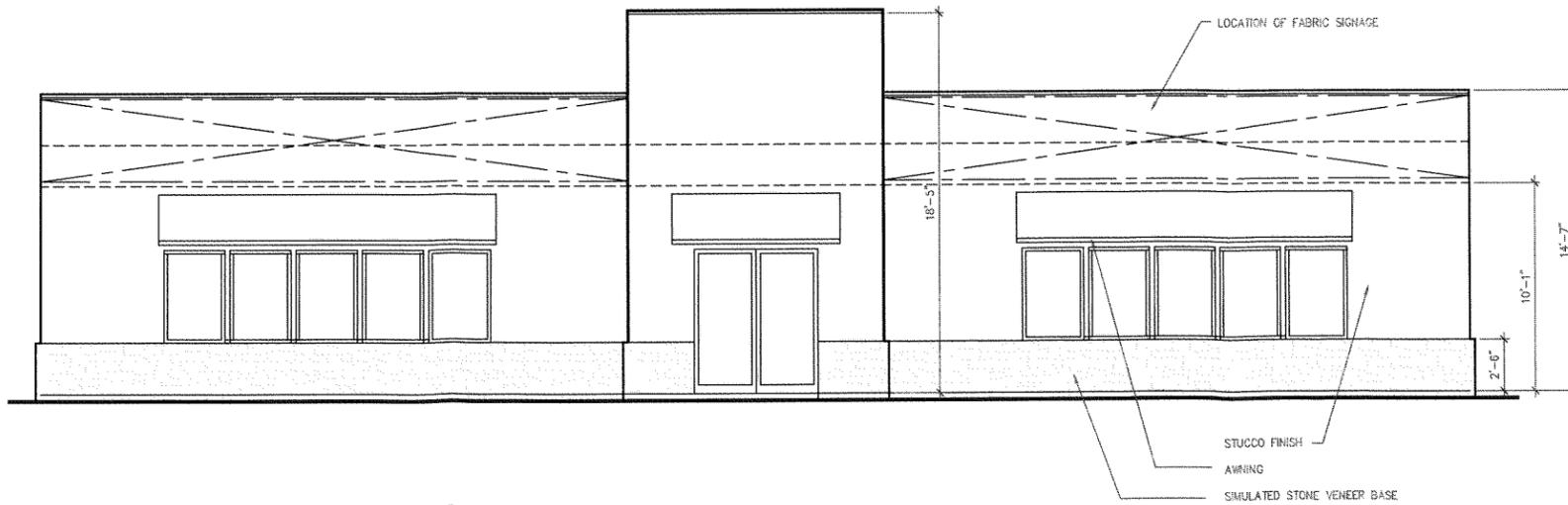
WALL	GROSS WALL AREA	OPENINGS	NET WALL AREA	MASONRY AREA	NON MASONRY	PERCENTAGE	TOTAL NET WALL AREA	5,024 S.F.
FRONT (SOUTH) EXISTING & PROPOSED	1732 S.F.	207 S.F.	1525 S.F.	1525 S.F.	0 S.F.	100%	TOTAL MASONRY AREA	5,024 S.F.
SIDE (EAST) EXISTING & PROPOSED	1191 S.F.	52 S.F.	1139 S.F.	1139 S.F.	0 S.F.	100%	TOTAL NON MASONRY AREA	0 S.F.
REAR (NORTH) EXISTING & PROPOSED	1477 S.F.	108 S.F.	1369 S.F.	1369 S.F.	0 S.F.	100%	TOTAL MASONRY PERCENTAGE	100%
SIDE (WEST) EXISTING & PROPOSED	1191 S.F.	200 S.F.	991 S.F.	991 S.F.	0 S.F.	100%		



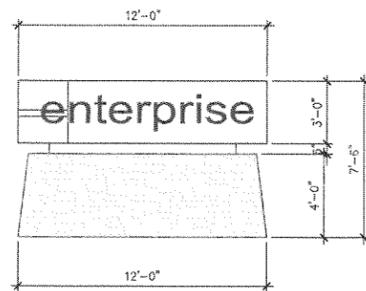
SIDE ELEVATION
SCALE: 1/4"=1'-0"

MASONRY PERCENTAGES

WALL	GROSS WALL AREA	OPENINGS	NET WALL AREA	MASONRY AREA	NON MASONRY	PERCENTAGE	TOTAL NET WALL AREA	5,024 S.F.
FRONT (SOUTH) EXISTING & PROPOSED	1732 S.F.	207 S.F.	1525 S.F.	1525 S.F.	0 S.F.	100%	TOTAL MASONRY AREA	5,024 S.F.
SIDE (EAST) EXISTING & PROPOSED	1191 S.F.	52 S.F.	1139 S.F.	1139 S.F.	0 S.F.	100%	TOTAL NON MASONRY AREA	0 S.F.
REAR (NORTH) EXISTING & PROPOSED	1477 S.F.	108 S.F.	1369 S.F.	1369 S.F.	0 S.F.	100%	TOTAL MASONRY PERCENTAGE	100%
SIDE (WEST) EXISTING & PROPOSED	1191 S.F.	200 S.F.	991 S.F.	991 S.F.	0 S.F.	100%		



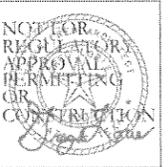
FRONT ELEVATION
SCALE: 1/4"=1'-0"



MONUMENT SIGN
SCALE: 1/4"=1'-0"

REVISIONS:

- △ _____
- △ _____
- △ _____
- △ _____
- △ _____



GREG LORIE, ARCHITECT
REGISTRATION NO. 00372
THESE DRAWINGS ARE THE PROPERTY
OF ARCHITECTURA, AND MAY NOT BE
USED IN WHOLE OR PART WITHOUT
THE PERMISSION OF GREG LORIE,
ARCHITECTURA

DATE: 8/4/2014
JOB #: _____
SCALE: _____

SHEET NO.
A-3
1 OF 1

CHECK PLAN

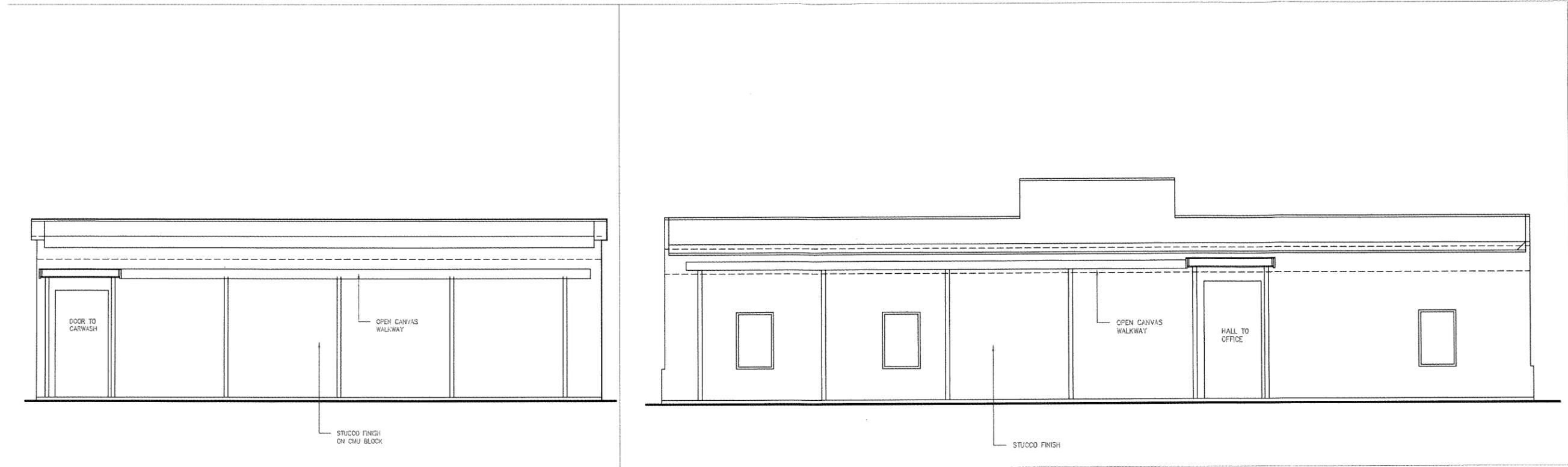
CC ITEM #3, 25, 26
 PZ ITEM #4, 11, 12



1909 ABRAMS PKWY.
 SUITE B
 DALLAS, TEXAS
 75214
 (214) 821-2044

ARCHITECTURAUSA.COM

ENTERPRISE LEASING
 849 EAST DALLAS
 GRAPEVINE, TEXAS



CARWASH SOUTH ELEVATION
 SCALE: 1/4"=1'-0"

OFFICE NORTH ELEVATION
 SCALE: 1/4"=1'-0"

REVISIONS:

- △ _____
- △ _____
- △ _____
- △ _____
- △ _____
- △ _____



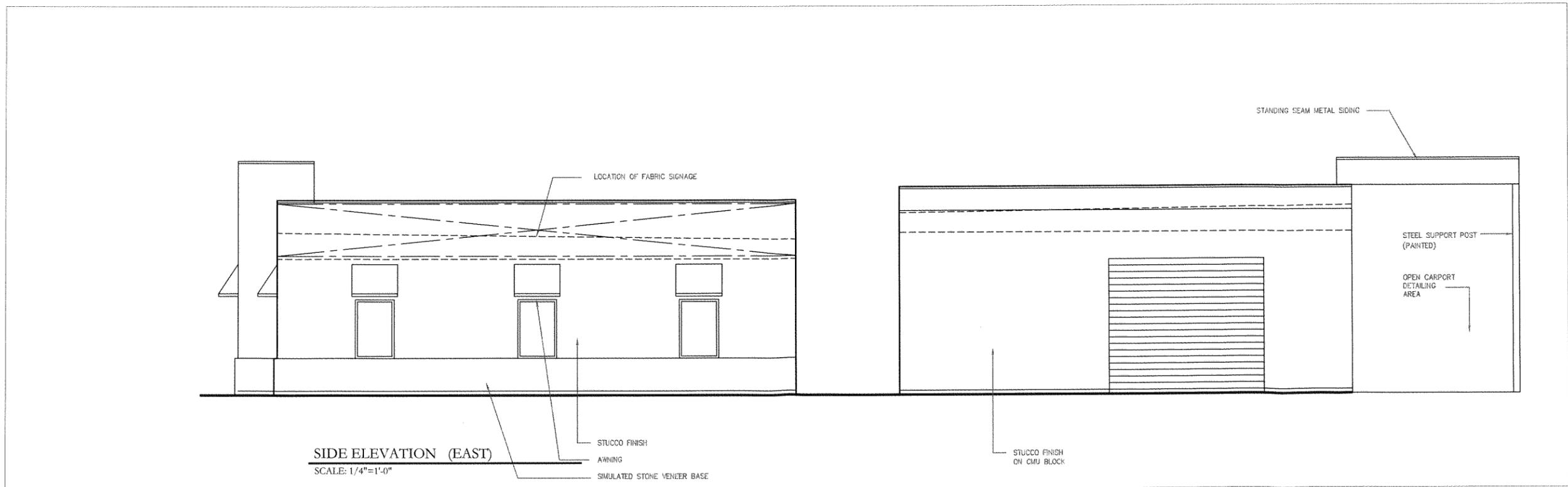
THESE DRAWINGS ARE THE PROPERTY OF ARCHITECTURA AND MAY NOT BE USED BY ANY OTHER PARTY WITHOUT THE PERMISSION OF GREG GLOBE & ARCHITECTURA

DATE: 8/4/2014
 JOB #:
 SCALE:

SHEET NO.

A-4
 1 OF 1

TRUCKWASH

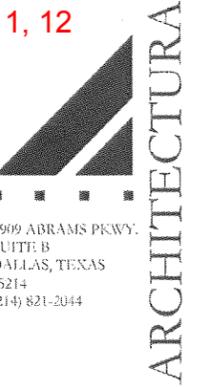


SIDE ELEVATION (EAST)
 SCALE: 1/4"=1'-0"

STUCCO FINISH
 RAVING
 SIMULATED STONE VENEER BASE

STUCCO FINISH
 ON CMU BLOCK

CC ITEM #3, 25, 26
 PZ ITEM #4, 11, 12



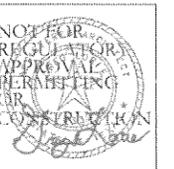
1909 ABRAMS PKWY.
 SUITE B
 DALLAS, TEXAS
 75214
 (214) 821-2044

ARCHITECTURUSA.COM

ENTERPRISE LEASING
 849 EAST DALLAS
 GRAPEVINE, TEXAS

REVISIONS:

- △ _____
- △ _____
- △ _____
- △ _____
- △ _____
- △ _____



GREG LORIE, ARCHITECT
 REGISTRATION NO. 10552
 THESE DRAWINGS ARE THE PROPERTY
 OF ARCHITECTURA AND MAY NOT BE
 USED IN WHOLE OR PART WITHOUT
 THE PERMISSION OF GREG LORIE OR
 ARCHITECTURA

DATE: 8/4/2014

JOB #:

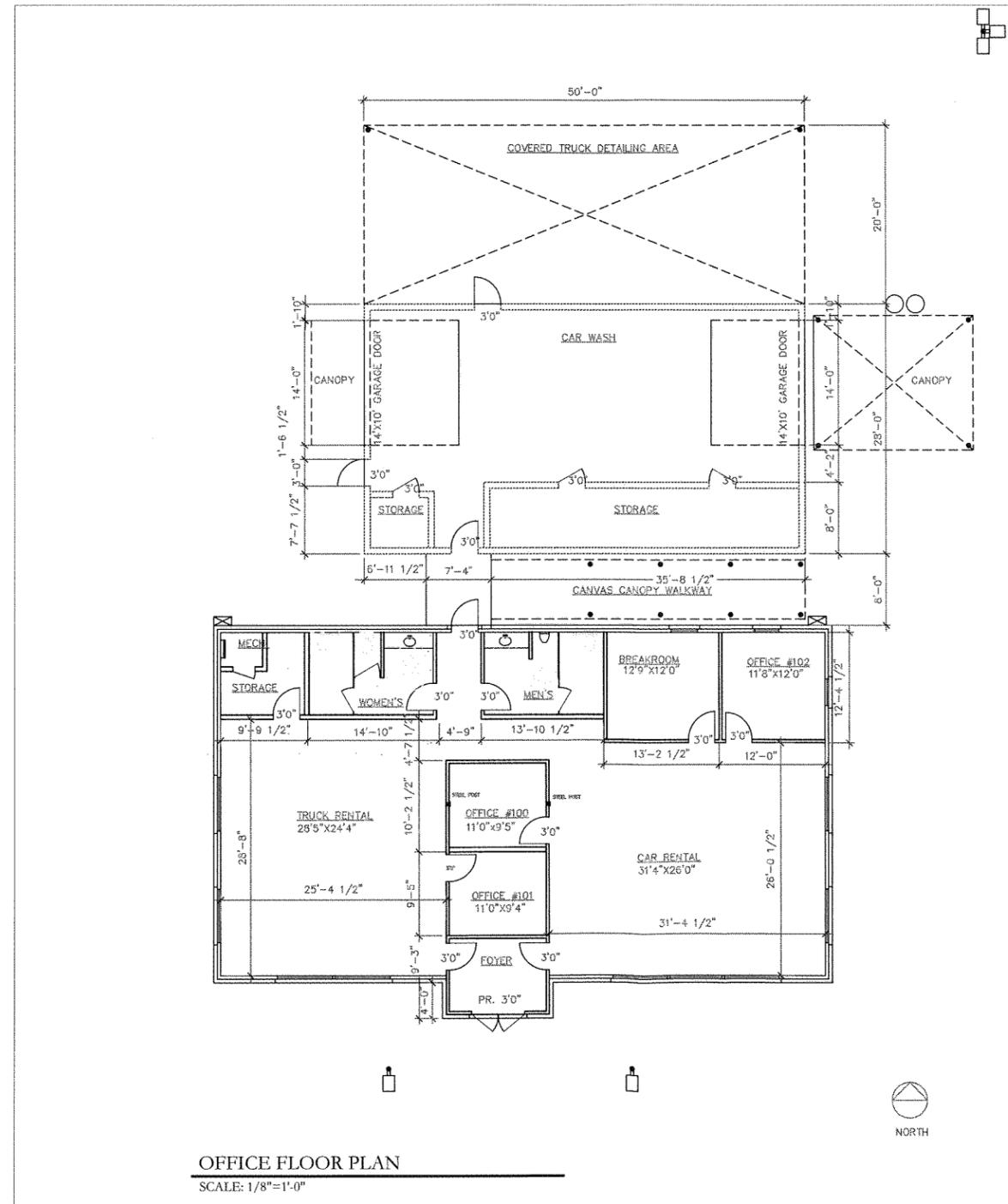
SCALE:

SHEET NO.

A-5

1 OF 1

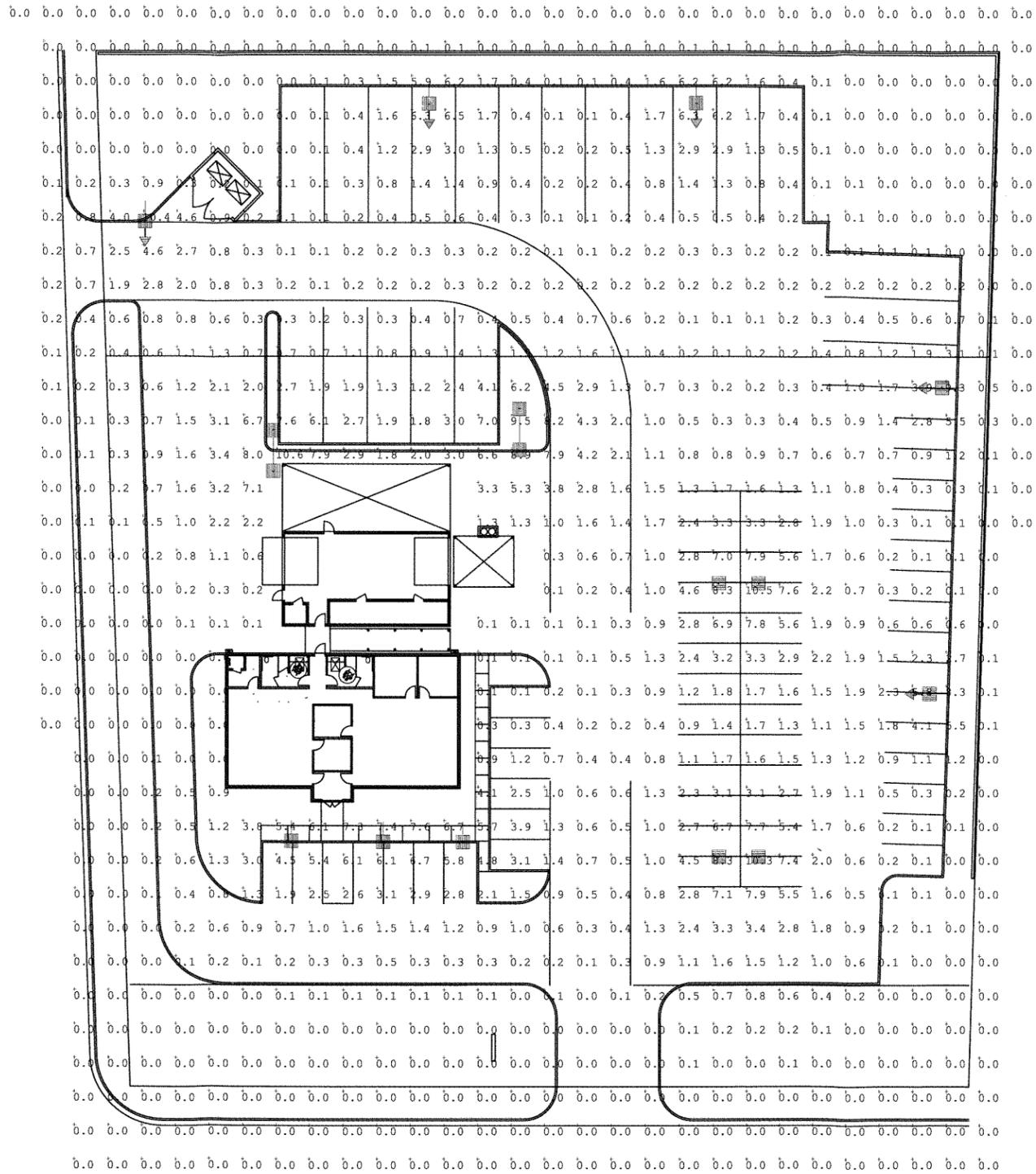
OFFICE PLAN



REVISIONS

REV #	DATE	BY:

CC ITEM #3, 25, 26
PZ ITEM #4, 12



Calculation Summary								
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb
PARKING SUMMARY	Fc	1.61	10.5	0.1	16.10	105.00	10	10

Luminaire Schedule						
Symbol	Qty	Label	Lumens	LLF	Description	
	4	A	13000	0.800	WLS-H-S-5-150-CMH-FG 15' MOUNTING HEIGHT	
	3	B	13000	0.800	WLS-H-S-5-150-CMH-FG 15' MOUNTING HEIGHT	
	5	C	13000	0.800	WLS-H-S-FP-150-CMH-FG-GS 15' MOUNTING HEIGHT	

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

1919 WINDSOR PLACE
FORT WORTH, TX 76116
WWW.WLSLIGHTING.COM

WLS LIGHTING SYSTEMS
Consider the Impact!

OFFICE BUILDING ILLUMINATION
PLAN
GRAPEVINE, TX

WLS-10486 DATE -8/5/14 SCALE: 1"=20'
PM: CINDI 800-633-8711 BY: J.P. SHEET 1 OF 1

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: AUGUST 19, 2014

SUBJECT: FINAL PLAT APPLICATION
LOT 1-R, BLOCK 1, SUNSHINE HARBOR INDUSTRIAL ADDITION
(BEING A REPLAT OF LOT 1, TRACT 3, SUNSHINE HARBOR
INDUSTRIAL ADDITION AND A PORTION OF TRACT 3, SUNSHINE
HARBOR INDUSTRIAL)

PLAT APPLICATION FILING DATE.....August 12, 2014

APPLICANT.....Robert Baldwin

REASON FOR APPLICATION Platting Lot 1, Tract 3 with the
addition of 90' to the north into one lot

PROPERTY LOCATIONNortheast corner of Dallas Road and Dawn Lane

ACREAGE..... 1.828

ZONING.....LI: Light Industrial

NUMBER OF LOTS..... 1

PREVIOUS PLATTING 1993

CONCEPT PLAN.....CU14-33

SITE PLAN No

OPEN SPACE REQUIREMENT..... No

AVIGATION RELEASE Yes

PUBLIC HEARING REQUIRED Yes

**PLAT INFORMATION SHEET
FINAL PLAT APPLICATION
LOT 1-R, BLOCK 1, SUNSHINE HARBOR INDUSTRIAL ADDITION
(BEING A REPLAT OF LOT 1, TRACT 3, SUNSHINE HARBOR INDUSTRIAL
ADDITION AND A PORTION OF TRACT 3, SUNSHINE HARBOR INDUSTRIAL)**

I. GENERAL:

- The applicant, Robert Baldwin is platting this 1.828 acre site into one lot. The property is located at the northeast corner of Dallas Road and Dawn Lane.

II. STREET SYSTEM:

- The development has access to Dallas Road and Dawn Lane.
- ALL abutting roads: are on the City Thoroughfare Plan: Dallas Road
 are not on the City Thoroughfare Plan: Dawn Lane

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 10.00 / LF		

Periphery Street Fees are not due:

TOTAL

Development will be required to construct Curb and Gutter, Sidewalk and Underground Storm Drainage along the lot's frontage on Dawn Lane mirroring the improvements on the west side of Dawn Lane installed by Faith Christian School with its development.

III. STORM DRAINAGE SYSTEM:

- The site drains south into Dallas Road storm water system.

- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for:
- Water and Wastewater Impact Fees are due prior to the issuance of building permits: Lot 1-R, Block 1, Sunshine Harbor Industrial Harbor
 - Single Family Residential (\$ 2,191/ Lot)
 - Multifamily (\$ 1,026 / Unit)
 - Hotel (\$ 38,107/ Acre)
 - Corporate Office (\$ 18,847/ Acre)
 - Government (\$ 4,037/ Acre)
 - Commercial / Industrial (\$ 5,209 / Acre)
- Open Space Fees are not required for: Lot 1-R, Block 1, Sunshine Harbor Industrial Addition
- Open Space Fees are required for:
 - R-5.0, Zero Lot District (\$ 1,416.00 / Lot)
 - R-7.5, Single Family District (\$ 1,146.00 / Lot)
 - R-12.5, Single Family District (\$ 1,071.00 / Lot)
 - R-20.0, Single Family District (\$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
 - Front building line
 - Rear building line
 - Lot width & depth
 - Max. Impervious Area
 - Special Exception to the required front yard landscape setback
- The following items associated with this plat are not in accordance with the current subdivision standards:
 - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
 - Length of cul-de-sac street exceeds the 600-foot limit:
 - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
- The right-of-way provides for future widening of public streets that will serve the development of this site.
 - The onsite utility easements provide for a utility network to serve the development of this site.
 - The onsite drainage easements provide for a drainage network to serve the development of this site.
 - The onsite access easements provide cross access capabilities to this site and surrounding property.
 - The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

- B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:
- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
 - The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
 - The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
 - The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
 - The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
 - All of the dedications benefit the development to at least the extent of the impact of such on the development.

VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Final Plat of Lot 1-R, Block 1, Sunshine Harbor Industrial Addition."

APPLICATION FOR PLATTING
CITY OF GRAPEVINE, TEXAS

TYPE OF PLAT: _____ Preliminary _____ Final Replat _____ Amendment _____

PROPERTY DESCRIPTION:

Name of Addition: Sunshine Harbor Revised
Number of Lots: 1 Gross Acreage: 1.8 Proposed Zoning: CU-P
Location of Addition: NE CORNER Dawn & Dallas

PROPERTY OWNER:

Name: Mary Hannah Watson Contact: _____
Address: 1351 Woodbrook Ln City: Southlake
State: TX Zip: 76092 Phone: (817) 543-5552
Fax: () _____

Signature: Mary Hannah Watson Email: _____

APPLICANT:

Name: Robert Baldwin Contact: Robert Baldwin
Address: 3904 Elm St #B City: Dallas
State: TX Zip: 75226 Phone: (214) 824-7949
Fax: () _____
Signature: _____ Email: rob@baldwinplanning.com

SURVEYOR:

Name: Gonzales & Schneeburg Contact: Robert Schneeburg
Address: 1660 N Central City: Plano
State: TX Zip: 75074 Phone: (972) 516-8855
Fax: () _____
Email: robert.schneeburg@gsengineers.com

***** FOR OFFICE USE ONLY *****

Application Received: 7/15/2014
Fee Amount: \$345.00

By: Baldwin Assoc.
Check Number: 4313

STATE OF TEXAS
COUNTY OF TARRANT

STATE OF TEXAS
COUNTY OF TARRANT

CC ITEM #3, 25, 26
PZ ITEM #4, 11, 12

WHEREAS, Mary Hannah Watson, is the sole owner of a 1.828 acre tract of land out of the E. Moore Survey, Abstract 1029, in the City of Grapevine, Tarrant County, Texas; said 1.828 acre tract having been conveyed to Mary Hannah Watson by two Executor's Deeds recorded in County Clerk's Instrument Numbers D214047848 and D214047849, Deed Records, Tarrant County, Texas; said 1.828 acre tract also being all of Lot 1, Tract 3, Sunshine Harbor Industrial Addition, an addition to the City of Grapevine, according to the Final Plat thereof recorded in Cabinet A, Slide 1505, Plat Records, Tarrant County, Texas, and a portion of Tract 3, Sunshine Harbor Industrial, an addition to the City of Grapevine, according to the plat thereof recorded in Volume 388-98, Page 38, Plat Records, Tarrant County, Texas; and being more particularly described as follows:

WHEREAS, Mary Hannah Watson, her heirs, assigns, successors and assigns, hereinafter called "Cities", for the use and benefit of the public and its agencies; any and all claims for damages of any kind to persons or property that Owner may suffer by reason of the passage and flight of all aircraft in the air space above Owner's property above the height restriction as presently established by Ordinance No. 73-50 for the City of Grapevine, known as the Airport Zoning Ordinance of the Dallas-Fort Worth International Airport, to an infinite height above same, whether such damage shall originate from noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft, landing at, or taking off from, or operating at or on the Dallas-Fort Worth International Airport.

BEGINNING, at a 1-inch iron rod found for the southwest corner of said Lot 1; said point also being the intersection of the north right-of-way line of East Dallas Road with the east right-of-way line of Dawn Lane;

This instrument does not release the owners or operators of aircraft from liability for damage or injury to person or property caused by falling aircraft or falling physical objects from aircraft, except as stated herein with respect to noise, fumes, dust, fuel and lubricant particles. It is agreed that this Release shall be binding upon said owner and his heirs and assigns, and successors in interest to said property; and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of the county or counties in which the property is situated.

THENCE, North 02 degrees 01 minutes 15 seconds West, with said east right-of-way line, at a distance of 216.00 feet pass a 1-inch iron rod found for the northwest corner of said Lot 1; continuing, in all, a distance of 306.00 feet to a 5/8-inch iron rod found for corner; said point being the southwest corner of a tract of land conveyed to A & W Industries, Inc. by Constable's Deed recorded in County Clerk's Instrument Number D204145985, Deed Records, Tarrant County, Texas;

THENCE, South 89 degrees 59 minutes 40 seconds East, with the south line of said A & W Industries tract, a distance of 270.41 feet to a 5/8-inch iron rod found for the southeast corner of said A & W Industries tract; said point also being on the west line of Lot 163, Sunshine Harbor Addition, an addition to the City of Grapevine, according to the plat thereof recorded in Volume 388-23, Page 34, Plat Records, Tarrant County, Texas;

EXECUTED at Grapevine, Texas, this _____ day of August, 2014.

THENCE, South 01 degrees 44 minutes 30 seconds West, at a distance of 89.99 feet pass a P.C. nail in concrete found for the northeast corner of said Lot 1; continuing, in all, a distance of 305.93 feet to a 3/8-inch iron rod found for the southeast corner of Lot 1, said point also being the southwest corner of Lot 159 of said Sunshine Harbor Addition; said point being also on said north right-of-way line of East Dallas Road;

Mary Hannah Watson
Owner

THENCE, North 89 degrees 59 minutes 52 seconds West, with said north right-of-way line, a distance of 250.32 feet to the POINT OF BEGINNING;

STATE OF TEXAS
COUNTY OF TARRANT

CONTAINING, 79,619 square feet or 1.828 acres of land, more or less.

Before me _____ on this day personally appeared Mary Hannah Watson, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS, THAT Mary Hannah Watson does hereby adopt this plat of SUNSHINE HARBOR INDUSTRIAL ADDITION, an addition to the City of Grapevine, Tarrant County, Texas, and does hereby dedicate to the public use forever the right-of-way and easements shown hereon. The easements shown hereon are hereby reserved for the purposes as indicated. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of paving on the easements are the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed, or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using, or desiring to use same. Any City or franchised utility shall have the full right to remove and keep removed all or parts of any fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all City or franchised utilities shall at all times have the full right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity of any time of procuring the permission of anyone.

Given under my hand and seal of office this _____ day of August, A.D. 2014.

I have reviewed the City's Findings concerning dedications and I do agree that the statements are true and correct.

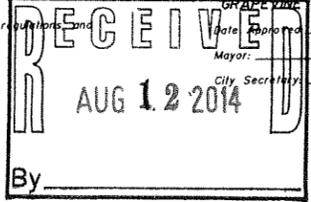
Notary Signature

This plat approved subject to all planning ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

PLANNING & ZONING COMMISSION:

Date Approved: _____
Chairman: _____
Secretary: _____

Witness my hand this the _____ day of August, 2014.



Mary Hannah Watson
Owner

STATE OF TEXAS
COUNTY OF TARRANT

Before me _____ on this day personally appeared Mary Hannah Watson known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this _____ day of August, A.D. 2014.

Notary Signature

SURVEYOR'S NOTES

- 1. The purpose of this plat is to create one platted lot.
- 2. Bearings shown hereon are based on the plat of Lot 1, Tract 3, Sunshine Harbor Industrial Addition, recorded in Cabinet A, Slide 1505, Plat Records, Tarrant County, Texas.
- 3. Coordinates shown are Texas State Plane Coordinates System, North Central Zone, North American Datum of 1983 on a grid coordinate values, no scale and no projection.
- 4. Subject tract is located in Zone "X", areas outside a flood hazard area, according to the Flood Insurance Rate Map Community Panel Map No. 48439C015 K dated June 02, 2009.
- 5. Listing of square footages:
A. Right-of-way dedication area = 225 square feet
B. Easement dedication area = 79,419 square feet
C. Net platted area = 79,419 square feet
(Area of new lot = Total area less R.O.W. dedication)
D. Total platted area = 79,619 square feet

FINAL PLAT
OF
LOT 1-R, BLOCK 1
SUNSHINE HARBOR INDUSTRIAL ADDITION
BEING A REPLAT OF
LOT 1, TRACT 3
SUNSHINE HARBOR INDUSTRIAL ADDITION
AN ADDITION TO THE CITY OF GRAPEVINE
RECORDED IN CABINET A, SLIDE 1505
AND
A PORTION OF TRACT 3
SUNSHINE HARBOR INDUSTRIAL
AN ADDITION TO THE CITY OF GRAPEVINE
RECORDED IN VOLUME 388-98, PAGE 38
CONTAINING 1.828 ACRES OF LAND
OUT OF THE
E. MOORE SURVEY ~ ABSTRACT NO. 1029
CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS
AUGUST - 2014
ZONED "LI"
NUMBER OF LOTS : 1

OWNER/DEVELOPER:
MARY HANNAH WATSON
1351 Woodbrook Lane
Southlake, Texas 76092
Phone: (214) 543-8552

ENGINEER - SURVEYOR:
GONZALEZ & SCHNEEBERG,
ENGINEERS & SURVEYORS, INC.
680 N. Central Expressway, Suite 250
Plano, Texas 75074
(972) 518-8855

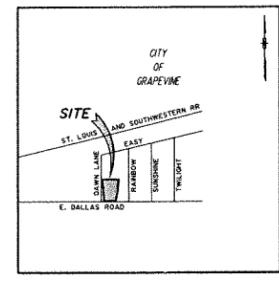
SCALE 1"=30'
DATE AUGUST, 2014
PROJ. NO. 6309-14-07-01
DWG. NO. 6309plot.dwg

This plat filed on _____ Instrument D _____

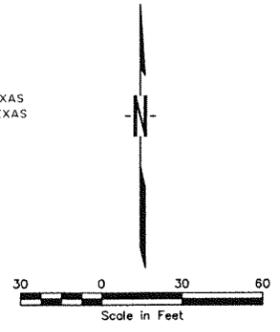
SURVEYOR'S CERTIFICATION

I, Robert W. Schneeberg of Gonzalez & Schneeberg, Engineers & Surveyors, Inc., a Registered Professional Land Surveyor of the State of Texas, do hereby declare that I prepared this plat from an actual and accurate survey on the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the State of Texas and the City of Grapevine.

Robert W. Schneeberg, Texas RPLS 4804
Gonzalez & Schneeberg, Engineers & Surveyors, Inc.

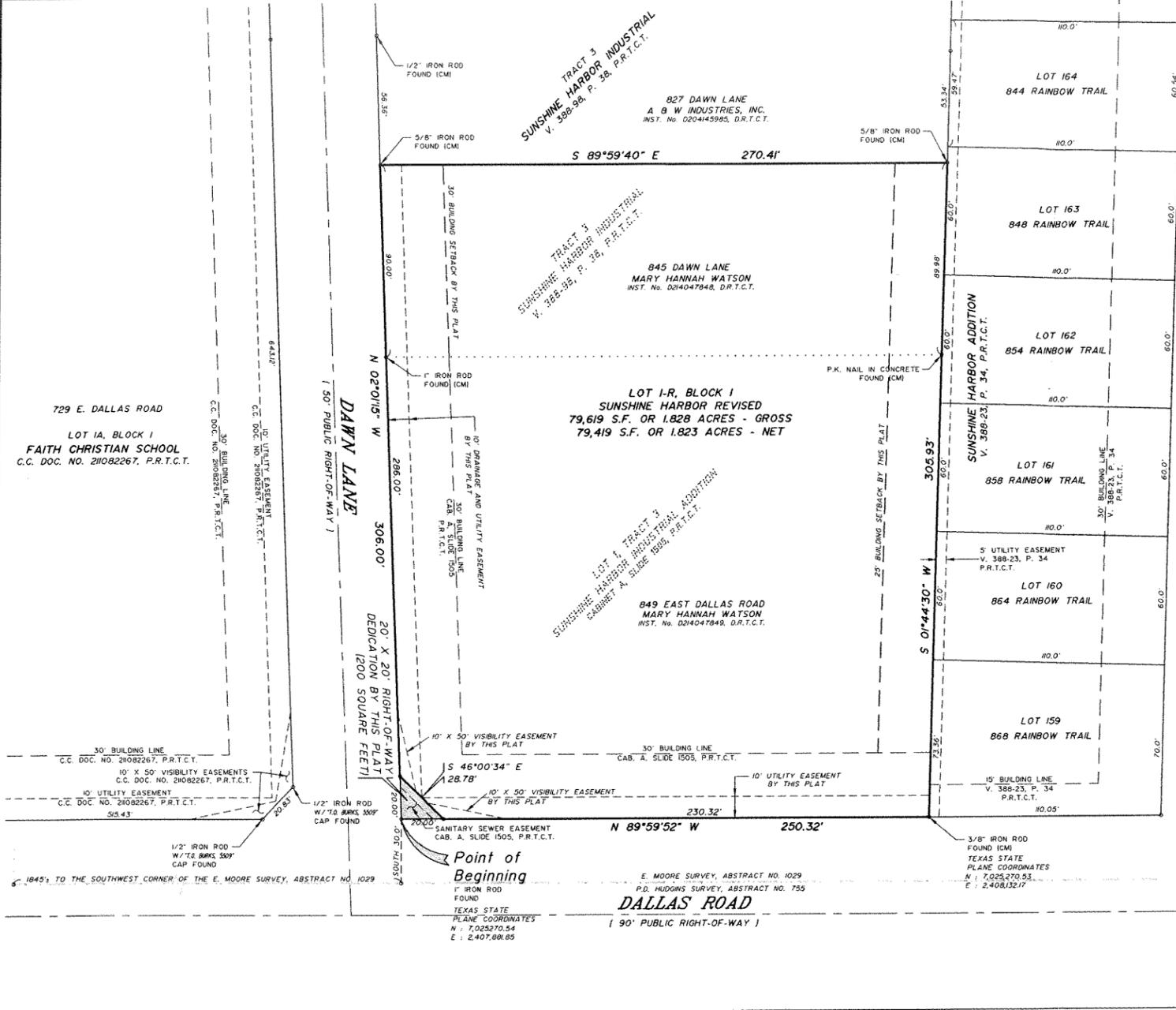


VICINITY MAP



LEGEND

- PROPERTY LINE
- ADJOINER PROPERTY LINE
- EASEMENT LINE
- CENTERLINE
- D.R.T.C.T.
- P.R.D.C.T.
- INST. No.
- V.
- P.
- CM
- DEED RECORDS, TARRANT COUNTY, TEXAS
- PLAT RECORDS, TARRANT COUNTY, TEXAS
- INSTRUMENT NUMBER
- VOLUME
- PAGE
- CONTROLLING MONUMENT



729 E. DALLAS ROAD
LOT 1A, BLOCK 1
FAITH CHRISTIAN SCHOOL
C.C. DOC. NO. 21082267, P.R.T.C.T.

LOT 1-R, BLOCK 1
SUNSHINE HARBOR REVISED
79,619 S.F. OR 1.828 ACRES - GROSS
79,419 S.F. OR 1.823 ACRES - NET

Point of Beginning

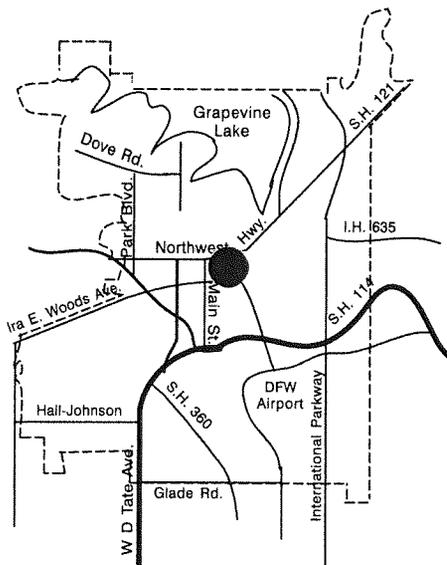
DALLAS ROAD

TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS, AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER ^{BR}
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR 

MEETING DATE: AUGUST 19, 2014

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF
CONDITIONAL USE APPLICATION CU14-34, FAITH CHRISTIAN
SCHOOL



APPLICANT: Dr. Ed Smith

PROPERTY LOCATION AND SIZE:

The subject property is addressed as 730 East Worth Street and is proposed to be platted as Lot 1R, Block 2, Faith Christian School Addition. The property contains approximately 16.75 acres and has multiple street frontages along East Worth Street, Austin Street, Cannon Street and Ruth Street.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to amend the previously approved site plan of CU14-29 (Ord. 2014-42) for a non-profit educational institution, specifically for the re-development of the athletic facilities to include a new football field and running track, concessions, stadium seating, restrooms and parking.

In conjunction with the abandonment of Cannon Street, it is the applicant's intent to alter the layout of the Faith Christian School campus significantly by removing the existing football field and running track and constructing a new football field, comprised of artificial turf and synthetic track surface that will be shifted to the east and elongated to the north of the original location. Also included as part of this re-development project is the construction of new stadium seating for both home and visitors, a new concessions structure and new bathrooms. A new 125 space parking lot is proposed at the southeast

corner of Austin and Worth Streets to add more parking to the site and accommodate spaces lost due to the construction of the new football field/track complex. Shown in concept only, there is also an intention to add a second floor level to the western end of the existing school however the details of this expansion are still being considered. Although Cannon Street will be abandoned and the right-of-way utilized by the school, controlled access through the site will still be possible between Austin and Worth Streets. A drive from Worth Street just east of Austin Street is also proposed to access the new parking lot and provide internal circulation during school hours and after hours functions. A below-grade access tunnel, underneath the DART right-of-way is nearing completion which will allow students to move freely between the main campus on Worth Street and the secondary campus along Dallas Road. Parking for stadium events will occur on the Dallas Road campus with spectators utilizing the below-grade access tunnel to walk to the stadium to minimize traffic within the College Heights neighborhood.

PRESENT ZONING AND USE:

The property is currently zoned "R-7.5" Single Family District and is currently home to the Faith Christian School.

HISTORY OF TRACT AND SURROUNDING AREA:

The subject property and the properties to the north and west were zoned "R-1" Single Family District prior to the 1984 City Rezoning. The property to the east was zoned "R-1" Single Family District, "R-3" Multiple Family District and "SP" Specific Use Permit. The property to the south across the DART right-of-way was zoned "I-2" Heavy Industrial District. This property to the south of the subject site received a conditional use permit at Council's April 18, 2006 meeting to allow for a non-profit educational institution in the "LI" Light Industrial District. The site also received a planned development overlay at that same meeting to allow the height of the light standards for the ball field to exceed the 30-foot height maximum within the district. At a July 18, 2006 meeting a zone change request (Z06-07) and a conditional use permit (CU06-27) were both approved by the City Council rezoning 16.75 acres from "GU" Governmental Use District to "R-7.5" Single Family District and allowing for a non-profit educational institution in the "R-7.5" Single Family District for the Faith Christian School. During the July 15, 2014 meeting, the City Council approved a conditional use request (CU14-29) on the subject property to allow for 4,944 square foot expansion to the existing gymnasium.

SURROUNDING ZONING AND EXISTING LAND USE:

NORTH: "R-7.5" Single Family District, "R-MF-2" Multifamily District and "R-12.5" Single Family District—single family residential development

SOUTH: DART right-of-way

EAST: "R-12.5" Single Family District and "R-MF-2" Multifamily District—

single family development, apartment complex

WEST: "R-7.5" Single Family District—single family development

AIRPORT IMPACT:

The subject tract is located within "Zone A" zone of minimal effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map. Few activities will be affected by aircraft sounds in Zone A, except for sound sensitive activities such as auditoriums, churches, schools, hospitals, and theaters. The applicant's proposal is an appropriate use in this noise zone only if appropriate noise attenuation measures are considered and applied during any new construction process.

MASTER PLAN APPLICATION:

The Master Plan designates the subject property as a Governmental Use land use. The applicant's proposal is not in compliance with the Master Plan.

/rs



CC ITEM #4, 27
PZ ITEM #5, 13

CU14-04

CITY OF GRAPEVINE

CONDITIONAL USE APPLICATION

Form "A"

PART 1. APPLICANT INFORMATION

Applicant Name: Faith Christian School

Applicant Address: 730 E. Worth Street

City/State/Zip: Grapevine, TX 76051

Phone No. 817-442-9144 Fax No. _____

Email Address justin.jordan@grapevinefaith.com Mobile Phone 972-814-3719

Applicant's interest in subject property Conditional Use Permit

PART 2. PROPERTY INFORMATION

Street Address of subject property 730 E. WORTH ST.

Legal Description: Lot 10 Block 2 Addition FAITH CHRISTIAN SCHOOL ADDITION

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Size of subject property: acres 18.095 square footage _____

Present zoning classification R-7.5 Circle yes or no, if applies to this application: Outdoor speakers Yes No

Proposed use of property NEW ATHLETIC FACILITIES FOR EXISTING PUBLIC NON-PROFIT INSTITUTION OF EDUCATIONAL, RELIGIOUS OR CULTURAL TYPE

Zoning ordinance provision requiring a conditional use SECTION 48 / SECTION 15.C.1.

PART 3. PROPERTY OWNER INFORMATION

Property Owner Faith Christian School

Prop Owner Address 730 E. Worth Street

City/State/Zip Grapevine, TX 76051

Phone No. 817-442-9144 Fax No. _____

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.

RECEIVED
JUL 7 2014
By _____

- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

CC ITEM #4, 27
PZ ITEM #3, 18

PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY

Justin Jordan
Print Applicant's Name

[Signature]
Applicant's Signature

The State of Texas

County of Tarrant

Before me (notary) Stacy Jeanes on this day personally appeared (applicant) Justin Jordan known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 7 day of July, A.D. 2014



[Signature]
Notary In and For State of Texas

Justin Jordan
Print Property Owner's Name

[Signature]
Property Owner's Signature

The State of Texas

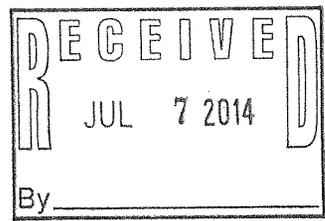
County of Tarrant

Before me (notary) Stacy Jeanes on this day personally appeared (applicant) Justin Jordan known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 7 day of July, A.D. 2014



[Signature]
Notary In and For State of Texas



CU14-34

ACKNOWLEDGEMENT

CC ITEM #4, 27
PZ ITEM #5, 13

All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

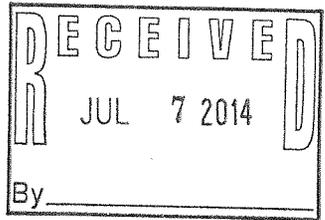
I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant 

Date 7-7-14

Signature of Property Owner 

Date 7-7-14



CU14-34
CC ITEM #4, 27
PZ ITEM #5, 13



July 7, 2014

Ron Stombaugh
Development Services
Assistant Director
200 South Main Street
Grapevine, TX 76051

Re: Faith Christian School
730 East Worth Street

Mr. Stombaugh:

Attached for your review is an application and supporting site plan to modify the Conditional Use Permit CU14-29 (Ordinance 2006-050) for the Faith Christian School site located at 730 E. Worth Street. The purpose of the application is to construct a new parking lot, stadium, concessions, restrooms, and storage buildings as well as a new football/soccer/track. Additionally, this site plan will finalize the abandonment of Cannon Street.

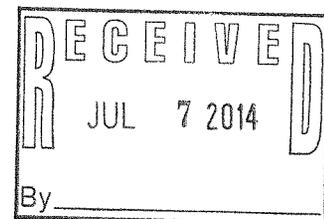
A revised Conditional Use Permit request is required under Section 48 of the Zoning Ordinance and Section 15.C.1 R-7.5 Single-family District Regulations for "public and non-profit institutions of an educational, religious or cultural type".

Please review and provide us with any comments you may have, or you may contact me directly at any time to discuss this in more detail.

Sincerely,

A handwritten signature in black ink, appearing to read "M. Paquette", written over a horizontal line.

Marc P. Paquette, PE
Project Manager



CC ITEM #4, 27

PZ ITEM #5, 13

CU14-34
FAITH CHRISTIAN

ORDINANCE NO. _____

AN ORDINANCE ISSUING A CONDITIONAL USE PERMIT IN ACCORDANCE WITH SECTION 48 OF ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE, BY GRANTING CONDITIONAL USE PERMIT CU14-34 AMENDING THE SITE PLAN APPROVED BY ORDINANCE NO. 2014-42 FOR A NON-PROFIT EDUCATIONAL INSTITUTION SPECIFICALLY FOR THE RE-DEVELOPMENT OF THE ATHLETIC FACILITIES TO INCLUDE A NEW FOOTBALL FIELD AND RUNNING TRACK, CONCESSIONS, STADIUM SEATING, RESTROOMS AND PARKING IN A DISTRICT ZONED "R-7.5" SINGLE FAMILY DISTRICT REGULATIONS ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED UPON EACH DAY DURING OR ON WHICH A VIOLATION OCCURS; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning & Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the

vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public

at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU14-34 amending the site plan approved by Ordinance No. 2014-42 for a non-profit educational institution specifically for the re-development of the athletic facilities to include a new football field and running track, concessions, stadium seating, restrooms and parking in a district zoned "R-7.5" Single Family District Regulations within the following described property: Lot 1R, Block 2, Faith Christian School (730 East Worth Street) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. That the City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safely from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. That this ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. That any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

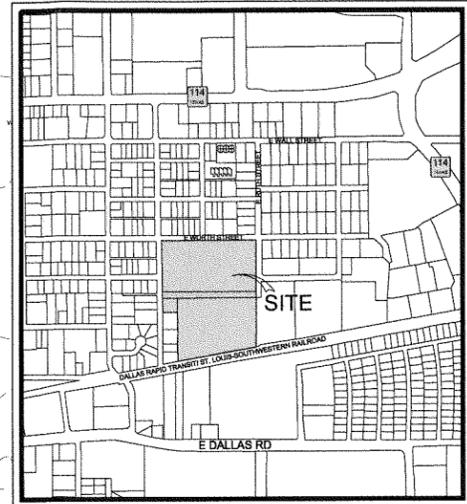
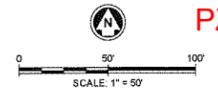
PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of August, 2014.

APPROVED:

ATTEST:

APPROVED AS TO FORM:

CC ITEM #4, 27
PZ ITEM #5, 28



VICINITY MAP
SCALE: N.T.S.

LEGEND

---	PROPERTY LINE
---	WATER LINE
---	SANITARY SEWER LINE
---	GAS LINE
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
---	CONCRETE SIDEWALK
---	FIRE LANE
---	PROPOSED PAVEMENT
○	EXISTING TREE TO REMAIN
○	PARKING COUNT
✱	PROPOSED LIGHT POLE

SITE DATA SUMMARY

EXISTING ZONING	R-7.5
GROSS ACREAGE	18.095 ac.
NUMBER OF LOTS	3
AREA OF OPEN SPACE	11,342 ac.
AREA OF IMPERVIOUS COVERAGE	6,753 ac.
PERCENTAGE OF OPEN SPACE	62.68 %
PERCENTAGE OF IMPERVIOUS COVERAGE	37.32%
EXISTING SCHOOL AREA (BUILDING FOOTPRINT)	92,859 s.f.
EXISTING GYM AND ADDITION	20,025 s.f.
EXISTING HISTORICAL SCHOOL AREA	2,899 s.f.
PROPOSED CONCESSION, RESTROOM, GAME TIME LOCKERS AND STORAGE AREA	5,175 s.f.
PROPOSED RESTROOM AND STORAGE AREA	1,740 s.f.
PROPOSED HOME BLEACHER SEATING	1200 SEATS
PROPOSED VISITOR BLEACHER SEATING	300 SEATS
NUMBER OF STORIES (PROP.)	1
REQUIRED PARKING	125
PARKING SPACES PROVIDED (INCLUDING 5 HC)	197
REQUIRED HC SPACES	6
PROVIDED HC SPACES	6

CASE NAME: FAITH CHRISTIAN SCHOOL
CASE NUMBER: CU14-34
LOCATION: 730 EAST WORTH STREET, BLOCK 2, LOT 1R, FAITH CHRISTIAN SCHOOL ADDITION

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: _____

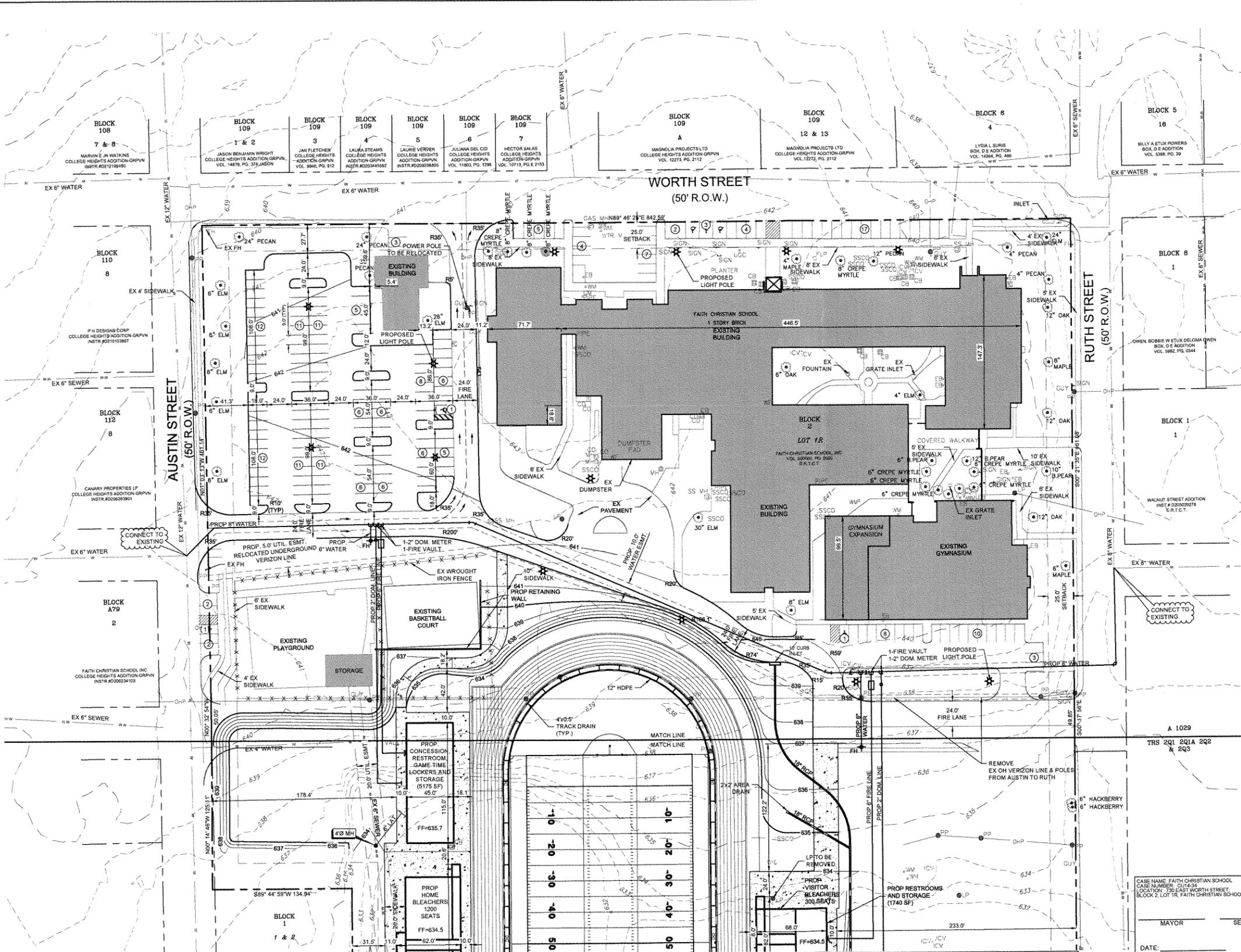
SHEET _____ OF _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION. ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM IN REVIEWING THESE PLANS, THE CITY MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

- NOTES**
1. CONDITIONAL USE REQUEST CU14-34 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN CU14-29 (ORD. 14-42) FOR A NON-PROFIT EDUCATIONAL INSTITUTION, SPECIFICALLY FOR THE RE-DEVELOPMENT OF THE ATHLETIC FACILITIES TO INCLUDE A NEW FOOTBALL FIELD AND RUNNING TRACK, CONCESSIONS, STADIUM SEATING, RESTROOMS AND PARKING.
 2. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 3. ALL ON-SITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.
 4. ALL THE REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.



10875 JOHN W. ELLIOTT, JR.
SUITE 200
FRISCO, TX 75033
PHONE: 469-213-1800
TX FIRM NO 12207

PELTON
LAND SOLUTIONS

THIS DOCUMENT IS RELEASED FOR REVIEW PURPOSES UNDER THE AUTHORITY OF
Marc P. Paquette, P.E.
August 11, 2014, ON

IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

SITE PLAN

CONDITIONAL USE PERMIT

FAITH CHRISTIAN SCHOOL

730 EAST WORTH STREET
GRAPEVINE, TEXAS 75051
PHONE: 972-251-5855

DESIGNED BY: _____
DRAWN BY: _____
EIT / PROJ. MNGR: _____
PLS PROJECT #: _____
CITY PROJECT #: _____

SHEET

2

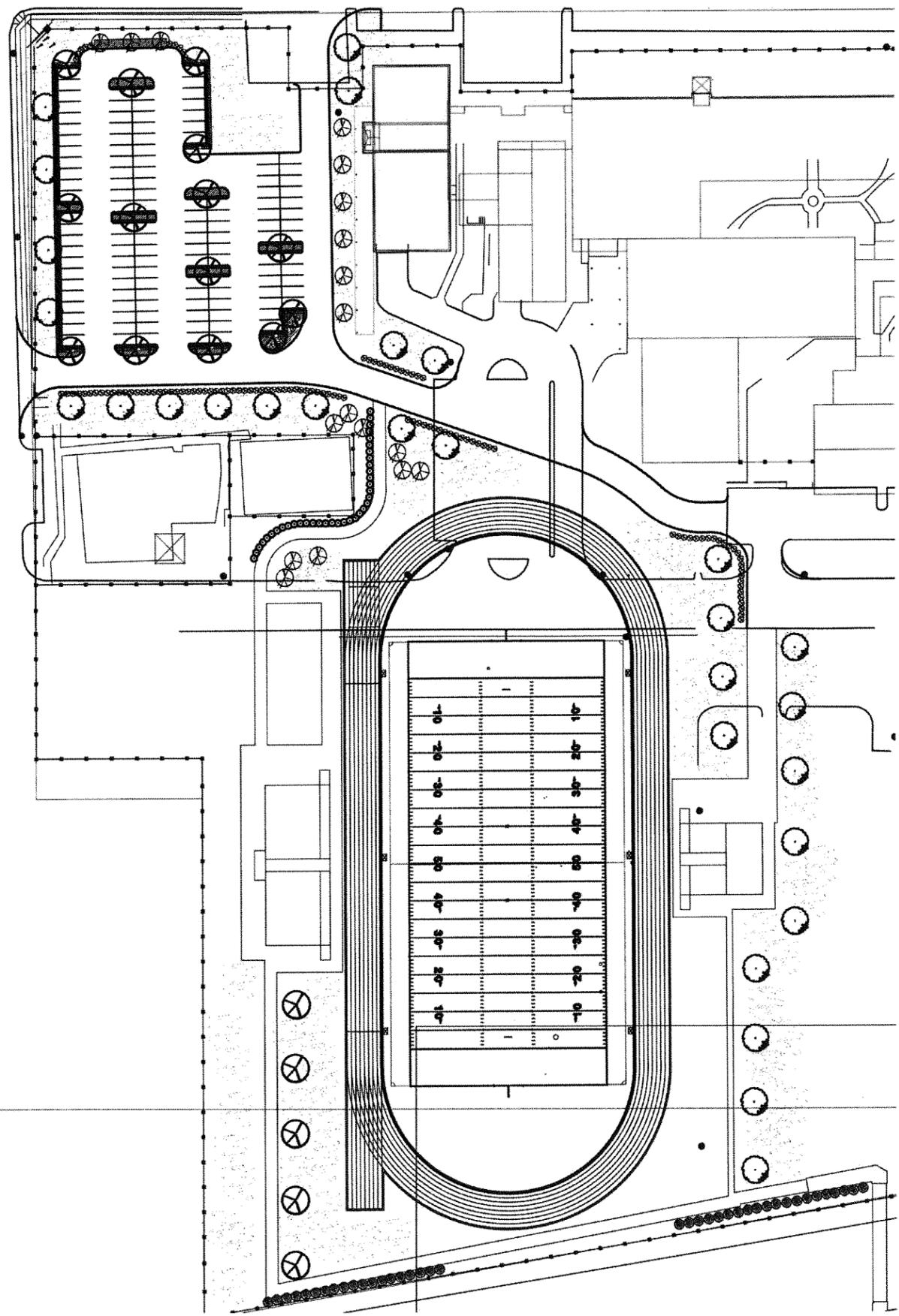
OF 3

Checked: JAMES COOK, Faith Christian School
 List Drawn by: MICKA WILSON
 PLS DATE: 08/11/2014 10:18 AM

Revisions	
Date	Description



A Landscape Development Plan For
STADIUM PLAN
 GRAPEVINE, TX



-  RED OAK
-  BALD CYPRESS
-  CRAPE MYRTLE
-  NELLIE R. STEVENS HOLLY
-  SHERWOOD ABELIA
-  MUHLY GRASS
-  DWARF BURFORD HOLLY
-  BIG BLUE LIRIOPE
-  DECOMPOSED GRANITE

GENERAL LANDSCAPE NOTES

- All landscape areas are to be received within .1' of proposed finish grade and free from all trash and debris.
- All trees are to be planted in pits twice the diameter of the tree ball and no deeper than the depth of the ball. Scarify all tree pit sides prior to planting. All trees are to be planted plumb and at or slightly above finish grade. All tree pits are to have a 3" watering saucer formed around the perimeter of the pit. All tree pits are to be top dressed with a 2" layer of shredded hardwood mulch. Stake and / or guy trees only at the direction of the landscape architect.
- Rotovate the existing soil of all planting beds to a minimum depth of 6". Add a 3" layer of premium compost as supplied by Living Earth Technology and till into the top 3" of the existing soil. Install all shrubs 1" above finish grade and fertilize with Agri-farm slow release fertilizer tablets at the manufacturer's recommended rates of application. Top dress all planting beds with a 2" layer of shredded hardwood mulch.
- All planting beds not formed by a concrete curb or sidewalk are to edged with Steel Edging (1/8"x4" painted green) or an approved equal. All edging stakes are to be placed to the inside of the bed and the top of the edging is to be no less than 1" and no more than 1.5" above proposed finish grade.
- All turf areas are to be hydromulch Bermudagrass, unless otherwise noted on the plan.
- Hydromulch with Bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. If installation occurs between September 1 and April 1, all hydromulch areas to be Winter Ryegrass at a rate of four (4) pounds per thousand square feet. Contractor shall be required to re-hydromulch with Bermudagrass the following growing season.
- All sodded areas are to receive common bermuda sod laid parallel to the contour of the land. All sod on slopes greater than 1:4 is to be pinned with 1"x1"x12" wooden stakes. All sod is to be laid with tight joints and with all joints staggered. Roll all sod with a water ballast lawn roller upon installation and fertilize with a complete fertilizer (13-13-13) at the rate of 1.5# actual nitrogen per 1000 square feet. Water all sod thoroughly.
- All irrigation meter(s) are to be by utility contractors as per local codes. Irrigation sleeves to be installed by licensed irrigation contractor as per the plan.
- All irrigation controllers are to have mini-click freeze and rain stats installed as per manufacturer's recommendations.
- All irrigation sleeves to be by licensed irrigation contractor. All sleeves to be PVC schedule 40 with 90 degree elbows on both ends with extensions protruding 18" above proposed finish grade.
- All turf and planting beds to be zoned separately. All planting bed heads to be on 12" pop-up risers. All turf heads to be on 4" pop-up risers. All valves to be plastic valves. All equipment to be Rainbird or approved equal.
- All mainline and lateral line to have a minimum of 12" of cover and to be SDR (class 200) pipe.
- Quantities shown on plant list are landscape architect's estimate only and should be verified prior to bidding. Contractor shall be responsible for bidding and providing quantity of plants required at spacing designated for bed sizes and configurations shown on the plans regardless of quantities designated on plant list.

IRRIGATION NOTES:

- All landscaped areas shall be irrigated with an automatic irrigation system capable of providing the proper amount of water for the particular type of plant material used. Irrigation will be provided by an underground sprinkler system, or a subterranean drip system as approved by the City Arborist.
- Automatic underground irrigation system shall be equipped with freeze guard set at 38 degrees F.
- Areas of open space which contain preserved trees need not be irrigated if the City Arborist determines irrigation would be harmful to the preserved trees.

STADIUM PLANT TABULATION				
QUANTITY	COMMON NAME	SPECIFIC NAME	SIZE	NOTES
29	BALD CYPRESS	TAXODIUM DISTICHUM	4" CAL.	10' MIN HT, 5' MIN. SPR, 4" CT, NURSERY GROWN B&B OR CONT.
19	TEXAS RED OAK	QUERCUS BUCKLEYI	4" CAL.	10' MIN HT, 5' MIN. SPR, 4" CT, NURSERY GROWN B&B OR CONT.
39	NELLIE R. STEVENS' HOLLY	ILEX X 'NELLIE R. STEVENS'	5 GAL.	30" MIN HT, 15" MIN. SPR, NURSERY GROWN CONT.
18	'SARAH'S FAVORITE' CRAPE MYRTLE	LAGERSTROEMIA INDICA 'SARAH'S FAVORITE'	15 GAL.	6' MIN HT, 3' MIN. SPR, 3 OR 5 CANES, NURSERY GROWN
270	'DWARF BURFORD' HOLLY	ILEX CHINENSIS 'DWARF BURFORDI'	5 GAL.	30" MIN HT, 15" MIN. SPR, NURSERY GROWN CONT.
37	'SHERWOOD' ABELIA	ABELIA GRANDIFLORA 'SHERWOOD'	3 GAL.	10' MIN HT, 12" MIN. SPR, NURSERY GROWN CONT.
117	MUHLY GRASS	MUHLENBERGIA CAPILLARIS	3 GAL.	ROOTED, HEALTHY, NURSERY GROWN CONT.
1861	BIG BLUE LIRIOPE	LIRIOPE MUSCARI 'BIG BLUE'	9F, 4" POTS	ROOTED, HEALTHY, NURSERY GROWN CONT.
96,244	COMMON BERMUDA	CYNODON DACTYLON	5F	SQUARE FEET OF SOD

ALL QUANTITIES ARE ESTIMATED AND ARE TO BE VERIFIED BY THE CONTRACTOR.

CASE NAME: FAITH CHRISTIAN SCHOOL
 CASE NUMBER: 2013-03
 LOCATION: BIG EAST WORTH STREET,
 BLOCK 2, LOT 1R, FAITH CHRISTIAN SCHOOL ADDITION

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

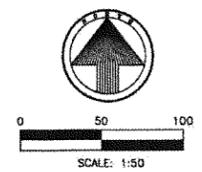
CHAIRMAN _____

DATE: _____

SHEET _____ OF _____

APPROVAL DOES NOT AUTHORIZE ANY
 WORK IN CONFLICT WITH ANY CODES OR
 ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES



Date Completed: 08/07/14
 Designed by: J. DITTA
 Checked by: DMF
 Phase: Preliminary

LANDPATTERNS, INC.
 Landscape Architecture
 Landscape Construction
 104 W. COMMERCE ST., SUITE 200 DALLAS, TX
 MAIL: P.O. Box 172850 Arlington, TX 76013-2850
 T: (214) 219-3993 F: (214) 219-7005
 EMAIL: mail@landpatterns.com

Sheet
LP-1
 LANDSCAPE PLAN

CASE NAME: FAITH CHRISTIAN SCHOOL
CASE NUMBER: CU14-34
LOCATION: 730 EAST WORTH STREET,
BLOCK 2, LOT 1R, FAITH CHRISTIAN SCHOOL ADDITION

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: _____

SHEET: ____ OF ____

APPROVAL DOES NOT AUTHORIZE ANY
WORK IN CONFLICT WITH ANY CODES OR
ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

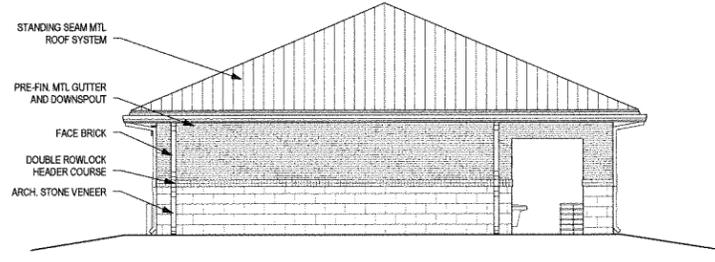
Revision / Date

Project: **CAMPUS MASTER PLAN
FOR
GRAPEVINE FAITH CHRISTIAN SCHOOL
GRAPEVINE, TEXAS**

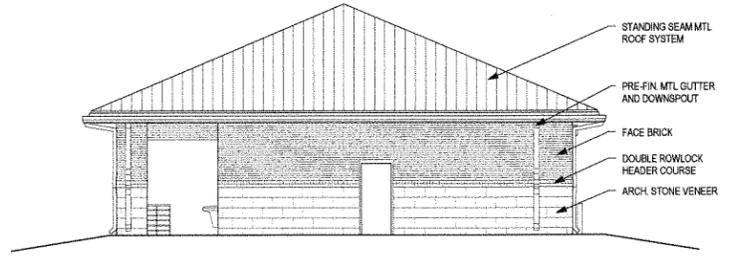
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Christopher M. Huckabee
TX 15,156

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4521 South Hulen, Suite 220
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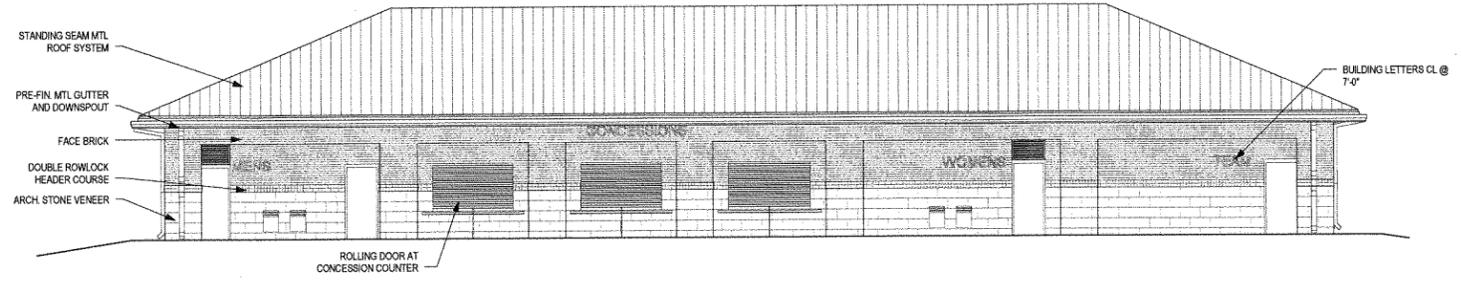
GRAPEVINE FAITH CHRISTIAN
SCHOOL - MASTER PLAN
STADIUM ELEVATIONS
Job. No. 1691-01
Sheet No. **A1.01**
Drawn By: BG
Date: JULY 7, 2014
Sheet of



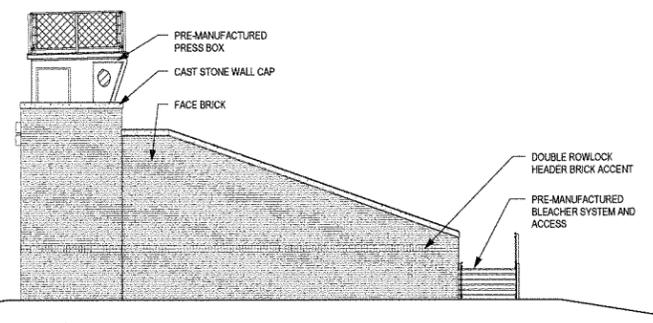
7 ELEVATION - CONCESSIONS SOUTH
A1.01 1/8" = 1'-0"



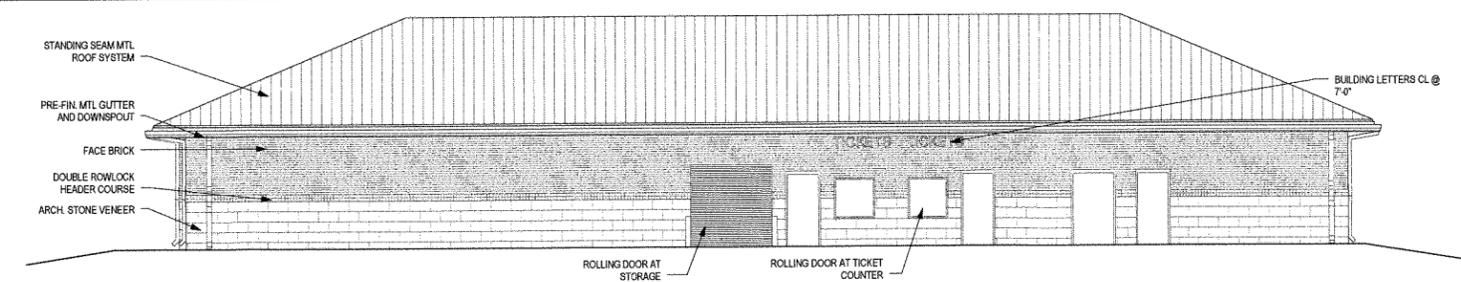
5 ELEVATION - CONCESSIONS NORTH
A1.01 1/8" = 1'-0"



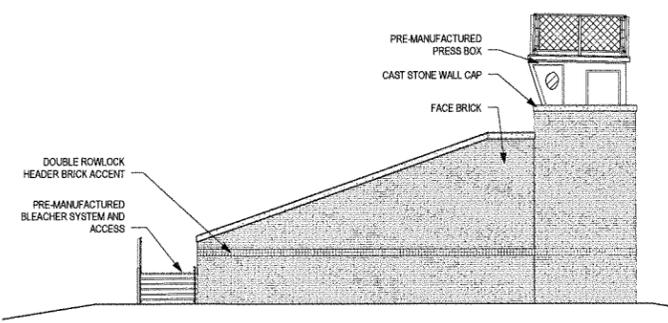
6 ELEVATION - CONCESSIONS EAST
A1.01 1/8" = 1'-0"



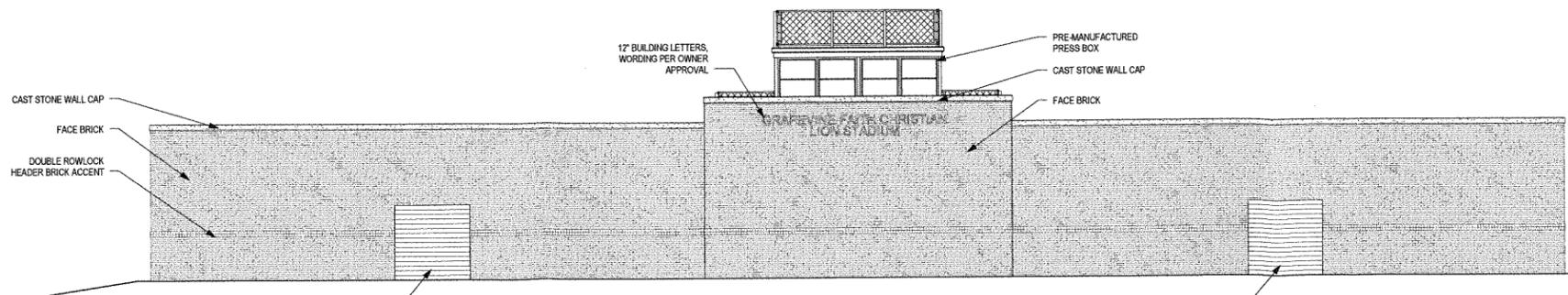
3 ELEVATION - HOME GRANDSTAND SOUTH
A1.01 1/8" = 1'-0"



4 ELEVATION - CONCESSIONS WEST
A1.01 1/8" = 1'-0"



2 ELEVATION - HOME GRANDSTAND NORTH
A1.01 1/8" = 1'-0"



1 ELEVATION - HOME GRANDSTAND WEST
A1.01 1/8" = 1'-0"

CASE NAME: FAITH CHRISTIAN SCHOOL
 CASE NUMBER: CU14-34
 LOCATION: 730 EAST WORTH STREET;
 BLOCK 2, LOT 1R, FAITH CHRISTIAN SCHOOL ADDITION

CC ITEM #4, 27
 PZ ITEM #5, 13

MAYOR SECRETARY

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN

DATE: _____

SHEET: ___ OF ___

APPROVAL DOES NOT AUTHORIZE ANY
 WORK IN CONFLICT WITH ANY CODES OR
 ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

Revision / Date

Project: **CAMPUS MASTER PLAN
 FOR
 GRAPEVINE FAITH CHRISTIAN SCHOOL
 GRAPEVINE, TEXAS**

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 OR CONSTRUCTION.

Christopher M. Huckabee
 TX 15.158

Huckabee

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 MANAGEMENT

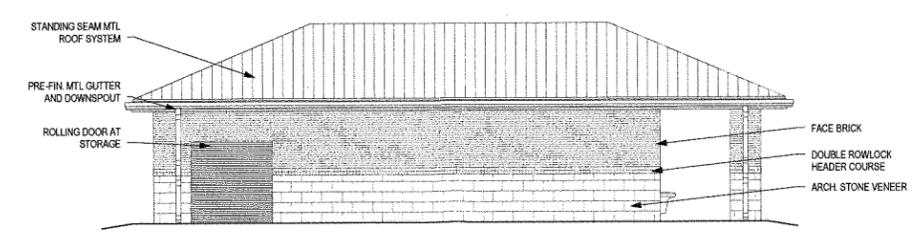
Dallas
 Fort Worth

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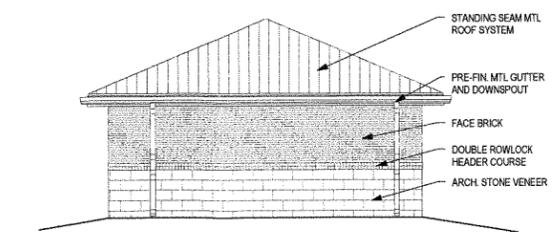
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GRAPEVINE FAITH CHRISTIAN
 SCHOOL - MASTER PLAN
 STADIUM ELEVATIONS

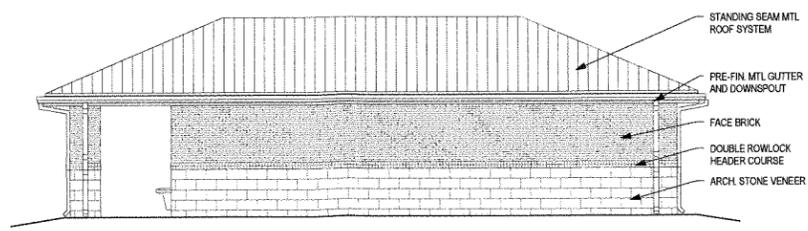
Job. No. 1691-01	Sheet No. A1.02
Drawn By: Author	
Date: JULY 7, 2014	
Sheet	of



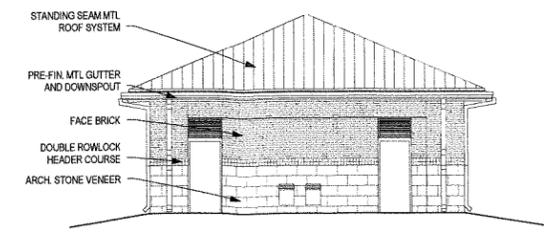
4 ELEVATION - VISITOR RESTROOM EAST
 A1.02 1/8" = 1'-0"



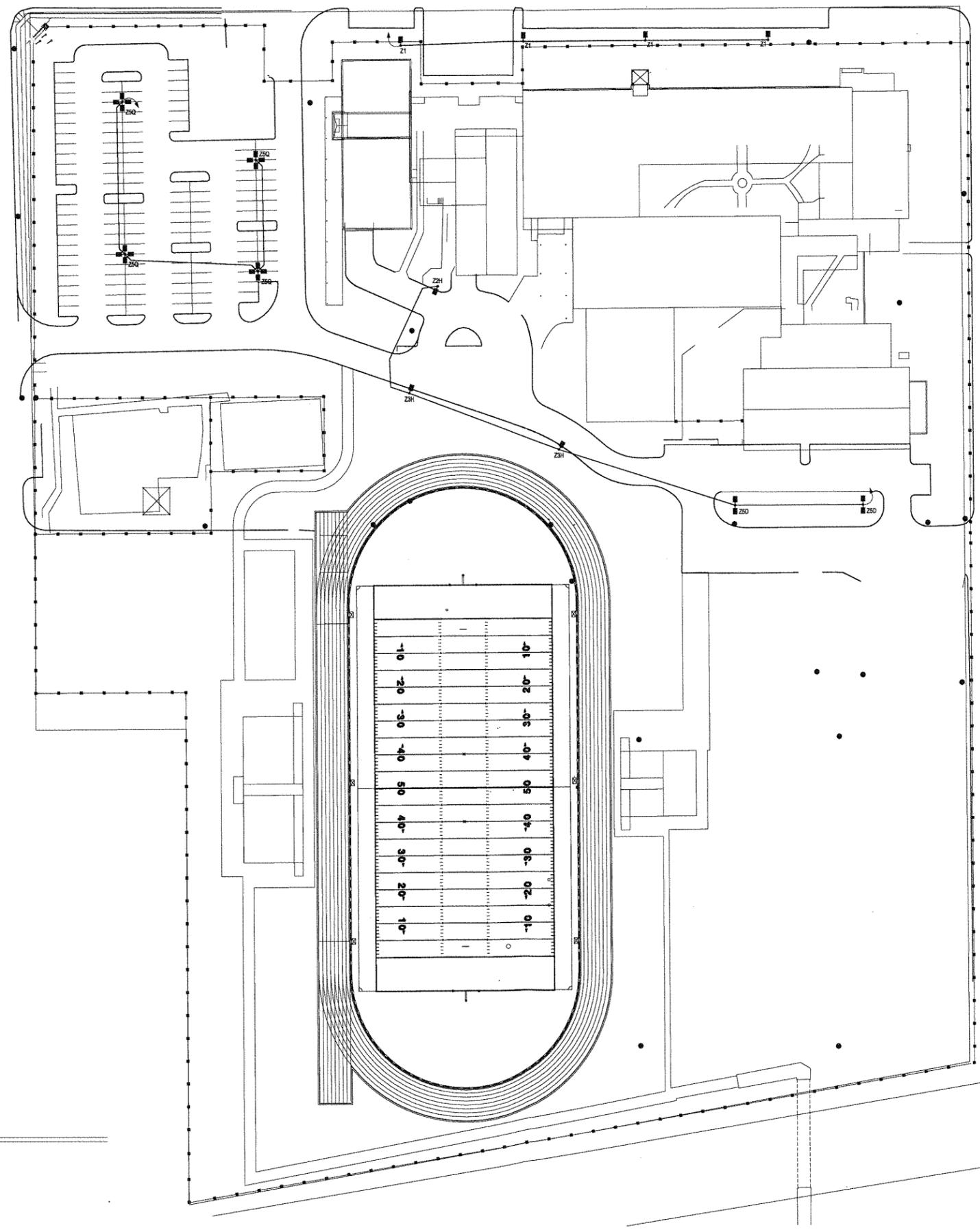
3 ELEVATION - VISITOR RESTROOM SOUTH
 A1.02 1/8" = 1'-0"



2 ELEVATION - VISITOR RESTROOM WEST
 A1.02 1/8" = 1'-0"



1 ELEVATION - VISITOR RESTROOM NORTH
 A1.02 1/8" = 1'-0"



- ELECTRICAL SITE GENERAL NOTES:**
- CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY LOCATION, CONDUCT TEST AND INSPECTIONS, COORDINATE WITH UTILITIES, OWNERS REPRESENTATIVES, AND CHECK FOR ALL UNDERGROUND UTILITIES AND LINES BEFORE DITCHING TAKES PLACE. CONTRACTOR AND SUBCONTRACTORS PERFORMING THESE DUTIES SHALL BE RESPONSIBLE FOR ANY REPAIRS OF CUT OR DAMAGED LINES AND UTILITIES NOT SHOWN ON PLANS.
 - PROVIDE SEPARATE CONTACTORS FOR INDEPENDENT CONTROL OF THE FOLLOWING:
WALL PACKS
SOFTY LIGHTS
FLAG POLE LIGHTS
WALKWAY LIGHTS
PARKING LOT LIGHTS DESIGNATED AS SECURITY LIGHTS
EACH INDIVIDUAL PARKING LOT
- ELECTRICAL SITE PLAN NOTES:**
- BORE UNDER OR SAW-CUT. PATCH TO MATCH EXISTING.

**ELECTRICAL
SITE PLAN - NORTH**
1
1" = 40'-0"

CASE NAME: FAITH CHRISTIAN SCHOOL
CASE NUMBER: 1414-14
LOCATION: 730 EAST WORTH STREET, BLOCK 2, LOT 1A FAITH CHRISTIAN SCHOOL ADDITION

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: _____

SHEET _____ OF _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

JASON W. REED
TEXAS P.E. 60812

TOMMY D. FENTER
TEXAS P.E. 65266

Estes, McClure & Associates, Inc.
Engineering and Consulting
3606 West Way
Tyler, Texas 75703
T & P E Firm Registration No. 883
www.estesmcclure.com phone: 903-581-2677 fax: 903-581-2721

SUBMISSION OF BID WILL BE CONSIDERED ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

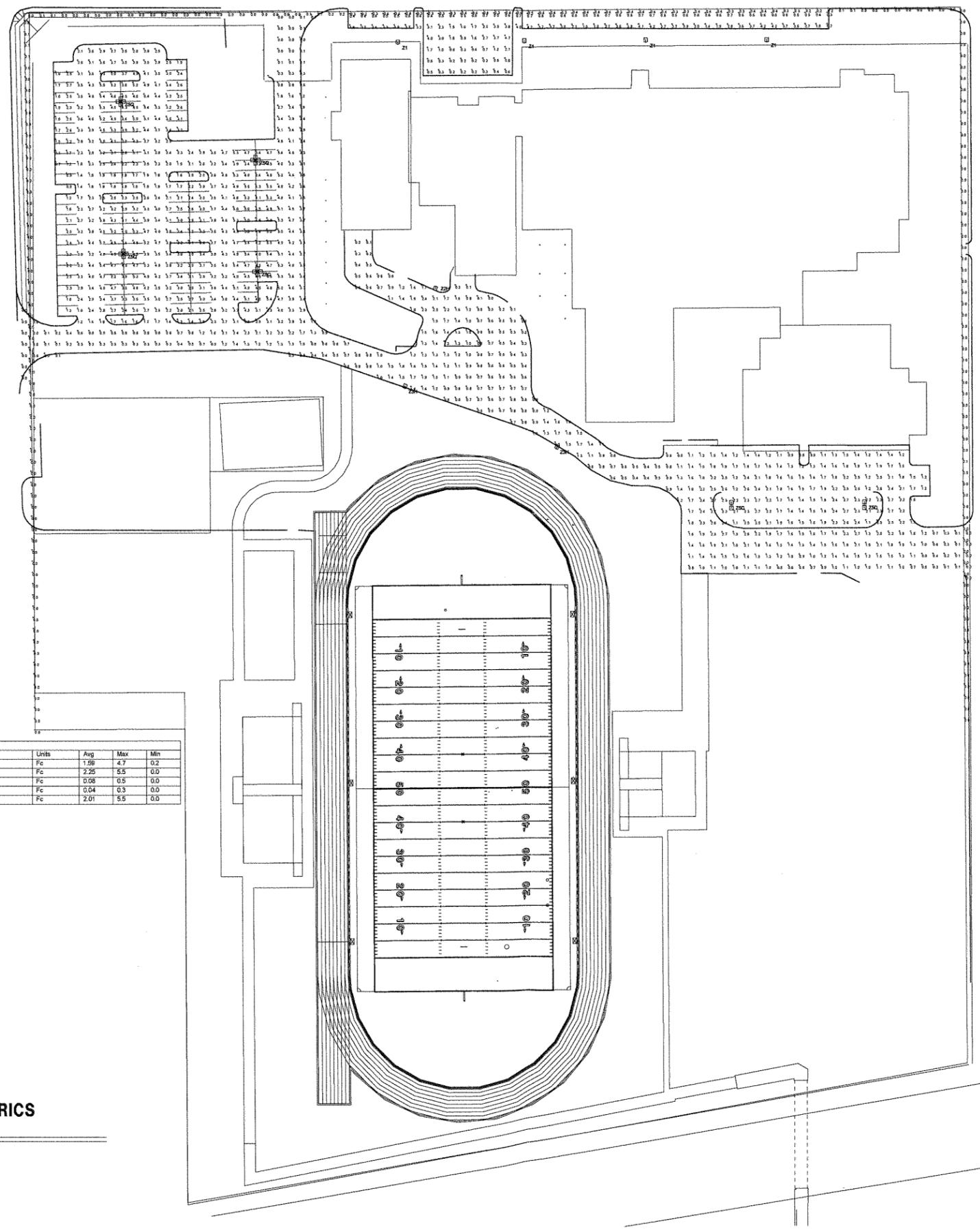
Revision / Date

Project:
**SITE RENOVATION
FOR
GRAPEVINE FAITH CHRISTIAN SCHOOL
GRAPEVINE, TX**

REVIEW ONLY
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Huckabee
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ELECTRICAL SITE PLAN - NORTH	
Job No. 81113	Sheet No. ES101
Drawn By: CLH	
Date: AUG 14, 2014	
Sheet	of



Label	CalcType	Units	Avg	Max	Min
NORTHEAST PARKING LOT	Illuminance	Fc	1.58	2.7	0.2
NORTHWEST & EAST PARKING LOTS	Illuminance	Fc	2.25	5.5	0.0
PROPERTY LINE - NORTH	Illuminance	Fc	0.08	0.5	0.0
PROPERTY LINE - SOUTH	Illuminance	Fc	0.04	0.3	0.0
SOUTH PARKING LOT	Illuminance	Fc	2.01	5.5	0.0

1 LIGHTING PHOTOMETRICS
SITE PLAN - NORTH
1" = 40'-0"

Revision / Date

Project:
SITE RENOVATION
FOR
GRAPEVINE FAITH CHRISTIAN SCHOOL
GRAPEVINE, TX

CASE NAME: FAITH CHRISTIAN SCHOOL
CASE NUMBER: CU14-34
LOCATION: 20 EAST WORTH STREET,
BLOCK 2, LOT 1R, FAITH CHRISTIAN SCHOOL ADDITION

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: _____

SHEET _____ OF _____

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JASON W. REED
TEXAS P.E. 106120

TOMMY D. FENTER
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www.estesmcclure.com phone 937-531-2277 fax 937-531-2221

EMA

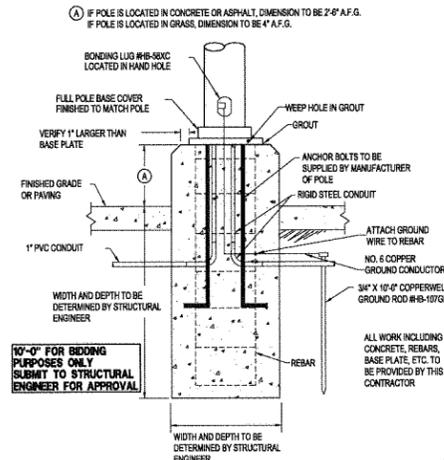
Submittal of bid will be considered acknowledgment that the contractor has visited the site and has verified all existing job conditions and included any necessary modification to existing and new work required for installation of a complete and working system.

LIGHTING PHOTOMETRICS
SITE PLAN - NORTH

Job No. 81113
Sheet No. ES102

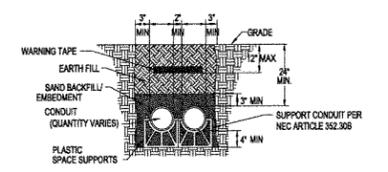
Drawn By: CLH
Date: Aug 14, 2014

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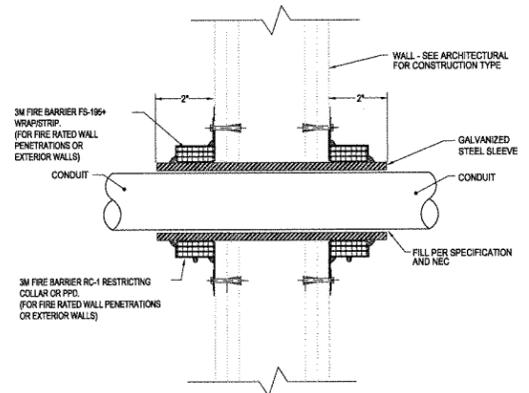


1 POLE BASE DETAIL - 12'-30' N.T.S.

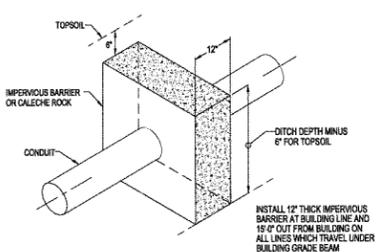
SUBMIT POLE BASE DRAWINGS TO STRUCTURAL ENGINEER FOR APPROVAL.



2 UNDERGROUND CONDUIT N.T.S.



3 WALL PENETRATION N.T.S.



4 IMPERVIOUS BARRIER N.T.S.

ELECTRICAL POWER SYMBOLS

⊕	DUPLEX RECEPTACLE - 15' A.F.F. OR AS NOTED
⊕	MULTI-POLE RECEPTACLE - 15' A.F.F. OR AS NOTED
⊕	MULTI-POLE RECEPTACLE - 200V 15A ISOLATED GROUND HUBBELL THIST-LOCK #8020 RECEPTACLE OR EQUAL - 15' A.F.F. OR AS NOTED
⊕	EXISTING RECEPTACLE
⊕	DUPLEX RECEPTACLE WITH ISOLATED GROUND RECEPTACLE - 15' A.F.F. OR AS NOTED
⊕	QUAD RECEPTACLE - 15' A.F.F. OR AS NOTED
⊕	QUAD RECEPTACLE WITH ISOLATED GROUND - 15' A.F.F. OR AS NOTED
⊕	150 AMP RECEPTACLE - 2' ABOVE MILLWORK SCRAP PLATE OR 4' F.F. VERIFY MILLWORK LOCATION WITH ARCHITECT
⊕	DUPLEX FLOOR RECEPTACLE WITH BRASS COVER PLATE - 3/4" C. TO ACCESSIBLE ATTIC SPACE OR AS NOTED
⊕	WIRMAID POLE-THRU EVOLUTION (AT) OR EQUIVALENT W/ COMM AS NOTED & 3 DUPLEX 60A GROUND OUTLETS. REFER TO SPECS FOR CONDUIT SIZE AND QUANTITY.
⊕	WIRMAID POLE-THRU EVOLUTION (AT) OR EQUIVALENT W/ COMM AS NOTED & 3 DUPLEX 60A GROUND OUTLETS. REFER TO SPECS FOR CONDUIT SIZE AND QUANTITY.
⊕	PROVIDE RFB8 OR EQUIVALENT W/COMM. AS NOTED & 1 ISO. GROUND OUTLETS. REFER TO SPECS FOR CONDUIT SIZE AND QUANTITY.
⊕	PROVIDE RFB4 OR EQUIVALENT W/COMM. AS NOTED & 2 ISO. GROUND OUTLETS. REFER TO SPECS FOR CONDUIT SIZE AND QUANTITY.
⊕	PROVIDE RFB6 OR EQUIVALENT W/COMM. AS NOTED & 3 ISO. GROUND OUTLETS. REFER TO SPECS FOR CONDUIT SIZE AND QUANTITY.
⊕	PROVIDE RFB8 OR EQUIVALENT W/COMM. AS NOTED & 6 ISO. GROUND OUTLETS. REFER TO SPECS FOR CONDUIT SIZE AND QUANTITY.
⊕	PROVIDE RFB11 OR EQUIVALENT W/COMM. AS NOTED & 7 ISO. GROUND OUTLETS. REFER TO SPECS FOR CONDUIT SIZE AND QUANTITY.
⊕	1 GANG BACK BOX WITH DIVICERS FOR POWER AND COMMUNICATIONS INCLUDE DEVICES AND COVERS W/ WEMOLD WSA SERIES
⊕	5-GANG BACK BOX WITH DIVICERS FOR POWER AND COMMUNICATIONS INCLUDE DEVICES AND COVERS W/ WEMOLD WSA SERIES
⊕	POWER/COMMUNICATION POLE - FURNISH REQUIRED LENGTH TO PENETRATE CEILING
⊕	SURFACE MOUNTED RACEWAY
⊕	MECHANICALLY HELD CONTACTOR - ABOVE CEILING
⊕	WATER SOLENOID ACTUATOR - ABOVE CEILING - VERIFY & COORDINATE WITH PLUMBING DRAWINGS
⊕	GAS SOLENOID ACTUATOR - ON ROOF - VERIFY & COORDINATE WITH PLUMBING DRAWINGS
⊕	PUSH BUTTON EMERGENCY SHUT-OFF - REFER TO SPECIFICATIONS FOR MORE INFORMATION
⊕	TERMOSTAT, CO2 SENSOR, HUMIDITY SENSOR - SEE SENSING MOUNTING DETAIL FOR MOUNTING HEIGHT AND ADDITIONAL REQUIREMENTS
⊕	JUNCTION BOX - 15' A.F.F. - 3/4" C. TO CORRIDOR ATTIC SPACE OR AS NOTED
⊕	PLUMBING SENSORS POWER - CONNECT TO MECHANICAL/PLUMBING TRANSFORMER(S)
⊕	AUDIOVISUAL POWER OUTLET - CEILING OR WALL MOUNTED, SEE COMMUNICATIONS DETAILS
⊕	CLOCK RECEPTACLE - 1'-0" BELOW CEILING OR 8'-0" A.F.F.
⊕	1/2 HP MOTOR - PROVIDED BY MECHANICAL OR AS NOTED WITH MOTOR SWITCH WITH OVERLOAD 90% CLASS 200 IN NEMA ENCLOSURE (TYPE K) OR AS NOTED
⊕	3/4 HP MOTOR - PROVIDED BY MECHANICAL OR AS NOTED WITH MOTOR SWITCH WITH OVERLOAD 90% CLASS 200 IN NEMA ENCLOSURE (TYPE K) OR AS NOTED
⊕	EXHAUST FAN - PROVIDED BY MECHANICAL OR AS NOTED WITH MOTOR SWITCH WITH OVERLOAD 90% CLASS 200 IN NEMA ENCLOSURE (TYPE K) OR AS NOTED
⊕	MOTOR WITH MOTOR SWITCH WITH OVERLOAD 90% CLASS 200 IN NEMA ENCLOSURE (TYPE K) OR AS NOTED. FINAL CONNECTION BY ELECTRICAL
⊕	SAFETY SWITCH - MOUNT 30" ABOVE FINISH GRADE MAX. OR AS DIRECTED
⊕	SURFACE MOUNT EQUIPMENT PANEL, RACK, CABINET, AMPLIFIER, ETC. AS NOTED.
⊕	FLUSH MOUNT EQUIPMENT PANEL, RACK, CABINET, AMPLIFIER, ETC. AS NOTED.
⊕	WATER HEATER - REFER TO PLUMBING FOR MORE INFORMATION
⊕	WEATHERHEAD
⊕	IN-GRADE FULL BOX/HAND HOLE - PROVIDE AS REQUIRED
⊕	FIRE SAFETY CONTROL DEVICE - FIRE ALARM TO SMOKE/FIRE BARRIER DOOR ELECTROMAGNETIC HOLDER/RELEASE INTERFACE
⊕	FIRE SAFETY CONTROL DEVICES - CONTROL RELAY AND DUCT MOUNTED SMOKE DETECTOR WITH CONTROL RELAY
⊕	FIRE SAFETY CONTROL DEVICE - MOTORIZED SMOKE/FIRE DAMPER - POWER CONNECTION BY DIVISION 16
⊕	BULBZER - EDWARDS #1562-651 80A F.F.
⊕	PUSH BUTTON - EDWARDS #895-W 44" A.F.F.
⊕	SIGNAL TRANSFORMER - EDWARDS #691 IN 4-BOX ABOVE CEILING
⊕	PANELBOARD OR SWITCHBOARD - REFER TO SCHEDULE
⊕	POWER TRANSFORMER - DESCRIBED IN SCHEDULE AND/OR SPECIFICATIONS
⊕	GROUND
⊕	HOME RUN WITH CIRCUIT DESIGNATION(S) - LETTER DENOTES PANEL
⊕	SWITCH CIRCUIT
⊕	BRANCH CIRCUIT
⊕	UNDERGROUND POWER CIRCUIT
⊕	DAYLIGHTING ZONE - REFER TO DAYLIGHTING ZONE CONTROL DIAGRAM ON DETAIL SHEETS.

NOTES: 1. SOME SYMBOLS MAY NOT BE USED.
2. ACCESSIBLE DEVICES HIGHEST OPERABLE PART TO BE 48" MAXIMUM/18" MINIMUM A.F.F. - REFER TO ARCHITECTURAL DRAWINGS.
3. DIMENSIONS GIVEN A.F.F. ARE TO BOTTOM OF BOX.

LIGHTING SYMBOLS

⊕	SWITCH - 20A SINGLE POLE 2 POLE 3-WAY 4-WAY - 44" A.F.F. UNLESS NOTED
⊕	SWITCH - 20A KEY OPERATED - 44" A.F.F. - PROVIDE 12 EXTRA KEYS FOR OWNER
⊕	DIMMER SWITCH - LEVITON ILLUMITECH IP SERIES SLIDE DIMMER W/ POWER EXTENDER AS REQUIRED - 44" A.F.F.
⊕	CUSTOM LEVITON SWITCH MADE FOR SIMPLY 5 DIMMING SYSTEM
⊕	PROGRAMMABLE LOW VOLTAGE SWITCHES (1-4 PER GANG)
⊕	PROGRAMMABLE LOW VOLTAGE DIMMER SWITCH
⊕	OCCUPANCY SENSOR - SEE SPECS FOR QUANTITY, LOCATION, TYPE, COMMISSIONING, ETC.
⊕	DAYLIGHT SENSOR
⊕	FLUORESCENT LUMINAIRE - RECESSED/SURFACE OR PENDANT MTD-SEE LUMINAIRE SCHEDULE & SPECS- LETTER INDICATES TYPE
⊕	EMERGENCY FLUORESCENT LUMINAIRE - SWITCHABLE, BATTERY OPERATED
⊕	EMERGENCY FLUORESCENT LUMINAIRE - NOT SWITCHED, BATTERY OPERATED - NIGHT LIGHT
⊕	EMERGENCY FLUORESCENT LUMINAIRE - GENERATOR OPERATED - EMERGENCY/NIGHT LIGHT
⊕	LUMINAIRE - RECESSED/SURFACE OR PENDANT MTD-SEE LUMINAIRE SCHEDULE & SPECS-LETTER INDICATES TYPE
⊕	EMERGENCY LUMINAIRE - BATTERY OPERATED/WALL MOUNTED/NOT SWITCHED, 7'-6" A.F.F.
⊕	ILLUMINATED EXIT SIGN - SWITCHABLE, BATTERY OPERATED
⊕	EXTERIOR LUMINAIRE
⊕	HOME RUN WITH CIRCUIT DESIGNATION(S) - LETTER DENOTES PANEL
⊕	SWITCH CIRCUIT
⊕	BRANCH CIRCUIT
⊕	UNDERGROUND POWER CIRCUIT
⊕	DAYLIGHTING ZONE - REFER TO DAYLIGHTING ZONE CONTROL DIAGRAM ON DETAIL SHEETS.

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3. DIMENSIONS GIVEN A.F.F. ARE TO BOTTOM OF BOX.

LUMINAIRE SCHEDULE FOR GRAPEVINE FAITH CHRISTIAN - SITE RENOVATION EMA JOB # 61/113

All fluorescent ballasts are to be PS with a minimum B.F. of .87. All HID ballasts are to be EL with a minimum B.F. of 1. Ballasts that exceed max V.A. or operate below minimum B.F. will not be accepted. ****

TYPE	DESCRIPTION	PART NUMBERS	LAMPS	QTY	BALLASTS	VOLTS	MAXVA
Z1	POLE MOUNTED HIGH PERFORMANCE LED AREA LIGHT WITH LAMPS. OPTIONS INCLUDE :138 BALLAST, COLOR: BY ARCHITECT	LITHONIA #DSX1-LED-40C-1000-40K-T18-MVOLT-SPA-SF-HS/SS-20-5G-DM19 POLE COLUMBIA EQUAL GARDCO EQUAL LIGHTOLIER EQUAL	9521 LUMEN 4100K - INCLUDED	9521	138W DRIVER -INCLUDED	480	138
Z2H	POLE MOUNTED HIGH PERFORMANCE LED AREA LIGHT WITH LAMPS. OPTIONS INCLUDE :138 BALLAST, COLOR: BY ARCHITECT	LITHONIA #DSX1-LED-40C-1000-40K-T24-MVOLT-SPA-SF-HS/SS-25-5G-DM19 POLE COLUMBIA EQUAL GARDCO EQUAL LIGHTOLIER EQUAL	9648 LUMEN 4100K - INCLUDED	9648	138W DRIVER -INCLUDED	480	138
Z3H	POLE MOUNTED HIGH PERFORMANCE LED AREA LIGHT WITH LAMPS. OPTIONS INCLUDE :138 BALLAST, COLOR: BY ARCHITECT	LITHONIA #DSX1-LED-40C-1000-40K-T34-MVOLT-SPA-SF-HS/SS-25-5G-DM19 POLE COLUMBIA EQUAL GARDCO EQUAL LIGHTOLIER EQUAL	9814 LUMEN 4100K - INCLUDED	9814	138W DRIVER -INCLUDED	480	138
Z4H	POLE MOUNTED HIGH PERFORMANCE LED AREA LIGHT WITH LAMPS. OPTIONS INCLUDE :138 BALLAST, COLOR: BY ARCHITECT	LITHONIA #DSX1-LED-40C-1000-40K-T44-MVOLT-SPA-SF-HS/SS-25-5G-DM19 POLE COLUMBIA EQUAL GARDCO EQUAL LIGHTOLIER EQUAL	9831 LUMEN 4100K - INCLUDED	9831	138W DRIVER -INCLUDED	480	138
Z5D	POLE MOUNTED HIGH PERFORMANCE LED AREA LIGHT WITH LAMPS. OPTIONS INCLUDE :276 BALLAST, COLOR: BY ARCHITECT	LITHONIA #DSX1-LED-40C-1000-40K-T54-MVOLT-SPA-SF-HS/SS-25-5G-DM28 POLE COLUMBIA EQUAL GARDCO EQUAL LIGHTOLIER EQUAL	10278 LUMEN 4100K - INCLUDED	10278	276W DRIVER -INCLUDED	480	276
Z5Q	POLE MOUNTED HIGH PERFORMANCE LED AREA LIGHT WITH LAMPS. OPTIONS INCLUDE :552 BALLAST, COLOR: BY ARCHITECT	LITHONIA #DSX1-LED-40C-1000-40K-T64-MVOLT-SPA-SF-HS/SS-25-5G-DM48 POLE COLUMBIA EQUAL THOMAS EQUAL LIGHTOLIER EQUAL	10278 LUMEN 4100K - INCLUDED	10278	652W DRIVER -INCLUDED	480	652
	NO SUBSTITUTES TO ANY LISTED FIXTURE WILL BE ACCEPTED!						
	END OF LIGHT FIXTURE SCHEDULE END OF LIGHT FIXTURE SCHEDULE END OF LIGHT FIXTURE SCHEDULE END OF LIGHT FIXTURE SCHEDULE						

Project: SITE RENOVATION FOR GRAPEVINE FAITH CHRISTIAN SCHOOL GRAPEVINE, TX

REVIEW ONLY
NOT FOR CONSTRUCTION

Huckabee
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ENGINEERING
MANAGEMENT

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Dallas
Fort Worth

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ELECTRICAL
DETAILS, SYMBOLS &
LUMINAIRE SCHEDULE

Job No. 61113
Sheet No. EP701
Drawn By: CLH
Date: AUG 14, 2014
Sheet of

JASON W. REED
TEXAS P.E. 00122

TOMMY D. FENTER
TEXAS P.E. 63286

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EMA

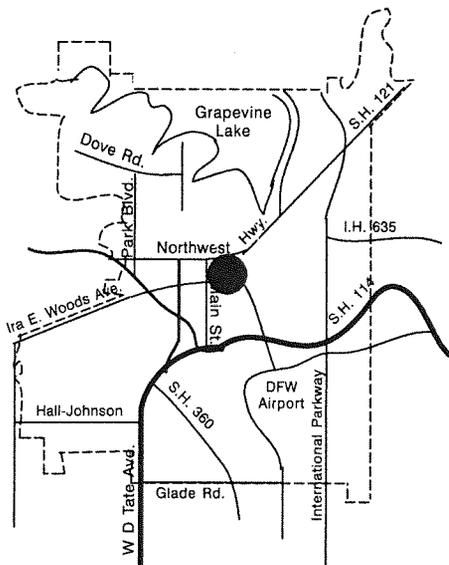
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TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS, AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR 

MEETING DATE: AUGUST 19, 2014

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF
CONDITIONAL USE APPLICATION CU14-35 FAITH CHRISTIAN
SCHOOL



APPLICANT: Dr. Ed Smith

PROPERTY LOCATION AND SIZE:

The subject property is addressed as 729 East Dallas Road and is platted as Lot 1, Block 1, Faith Christian School Addition. The property contains approximately 9.69 acres and has 530 feet of frontage along East Dallas Road and 658 feet of frontage along Dawn Lane.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to amend the previously approved site plan of CU09-16 (Ord. 2009-27) for a non-profit educational institution, specifically for the development of a new athletic training facility and additional parking.

With this request the applicant proposes to develop a multi-phase indoor practice facility with the first phase comprising approximately 15,781 square feet. Besides indoor practice for a variety of sports and band related activities, this structure will also contain showers, locker rooms, coaches offices, and weightlifting facilities for staff and students. The applicant also intends to construct an additional 186 parking spaces on the site to provide excess capacity for the daily needs of both campuses and to provide parking for after hours activities particularly relative to sports activities at the new football/track complex. Attendees will park at the Dallas Road campus and walk to the complex through the below-

grade access tunnel that is nearing completion.

PRESENT ZONING AND USE:

The property is currently zoned "LI" Light Industrial District and is developed with new school building.

HISTORY OF TRACT AND SURROUNDING AREA:

The property to the west was rezoned from "I-2" Heavy Industrial District to "LI" Light Industrial District in the city-wide rezoning of 1984. A conditional use permit (CU97-53) allowing outside storage in conjunction with a truck and van leasing facility was approved for the property to the west at the November 18, 1997 joint public hearing. The subject property was rezoned from "I-1" Light Industrial District to "LI" Light Industrial District in the city-wide rezoning of 1984 and is the former site of the Super Shuttle transportation service. The property to the South was rezoned from "I-2" Heavy Industrial District to "LI" Light Industrial District in the city-wide rezoning of 1984. At the November 21, 2000 meeting a revised conditional use permit (CU00-63) was approved on the property to the west allowing outside storage in conjunction with a truck leasing business. At the April 18, 2006 meeting conditional use permit (CU06-06) and planned development overlay (PD06-04) was approved on the subject property establishing the site for the Faith Christian School high school expansion in addition to ball field light standards which exceeded the maximum permitted height within the "LI" District. At the April 17, 2007 meeting conditional use permit (CU07-09) was approved on the on the subject property to modify the site layout and elevations of the proposed facility. This approval also outlined the applicant's intention to phase construction under one roof, with the athletic, performing arts facilities and classrooms contained in the first phase and subsequent phases for additional classrooms and a football stadium. At the December 12, 2007 SPRC meeting, conditional use permit (CU07-38) was approved for the addition of two exterior staircases, a porte cochere, plus a condition of approval was added for 85 additional parking spaces to be located due north of the existing building in order to receive a Certificate of Occupancy for the 800 seat auditorium. At Council's July 21, 2009 meeting, the City Council approved a conditional use request (CU09-16) and a planned development overlay (PD09-04) to allow for the relocation of six temporary structures from the Worth Street campus to the subject site and to allow for elimination of the masonry requirement for the structures.

SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH: "GU" Governmental Use District – former Grapevine Middle School, now utilized by Faith Christian School
- SOUTH: "LI" Light Industrial District – Northfield Distribution Center
- EAST: "LI" Light Industrial District – burial vault business
- WEST: "LI" Light Industrial District – truck leasing business

AIRPORT IMPACT:

The subject tract is located within "Zone A" zone of minimal effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map. Few activities will be affected by aircraft sounds in Zone A, except for sound sensitive activities such as auditoriums, churches, schools, hospitals, and theaters. The applicant's proposal is an appropriate use in this noise zone only if appropriate noise attenuation measures are considered and applied during the construction process.

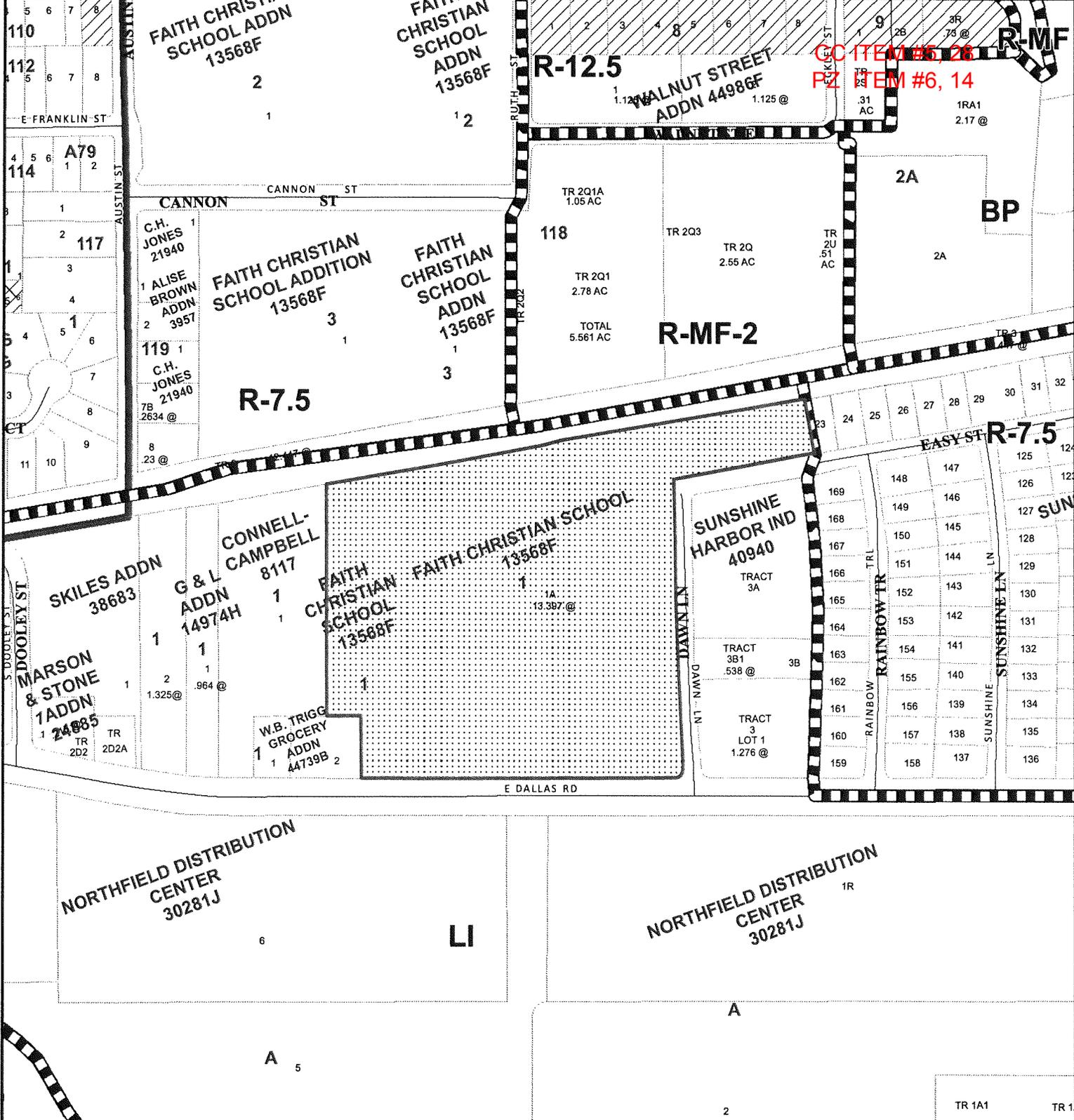
MASTER PLAN APPLICATION:

The Master Plan designates the subject property as an Industrial/Commercial land use. The applicant's proposal is in compliance with the Master Plan.

THOROUGHFARE PLAN APPLICATION:

The Thoroughfare Plan designates Dallas Road as a Type C, Minor Arterial with a minimum 80-foot right-of-way developed as four lanes with a center left turn lane.

/rs



GC ITEM #5, 26
 FZ ITEM #6, 14

R-MF

CU14-35 Faith Christian School 729 East Dallas Road

Date Prepared: 8/6/2014

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.



CU14-20

CC ITEM #5, 28
PZ ITEM #6, 14

CITY OF GRAPEVINE

CONDITIONAL USE APPLICATION

Form "A"

PART 1. APPLICANT INFORMATION

Applicant Name: Faith Christian School

Applicant Address: 729 E. Dallas Road

City/State/Zip: Grapevine, TX 76051

Phone No. 817-442-9144 Fax No. _____

Email Address justin.jordan@grapevinefaith.com Mobile Phone 972-814-3719

Applicant's interest in subject property Conditional Use Permit

PART 2. PROPERTY INFORMATION

Street Address of subject property 729 E. DALLAS ROAD

Legal Description: Lot 1A Block 1 Addition FAITH CHRISTIAN SCHOOL

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Size of subject property: acres 9.608 square footage _____

Present zoning classification LI Circle yes or no, if applies to this application: Outdoor speakers Yes No

Proposed use of property ATHLETIC FACILITIES ADDED TO EXISTING NON-PROFIT EDUCATIONAL INSTITUTION

Zoning ordinance provision requiring a conditional use SEC. 4B

PART 3. PROPERTY OWNER INFORMATION

Property Owner Faith Christian School

Prop Owner Address 729 E. Dallas Road

City/State/Zip Grapevine, TX 76051

Phone No. 817-442-9144 Fax No. _____

- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.

RECEIVED
JUL 7 2014
By _____

U14-2

CC ITEM #5, 28
PZ ITEM #8, 11

- Attach a final plat, or replat, of the approved subdivision by city council showing property boundary lines, dimensions, easements, roadways, rail lines, and public rights-of way crossing and adjacent to the tract (1 blueline copy)
- If a master development plan is required, attach a statement showing the proposed use substantially conforms to the master development plan.
- Submit a site plan showing all information required by Section 47.E., Site Plan review requirements (see attached requirements).
- Provide all required information demonstrating compliance with all conditions imposed on any conditional use, site plan zoning, or conditional use zoning.
- All site plans must conform to the approved concept plan. Any changes to a site plan, approved with a conditional use or a conditional use, can only be approved by city council through the public hearing process.

PART 4. SIGNATURE TO AUTHORIZE FILING OF A SITE PLAN

Justin Jordan
 Print Applicant's Name

Applicant's Signature

The State of Texas
 County of Tarrant

Before me (notary) Stacy Jeanes on this day personally appeared (applicant) Justin Jordan known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 7 day of July, A.D. 2014



Notary In and For State of Texas

Justin Jordan
 Print Property Owner's Name

Property Owner's Signature

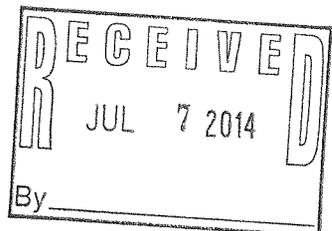
The State of Texas
 County of Tarrant

Before me (notary) Stacy Jeanes on this day personally appeared (applicant) Justin Jordan known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 7 day of July, A.D. 2014



Notary In and For State of Texas



ACKNOWLEDGEMENT

CC ITEM #5, 28
PZ ITEM #6, 14
CUH-35

All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

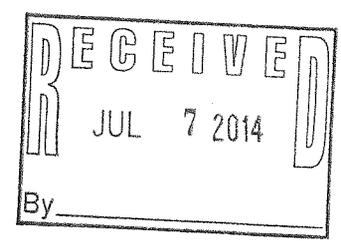
I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant 

Date 7-7-14

Signature of Property Owner 

Date 7-7-14



CU14-35

CC ITEM #5, 28
PZ ITEM #6, 14



July 7, 2014

Ron Stombaugh
Development Services
Assistant Director
200 South Main Street
Grapevine, TX 76051

Re: Faith Christian School
729 East Dallas Road

Mr. Stombaugh:

Attached for your review is an application and supporting site plan to modify the Conditional Use Permit CU09-16 for the Faith Christian School site located at 729 E. Dallas Road. The purpose of the application is to construct an expansion to the existing parking lot and the first phase of an indoor multi-purpose athletic training facility. The proposed parking lot, combined with the existing spaces, will be sufficient for events to be held at the new stadium north of the railroad tracks.

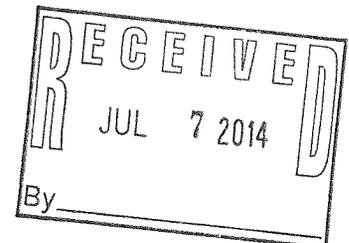
A revised Conditional Use Permit request is required under Section 48 of the Zoning Ordinance for "public and non-profit institutions of an educational, religious or cultural type".

Please review and provide us with any comments you may have, or you may contact me directly at any time to discuss this in more detail.

Sincerely,



Marc P. Paquette, PE
Project Manager



ORDINANCE NO. _____

CU14-35
FAITH CHRISTIAN

AN ORDINANCE ISSUING A CONDITIONAL USE PERMIT IN ACCORDANCE WITH SECTION 48 OF ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE, BY GRANTING CONDITIONAL USE PERMIT CU14-35 AMENDING THE SITE PLAN APPROVED BY ORDINANCE NO. 2009-27 FOR A NON-PROFIT EDUCATIONAL INSTITUTION SPECIFICALLY FOR THE DEVELOPMENT OF A NEW ATHLETIC TRAINING FACILITY AND ADDITIONAL PARKING, IN A DISTRICT ZONED "LI" LIGHT INDUSTRIAL DISTRICT ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED UPON EACH DAY DURING OR ON WHICH A VIOLATION OCCURS; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning & Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control

and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU14-35 amending the site plan approved by Ordinance No. 2009-27 for a non-profit educational institution specifically for the development of a new athletic training facility and additional parking in a district zoned "LI" Light Industrial District Regulations within the following described property: Lot 1, Block 1, Faith Christian School (729 East Dallas Road) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. That the City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. That this ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of

land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. That any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

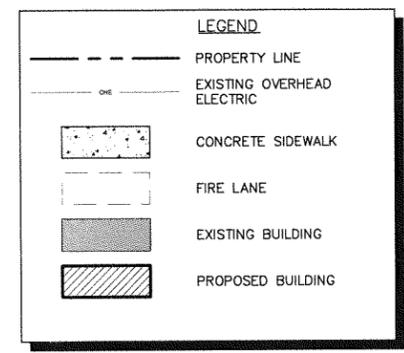
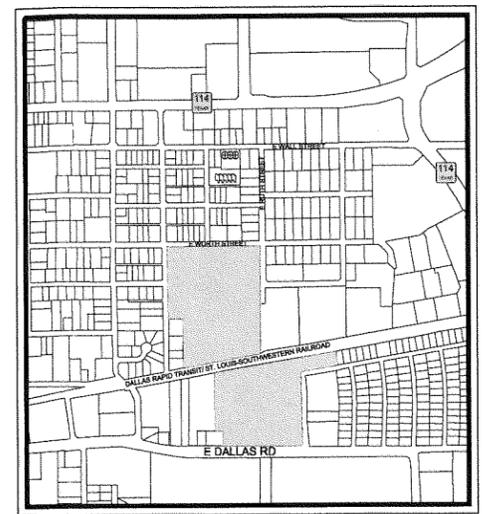
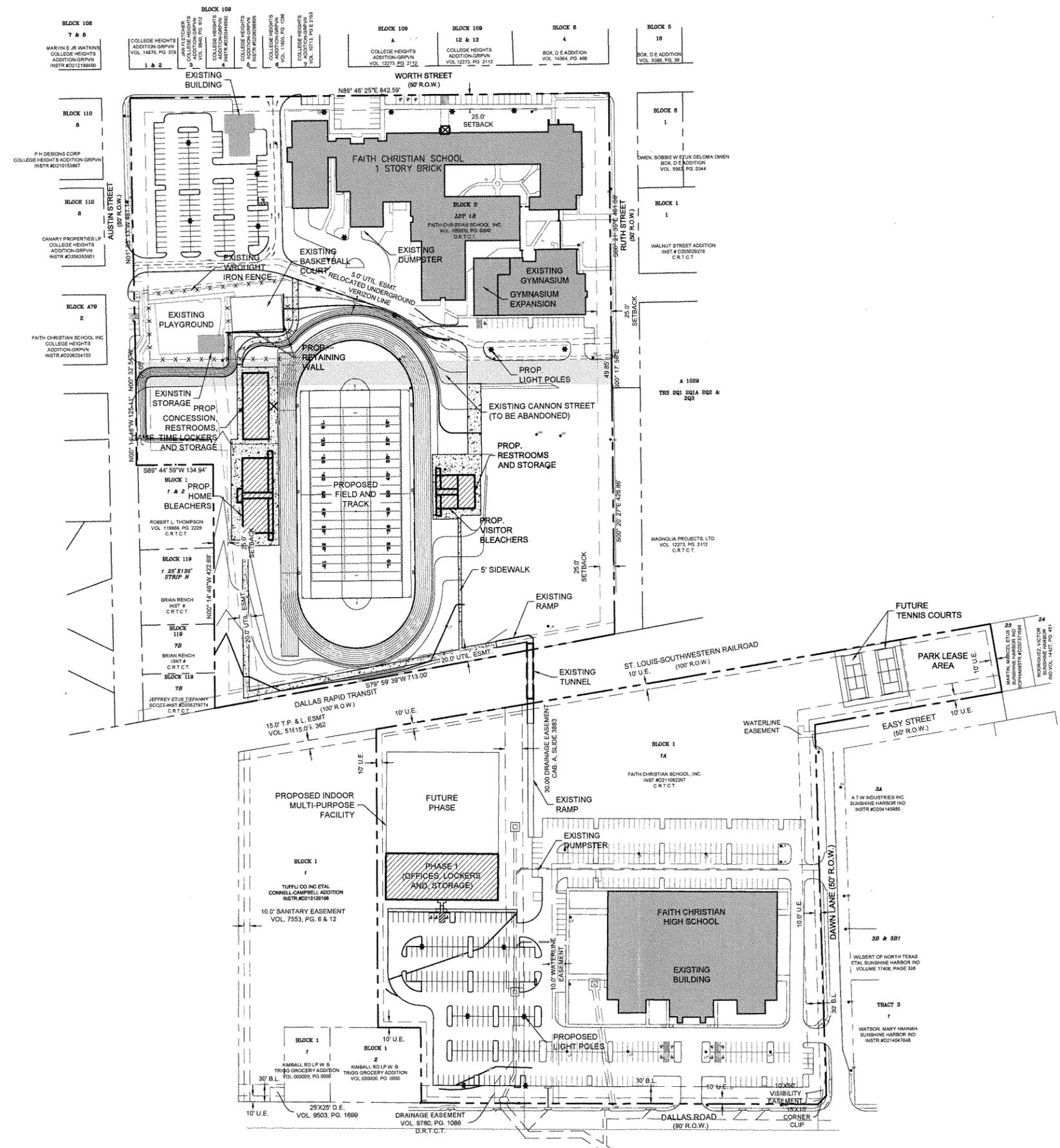
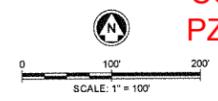
PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of August, 2014.

APPROVED:

ATTEST:

APPROVED AS TO FORM:

CC ITEM #5, 28
PZ ITEM #6,



CASE NAME: FAITH CHRISTIAN SCHOOL
CASE NUMBER: CU14-23
LOCATION: 725 EAST DALLAS ROAD, BLOCK 1, LOT 1, FAITH CHRISTIAN SCHOOL ADDITION

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: _____

SHEET: _____ OF _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

10875 JOHN W. ELLIOTT, JR. SUITE 400 FORT WORTH, TX 76102
PHONE: 469-213-1800
TX FIRM NO. 12207

PELTON
LAND SOLUTIONS

THIS DOCUMENT IS RELEASED FOR REVIEW PURPOSES UNDER THE AUTHORITY OF
Marc P. Paquette, P.E.
August 11, 2014, ON

IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

KEY MAP

CONDITIONAL USE PERMIT

FAITH CHRISTIAN SCHOOL
730 EAST WORTH STREET
GRAPEVINE, TEXAS 76051
PHONE: 817-251-5366

DESIGNED BY:
DRAWN BY:
EIT / PROJ. MNGR.
PLS PROJECT #:
CITY PROJECT #:

SHEET
1
OF 2

Drawing: J:\0801\0801-Faith Christian School - Site Plan.dwg
 User: JWE
 Date: 8/11/2014 10:22:42 AM
 Plot Date: 8/11/2014 10:22:42 AM

CC ITEM #5, 28
PZ ITEM #6,

SITE DATA SUMMARY

EXISTING ZONING	U
GROSS ACREAGE	13.397 ac.
NUMBER OF LOTS	1
AREA OF OPEN SPACE	7,178 ac.
AREA OF IMPERVIOUS COVERAGE	6,219 ac.
PERCENTAGE OF OPEN SPACE	53.58 %
PERCENTAGE OF IMPERVIOUS COVERAGE	46.42 %
EXISTING HIGH SCHOOL AREA	60,651 s.f.
PROPOSED INDOOR MULTI-PURPOSE FACILITY AREA	50,473 s.f.
PHASE I INDOOR MULTI-PURPOSE FACILITY AREA	15,781 s.f.
NUMBER OF STORIES (PROP.)	1
REQUIRED PARKING (1 SPACE/3 SEATS)	500
1500 SEATS/3 SEATS PER 1 SPACE	
PARKING SPACES PROVIDED (INCLUDING 11 HC)	508
REQUIRED HC SPACES	11
PROVIDED HC SPACES	11

CASE NAME: FAITH CHRISTIAN SCHOOL
CASE NUMBER: CU14-35
LOCATION: 730 EAST DALLAS ROAD, BLOCK 1, LOT 1, FAITH CHRISTIAN SCHOOL ADDITION

MAYOR _____ SECRETARY _____
DATE: _____

PLANNING AND ZONING COMMISSION
CHAIRMAN _____
DATE: _____

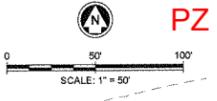
SHEET: _____ OF _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

NOTES

- CONDITIONAL USE REQUEST CU14-35 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN CU09-16 (ORD. 09-27) FOR A NON-PROFIT EDUCATIONAL INSTITUTION, SPECIFICALLY FOR THE DEVELOPMENT OF A NEW ATHLETIC TRAINING FACILITY AND ADDITIONAL PARKING.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL ON-SITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.
- ALL THE REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.



10875 JOHN W. ELLIOTT DR.
SUITE 400
FRISCO, TX 75033
PHONE: 469-213-1800
TX FIRM NO 12207

PELTON
LAND SOLUTIONS

THIS DOCUMENT IS RELEASED FOR REVIEW PURPOSES UNDER THE AUTHORITY OF Marc P. Paquette, P.E. August 11, 2014, ON

IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

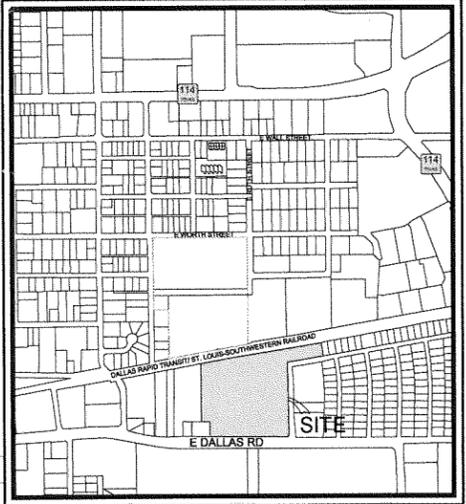
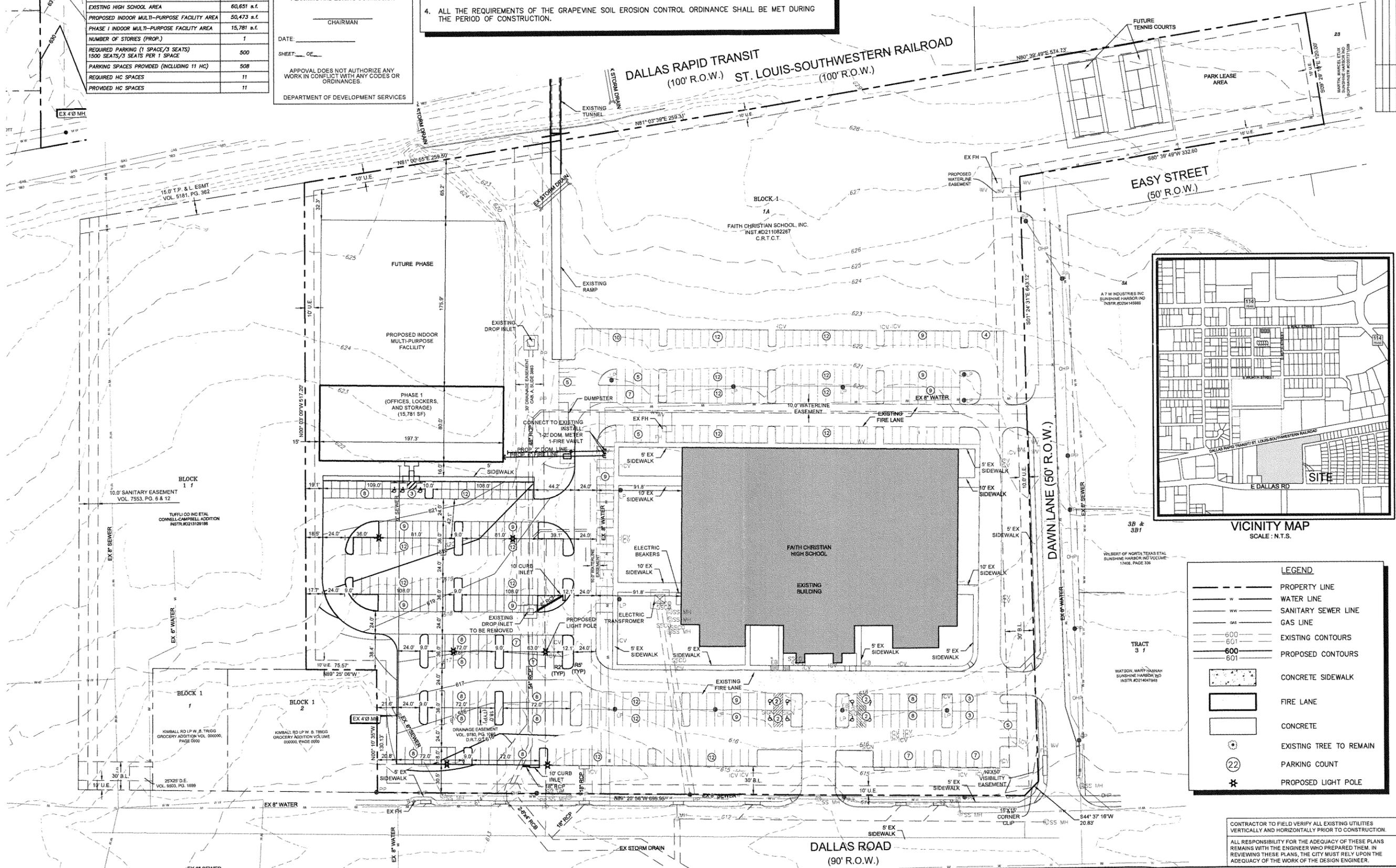
SITE PLAN

CONDITIONAL USE PERMIT

FAITH CHRISTIAN SCHOOL
730 EAST WORTH STREET
GRAPEVINE, TEXAS 76051
PHONE: 817-251-5365

DESIGNED BY:
DRAWN BY:
EIT / PROJ. MNGR:
PLS. PROJECT #:
CITY PROJECT #:

SHEET
2
OF 2



LEGEND

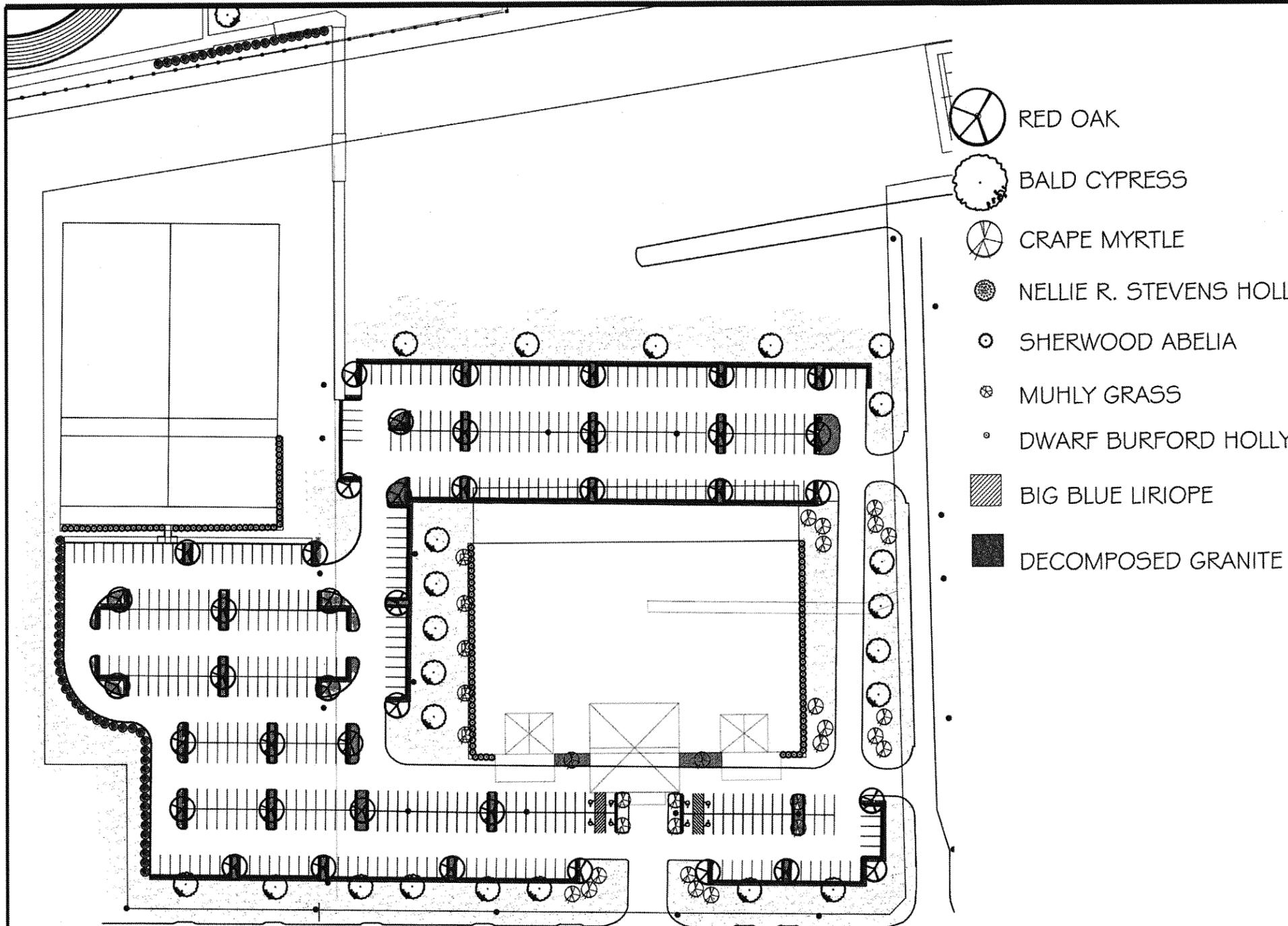
	PROPERTY LINE
	WATER LINE
	SANITARY SEWER LINE
	GAS LINE
	EXISTING CONTOURS
	PROPOSED CONTOURS
	CONCRETE SIDEWALK
	FIRE LANE
	CONCRETE
	EXISTING TREE TO REMAIN
	PARKING COUNT
	PROPOSED LIGHT POLE

CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES VERTICALLY AND HORIZONTALLY PRIOR TO CONSTRUCTION.

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

Designer: J. Adam...
 Date: 8/11/14
 Title: Designer
 License No.: 12207

J:\User\CS001-Faith Christian School\City of Grapevine\Addition\Design\Final\Sheet\CS001_SITE PLAN



GENERAL LANDSCAPE NOTES

- All landscape areas are to be received within .1' of proposed finish grade and free from all trash and debris.
- All trees are to be planted in pits twice the diameter of the tree ball and no deeper than the depth of the ball. Scarify all tree pit sides prior to planting. All trees are to be planted plumb and at or slightly above finish grade. All tree pits are to have a 3" watering saucer formed around the perimeter of the pit. All tree pits are to be top dressed with a 2" layer of shredded hardwood mulch. Stake and / or guy trees only at the direction of the landscape architect.
- Rotovate the existing soil of all planting beds to a minimum depth of 6". Add a 3" layer of premium compost as supplied by Living Earth Technology and till into the top 3" of the existing soil. Install all shrubs 1" above finish grade and fertilize with Agri-farm slow release fertilizer tablets at the manufacturer's recommended rates of application. Top dress all planting beds with a 2" layer of shredded hardwood mulch.
- All planting beds not formed by a concrete curb or sidewalk are to edged with Steel Edging (1/8"x4" painted green) or an approved equal. All edging stakes are to be placed to the inside of the bed and the top of the edging is to be no less than 1" and no more than 1.5" above proposed finish grade.
- All turf areas are to be hydromulch Bermudagrass, unless otherwise noted on the plan.
- Hydromulch with Bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. If installation occurs between September 1 and April 1, all hydromulch areas to be Winter Ryegrass at a rate of four (4) pounds per thousand square feet. Contractor shall be required to re-hydromulch with Bermudagrass the following growing season.
- All sodded areas are to receive common bermuda sod laid parallel to the contour of the land. All sod on slopes greater than 1:4 is to be pinned with 1"x12" wooden stakes. All sod is to be laid with tight joints and with all joints staggered. Roll all sod with a water ballast lawn roller upon installation and fertilize with a complete fertilizer (13-13-13) at the rate of 1.5# actual nitrogen per 1000 square feet. Water all sod thoroughly.
- All irrigation meter(s) are to be by utility contractors as per local codes. Irrigation sleeves to be installed by licensed irrigation contractor as per the plan.
- All irrigation controllers are to have mini-click freeze and rain stats installed as per manufacturer's recommendations.
- All irrigation sleeves to be by licensed irrigation contractor. All sleeves to be PVC schedule 40 with 90 degree elbows on both ends with extensions protruding 18" above proposed finish grade.
- All turf and planting beds to be zoned separately. All planting bed heads to be on 12" pop-up risers. All turf heads to be on 4" pop-up risers. All valves to be plastic valves. All equipment to be Rainbird or approved equal.
- All mainline and lateral line to have a minimum of 12" of cover and to be SDR (class 200) pipe.
- Quantities shown on plant list are landscape architect's estimate only and should be verified prior to bidding. Contractor shall be responsible for bidding and providing quantity of plants required at spacing designated for bed sizes and configurations shown on the plans regardless of quantities designated on plant list.

IRRIGATION NOTES:

- All landscaped areas shall be irrigated with an automatic irrigation system capable of providing the proper amount of water for the particular type of plant material used. Irrigation will be provided by an underground sprinkler system, or a subterranean drip system as approved by the City Arborist.
- Automatic underground irrigation system shall be equipped with freeze guard set at 38 degrees F.
- Areas of open space which contain preserved trees need not be irrigated if the City Arborist determines irrigation would be harmful to the preserved trees.

- RED OAK
- BALD CYPRESS
- CRAPE MYRTLE
- NELLIE R. STEVENS HOLLY
- SHERWOOD ABELIA
- MUHLY GRASS
- DWARF BURFORD HOLLY
- BIG BLUE LIRIOPE
- DECOMPOSED GRANITE

QUANTITY	COMMON NAME	SPECIFIC NAME	SIZE	NOTES
23	BALD CYPRESS	TAXODIUM DISTICHUM	4' CAL.	10' MIN HT, 5' MIN. SPR, 4' CT, NURSERY GROWN B4B OR CONT.
41	TEXAS RED OAK	QUERCUS BUCKLEYI	4' CAL.	10' MIN HT, 5' MIN. SPR, 4' CT, NURSERY GROWN B4B OR CONT.
42	NELLIE R. STEVENS' HOLLY	ILEX X 'NELLIE R. STEVENS'	5 GAL.	30" MIN HT, 15" MIN. SPR, NURSERY GROWN CONT.
31	'SARAH'S FAVORITE' CRAPE MYRTLE	LAGERSTROEMIA INDICA 'SARAH'S FAVORITE'	1.5 GAL.	6' MIN HT, 3' MIN. SPR, 3 OR 5 CANES, NURSERY GROWN
1078	DWARF BURFORD' HOLLY	ILEX CHINENSIS 'DWARF BURFORDII'	5 GAL.	30" MIN HT, 15" MIN. SPR, NURSERY GROWN CONT.
134	'SHERWOOD' ABELIA	ABELIA GRANDIFLORA 'SHERWOOD'	3 GAL.	10' MIN HT, 12" MIN. SPR, NURSERY GROWN CONT.
0	MUHLY GRASS	MUHLENBERGIA CAPILLARIS	3 GAL.	ROOTED, HEALTHY, NURSERY GROWN CONT.
5752	BIG BLUE LIRIOPE	LIRIOPE MUSCARI 'BIG BLUE'	SF 4" POTS	ROOTED, HEALTHY, NURSERY GROWN CONT.
73,273	COMMON BERMUDA	CYNODON DACTYLON	SF	SQUARE FEET OF SOD

ALL QUANTITIES ARE ESTIMATED AND ARE TO BE VERIFIED BY THE CONTRACTOR

CASE NAME: FAITH CHRISTIAN SCHOOL
 CASE NUMBER: CU14-38
 LOCATION: 729 EAST DALLAS ROAD,
 BLOCK 1, LOT 1, FAITH CHRISTIAN SCHOOL ADDITION

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

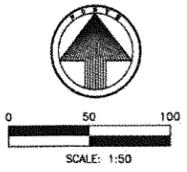
CHAIRMAN _____

DATE: _____

SHEET _____ OF _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES



Date: 08-07-14
 Job: PZGF014

Revisions	
Date	Description



GRAPEVINE, TX

A Landscape Development Plan For

PRACTICE FACILITY

Date Completed: 08/07/14
 Designed by: J. DITTA
 Checked by: DMF
 Phase: Preliminary

LANDPATTERNS, INC.
 Landscape Architecture
 Landscape Construction
 1804 W. COMMERCE ST. SUITE 200 DALLAS, TX
 MAIL: P.O. Box 02800 Arlington, TX 76003-2800
 T: (214) 299-3993 F: (214) 299-7006
 EMAIL: mail@landpatterns.com

Sheet
LP-1
 LANDSCAPE PLAN

CASE NAME: FAITH CHRISTIAN SCHOOL
CASE NUMBER: CU14-35
LOCATION: 729 EAST DALLAS ROAD,
BLOCK 1, LOT 1, FAITH CHRISTIAN SCHOOL ADDITION

CC ITEM #5, 28
PZ ITEM #6, 14

MAYOR SECRETARY

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN

DATE: _____

SHEET: ___ OF ___

APPROVAL DOES NOT AUTHORIZE ANY
WORK IN CONFLICT WITH ANY CODES OR
ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

Revision / Date

Project: **CAMPUS MASTER PLAN
FOR
GRAPEVINE FAITH CHRISTIAN SCHOOL
GRAPEVINE, TEXAS**

DRAFT COPY
ONLY

NOT FOR REGULATORY
APPROVAL, PERMITTING,
OR CONSTRUCTION.

Christopher M. Huckabee
TX 15.150

Huckabee

ARCHITECTURE
ENGINEERING
MANAGEMENT

Dallas
Fort Worth

4521 South Hulen, Suite 220
Fort Worth, Texas 76109
ph 817.377.2969
tx 817.377.2303

www.huckabee-inc.com

GRAPEVINE FAITH CHRISTIAN
SCHOOL - MASTER PLAN
PRACTICE FACILITY
ELEVATIONS

Job. No.
1891-01

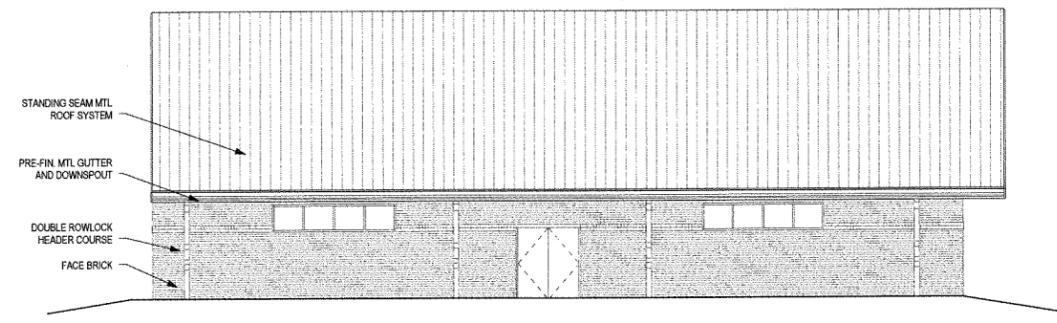
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Drawn By:
Author

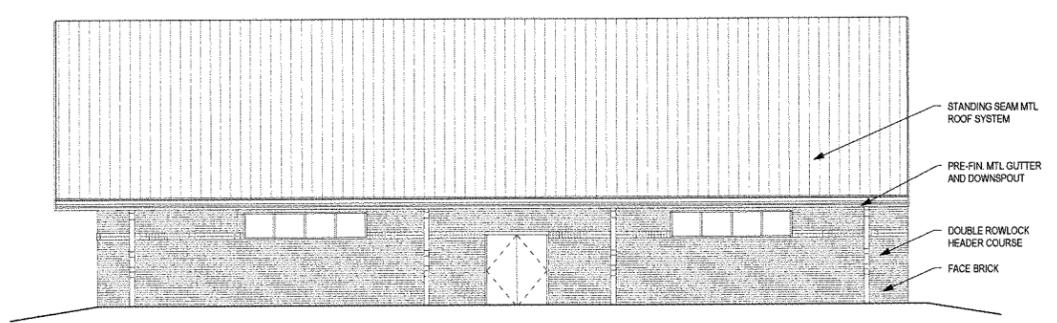
A1.1

Date:
JULY 7, 2014

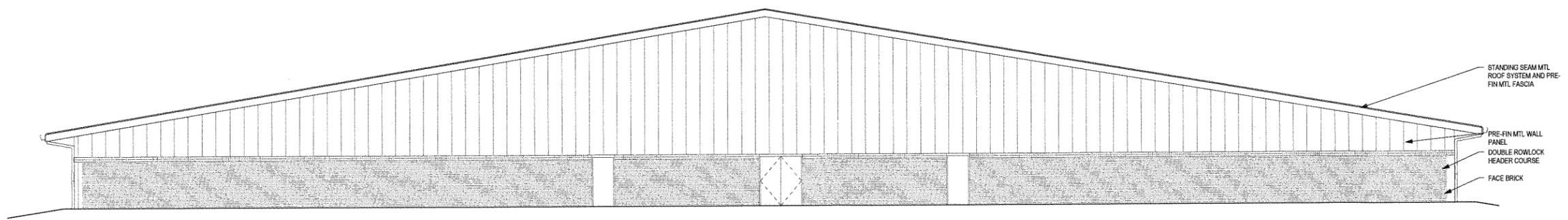
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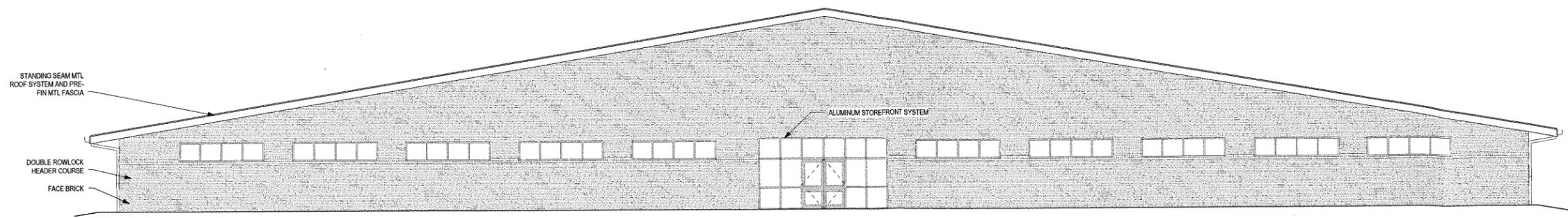
1 ELEVATION - MULTI-PURPOSE BUILDING WEST
A1.1 1/8" = 1'-0"



2 ELEVATION - MULTI-PURPOSE BUILDING EAST
A1.1 1/8" = 1'-0"

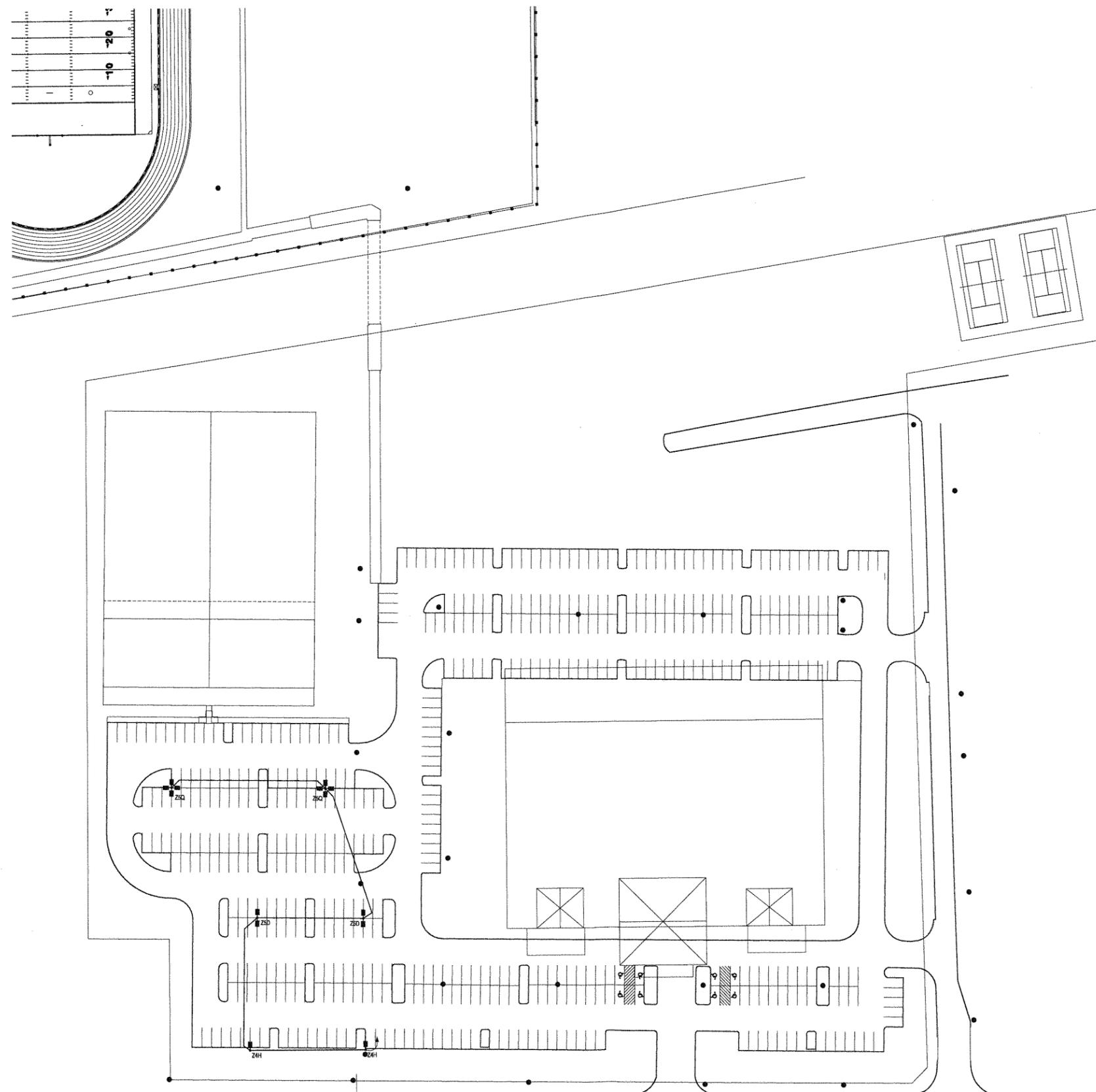


4 ELEVATION - MULTI-PURPOSE BUILDING NORTH
A1.1 1/8" = 1'-0"



3 ELEVATION - MULTI-PURPOSE BUILDING SOUTH
A1.1 1/8" = 1'-0"

CC ITEM #5 28
PZ ITEM #6 14



- ELECTRICAL SITE GENERAL NOTES:**
- CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY LOCATION, CONDUCT TEST AND INSPECTIONS, COORDINATE WITH UTILITIES, OWNER'S REPRESENTATIVES, AND CHECK FOR ALL UNDERGROUND UTILITIES AND LINES BEFORE DITCHING TAKES PLACE. CONTRACTOR AND SUBCONTRACTORS PERFORMING THESE DUTIES SHALL BE RESPONSIBLE FOR ANY REPAIRS OF CUT OR DAMAGED LINES AND UTILITIES NOT SHOWN ON PLANS.
 - PROVIDE SEPARATE CONTRACTORS FOR INDEPENDENT CONTROL OF THE FOLLOWING:
WALL PACKS
SOFFIT LIGHTS
FLAG POLE LIGHTS
WALKWAY LIGHTS
PARKING LOT LIGHTS DESIGNATED AS SECURITY LIGHTS
EACH INDIVIDUAL PARKING LOT
- ELECTRICAL SITE PLAN NOTES:**
- SCORE UNDER OR SAW-CUT. PATCH TO MATCH EXISTING.

ELECTRICAL SITE PLAN - SOUTH
1
1" = 40'-0"

CASE NAME: FAITH CHRISTIAN SCHOOL
CASE NUMBER: CU14-33
LOCATION: 729 EAST DALLAS ROAD
BLOCK 1, LOT 1, FAITH CHRISTIAN SCHOOL ADDITION

MAYOR _____ SECRETARY _____
DATE: _____

PLANNING AND ZONING COMMISSION
CHAIRMAN _____
DATE: _____
SHEET _____ OF _____

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

JASON W. REED TEXAS P.E. 105120
TOMMY D. FEMTER TEXAS P.E. 83268

Estes, McClure & Associates, Inc.
Engineering and Consulting
3608 West Way
Tyler, Texas 75703
T.P.E. Firm Registration No. 883
www.estesmcclure.com phone: 903-581-2877 fax: 903-581-2721

SUBMISSION OF BID WILL BE CONSIDERED AN ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

Revision / Date

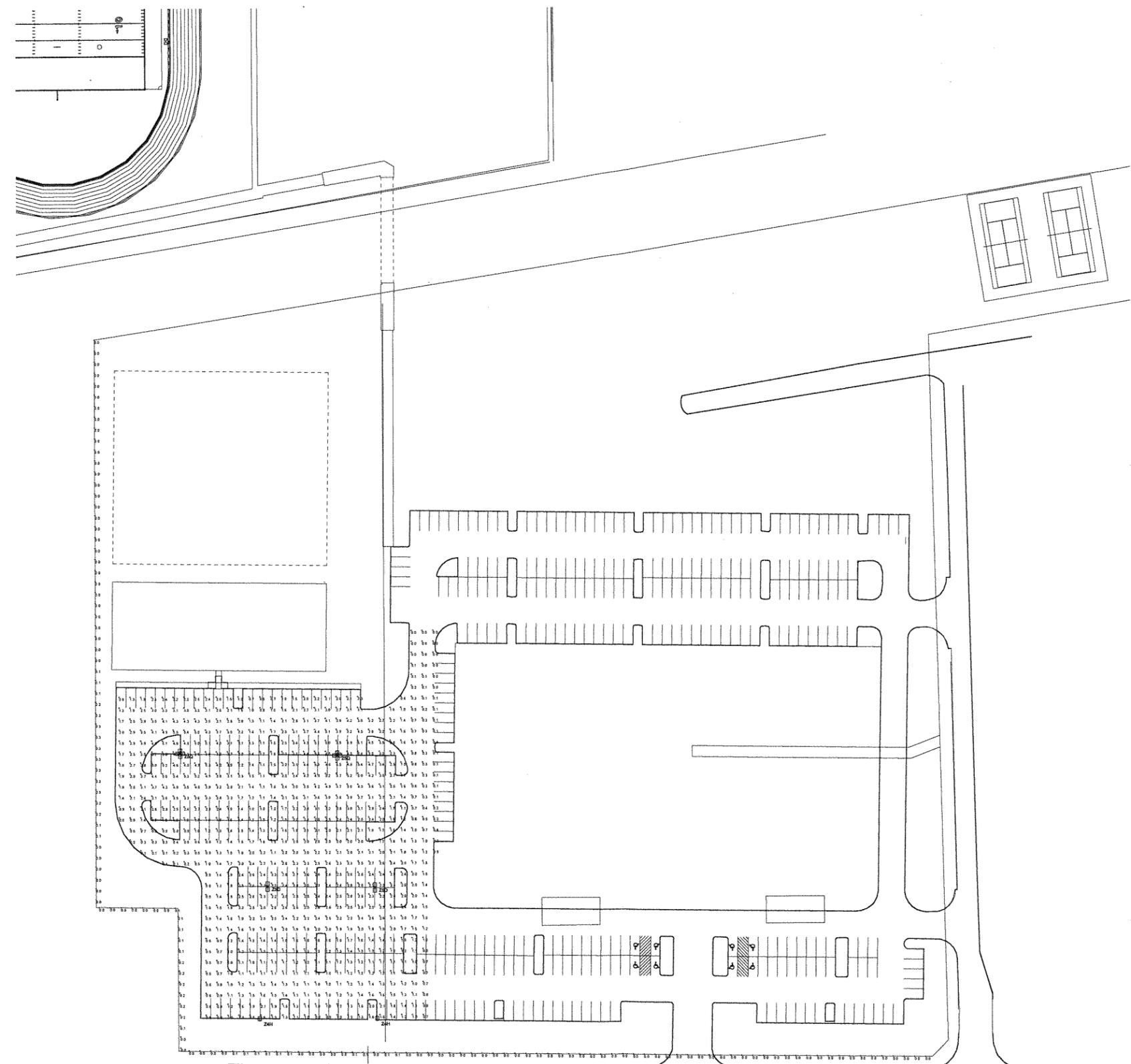
Project:
SITE RENOVATION FOR GRAPEVINE FAITH CHRISTIAN SCHOOL GRAPEVINE, TX

REVIEW ONLY
NOT FOR CONSTRUCTION

Huckabee
ARCHITECTURE
ENGINEERING
MANAGEMENT
Austin
Dallas
Fort Worth
4521 South Hulen, Suite 220
Fort Worth, Texas 76109
ph 817.377.2969
fx 817.377.2303
www.huckabee-inc.com

ELECTRICAL SITE PLAN - SOUTH
Job No. 81113 Sheet No. ES101
Drawn By: CLH
Date: AUG 14, 2014
Sheet of

CC ITEM #5 28
PZ ITEM #6 14



Label	CalcType	Units	Avg	Max	Min
NORTH-EAST PARKING LOT	Illuminance	Fc	1.58	4.7	0.2
NORTHWEST & EAST PARKING LOTS	Illuminance	Fc	2.25	6.5	0.0
PROPERTY LINE - NORTH	Illuminance	Fc	0.08	0.5	0.0
PROPERTY LINE - SOUTH	Illuminance	Fc	0.04	0.3	0.0
SOUTH PARKING LOT	Illuminance	Fc	2.01	5.5	0.0

CASE NAME: FAITH CHRISTIAN SCHOOL
CASE NUMBER: 2014-02
LOCATION: 729 EAST DALLAS ROAD,
BLOCK 1, LOT 1, FAITH CHRISTIAN SCHOOL ADDITION

MAYOR _____ SECRETARY _____

DATE: _____

PLANNING AND ZONING COMMISSION

CHAIRMAN _____

DATE: _____

SHEET ___ OF ___

APPROVAL DOES NOT AUTHORIZE ANY
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ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

JASON W. REED
TEXAS P.E. 108122

TOMMY D. FENTER
TEXAS P.E. 43298

Estes, McClure & Associates, Inc.
Engineering and Consulting
3803 West Way
Tyler, Texas 75703
T & F E Firm Registration No. 893
www.estesmcclure.com phone: 937-581-2677 fax: 937-581-2721

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CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB
CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND
NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING
SYSTEM.

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fx: 817.377.2303
www.huckabee-inc.com

LIGHTING PHOTOMETRICS
SITE PLAN - SOUTH

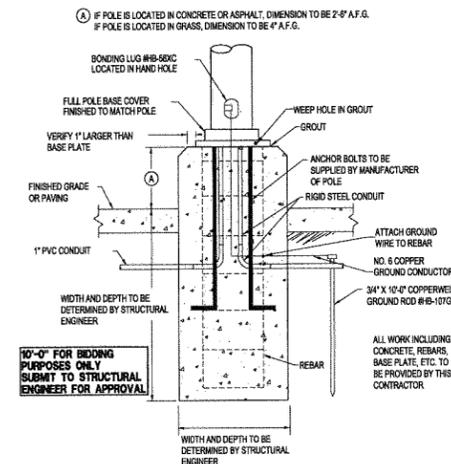
Job No. 6113
Drawn By: O.H.
Date: AUG 14, 2014

Sheet No. ES102

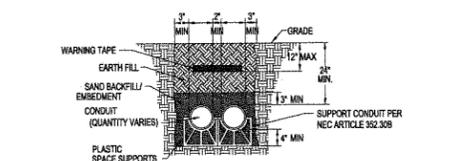
1 LIGHTING PHOTOMETRICS
SITE PLAN - SOUTH
1" = 40'-0"

Revision / Date

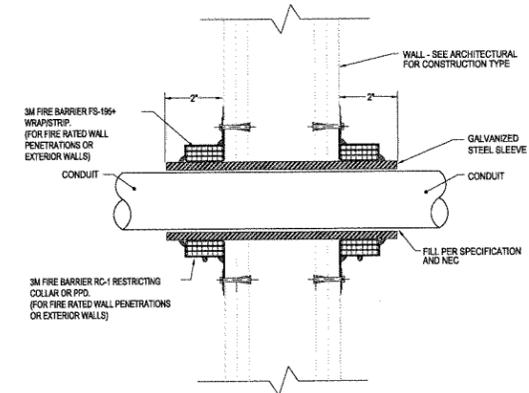
Project:
SITE RENOVATION
FOR
GRAPEVINE FAITH CHRISTIAN SCHOOL
GRAPEVINE, TX



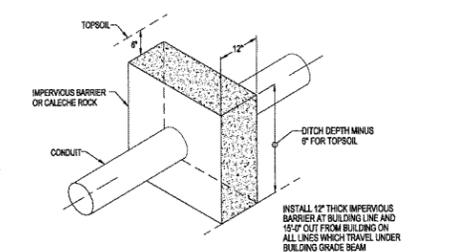
1. N.T.S. SUBMIT POLE BASE DRAWINGS TO STRUCTURAL ENGINEER FOR APPROVAL.



2. N.T.S.



3. N.T.S.



4. N.T.S.

ELECTRICAL POWER SYMBOLS

⊖	DUPLX RECEPTACLE - 18" A.F.F. OR AS NOTED
⊖	MULTI-POLE RECEPTACLE - 18" A.F.F. OR AS NOTED
⊖	MULTI-POLE RECEPTACLE - 18" A.F.F. OR AS NOTED
⊖	EXISTING RECEPTACLE
⊖	DUPLX RECEPTACLE WITH ISOLATED GROUND RECEPTACLE - 18" A.F.F. OR AS NOTED
⊖	QUAD RECEPTACLE - 18" A.F.F. OR AS NOTED
⊖	QUAD RECEPTACLE WITH ISOLATED GROUND - 18" A.F.F. OR AS NOTED
⊖	GRDPLX RECEPTACLE - FIVE WIRE MILKWORK BACKPLUSH F SHOWN ON MILKWORK OR 18" A.F.F. - VERIFY MILKWORK LOCATION WITH ARCHITECT
⊖	DUPLX FLOOR RECEPTACLE WITH BRASS COVER PLATE - 3/4". TO ACCESSIBLE ATTIC SPACE OR AS NOTED
⊖	WIREMOLD POWER/PHONE/TELEVISION (OR EQUIVALENT) W/ COMM. AS NOTED & DUPLX OUTLETS. REFER TO SPECS FOR CONDUIT SIZE AND QUANTITY.
⊖	WIREMOLD POWER/PHONE/TELEVISION (OR EQUIVALENT) W/ COMM. AS NOTED & DUPLX OUTLETS. REFER TO SPECS FOR CONDUIT SIZE AND QUANTITY.
⊖	PROVIDER OR EQUIVALENT W/COMM. AS NOTED & 1 ISOL. GRN. OUTLETS. REFER TO SPECS FOR CONDUIT SIZE AND QUANTITY.
⊖	PROVIDE RFBM OR EQUIVALENT W/COMM. AS NOTED & 2 ISOL. GRN. OUTLETS. REFER TO SPECS FOR CONDUIT SIZE AND QUANTITY.
⊖	PROVIDE RFBM OR EQUIVALENT W/COMM. AS NOTED & 3 ISOL. GRN. OUTLETS. REFER TO SPECS FOR CONDUIT SIZE AND QUANTITY.
⊖	PROVIDE RFBM OR EQUIVALENT W/COMM. AS NOTED & 4 ISOL. GRN. OUTLETS. REFER TO SPECS FOR CONDUIT SIZE AND QUANTITY.
⊖	4-GANG BACK BOX WITH DIVIDERS FOR POWER AND COMMUNICATIONS INCLUDE DEVICES AND COVERS WIREMOLD WSA SERIES
⊖	5-GANG BACK BOX WITH DIVIDERS FOR POWER AND COMMUNICATIONS INCLUDE DEVICES AND COVERS WIREMOLD WSA SERIES
⊖	PURCHASE COMMUNICATION POLE - FURNISH REQUIRED LENGTH TO PENETRATE CEILING
⊖	SURFACE MOUNTED RACKWAY
⊖	MECHANICALLY HELD CONTACTOR - ABOVE CEILING
⊖	WATER SOLENOID ACTUATOR - ABOVE CEILING - VERIFY & COORDINATE WITH PLUMBING DRAWINGS
⊖	GAS SOLENOID ACTUATOR - ON ROOF - VERIFY & COORDINATE WITH PLUMBING DRAWINGS
⊖	PUSH BUTTON EMERGENCY SHUT-OFF - CEILING OR WALL MOUNTED. SEE COMMUNICATIONS DETAILS
⊖	TEMPERATURE CO. SENSOR - HUMIDITY SENSOR - SEE SENSOR MOUNTING DETAIL FOR MOUNTING HEIGHT AND ADDITIONAL REQUIREMENTS
⊖	JUNCTION BOX - 18" A.F.F. - 3/4". TO CORRIDOR ATTIC SPACE OR AS NOTED
⊖	PLUMBING SENSORS POWER - CONNECT TO MECHANICAL/PLUMBING TRANSFORMER(S)
⊖	AUDIO/VISUAL POWER OUTLET - CEILING OR WALL MOUNTED. SEE COMMUNICATIONS DETAILS
⊖	CLOCK RECEPTACLE - 1' FT. BELOW CEILING OR 8'-6" A.F.F.
⊖	PUMP MOTOR - PROVIDED BY MECHANICAL OR AS NOTED WITH MOTOR SWITCH WITH OVERLOAD S.D. CLASS 210 IN NEMA ENCLOSURE (TYPE 0) OR AS NOTED
⊖	SUPPLY FAN - PROVIDED BY MECHANICAL OR AS NOTED WITH MOTOR SWITCH WITH OVERLOAD S.D. CLASS 210 IN NEMA ENCLOSURE (TYPE 0) OR AS NOTED
⊖	EXHAUST FAN - PROVIDED BY MECHANICAL OR AS NOTED WITH MOTOR SWITCH WITH OVERLOAD S.D. CLASS 210 IN NEMA ENCLOSURE (TYPE 0) OR AS NOTED
⊖	MOTOR WITH MOTOR SWITCH WITH OVERLOAD S.D. CLASS 210 IN NEMA ENCLOSURE (TYPE 0) OR AS NOTED - FUSE CONNECTION BY ELECTRICAL
⊖	SAFETY SWITCH - MOUNT 30" ABOVE FINISH GRADE MAX. OR AS DIRECTED
⊖	SURFACE MOUNT EQUIPMENT PANEL, RACK, CABINET, AMPLIFIER, ETC. AS NOTED
⊖	FLUSH MOUNT EQUIPMENT PANEL, RACK, CABINET, AMPLIFIER, ETC. AS NOTED
⊖	WATER HEATER - REFER TO PLUMBING FOR MORE INFORMATION
⊖	WEATHERHEAD
⊖	IN-GRADE PULL BOX/HAND HOLE - PROVIDE AS REQUIRED
⊖	FIRE SAFETY CONTROL DEVICE - FIRE ALARM TO SMOKE/FIRE BARRIER DOOR ELECTROMAGNETIC HOLD/RELEASE INTERFACE
⊖	FIRE SAFETY CONTROL DEVICES - CONTROL RELAY AND DUCT MOUNTED SMOKE DETECTOR WITH CONTROL RELAY
⊖	FIRE SAFETY CONTROL DEVICE - MOTORIZED SMOKE/FIRE DAMPER - POWER CONNECTION BY DIVISION 15
⊖	BELL - EDWARDS #1590-901 50" A.F.F.
⊖	PUSH BUTTON - EDWARDS #695-W 44" A.F.F.
⊖	PANEL BOARD OR SWITCHBOARD - REFER TO SCHEDULE
⊖	SIGNAL TRANSFORMER - EDWARDS #591 IN J-BOX ABOVE CEILING
⊖	POWER TRANSFORMER - DESCRIBED IN SCHEDULE AND/OR SPECIFICATIONS
⊖	GROUND
⊖	CL-1 HOME RUN WITH CIRCUIT DESIGNATION(S) - LETTER DENOTES PANEL
⊖	SWITCH CIRCUIT
⊖	BRANCH CIRCUIT
⊖	UNDERGROUND POWER CIRCUIT
⊖	DAYLIGHTING ZONE - REFER TO DAYLIGHTING ZONE CONTROL DIAGRAM ON DETAIL SHEETS.

NOTES: 1. SOME SYMBOLS MAY NOT BE USED.
2. ACCESSIBLE DEVICES HIGHEST OPERABLE PART TO BE 48" MAXIMUM/18" MINIMUM A.F.F. - REFER TO ARCHITECTURAL DRAWINGS.
3. DIMENSIONS GIVEN A.F.F. ARE TO BOTTOM OF BOX.

LIGHTING SYMBOLS

⊖	SWITCH - 20A SINGLE POLE 2 POLE 3-WAY 4-WAY - 44" A.F.F. UNLESS NOTED
⊖	SWITCH - 20A KEY OPERATED - 44" A.F.F. PROVIDE 12 EXTRA KEYS FOR OWNER
⊖	DIMMER SWITCH - LEVITON ILLUMATECH IP SERIES SLIDE DIMMER W/ POWER EXTENDER AS REQUIRED - 44" A.F.F.
⊖	CUSTOM LEVITON SWITCH MADE FOR SIMPLY 5 DIMMING SYSTEM
⊖	PROGRAMMABLE LOW VOLTAGE SWITCHES (1-4 PER GANG)
⊖	PROGRAMMABLE LOW VOLTAGE DIMMER SWITCH
⊖	OCCUPANCY SENSOR - SEE SPECS FOR QUANTITY, LOCATION, TYPE, COMMISSIONING, ETC.
⊖	DAYLIGHT SENSOR
⊖	FLUORESCENT LUMINAIRE - RECESSED SURFACE OR PENDANT MID-SEE LUMINAIRE SCHEDULE & SPECS- LETTER INDICATES TYPE
⊖	EMERGENCY FLUORESCENT LUMINAIRE - SWITCHABLE, BATTERY OPERATED
⊖	EMERGENCY FLUORESCENT LUMINAIRE - NOT SWITCHED, BATTERY OPERATED - NIGHT LIGHT
⊖	EMERGENCY FLUORESCENT LUMINAIRE - GENERATOR OPERATED - EMERGENCY NIGHT LIGHT
⊖	LUMINAIRE - RECESSED SURFACE OR PENDANT MID-SEE LUMINAIRE SCHEDULE & SPECS- LETTER INDICATES TYPE
⊖	EMERGENCY LUMINAIRE - BATTERY OPERATED WALL MOUNTED/NOT SWITCHED, 7'-6" A.F.F.
⊖	ILLUMINATED EXIT SIGN - SWITCHABLE, BATTERY OPERATED
⊖	EXTERIOR LUMINAIRE
⊖	CL-1 HOME RUN WITH CIRCUIT DESIGNATION(S) - LETTER DENOTES PANEL
⊖	SWITCH CIRCUIT
⊖	BRANCH CIRCUIT
⊖	UNDERGROUND POWER CIRCUIT
⊖	DAYLIGHTING ZONE - REFER TO DAYLIGHTING ZONE CONTROL DIAGRAM ON DETAIL SHEETS.

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3. DIMENSIONS GIVEN A.F.F. ARE TO BOTTOM OF BOX.

LUMINAIRE SCHEDULE FOR GRAPEVINE FAITH CHRISTIAN - SITE RENOVATION

EMA JOB # 61/113

All fluorescent ballasts are to be P5 with a minimum B.F. of .87. All HID ballasts are to be EL with a minimum B.F. of 1. Ballasts that exceed max V.A. or operate below minimum B.F. will not be accepted. ****

TYPE	DESCRIPTION	PART NUMBERS	LAMPS	QTY	BALLASTS	VOLTS	MAX VA
Z1	POLE MOUNTED HIGH PERFORMANCE LED AREA LIGHT WITH LAMPS. OPTIONS INCLUDE :138 BALLAST, COLOR: BY ARCHITECT	LITHONIA #DSX1-LED-40C-1000-40K-T1S-MVOLT-SPA-SF/HS/SS-20-5G-DM19 POLE COLUMBIA EQUAL GARDCO EQUAL LIGHTOLIER EQUAL	9521 LUMEN 4100K - INCLUDED	9521	138W DRIVER -INCLUDED	480	138
Z2H	POLE MOUNTED HIGH PERFORMANCE LED AREA LIGHT WITH LAMPS. OPTIONS INCLUDE :138 BALLAST, COLOR: BY ARCHITECT	LITHONIA #DSX1-LED-40C-1000-40K-T2M-MVOLT-SPA-SF/HS/SS-25-5G-DM19 POLE COLUMBIA EQUAL GARDCO EQUAL LIGHTOLIER EQUAL	9648 LUMEN 4100K - INCLUDED	9648	138W DRIVER -INCLUDED	480	138
Z3H	POLE MOUNTED HIGH PERFORMANCE LED AREA LIGHT WITH LAMPS. OPTIONS INCLUDE :138 BALLAST, COLOR: BY ARCHITECT	LITHONIA #DSX1-LED-40C-1000-40K-T3M-MVOLT-SPA-SF/HS/SS-25-5G-DM19 POLE COLUMBIA EQUAL GARDCO EQUAL LIGHTOLIER EQUAL	9814 LUMEN 4100K - INCLUDED	9814	138W DRIVER -INCLUDED	480	138
Z4H	POLE MOUNTED HIGH PERFORMANCE LED AREA LIGHT WITH LAMPS. OPTIONS INCLUDE :138 BALLAST, COLOR: BY ARCHITECT	LITHONIA #DSX1-LED-40C-1000-40K-T4M-MVOLT-SPA-SF/HS/SS-25-5G-DM19 POLE COLUMBIA EQUAL GARDCO EQUAL LIGHTOLIER EQUAL	9831 LUMEN 4100K - INCLUDED	9831	138W DRIVER -INCLUDED	480	138
Z5D	POLE MOUNTED HIGH PERFORMANCE LED AREA LIGHT WITH LAMPS. OPTIONS INCLUDE :276 BALLAST, COLOR: BY ARCHITECT	LITHONIA #DSX1-LED-40C-1000-40K-T5M-MVOLT-SPA-SF/HS/SS-25-5G-DM28 POLE COLUMBIA EQUAL GARDCO EQUAL LIGHTOLIER EQUAL	10278 LUMEN 4100K - INCLUDED	10278	276W DRIVER -INCLUDED	480	276
Z6Q	POLE MOUNTED HIGH PERFORMANCE LED AREA LIGHT WITH LAMPS. OPTIONS INCLUDE :552 BALLAST, COLOR: BY ARCHITECT	LITHONIA #DSX1-LED-40C-1000-40K-T6M-MVOLT-SPA-SF/HS/SS-25-5G-DM49 POLE COLUMBIA EQUAL THOMAS EQUAL LIGHTOLIER EQUAL	10278 LUMEN 4100K - INCLUDED	10278	552W DRIVER -INCLUDED	480	552
	NO SUBSTITUTES TO ANY LISTED FIXTURE WILL BE ACCEPTED!	END OF LIGHT FIXTURE SCHEDULE END OF LIGHT FIXTURE SCHEDULE END OF LIGHT FIXTURE SCHEDULE END OF LIGHT FIXTURE SCHEDULE					

JASON W. REED
TEXAS P.E. 126120

TOMMY D. FENTER
TEXAS P.E. 83268

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ELECTRICAL
DETAILS, SYMBOLS &
LUMINAIRE SCHEDULE

Job No. 81113
Sheet No. EP701

Drawn By CLH
Date: AUG 14, 2014

Project: SITE RENOVATION FOR GRAPEVINE FAITH CHRISTIAN SCHOOL GRAPEVINE, TX

Revision / Date

SUBMISSION OF BID WILL BE CONSIDERED AN ACKNOWLEDGMENT THAT THE CONTRACTOR HAS VISITED THE SITE AND HAS VERIFIED ALL EXISTING JOB CONDITIONS AND INCLUDED ANY NECESSARY MODIFICATION TO EXISTING AND NEW WORK REQUIRED FOR INSTALLATION OF A COMPLETE AND WORKING SYSTEM.

MEMO TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER ^{BR}
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: AUGUST 19, 2014

SUBJECT: ZONING ORDINANCE AMENDMENTS AM14-05—AMENDMENTS
TO SECTION 23A, "GV" GRAPEVINE VINTAGE DISTRICT

RECOMMENDATION:

Staff recommends the City Council and the Planning and Zoning Commission consider the proposed amendments to Section 23A, "GV" Grapevine Vintage District, and take any necessary action.

BACKGROUND:

During an April 8, 2014 Planning and Zoning Commission workshop, discussion was held relative to possible amendments to the "GV" Grapevine Vintage District and a number of suggested changes were made to the district, including:

- Revision of the "Purpose" statement to eliminate reference to the district being used as a buffer between residentially zoned property and properties of higher intensity zoning.
- Transfer of those uses listed in the "Permitted Uses" section of the ordinance to the "Accessory Uses" category.
- Removal of restaurant uses from the Conditional Use section of the ordinance and allowed only as an accessory use. Some additional wording was also written stating that food sales cannot exceed 50% of gross sales.

A subsequent Commission workshop was held on May 20, 2014 with discussion focusing primarily on the placement of "vineyards" within an appropriate category of uses (Conditional Uses) and whether a limit of 50% of gross sales for food was a necessary and acceptable limit to insure that wineries were not primarily restaurants masquerading as wineries. Discussion was held on June 17, 2014 focusing primarily on restaurant uses within the district. Direction was given to staff to eliminate the limit on food sales and instead allow restaurants as a conditional use but when proposed adjacent to existing residential uses, be allowed only as an accessory use. See the attached ordinance.

Staff recommends approval.

Sec. 23A. GV Grapevine Vintage District Regulations

PURPOSE: The GV District is established to provide locations to accommodate wineries, vineyards, wine tasting rooms, and the associated low intensity retail/commercial uses which promote, enhance, and compliment the Texas Wine Industry. ~~to be designed and arranged to buffer single family and other residential zoning districts from high intensity commercial zoning. The GV District is intended for wineries, vineyards, wine tasting facilities, and low intensity retail/commercial uses which promote, enhance and compliment the Texas Wine Industry. The GV District is primarily established as a transitional district that serves as a low intensity commercial land use to buffer low density residential land uses from commercial land uses. Such facilities should not be so large or so broad in scope of services as to attract intensive commercial developments.~~

USES GENERALLY: In a GV Grapevine Vintage District no land shall be used and no building shall be erected for or converted to any use other than as hereinafter provided.

A. PERMITTED USES: RESERVED

1. ~~Vineyards.~~
2. ~~Restaurants and restaurants with outside dining, excluding drive in and drive through facilities.~~
3. ~~Any specialty retail shop such as, but not limited to, books, florist, jewelry, gift, hobby; within a completely enclosed building whose aggregate gross floor area does not exceed 5,000 square feet.~~
4. ~~Bakery, tea rooms, confectionery, and delicatessen, ice cream, soda fountain shops, and cheese factory; within a completely enclosed building whose aggregate gross floor area does not exceed 5,000 square feet.~~
5. ~~Studios for the creations of crafts, and heritage arts which are handmade or handcrafted, that do not exceed 20% of the total floor area of a permitted use listed in Section 23A.A.3. of this Ordinance.~~
6. ~~Planned specialty shopping center defined as a combination of all the uses permitted in 23A.A.,. A single building shall not exceed 25,000 square feet as a permitted use. All individual users shall have the same floor area limitations as noted in Section 23A.A.~~
7. ~~Hospitality Centers which provide meeting facilities for, but not limited to civic clubs, lodges, fraternal organizations, receptions, and seminars.~~
8. ~~Dinner Theaters.~~

9. ~~Art galleries and museums.~~

B. **ACCESSORY USES:** The following uses shall be permitted as accessory uses **to those uses listed in Section C. Conditional Uses:**

1. Mechanical equipment located within 120-feet of any residentially zoned district must meet the standards established for noise regulation as stated in Section 55. Performance Standards.
2. Screened garbage storage on a concrete pad no nearer than fifty (50) feet to a residentially zoned district and not located between the front of the building and any street right-of-way.
3. Off-street parking to serve permitted uses, provided that any off-street parking or vehicular use area within sixty (60) feet of a residentially zoned district shall be separated from said lot in accordance with Section 50.C.1. Screening Alternate A.
4. Signs advertising uses on the premises in accordance with Section 60 of this Ordinance, with the exception of pole signs. Pole signs shall not be allowed within the Grapevine Vintage District.
5. Other structures or uses which are customarily accessory and clearly incidental and subordinate to the permitted use and/or structure.
6. **Any specialty retail shop such as, but not limited to, books, florist, jewelry, gift, hobby; within a completely enclosed building whose aggregate gross floor area does not exceed 5,000 square feet.**
7. **Bakery, tea rooms, confectionery, and delicatessen, ice cream, soda fountain shops, and cheese factory; within a completely enclosed building whose aggregate gross floor area does not exceed 5,000 square feet.**
8. **Studios for the creations of crafts, and heritage arts which are handmade or handcrafted, that do not exceed 20% of the total floor area of a permitted use listed in Section 23A.A.3. of this Ordinance. Section B. Accessory Uses, paragraph 8 above.**
9. **Planned specialty shopping center defined as a combination of all the uses permitted in 23A.A., Section B. Accessory Uses, paragraphs 6-10, 12-14. A single building shall not exceed 25,000 square feet as a permitted use. All individual users shall have the same floor area limitations as noted in Section 23A.A. B. Accessory Uses.**

10. Hospitality Centers which provide meeting facilities for, but not limited to civic clubs, lodges, fraternal organizations, receptions, and seminars.

11. Dinner Theaters.

12. Art galleries and museums.

C. **CONDITIONAL USES:** The following uses may be permitted, provided they meet the provisions of, and a Conditional Use Permit is issued pursuant to, Section 48 of the Ordinance.

1. Winery with alcoholic beverage sales, with on-premise and off-premise consumption, provided a special permit is issued in accordance with Section 42.B. of the Ordinance.
2. Wine tasting facility with alcoholic beverage sales with on-premise and off-premise consumption, provided a special permit is issued in accordance with Section 42.B. of the Ordinance. All alcoholic beverage sales shall be consistent with the Texas Alcoholic Beverage Code.
3. Restaurants and restaurants with outside dining, including alcoholic beverage sales provided a special permit is issued in accordance with Section 42.B. of the Ordinance. Drive-in and drive-through restaurants shall not be allowed. **Restaurants adjacent or contiguous to any existing residential uses (excluding multi-family uses) shall only be allowed as an accessory use to the other conditional uses listed in this section.**
- ~~4. Alcoholic beverage sales provided a special permit is issued in accordance with Section 42.B. of this Ordinance.~~

4. Vineyards.

5. Inn.
6. Outdoor commercial amusements such as golf driving ranges, miniature golf, archery, and croquet.
7. Commercial amusements, the operation of which is totally within an enclosed building, including bowling alleys, video arcades, roller skating and ice skating arenas, motion picture theaters, but excluding any special uses authorized by Section 49.B.
8. Planned Commercial Centers. ~~The total retail or commercial shopping floor area on any lot or parcel whose aggregate gross floor area not~~

~~exceeding one hundred thousand (100,000) square feet.~~ All individual users shall have the same floor area limitations as noted in Section 23A.A.

B. Accessory Uses.

9. Any use allowed within this district with outdoor speakers.

D. LIMITATION ON USES:

1. The GV district is intended for specialty retail shopping and service facilities and whose aggregate gross floor area on any lot or parcel shall not exceed twenty-five thousand (25,000) square feet.
2. Pole signs shall not be permitted in the GV district.

E. PLAN REQUIREMENTS: No application for a building permit for construction of a principal building shall be approved unless:

1. A Plat, meeting all requirements of the City of Grapevine has been approved by the City Council and recorded in the official records of Tarrant County.
2. A Site Plan, meeting the requirements of Section 47 has been approved.
3. A Landscape Plan, meeting the requirements of Section 53, has been approved.

F. DENSITY REQUIREMENTS: The following bulk and intensity of use requirements shall apply:

1. **MAXIMUM DENSITY:** The maximum density within GV District shall not exceed a floor area ratio of 0.20.
2. **LOT SIZE:** The minimum lot size in a GV District shall be twenty thousand (20,000) square feet.
3. **MINIMUM OPEN SPACE:** At least twenty-five (25) percent of the total lot area shall be devoted to nonvehicular open space. (Nonvehicular open space is any area not devoted to buildings, parking, loading, storage, or vehicular use.)
 - a. Landscaping in excess of the required minimum open space that is located in the rear yard of the site shall not be used to meet the minimum open space requirements for the site.
4. **DISTRICT SIZE:** The minimum size of any GV District shall be one (1) acre.

5. **MAXIMUM IMPERVIOUS SURFACE:** The combined area occupied by all main and accessory structures, parking storage, loading and other paved areas shall not exceed seventy-five (75) percent of the total lot area.

G. **AREA REGULATIONS:** The following minimum standards shall be required:

1. **LOT WIDTH:** Every lot shall have a minimum width of one hundred twenty-five (125) feet.
2. **LOT DEPTH:** Every lot shall have a minimum depth of not less than one-hundred fifty (150) feet.
3. **FRONT YARD:** Every lot shall have a front yard of not less than thirty (30) feet, which shall be utilized as a landscaped setback area. Front yards shall not be used for any building, structure, fence wall, or storage area, except that signs may be permitted in this area. Front yards shall be landscaped with grass, shrubbery, vineyards, or trees, and no part shall be paved or surfaced except of minimum access, driveways and sidewalks in accordance with Section 53 of this Ordinance.
4. **SIDE YARDS:** Every lot shall have two side yards, each of which shall be not less than fifteen (15) feet in width. Planned Commercial Centers permitted as a Conditional Use shall meet the requirements of Section 23A.N.1.
5. **REAR YARD:** Every lot shall have a rear yard of not less than twenty-five (25) feet in depth. Planned Commercial Centers permitted as a Conditional Use shall meet the requirements of Section 23A.N.1.
6. **DISTANCE BETWEEN BUILDINGS:** The minimum distance between detached principal or accessory buildings on the same lot shall be not less than twenty (20) feet.

H. **BUFFER AREA REGULATIONS:**

1. **BUFFER AND SCREENING REQUIREMENTS:** Whenever a GV District abuts a residential district, an appropriate buffer and screen shall be provided in accordance with the provisions of Sections 50, 53, 23A.H.2. and 23A.H.3. of this Ordinance.
2. **ADDITIONAL BUILDING SETBACK REQUIREMENTS:** No building or structure shall be located nearer to any residentially zoned property than a distance equal to two (2) times the height of any building or structure, or fifty (50) feet whichever is greater.

3. **ADDITIONAL SCREENING, FENCING AND LANDSCAPING:** The Planning and Zoning Commission may recommend and the City Council may require screening, fencing, buffering and landscaping requirements on any zone change, conditional use, or special use case or concept plan in addition to or in lieu of buffering, screening, fencing or landscaping requirements set out specifically in each use district, when the nature and character of surrounding or adjacent property dictate a need to require such methods in order to protect such property and to further provide protection for the general health, welfare and morals of the community in general.

I. **HEIGHT:**

1. No principal structure shall be erected or altered to a height exceeding thirty-five (35) feet. Principal structures located contiguous to an R-20, R-12.5, R-7.5 or R-5.0 Residential District shall be limited to one (1) floor level, however an increase up to five (5) feet to this requirement may be granted upon approval of a conditional use request by the City Council.

A winery or wine tasting facility not adjacent to a R-7.5, R-12.5 or R-20 Single Family Residential District, may exceed the maximum height requirements of Section 23A.I.1 (thirty-five (35) feet) not to exceed a maximum height of fifty (50) feet, provided a conditional use permit is issued in accordance with Section 48 of the Ordinance.

2. No accessory structure shall be erected or altered to a height exceeding twenty-five (25) feet.

J. **LANDSCAPING REQUIREMENTS:** Landscaping shall be required in accordance with Section 53 of this Ordinance.

K. **OFF-STREET PARKING:** Off-street parking shall be provided in accordance with the provisions of Sections 56 and 58 and shall be landscaped in accordance with Section 53 of this Ordinance.

L. **OFF-STREET LOADING:** Off-street loading shall be provided in accordance with the provision of Section 57 of this Ordinance.

M. **DESIGN REQUIREMENTS:** The following design requirements shall apply in the GV District:

1. Lighting shall be designed to reflect away from any adjacent residential area.
2. Parking lot lighting facilities, if provided shall meet the requirement of Section 58, Parking and Loading Area Development Standards

3. No outdoor storage, except for refuse disposal, shall be permitted. Refuse disposal areas shall be landscaped and screened from view in accordance with Section 50.B.3.
4. Due to the development nature of the Grapevine Vintage District, it is recognized that requiring wineries to have exterior fire resistant construction having at least seventy (70) percent of the total exterior walls, excluding doors and windows constructed of brick, stone or other masonry or material of equal characteristics in accordance with the City Building Code and Fire Prevention Code may not allow for vintage type developments. Wineries proposed in the GV not meeting the seventy (70) percent masonry requirement shall present a exterior wall plan to the Planning and Zoning Commission and the Commission shall establish the amount of masonry required.

N. **PLANNED COMMERCIAL CENTER DESIGN REQUIREMENTS:** Each lot or parcel of land created within a Planned Commercial Center shall comply with the following requirements:

1. **MINIMUM YARD REQUIREMENTS OF PLANNED COMMERCIAL CENTERS:** The front yard requirements contained in Section 23A.G.3. shall be applicable to each lot or parcel of land within a Planned Commercial Center. A minimum fifteen (15) foot side yard and a minimum twenty-five (25) foot rear yard shall be required around the outside perimeter of the Planned Commercial Center. Minimum side and rear yard requirements of interior lots may be required if deemed necessary by City Council in order to meet the provisions of Section 48.
2. **LANDSCAPING REQUIREMENTS OF PLANNED COMMERCIAL CENTERS:** The minimum landscaping requirements of Section 53.H.2 shall be applicable around the outside perimeter of a Planned Commercial Center. For interior lots the minimum landscaping requirements of Section 53.H.2.b. may be required if deemed necessary by City Council in order to meet the provisions of Section 48.
3. **MINIMUM OPEN SPACE REQUIREMENTS OF PLANNED COMMERCIAL CENTERS:** At least twenty-five (25) percent of the total site area of the Planned Commercial Center shall be devoted to nonvehicular open space (nonvehicular open space is any area not devoted to buildings, parking, loading, storage, or vehicular use.)

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS AMENDING ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE, BY PROVIDING FOR AMENDMENTS AND CHANGES TO ZONING REGULATIONS BY AMENDING SECTION 23A, GV GRAPEVINE VINTAGE DISTRICT REGULATIONS PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED UPON EACH DAY DURING OR ON WHICH A VIOLATION OCCURS; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code is hereby amended in the following particulars, and all other sections, subsections, paragraphs, definitions, words and phrases of said Appendix "D" and not amended but hereby ratified, verified, and affirmed:

- A. That Section 23A, GV Grapevine Vintage District Regulations is hereby amended in its entirety to read as attached Exhibit "A".

Section 2. That any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 3. That if any section, article, paragraph, sentence, clause, phrase or word in this ordinance, or application thereto any person or circumstances is held invalid or unconstitutional by a Court or competent jurisdiction, such holding shall not affect the validity of the remaining portions of this ordinance; and the City Council hereby declares it would have passed such remaining portions of the ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

Section 4. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety

and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of August 2014.

APPROVED:

ATTEST:

APPROVED AS TO FORM:

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL
FROM: BRUNO RUMBELOW, CITY MANAGER *BR*
MEETING DATE: AUGUST 19, 2014
SUBJECT: SOLID WASTE FRANCHISE AGREEMENT RENEWAL AND
RATE INCREASE AMENDMENT

RECOMMENDATION:

City Council consider adopting an ordinance amending Chapter 25, Utilities and Services, Article III, Solid Waste Disposal, Section 25-97, Service Rates – Schedules to reflect adjustments to the commercial and residential solid waste and recycling collection rates, and take any necessary action.

BACKGROUND:

City Council granted Republic Services (dba Allied Waste Services of Fort Worth, LLC.) and its predecessor companies a franchise agreement (Ordinance No. 95-35) to provide solid waste and recycling services for both residential and commercial customers in Grapevine on May 2, 1995.

Section 12 - Item 1 of the Franchise Agreement provides for the establishment of residential and commercial rates on an annual basis prior to October 1. Republic has requested a rate adjustment effective October 1, 2014.

The rate adjustment calculation is a fixed component of the agreement for both commercial and residential collection. The base rate is divided into operational and disposal components. The operational component represents 70% and the disposal component represents 30% of the base rate. The operational component is adjusted based on the Consumer Price Index (CPI-U) for the most recent 12 month period (March 2013 – March 2014). The disposal component is adjusted by the average increase in disposal cost of five local landfill facilities.

The residential rate adjustment calculation is as follows:

CPI-U:	$70\% \times 1.04\% = 0.73\%$ increase
Disposal Average:	$30\% \times 5.46\% = 1.66\%$ increase
Total Rate Increase	<u>2.39%</u> increase

The total rate increase request is 2.39% for the residential and commercial solid waste and 0.73% for recycling collection. The percentage increase represents a \$0.25 monthly increase for residential service from \$12.51 to \$12.76.

Staff recommends approval of the rate increase.

JSL/ds



July 29, 2014

Mr. Stan Laster
Director of Public Works
200 S. Main Street
Grapevine, Texas 76051

Re: Annual Rate Increase 2014

Dear Stan,

Allied Waste/Republic Services would like to extend a Thank You for your business and appreciates the opportunity to service the City of Grapevine.

Per our contract, Allied Waste/Republic Services respectfully submits for your review a new rate schedule to become effective October 1, 2014. The contract allows for an annual rate adjustment calculation with supporting CPI and landfill data. These rate calculations are shown on Exhibit "A" with attached Bureau of Labor Statistics Data and Landfill Rate verified by both parties.

- CPI – Contract allows for an annual rate increase to be requested using the last 12 months CPI – March 2013 – March 2014, per the attached documentation the 0.73% increase requested for the past 12 months is calculated at 70% of the CPI.
- **Landfill Increase** – Contract language specifies five landfills to be utilized in configuring the landfill disposal increase percentage to be requested, the landfills have been contacted and 4 of the 5 have increased rates during the specified timeframe and the overall percentage increase is **1.66%**.
- Total requested increase for 2014 – 2.39%

Our request for the **2.39%** is for residential trash, commercial and industrial with an increase to residential recycling of **.73%**. Once you have had an opportunity to review this material, I will be happy to meet with you to go over the contents in greater detail, if necessary.

Please do not hesitate to contact me at my office 817.953.7224 or my cell 817.657.3459 if you need any additional information.

Sincerely,

Jeri Harwell

Jeri Harwell
Municipal Services Manager

cc: Dewey Stoffels, Environmental Services

CITY OF GRAPEVINE
EXHIBIT "A"

CPI- INCREASE - CUURA316SA0	
<u>Consumer Price Index - All Urban Consumers</u>	
<u>All Items</u>	
March, 2014 Index	218.715
March, 2013, Index	216.465
Change	2.25
% Change	1.04%
Cost Factor	70%
Net Increase	0.73%

LANDFILL INCREASE			
<u>Gate Rate</u>			
March	2014	2013 \$ Change	
WMI Lewisville	\$ 9.50	\$ 9.20	\$ 0.30
City of Dallas McCommas	\$ 21.50	\$ 21.50	\$ -
Turkey Creek	\$ 40.00	\$ 33.02	\$ 6.98
Farmers Branch - Camelot	\$ 29.62	\$ 28.90	\$ 0.72
Arlington Landfill	\$ 52.00	\$ 52.00	\$ -
	\$ 152.62	\$ 144.62	\$ 8.00
% Change			5.53%
Cost Factor			30%
			1.66%

TOTAL INCREASE PROPOSED: 2.39%

ORDINANCE NO. _____

SOLID WASTE
RATE ADJUSTMENT

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS AMENDING THE GRAPEVINE CODE OF ORDINANCES, CHAPTER 25 UTILITIES AND SERVICES, ARTICLE III SOLID WASTE DISPOSAL, SECTION 25-97 SERVICE RATES--SCHEDULES; PROVIDING A SEVERABILITY CLAUSE; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, on June 1, 1995, by passage of Ordinance No. 95-35 the City of Grapevine, Texas granted Laidlaw Waste Systems, Inc. a franchise agreement to provide for solid waste services for both residential and commercial customers for a ten (10) year period; and

WHEREAS, Laidlaw Waste Systems, Inc. was renamed Trinity Waste Services, Inc.; and

WHEREAS, Trinity Waste Services, Inc. was renamed, Allied Waste Services Inc.; and

WHEREAS, Allied Waste Services Inc. was renamed, Allied Waste Services of Fort Worth, LLC.; and

WHEREAS, Allied Waste Services of Fort Worth, LLC. is a subsidiary of Republic Services; and

WHEREAS, on September 18, 2001, by passage of Ordinance No. 2001-67 the City of Grapevine, Texas granted Laidlaw Waste Systems, Inc. an extension of the franchise agreement to provide for solid waste services for both residential and commercial customers for one (1) additional five (5) year period, commencing on June 1, 2005; and

WHEREAS, on July 20, 2010, by passage of Ordinance No. 2010-30 the City of Grapevine, Texas granted Republic Services an extension of the franchise agreement to provide for solid waste services for both residential and commercial customers for one (1) additional five (5) year period, commencing on August 1, 2010; and

WHEREAS, on September 18, 2012, by passage of Ordinance No. 2012-44 the City of Grapevine, Texas extended the term of the franchise five (5) years commencing on November 1, 2012; and granted Republic Services an automatic renewal of the franchise agreement for one (1) additional five (5) year period, commencing on November 1, 2017; and

WHEREAS, Section 12, Item 1 of the franchise agreement provides for the establishment of residential and commercial rates on an annual basis prior to October 1 of each year; and

WHEREAS, Republic Services has requested a rate adjustment to be effective on October 1, 2014.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the above premises are found to be true and correct and are incorporated into the body of this ordinance as if copied in their entirety.

Section 2. That Chapter 25 Utilities and Services, Article III, Solid Waste Disposal, is hereby amended by amending Section 25-97 in its entirety to read as follows:

“Sec. 25-97. Service rates--Schedules.

- (a) Any houses, buildings or premises used for residential purposes, shall have their garbage and trash removed at a monthly charge where such collection and removal is not required in excess of twice each week, have their recyclable materials removed once per week, have their brush and yard waste removed once per week, and have their bulky wastes removed once every other week with such rates established annually by ordinance.

Monthly Charge

Single-family residential	\$12.76
Single-family residence without city water service	12.76
Duplex	25.52
Multifamily, per unit (without dumpster container)	12.76”

- (b) Collecting and removing of garbage, refuse and trash from houses, buildings and premises used for commercial and business purposes (apartment complexes with three or more units and mobile home parks are defined as commercial units) shall be determined by the number of times each week that collection and removal of garbage, refuse and trash is required, plus the amount of garbage, refuse and trash collected and removed. The rates are established annually by ordinance.

(1) *Container rates:*

- a. Two-yard containers:

CC ITEM #8

1 Dump per week	\$ 64.61
2 Dumps per week.....	108.89
3 Dumps per week.....	145.84
4 Dumps per week.....	205.07
5 Dumps per week.....	266.25
6 Dumps per week.....	307.97
Extra pickup.....	22.08

b. Three-yard containers:

1 Dump per week	\$ 73.45
2 Dumps per week.....	121.26
3 Dumps per week.....	173.98
4 Dumps per week.....	231.44
5 Dumps per week.....	290.60
6 Dumps per week.....	329.73
Extra pickup.....	25.25

c. Four-yard containers:

1 Dump per week	\$ 93.21
2 Dumps per week.....	149.79
3 Dumps per week.....	209.75
4 Dumps per week.....	267.06
5 Dumps per week.....	325.91
6 Dumps per week.....	356.61
Extra pickup.....	28.42

d. Six-yard containers:

1 Dump per week	\$ 110.89
2 Dumps per week.....	187.02
3 Dumps per week.....	262.70
4 Dumps per week.....	337.83
5 Dumps per week.....	423.62
6 Dumps per week.....	490.47
7 Dumps per week.....	572.21
Extra pickup.....	31.56

e. Eight-yard containers:

1 Dump per week	\$ 138.18
2 Dumps per week.....	233.37
3 Dumps per week.....	333.99
4 Dumps per week.....	426.94
5 Dumps per week.....	521.25

CC ITEM #8

6 Dumps per week.....	593.97
7 Dumps per week.....	692.97
Extra pickup.....	34.71

f. Roll-Cart Containers (Main Street):

2 Dumps per week	\$ 25.96
Extra Roll-Carts	5.46

(2) Recycling Containers:

a. Cardboard only containers:

1 Dump per week (not to exceed).....	\$ 37.38
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b. Roll-Cart Recycle containers:

1 Dump per week (not to exceed).....	\$ 15.86
Extra Roll-Carts	\$ 5.30

c. Six-yard recycle containers:

1 Dump per week	\$ 67.89
-----------------------	----------

d. Eight-yard recycle containers:

1 Dump per week	\$ 78.34
-----------------------	----------

(3) Casters:

per month	\$ 6.83
-----------------	---------

(4) Locks:

per lift	\$ 1.20
----------------	---------

Gates:

per lift	\$ 1.20
----------------	---------

(5) *Commercial hand-load, two dumps per week: \$27.06 per month for a maximum for four 30-gallon containers. If more than four 30-gallon containers are necessary for service, then customer will use commercial garbage container(s).*

(6) Open top construction and demolition containers:

- a. Delivery fee\$ 102.26
- b. Daily rental fee\$ 4.34
- c. Haul.....\$ 185.49
- d. Disposal:
 - Loose..... \$ 6.15/cubic yard
 - Compacted \$ 8.66/cubic yard
- e. Deposit.....\$ 298.56
- f. Billing for open-top construction containers will be performed by the contractor. The City will establish such rates annually by ordinance.

(c) Collecting and removing of recyclables from multifamily (apartment) complexes will be performed by contractor at least once each week. Every apartment complex will be assessed a per unit monthly fee with such rates established annually by ordinance.

Monthly apartment recycling fee\$0.99

- (d) Rates for any service required other than the above described services will be determined by the city.
- (e) The minimum service to be rendered shall be once each week. Should any place of business not be specifically designated by name, such error or omission will not relieve the owner, occupant, tenant or lessee of the binding effect of this article, but the same charge shall be made as that entered against a business of a like or similar nature.
- (f) Mobile home parks may request curbside service for each individual housing unit for the collection of garbage, trash, yard waste and recyclables only. Such garbage, trash, yard waste and recyclables must be generated by tenant. The fee for such service will be the normal residential rate established annually by ordinance per the number of units in the park. The mobile home park must maintain commercial service for its office, management and other operations and for the collection of all brush and bulky waste as further defined by Article III, section 25-90, Grapevine Code of Ordinances.”

Section 5. That if any section, article, paragraph, sentence, clause, phrase or word in this ordinance, or application thereto any person or circumstances is held invalid or unconstitutional by a Court of competent jurisdiction, such holding shall not affect the validity of the remaining portions of the ordinance; and the City Council hereby declares it

would have passed such remaining portions of the ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

Section 6. That the fact that the present ordinances and regulations of the City of Grapevine, Texas are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its passage, and it is accordingly so ordained.

Section 7. That the effective date of this rate adjustment will be October 1, 2014.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of August, 2014.

APPROVED:

ATTEST:

APPROVED AS TO FORM:

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL CC ITEM #9
FROM: BRUNO RUMBELOW, CITY MANAGER BR
MEETING DATE: AUGUST 19, 2014
SUBJECT: AWARD OF ENGINEERING SERVICES CONTRACT –
INTERSECTION IMPROVEMENTS AT PARK BOULEVARD AND
WALL STREET

RECOMMENDATION

City Council consider awarding an Engineering Services Contract to Pacheco Koch Consulting Engineers, Inc. and appropriating funds in the amount of \$23,900 for the survey, design and plan preparation for the Park Boulevard and Wall Street Intersection Improvements, authorizing staff to execute said contract, and take any necessary action.

FUNDING:

Funds are programmed in Acct # 178-78117-010 for City consultant services relative to the DFW Connector Project.

BACKGROUND:

The intersection at Park Boulevard and Wall Street was modified extensively during the TxDOT DFW Connector Project. Its current configuration does not provide for left turn movements from southbound Park Boulevard to eastbound Wall Street.

Staff previously briefed Council on a preferred alignment (illustration attached) for the construction of modifications to this intersection to reinstall this left turn movement that was prepared by Lee Engineering, Traffic Engineering Consultant.

The scope of this Engineering Services Contract includes significant surveying efforts. The working area for this construction is somewhat restricted due to the need to maintain northbound traffic through the intersection during construction in a safe manner for motorists and for staff. Survey efforts will tie down the existing pavement improvements, layout the proposed improvements, prepare demolition plans for the pavement removal, establish and set cut and fill staking for City crews to use in the construction project, ensure that the project layout will function as planned relative to turning movements, left turn lane storage, visibility, and pavement elevation transition. City crews will perform the construction.

Pacheco Koch Consulting Engineers, Inc. has provided this type of design service to the City of Grapevine in the past and with very good results. Most recently, they provided these services to us for the Vine Street Extension into the Library and Convention Center Parking Area.

Staff recommends approval.

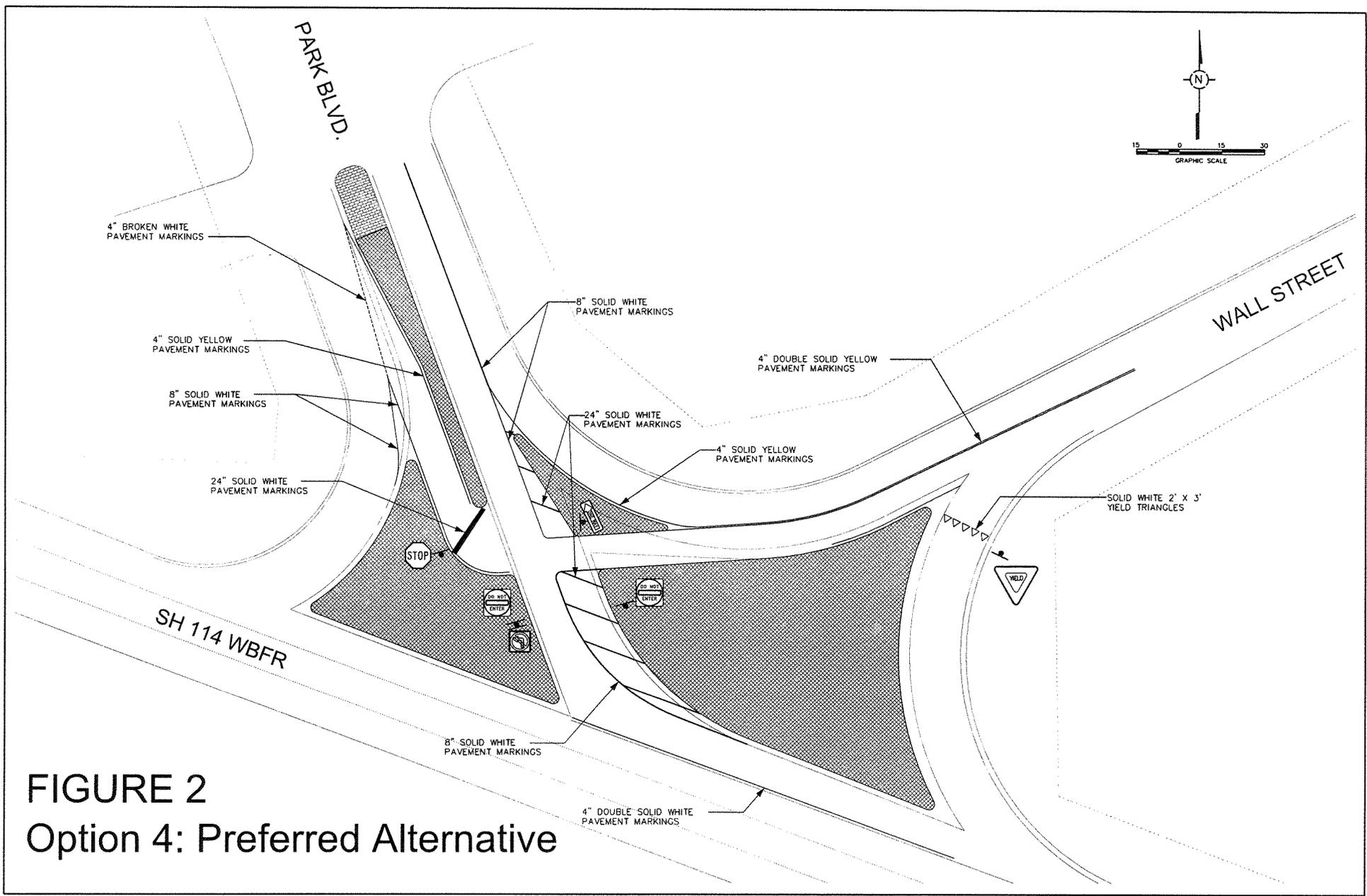


FIGURE 2
Option 4: Preferred Alternative

August 7, 2014
PK No.: 0100

Mr. John D. Robertson, P.E.
Development, Engineering & Construction Manager
CITY OF GRAPEVINE
200 South Main Street
Grapevine, Texas 76051

Re: Professional Land Surveying and Civil Engineering Services
CITY OF GRAPEVINE
Intersection Improvements at Park Boulevard and Wall Street
Grapevine, Tarrant County, Texas
MAPSCO: F27-K

Dear Mr. Robertson:

Pacheco Koch Consulting Engineers, Inc. is pleased to submit this proposal to provide professional land surveying services relating to the referenced project. It is our understanding the project consists of an intersection improvements from Park Boulevard to Wall Street in Grapevine, Texas.

SCOPE OF SERVICES

Surveying Services

TOPOGRAPHIC SURVEY: Pacheco Koch will perform an on the ground survey of the existing intersection at Park Boulevard and Wall Street under the direct supervision of a Registered Professional Land Surveyor. The survey limits will extend a maximum of 200 LF up each road to cover the improvements shown on the attached Exhibit.

Included in this item:

- Location of permanent improvements on, and immediately adjacent to, the site.
- Spot elevations on a 50-foot grid.
- Top of curb and gutter elevations for paving on, and immediately adjacent to, the intersection.
- Locations, common name and trunk diameter of trees over 3-inches in caliper or the outline of heavily wooded areas.
- Location of visible utilities and appurtenances.
- Location and sizes of underground utilities based on available record information/

Not included in this item:

- Species names of trees.
- Trees less than 3-inches in diameter.
- Tree locations and identification in heavily wooded areas.
- Boundary surveying.
- Research or review of easements that may affect the subject tract.
- Subsurface utility engineering services.
- Parking spaces in parking garages.
- Location of irrigation control valves.

Engineering Services

DEMOLITION PLAN: Pacheco Koch will prepare a Demolition Plan for the proposed project. The scope of work defined by this plan shall be limited to intersection pavement modifications only. Plans and/or specifications for demolition of utilities and structures shall be by the City if required.

Included in this item:

- Coordination of City review and approval of plans prepared as part of this item.
- Limits of demolition or removal as appropriate.
- Identification of items to be protected and/or preserved during demolition.
- General notes related to the demolition activities.

DIMENSIONAL CONTROL PLAN: Based on the intersection modification option provided by the City, Pacheco Koch will prepare a Dimensional Control Plan which will define new pavement, curbs, median adjustments and drive lanes in relation to existing curb lines or permanent markers. This item is meant to be a tool for the City forces to lay out the intersection improvements during construction and is not meant to be new roadway construction documents. It is our understanding that either Pacheco Koch will provide sufficient surveying services to define the existing permanent references, or the site boundary information will be provided by the City.

Included in this item:

- Coordination of City review and approval of plans prepared as part of this item.
- One (1) revision to the plan to reflect site plan changes as a result of City comments. Additional changes will be made on an hourly rate basis.

Not included in this item:

- Survey to define site boundaries.

INTERSECTION PAVING PLAN: Pacheco Koch will prepare construction plans and details for roadway paving, sidewalks and drive approaches. Paving section designs are to be based on recommendations to be provided by the City.

Included in this item:

- Coordination of City review and approval of plans prepared as part of this item.
- One (1) revision to the plan to reflect site plan changes as a result of City comments. Additional changes will be made on an hourly rate basis.
- Spot grades to match existing conditions.

Not included in this item:

- Design of any utility improvements, street extensions or streetscape amenities.
- Design and detailing of other site improvements including, screening walls, light pole bases, hardscape features, pavers, and site signage.

Bid/Construction Phase Services

CONSTRUCTION ADMINISTRATION: Pacheco Koch will be available to attend up to five (5) project coordination meetings during construction. Meetings could include:

- Pre-Construction Conference
- Final Completion Walk-Through.
- Visits to the construction-site to monitor progress of the construction and to check for general compliance with the construction documents.

Please note the following:

- Pacheco Koch shall not at any time supervise or have authority over any City work or jobsite management procedures, nor shall Pacheco Koch have authority over or be responsible for the means and methods, or procedures of construction selected or used by City forces.
- Pacheco Koch neither guarantees the performance of the City nor assumes responsibility for the construction crew's failure to furnish and perform the Work in accordance with the Construction Documents.
- Pacheco Koch shall not be responsible for the acts or omissions of the construction crews or for any decision or interpretation of the Construction Documents made by the City.
- While at the Site, Pacheco Koch's employees and representatives shall comply with the specific applicable requirements of the City's safety programs of which Pacheco Koch has been informed in writing.

CONSTRUCTION STAKING: Pacheco Koch will provide surveying and staking services as described below. The work will include the layout and location of the pavement and miscellaneous structures that are a part of this project, including elevations on stakes as is appropriate. Staking will conform to industry standards and will be properly marked to identify the item being located. *Client shall contact the offices of Pacheco Koch a minimum of four (4) days prior to the day work is to be performed to allow for proper scheduling. Pacheco Koch will be available for up to four (4) staking visits with a minimum charged time of five (5) crew hours and two (2) survey tech hours.*

1. Stake rough and final pavement: all corners, curbs and at 50' intervals along straight runs.

Unless otherwise noted, each item listed above will be done as stated. Re-staking will be done as an additional service.

Based on our understanding of the scope of services, the following items are not included in this proposal:

- | | |
|--|--|
| 1. Geotechnical investigation | 10. Signage Plan |
| 2. Environmental investigation | 11. Bid phase services including preparation of bid forms, solicitation of bids and coordination with prospective bidders |
| 3. Boundary surveying | 12. Construction phase services including review of pay requests, review of shop drawings, construction observation, and job progress meetings |
| 4. Preliminary and final platting | 13. Construction staking |
| 5. Coordination of gas, electric, telephone and cable television service | 14. Preparation of Record Drawings |
| 6. Retaining wall design | |
| 7. Dedications of easements and/or right-of-way by separate instrument | |
| 8. Landscape Plan and Irrigation Plan | |
| 9. Site Lighting Plan | |

SCHEDULE

Pacheco Koch acknowledges the importance to City of Grapevine the project schedule and agrees to put forth its best professional efforts to perform its services under this Agreement in a manner consistent with that schedule. City of Grapevine understands, however, that Pacheco Koch's performance must be governed by sound professional practices. If, through no fault of Pacheco Koch, such periods of times or dates are changed, or the orderly and continuous progress of Pacheco Koch's services is impaired or Pacheco Koch's services are delayed or suspended, then the time for completion of Pacheco Koch's services, and the rates and amounts of Pacheco Koch's compensation, shall be adjusted equitably. If requested, Pacheco Koch would be pleased to develop a project schedule outlining each of the items included previously described in the Scope of Services.

COMPENSATION

Pacheco Koch proposes to provide the services described above on a Fixed Fee basis for a total fee, inclusive of direct reimbursable costs, as follows:

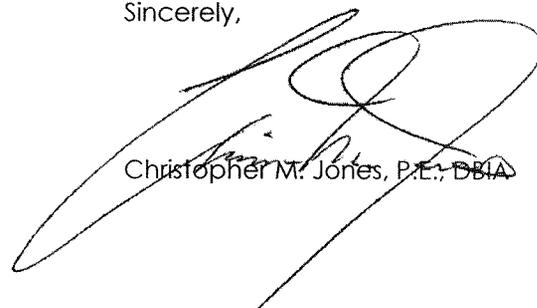
Surveying Services		
<i>TOPOGRAPHIC SURVEY</i>		<u>\$ 4,500.00</u>
	TOTAL	\$ 4,500.00
Engineering Services		
<i>FINAL DESIGN</i>		<u>\$ 10,400.00</u>
	TOTAL	\$ 10,400.00
Bid/Construction Phase Services		
<i>CONSTRUCTION ADMINISTRATION</i>		\$ 3,000.00
<i>CONSTRUCTION STAKING</i>		<u>\$ 6,000.00</u>
	TOTAL	\$ 9,000.00

SUMMARY

This proposal, unless otherwise noted, constitutes our understanding of the services to be provided by Pacheco Koch Consulting Engineers, Inc. on the project described above. This proposal is offered for a period of thirty (30) days after which, if said proposal has not been executed, said proposal should no longer be valid.

Pacheco Koch Consulting Engineers, Inc. is pleased to have this opportunity to submit this proposal and look forward to working with you on this project. If the proposal and accompanying agreement is acceptable to you as presented, please execute one copy of the agreement form and return one original copy to our office. Upon receipt of notice to proceed, either in writing or verbally, it will be assumed said agreement is accepted by all parties and services will be provided accordingly. If you have any questions or would like any additional information, please do not hesitate to call us at your convenience.

Sincerely,



Christopher M. Jones, P.E., DBIA

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL
FROM: BRUNO RUMBELOW, CITY MANAGER *BR*
MEETING DATE: AUGUST 19, 2014
SUBJECT: ORDINANCE CHANGING COMPOSITION OF CONVENTION
AND VISITORS BUREAU BOARD

RECOMMENDATION:

City Council to consider an ordinance amending the Grapevine Code of Ordinances, Chapter 21 Taxation, Sections 21-28 and 21-29 relative to the composition and appointment of members to the Convention and Visitors Bureau Board.

BACKGROUND:

Council Member Spencer and CVB Executive Director McCallum requested Council to consider amending the composition of the Convention & Visitors Bureau Board to reflect the community's emphasis on attractions, hospitality and economic development by converting two citizen member positions to one member being from a Grapevine bank, and to be appointed in 2014, and one member being from a Grapevine attraction to be appointed in 2015 during the annual appointment process.

The proposed ordinance clarifies that the hotel, major retail outlet, bank and attraction representatives may serve on the board regardless of residency.

jcb

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS AMENDING THE GRAPEVINE CODE OF ORDINANCES CHAPTER 21 TAXATION, RELATING TO THE CONVENTION AND VISITORS BUREAU BOARD, SECTION 21-28 RELATIVE TO BOARD MEMBERSHIP AND SECTION 21-29 RELATIVE TO THE APPOINTMENT OF MEMBERS AND PROVIDING AN EFFECTIVE DATE

WHEREAS, there currently exists numerous boards, commissions and committees within the City of Grapevine, Texas, handling a variety of affairs for the City; and

WHEREAS, Section 21-28 empowers the City Council to provide for appointment to the Convention and Visitor's Bureau Board of Directors; and

WHEREAS, the Convention and Visitors Bureau Board should better reflect the community's emphasis on economic development and attractions; and

WHEREAS, the City Council deems it in the best interest of the City to amend the structure of the Convention and Visitor's Bureau Board of Directors to include an owner or president of a Grapevine bank, and a representative that is an owner or general manager of a local attraction; and these representatives will replace two of the citizen representatives each having staggered terms.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all of the above premises are found to be true and correct and are incorporated into the body of this ordinance as if copied herein in their entirety.

Section 2. That the Grapevine Code of Ordinances Chapter 21 Taxation, Section 21-28, paragraph (a) relating to the Grapevine Convention and Visitor's Bureau composition and appointment of officers is hereby amended to read as follows:

"There is hereby established the Grapevine Convention and Visitors Bureau Board, which shall consist of seven members, at least two of which shall be representatives of hotels or motels operated in the city, one from a property of 500 or more rooms and one from a property of 499 or less rooms. At least one member shall be a representative from a major retail outlet ~~or attraction~~ within the city, **regardless of residency. At least one member shall be the owner or general manager of an attraction within the city, regardless of residency. At least one member shall be the owner or president of a Grapevine bank, regardless of residency;** and the

balance shall be citizens of the city, preferably with a tourism or hospitality connection, and one ex officio member from the administrative staff of the city, and one ex officio member Chairman of the Grapevine Chamber of Commerce. One of the members of the board shall be appointed by the mayor as chairman and one shall be elected by the board as vice-chairman.”

Section 3. That the Grapevine Code of Ordinances Chapter 21 Taxation, Section 21-29 relating to the appointment of members of the Grapevine Convention and Visitors Bureau Board is hereby amended to read as follows:

“The members of the board shall be appointed by the city council, and shall serve for a period of two years unless sooner removed; provided, beginning in **August 2014, that the owner or president of a Grapevine bank be appointed and in 2015 the owner of general manager of an attraction be appointed,** ~~June, 2011, that one hotel representative to serve a one-year term so that annually thereafter there will be one hotel representative appointed each year,~~ and so that annually thereafter there will be four members appointed in one year for two-year terms and three members appointed in the next year for two-year terms. The alternate member shall be appointed by the city council and shall serve for a period of one year beginning in June, 2009. ~~Regular appointments shall be made on the date of the first official city council meeting in June. The expiration date of each term of office shall fall on the date of the first official city council meeting in June during the year in which the term shall expire.~~ Any member or alternate member of the board may be removed from office by the city council for any cause deemed by the city council sufficient in the interest of the public service. Any vacancy in the membership of the board or the alternate membership shall be filled by the city council for the unexpired term of the member or alternate member whose place has, by removal or otherwise, become vacant. Ex-officio members shall not vote.”

Section 4. That the fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of August, 2014.

APPROVED:

ATTEST:

APPROVED AS TO FORM:

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: AUGUST 19, 2014

SUBJECT: BOARDS AND COMMISSIONS APPOINTMENTS

RECOMMENDATION:

City Council to consider appointment of members to the City's boards and commissions; Mayor Tate to make Chairman appointments to the Convention & Visitors Bureau Advisory Board, the Grapevine Heritage Foundation, Parks & Recreation Advisory Board and the Senior Citizens Advisory Board; and Mayor's appointment of City Council liaisons to the boards and City Council committees.

BACKGROUND:

Each year after the election, the City Council reviews and considers appointments to the various boards and commissions. Applications and the 2013-14 attendance records were compiled and distributed to the City Council and Staff on July 25th. Two Council Workshops were held to discuss changes to the process of appointing board and commission members. New applicants were interviewed by the full Council on July 29 and August 14.

According to the respective ordinance or resolution, the Mayor appoints the Chairman to the following boards:

- Convention & Visitors Bureau Advisory Board pursuant to the Grapevine Code of Ordinances, Chapter 21, Section 21-28
- Grapevine Heritage Foundation pursuant to Resolution No. 90-17
- Parks & Recreation Advisory Board pursuant to the Grapevine Code of Ordinances, Chapter 16 Parks & Recreation, Section 16-3
- Senior Citizens Advisory Board pursuant to Resolution No. 2000-39

Board and commission nominees will be presented by the City Secretary for Council consideration at Tuesday's meeting, in addition to Mayor Tate's Council liaison and committee appointments.

jcb

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL
FROM: BRUNO RUMBELOW, CITY MANAGER ^{B12}
MEETING DATE: AUGUST 19, 2014
SUBJECT: APPROVAL FOR THE AWARD OF RFB 416-2014 FOR AN ANNUAL CONTRACT WITH OPTIONAL RENEWALS FOR WATER AND WASTEWATER CHEMICALS

RECOMMENDATION:

City Council to consider approval for the award of RFB 416-2014 for a water and wastewater chemicals annual contract with renewal options to multiple vendors.

FUNDING SOURCE:

Funds are available in accounts 200-42205-530-2 and 200-42205-531-2 for an estimated amount of \$275,000.00.

BACKGROUND:

Bids were taken in accordance with Local Government Code Chapter 252, Subchapter B, Section 252.021 (a) and Section 252.041 (a). The bid was advertised in the Fort Worth Star Telegram on June 12 and 19, 2014. There were 94 vendors electronically notified of the bid through the eBid system and 11 vendors submitted bids. The bids were opened publicly on July 18, 2014 at 2:00 p.m.

The purpose of this bid is to establish fixed indefinite quantity annual pricing with four optional, one-year renewals for water and wastewater chemicals on an as-needed basis for the Public Works Department.

Based on the evaluation of the bid by Purchasing and the Public Works Department, there are five vendors that will be awarded various line items based on the lowest responsible and responsive bids submitted. The cost differences are substantial enough to make this award to multiple vendors. There are nine line items that will be awarded. There was one vendor that had a lower bid for one item but it did not meet the specification so it is considered non-responsive and will be awarded to the next lowest bidder.

The recommended vendors are:

Fort Bend Services, Inc.
Chemtrade Chemicals US
Univar USA, Inc.
DPC Industries, Inc.
Brenntag Southwest, Inc.

Staff recommends approval.

KC/BS

Event Number	RFB 416-2014 Addendum 1	Organization	Grapevine TX Purchasing
Event Title	Water and Wastewater Chemicals Ann	Workgroup	Grapevine TX Purchasing
Event Description	The City is soliciting sealed bids from q	Event Owner	Bob Smeby
Event Type	Request for Bid	Email	bsmeby@grapevinetexas.gov
Issue Date	6/12/2014 8:08:25 AM Central	Phone	(817) 410-3335
Close Date	7/18/2014 2:00:00 PM Central	Fax	(817) 410-3066

CC ITEM #12

Responding Supplier	City	State	Response Submitted	Lines Responded	Response Total
Fort Bend Services, Inc	Stafford	TX	7/15/2014 3:18:39 PM	2	\$35,746.875
F2 Industries, LLC	Nashville	TN	7/15/2014 11:30:24 AM	2	\$37,600.00
Envirotech Water Treatment, LL	Colleyville	TX	7/17/2014 6:49:57 PM	2	\$55,385.25
Chemtrade Chemicals US LL	Parsippany	NJ	7/16/2014 7:31:51 AM	1	\$64,993.50
Chameleon Industries, Inc.	Mesquite	TX	7/17/2014 12:40:24 PM	1	\$69,381.00
GEO Specialty Chemicals, Inc.	Dallas	TX	7/16/2014 11:42:25 AM	1	\$84,425.25
CHEMRITE INC	Buford	GA	7/18/2014 11:19:51 AM	2	\$91,634.00
FSTI, INc	SAN ANTONIO	TX	7/17/2014 3:10:23 PM	1	\$101,948.00
Univar USA, Inc	Dallas	TX	7/17/2014 1:16:11 PM	3	\$129,196.00
DPC Industries, Inc.	Houston	TX	7/17/2014 4:47:02 PM	4	\$134,666.00
Brenntag Southwest, Inc.	Dallas	TX	7/18/2014 8:46:57 AM	8	\$269,389.47

Please note: Lines Responded and Response Total only includes responses to specification. No alternate response data is included.

“TABULATION STATEMENT”

ALL BIDS SUBMITTED ARE REFLECTED ON THIS BID TAB SHEET. HOWEVER, THE LISTING OF A BID ON THIS SHEET SHOULD NOT BE CONSTRUED AS A COMMENT ON THE RESPONSIVENESS OF SUCH BID OR AS ANY INDICATION THAT THE CITY ACCEPTS SUCH BID AS RESPONSIVE. THE CITY WILL MAKE A DETERMINATION AS TO THE RESPONSIVENESS OF BIDS SUBMITTED BASED UPON COMPLIANCE WITH ALL APPLICABLE LAWS, CITY OF GRAPEVINE PURCHASING GUIDELINES, AND PROJECT DOCUMENTS, INCLUDING BUT NOT LIMITED TO THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS. THE CITY WILL NOTIFY THE SUCCESSFUL BIDDER UPON AWARD OF THE CONTRACT AND, ACCORDING TO LAW, ALL BIDS RECEIVED WILL BE AVAILABLE FOR INSPECTION AT THAT TIME.

Line #	Description	Mfgr	Mfgno	QTY	UOM	Fort Bend Services, Inc		F2 Industries LLC ITEM #12	
						Total Price	\$35,746.875	Total Price	\$37,600.00
						Unit	Extended	Unit	Extended
1	Liquid Chlorine			50	Ton				
2	Liquid Alum			325	Dry Ton				
3	Hydroflousillic Acid			4000	Gallon				
4	Potassium Permanganate			10000	Pound			\$2.24	\$22,400.00
5	Anhydrous Ammonia			15000	Pound				
6	Sodium Hydroxide Solution			154	Dry Ton				
7	Calcium Hypochlorite (HTH)			9500	Pound			\$1.60	\$15,200.00
8	Polymer (DRUMS)			31275	Dry Pound	\$0.625	\$19,546.875		
9	Polymer (TOTES)			12000	Pound	\$1.35	\$16,200.00		
								Item 4 does not meet specification.	

CC ITEM #12

Line #	Envirotech Water Treatment, LLC		Chemtrade Chemicals US LL		Chameleon Industries, Inc.		GEO Specialty Chemicals, Inc.		Total Price
	Unit	Extended	Unit	Extended	Unit	Extended	Unit	Extended	
1									
2			\$199.98	\$64,993.50	\$213.48	\$69,381.00	\$259.77	\$84,425.25	
3									
4									
5									
6									\$521.00
7									\$1.20
8	\$0.68	\$21,267.00							
9	\$1.51	\$18,120.00							

Price Correction. Line item 8 and 9 were switched.

CC ITEM #12

Line #	RITE INC	FSTI, INC		Univar USA, Inc		DPC Industries, Inc.		Brenntag Southwest, Inc.	
	\$91,634.00	Total Price	\$101,948.00	Total Price	\$129,196.00	Total Price	\$134,666.00	Total Price	\$269,389.47
	Extended	Unit	Extended	Unit	Extended	Unit	Extended	Unit	Extended
1						\$534.00	\$26,700.00	\$597.00	\$29,850.00
2								\$224.75	\$73,043.75
3								\$3.1685	\$12,674.00
4				\$3.48	\$34,800.00			\$3.5289	\$35,289.00
5						\$0.78	\$11,700.00	\$0.885	\$13,275.00
6	\$80,234.00	\$662.00	\$101,948.00	\$515.00	\$79,310.00	\$519.00	\$79,926.00	\$483.00	\$74,382.00
7	\$11,400.00			\$1.588	\$15,086.00	\$1.72	\$16,340.00	\$1.18	\$11,210.00
8								\$0.6288	\$19,665.72
9									

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL
FROM: BRUNO RUMBELOW, CITY MANAGER *BR*
MEETING DATE: AUGUST 19, 2014
SUBJECT: APPROVAL FOR THE AWARD OF RFB 417-2014 FOR THE
WALLIS HOTEL INTERIOR RENOVATION PROJECT

RECOMMENDATION:

City Council to consider approval for the award of RFB 417-2014 to Concord Commercial Services, Inc. for the Wallis Hotel Renovation project.

FUNDING SOURCE:

Funding for this purchase is currently available in account 179-79153-000 (CIP- Wallis Exp/Remodel) for the amount not to exceed \$233,689.00

BACKGROUND:

The purpose of this bid is to remodel the interior of the Wallis Building to create the space needed for the lease with Messina Hof Winery.

Bids were taken in accordance with Local Government Code Chapter 252, Subchapter B, Section 252.021 (a) and Section 252.041 (a). The bid was advertised in the Fort Worth Star Telegram on July 3 and 10, 2014. There were 438 vendors electronically notified of the bid through the eBid system and five vendors submitted bids. The bids were opened publicly on July 31, 2014 at 2:00 p.m.

Based on the evaluation of the bid by Purchasing and the CVB staff, Concord Commercial Services, Inc. was the lowest responsible and responsive bidder for this renovation project. There were two bids submitted that were lower but they were non-responsive for many reasons as noted on the bid tabulation. The award recommendation is for the base bid only with no alternatives.

The original estimate for this project was \$160,000. Contractors have advised that increased bid amounts for this project are due to additional time and materials needed related to the deconstruction and salvage process, as well as the matching of existing material and custom millwork for the reconstruction. Modifications of imbedded HVAC are also a factor. All of the funds are available for this project in the account identified above.

Staff recommends approval.

 Tabulation of Bids City of Grapevine		Bid Number: RFB 417-2014		Bid Opening Date: 7/31/2014		1st Ad: 7/3/2014		Bidders Notified: 438						
		Name: The Wallis Hotel Interior Renovation		Bid Opening Time: 2:00 PM		2nd Ad: 7/10/2014		Bids Issued: 20						
		Requesting Dept: CVB						Bids Received: 5						
		VENDOR # 1			VENDOR # 2			VENDOR # 3			VENDOR # 4		VENDOR # 5	
Name of Bidder:		Concord Commercial Services, Inc.			Byrne Construction Services			Trinity Transconn			Super Siding and Remodeling		MP Custom Fab	
#	Item	Qty	Unit	Unit Price	Extended Price	Unit Price	Extended Price	Unit Price	Extended Price	Unit Price	Extended Price	Unit Price	Extended Price	
Base	Turn Key	1	ea	\$233,689.00	\$233,689.00	\$472,697.00	\$472,697.00	\$299,300.00	\$299,300.00	\$143,472.75	\$143,472.75	\$193,475.00	\$193,475.00	
Alt 1	First Floor Restroom	1	ea	\$1,744.00	\$1,744.00	\$4,123.00	\$4,123.00	\$2,850.00	\$2,850.00	\$0.00	\$0.00	\$0.00	\$0.00	
Alt 2	Viewing Lobby Flooring	1	ea	\$4,213.00	\$4,213.00	\$3,298.00	\$3,298.00	\$10,000.00	\$10,000.00	\$0.00	\$0.00	\$0.00	\$0.00	
Alt 3	Second Floor Restrooms	1	ea	\$5,619.00	\$5,619.00	\$14,756.00	\$14,756.00	\$6,000.00	\$6,000.00	\$0.00	\$0.00	\$0.00	\$0.00	
Alt 4	Meeting Room #1	1	ea	\$7,020.00	\$7,020.00	\$24,808.00	\$24,808.00	\$12,500.00	\$12,500.00	\$0.00	\$0.00	\$0.00	\$0.00	
Alt 5	36" Countertops	1	ea	98.00 sq.ft	98.00 sq.ft	\$13,665.00	\$13,665.00	\$35,000.00	\$35,000.00	\$0.00	\$0.00	\$0.00	\$0.00	
TOTAL ALL ITEMS				N/A		N/A		N/A		N/A		N/A		
NOTES		None			None			None			Non-responsive. Did not submit W9, CIQ, Bid Bond, Addenda acknowledgement, Work history, Alt Pricing.		Non-responsive. Did not submit W9, CIQ, Bidders Cert, Bid Bond, Addenda acknowledgement, Work history, Alt Pricing.	
SUMMARY OF BIDS														
Non Responsive Vendors:		No Bid Vendors:			Low Bid Vendors:									
Super Siding and Remodeling		Bridges Electric, Inc.			Concord Commercial Services									
MP Custom Fabrication		UD Enterprises												
		Gibson Construction, Co.												
"TABULATION STATEMENT"														
ALL BIDS SUBMITTED ARE REFLECTED ON THIS BID TAB SHEET. HOWEVER, THE LISTING OF A BID ON THIS SHEET SHOULD NOT BE CONSTRUED AS A COMMENT ON THE RESPONSIVENESS OF SUCH BID OR AS ANY INDICATION THAT THE CITY ACCEPTS SUCH BID AS RESPONSIVE. THE CITY WILL MAKE A DETERMINATION AS TO THE RESPONSIVENESS OF BIDS SUBMITTED BASED UPON COMPLIANCE WITH ALL APPLICABLE LAWS, CITY OF GRAPEVINE PURCHASING GUIDELINES, AND PROJECT DOCUMENTS, INCLUDING BUT NOT LIMITED TO THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS. THE CITY WILL NOTIFY THE SUCCESSFUL BIDDER UPON AWARD OF THE CONTRACT AND, ACCORDING TO LAW, ALL BIDS RECEIVED WILL BE AVAILABLE FOR INSPECTION AT THAT TIME.														

8/8/2014 11:14:36 AM

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: AUGUST 19, 2014

SUBJECT: APPROVAL OF A RESOLUTION FOR THE PURCHASE OF DRINKING WATER FOUNTAINS

RECOMMENDATION:

City Council to consider approval of a resolution for the purchase of drinking water fountains from PlumbMaster, Inc. through an Interlocal Participation Agreement with The Local Government Purchasing Cooperative (Buyboard).

FUNDING SOURCE:

Funding for this purchase is currently available in account 174-74015-059 (PCMF Water Drinking Fountains) for a total amount not to exceed \$29,860.80.

BACKGROUND:

This purchase will be made in accordance with an existing Interlocal Participation Agreement with The Local Government Purchasing Cooperative (Buyboard) as allowed by Texas Local Government Code, Section 271.102, Cooperative Purchasing Program.

Bids were taken by the Cooperative and a contract was awarded to PlumbMaster, Inc. The Parks & Recreation Department staff and Purchasing reviewed the contract for specification compliance and determined that the contract would provide the best product and pricing for meeting the needs of the City.

This purchase is for replacement and adding eight drinking fountains throughout the city.

Staff recommends approval.

TS/BS

RESOLUTION NO. _____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE DRINKING WATER FOUNTAINS THROUGH AN ESTABLISHED INTERLOCAL PARTICIPATION AGREEMENT AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Section 271.102 to enter into a cooperative purchasing program agreement with other qualified entities in the State of Texas; and

WHEREAS, The Local Government Purchasing Cooperative (Buyboard) is a qualified purchasing cooperative program as authorized by Section 271.102 of the Texas Local Government Code; and

WHEREAS, the City of Grapevine, Texas, has established an Interlocal Participation Agreement with The Local Government Purchasing Cooperative (Buyboard) and wishes to utilize established contracts meeting all State of Texas bidding requirements; and

WHEREAS, The Local Government Purchasing Cooperative (Buyboard) has an established contract #415-12, Building Maintenance, Repair, Operations Supplies & Equipment with PlumbMaster, Inc.; and

WHEREAS, the City of Grapevine, Texas has a need to replace and add eight drinking water fountains at various locations; and

WHEREAS, all legal prerequisites for the adoption of this resolution have been met, including but not limited to the Local Government Code and the Open Meetings Act; and

WHEREAS, the City Council hereby declares that the approval of this resolution is in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated in the above preamble are true and correct and are incorporated herein as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase of drinking water fountains from PlumbMaster, Inc. through an Interlocal Participation Agreement with The Local Government Purchasing Cooperative (Buyboard) for an amount not to exceed \$29,860.80.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of said drinking water fountains.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of August, 2014.

APPROVED:

ATTEST:

APPROVED AS TO FORM:

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER BR

MEETING DATE: AUGUST 19, 2014

SUBJECT: APPROVAL OF A RESOLUTION FOR A WATER FOUNTAIN
RENOVATION CONTRACT

RECOMMENDATION:

City Council to consider approval of a resolution for a water fountain renovation contract from Irrigators Supply, Inc. through an Interlocal Participation Agreement with The Local Government Purchasing Cooperative (Buyboard).

FUNDING SOURCE:

Funding for this purchase is currently available in account 174-74015-067-000 (Playground Accessibility) for a total amount not to exceed \$70,238.70.

BACKGROUND:

This purchase will be made in accordance with an existing Interlocal Participation Agreement with The Local Government Purchasing Cooperative (Buyboard) as allowed by Texas Local Government Code, Section 271.102, Cooperative Purchasing Program.

Bids were taken by the Cooperative and a contract was awarded to Irrigators Supply, Inc. The Parks & Recreation Department staff and Purchasing reviewed the contract for specification compliance and determined that the contract would provide the best product and pricing for meeting the needs of the City.

This purchase is for the renovation of the water feature at the Botanical Gardens at Heritage Park.

Staff recommends approval

TS/BS

WATER
FOUNTAIN
RENOVATION

RESOLUTION NO. _____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO CONTRACT FOR THE RENOVATION OF A WATER FOUNTAIN THROUGH AN ESTABLISHED INTERLOCAL PARTICIPATION AGREEMENT AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Section 271.102 to enter into a cooperative purchasing program agreement with other qualified entities in the State of Texas; and

WHEREAS, The Local Government Purchasing Cooperative (Buyboard) is a qualified purchasing cooperative program as authorized by Section 271.102 of the Texas Local Government Code; and

WHEREAS, the City of Grapevine, Texas, has established an Interlocal Participation Agreement with The Local Government Purchasing Cooperative (Buyboard) and wishes to utilize established contracts meeting all State of Texas bidding requirements; and

WHEREAS, The Local Government Purchasing Cooperative (Buyboard) has an established contract #447-14, Grounds Maintenance Equip. & Irrigation Parts, Supplies & Installation with Irrigators Supply, Inc.; and

WHEREAS, the City of Grapevine, Texas has a need to renovate the water fountain at the Botanical Gardens at Heritage Park; and

WHEREAS, all legal prerequisites for the adoption of this resolution have been met, including but not limited to the Local Government Code and the Open Meetings Act; and

WHEREAS, the City Council hereby declares that the approval of this resolution is in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated in the above preamble are true and correct and are incorporated herein as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase of the water fountain renovation contract from Irrigators Supply, Inc. through an Interlocal Participation Agreement with The Local Government Purchasing Cooperative (Buyboard) for an amount not to exceed \$70,238.70.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the contract for the water fountain renovation.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of August, 2014.

APPROVED:

ATTEST:

APPROVED AS TO FORM:

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL
FROM: BRUNO RUMBELOW, CITY MANAGER ^{BR}
MEETING DATE: AUGUST 19, 2014
SUBJECT: APPROVAL OF A RESOLUTION FOR THE PURCHASE OF
PORTABLE RADIOS

RECOMMENDATION:

City Council to consider approval of a resolution for the purchase of portable radios from Motorola Solutions through an Interlocal Agreement for Cooperative Purchasing with the Houston-Galveston Area Council (H-GAC).

FUNDING SOURCE:

Funding for this purchase is currently available in account 113-42281-209-06 (Minor Apparatus and Tools/Grant Fund) for the amount not to exceed \$37,438.70.

BACKGROUND:

This purchase will be made in accordance with an existing Interlocal Agreement for Cooperative Purchasing with the Houston-Galveston Area Council (H-GAC) as allowed by Texas Local Government Code, Section 271.102, Cooperative Purchasing Program.

Bids were taken by the Cooperative and a contract was awarded to Motorola Solutions. The Police and Purchasing staff reviewed the contract for specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

This purchase is for 13 portable radios for the Police Department. These portable radios will replace older radios used by police officers and will improve communication capability for the officers. The funds for this purchase are provided by Tarrant County 911.

Staff recommends approval.

MB/BS

PORTABLE
RADIOS

RESOLUTION NO. _____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE PORTABLE RADIOS THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT FOR COOPERATIVE PURCHASING AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Section 271.102 to enter into a cooperative purchasing program agreement with other qualified entities in the State of Texas; and

WHEREAS, the Houston-Galveston Area Council (H-GAC), a regional planning commission, is a qualified purchasing cooperative program as authorized by Section 271.102 of the Texas Local Government Code; and

WHEREAS, the City of Grapevine, Texas, has established an Interlocal Agreement for Cooperative Purchasing with H-GAC and wishes to utilize established contracts meeting all State of Texas bidding requirements; and

WHEREAS, H-GAC has established a contract with Motorola Solutions under contract #RA05-12, Radio Communication, Emergency Response & Mobile Interoperability Equipment; and

WHEREAS, the City of Grapevine, Texas has a need to purchase 13 portable radios for the Police Department; and

WHEREAS, all legal prerequisites for the adoption of this resolution have been met, including but not limited to the Local Government Code and the Open Meetings Act; and

WHEREAS, the City Council hereby declares that the approval of this resolution is in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated in the above preamble are true and correct and are incorporated herein as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase of 13 portable radios from Motorola Solutions through an Interlocal Agreement for Cooperative Purchasing with H-GAC for an amount not to exceed \$37,438.70.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of said radios.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of August, 2014.

APPROVED:

ATTEST:

APPROVED AS TO FORM:

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER BR

MEETING DATE: AUGUST 19, 2014

SUBJECT: APPROVAL OF A RESOLUTION FOR THE PURCHASE OF
BACKUP RADIOS

RECOMMENDATION:

City Council to consider approval of a resolution for the purchase of backup radios from Motorola Solutions through an Interlocal Agreement for Cooperative Purchasing with the Houston-Galveston Area Council (H-GAC).

FUNDING SOURCE:

Funding for this purchase is currently available in account 117-42281-209-4 (CCPD, Apparatus & Tools) for the amount not to exceed \$27,302.40.

BACKGROUND:

This purchase will be made in accordance with an existing Interlocal Agreement for Cooperative Purchasing with the Houston-Galveston Area Council (H-GAC) as allowed by Texas Local Government Code, Section 271.102, Cooperative Purchasing Program.

Bids were taken by the Cooperative and a contract was awarded to Motorola Solutions. The Police and Purchasing staff reviewed the contract for specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

This purchase is for six backup console radios in the Police and Fire dispatch center. These radios will replace backup console radios that are over 12 years old and at the end of their useful life expectancy. The backup console radios are used when the public safety radio system goes into a fail soft condition due to telephone circuit failure or power failure at the tower site. It also provides the dispatchers with another source for backup interoperable communications with other agencies.

Staff recommends approval.

MB/BS

RESOLUTION NO. _____

BACKUP RADIOS

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE BACKUP RADIOS THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT FOR COOPERATIVE PURCHASING AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Section 271.102 to enter into a cooperative purchasing program agreement with other qualified entities in the State of Texas; and

WHEREAS, the Houston-Galveston Area Council (H-GAC), a regional planning commission, is a qualified purchasing cooperative program as authorized by Section 271.102 of the Texas Local Government Code; and

WHEREAS, the City of Grapevine, Texas, has established an Interlocal Agreement for Cooperative Purchasing with H-GAC and wishes to utilize established contracts meeting all State of Texas bidding requirements; and

WHEREAS, H-GAC has established a contract with Motorola Solutions under contract #RA05-12, Radio Communication, Emergency Response & Mobile Interoperability Equipment; and

WHEREAS, the City of Grapevine, Texas has a need to purchase six replacement backup radios for the Police and Fire Departments; and

WHEREAS, all legal prerequisites for the adoption of this resolution have been met, including but not limited to the Local Government Code and the Open Meetings Act; and

WHEREAS, the City Council hereby declares that the approval of this resolution is in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated in the above preamble are true and correct and are incorporated herein as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase of six backup radios from Motorola Solutions through an Interlocal Agreement for Cooperative Purchasing with H-GAC for an amount not to exceed \$27,302.40.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of said radios.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of August, 2014.

APPROVED:

ATTEST:

APPROVED AS TO FORM:

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER BR

MEETING DATE: AUGUST 19, 2014

SUBJECT: APPROVAL OF A RESOLUTION FOR THE PURCHASE OF
TABLET COMPUTERS

RECOMMENDATION:

City Council to consider approval of a resolution for the purchase of 10 Getac tablet computers from PCS Mobile for the Police Department through a contract established by the State of Texas Department of Information Resources (DIR) Cooperative Contracts Program.

FUNDING SOURCE:

Funding for this purchase is currently available in account 117-42281-209-4 (CCPD, Apparatus & Tools) in the amount not to exceed \$38,740.40.

BACKGROUND:

This purchase will be made in accordance with a contract established with PCS Mobile by the State of Texas Department of Information Resources (DIR) Cooperative Contracts Program. Purchases through this program are authorized under Texas Local Government Code, Chapter 271, Subchapter D and Texas Government Code Chapter 2054, Section 2054.0565 (b).

Bids were taken by the cooperative and a contract was awarded to PCS Mobile. The Purchasing and Police staff reviewed the contract for specification compliance and determined that the contract would provide the best product and pricing for meeting the needs of the City.

The purpose of this request is to approve the purchase of 10 rugged Getac tablets and associated hardware/software. The tablets will be used in the field by the Police Department and replaces existing mobile workstations that are older technology and are at the end of their useful life expectancy. This will ensure that officers are using state of the art equipment, which increases personnel safety and efficiency.

Staff recommends approval.

MB/BS

TABLET
COMPUTERS

RESOLUTION NO. _____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE TABLET COMPUTERS THROUGH A STATE OF TEXAS DEPARTMENT OF INFORMATION RESOURCES (DIR) CONTRACT PROGRAM AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Chapter 271, Subchapter D and Texas Government Code Chapter 2054, Section 2054.0565 (b) to make purchases under a state contract therefore satisfying any state law requiring local governments to seek competitive bids for the purchase of the item; and

WHEREAS, the State of Texas Department of Information Resources (DIR) Cooperative Contracts program is a qualified purchasing program; and

WHEREAS, the City of Grapevine, Texas can participate in the State of Texas DIR Cooperative Contracts Program through membership in the Program and wishes to utilize the contract meeting all State of Texas bidding requirements; and

WHEREAS, the State of Texas DIR has an established contract #DIR-SDD-2061 with PCS Mobile for IT Products and Related Services.

WHEREAS, the City has a need to replace 10 mobile computers for the Police Department; and

WHEREAS, all legal prerequisites for the adoption of this resolution have been met, including but not limited to the Local Government Code and the Open Meetings Act; and

WHEREAS, the City Council hereby declares that the approval of this resolution is in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated in the above preamble are true and correct and are incorporated herein as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase of 10 Getac tablet computers from PCS Mobile for an amount not to exceed \$38,740.40.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of said computers.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of August, 2014.

APPROVED:

ATTEST:

APPROVED AS TO FORM:

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: AUGUST 19, 2014

SUBJECT: APPROVAL OF A RESOLUTION FOR A SOLE SOURCE
PURCHASE OF TRUCK SERVICE BODIES

RECOMMENDATION:

City Council to consider approval of a resolution for a sole source purchase of truck service bodies from BrandFX Body Company.

FUNDING SOURCE:

Funding for this purchase is currently available in account 200-48910-530-1 for \$7,462.00 and 325-48910-415-14-0028 \$9,468.00 (Capital Equipment/Motor Vehicles Fund) in the amount of \$16,930.00.

BACKGROUND:

This procurement will be made as a sole source in accordance with Local Government Code Chapter 252, Subchapter B, § 252.022. General Exemptions (a)(7)(A).

Brand FX Body Company is the only company in Texas offering custom truck composite service bodies.

This request is for the purchase and installation of composite service bodies on new chassis for Public Works Environmental and Utility department trucks. These bodies are constructed of lightweight composite materials that offer a 50% weight savings over the steel service bodies which reduces fuel usage and tire wear. The chassis and beds are funded in the FY2014 Vehicle Replacement Budget.

Staff recommends approval.

PH/BS

CC ITEM #19
TRUCK
SERVICE BODIES

RESOLUTION NO. _____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO APPROVE THE SOLE SOURCE PURCHASE OF TRUCK SERVICE BODIES AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by Texas Local Government Code Chapter 252, Subchapter B, § 252.022. General Exemptions (a)(7)(A) to purchase said equipment on a sole source basis; and

WHEREAS, the sole source purchase is due to the custom specifications required by the Public Works Department; and

WHEREAS, all legal prerequisites for the adoption of this resolution have been met, including but not limited to the Local Government Code and the Open Meetings Act; and

WHEREAS, the City Council hereby declares that the approval of this resolution is in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated in the above preamble are true and correct and are incorporated herein as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the sole source purchase of two custom truck service bodies for Public Works for an amount not to exceed \$16,930.00.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of truck service bodies.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of August, 2014.

APPROVED:

ATTEST:

APPROVED AS TO FORM:

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER BR

MEETING DATE: AUGUST 19, 2014

SUBJECT: ALLEY ABANDONMENT BLOCK 30, YATES AND JENKINS
ADDITION

RECOMMENDATION:

City Council consider adopting an ordinance abandoning a 12 foot wide alley (115 feet in length) between Lots 4 and 5, Block 30, Yates and Jenkins Addition, and take any necessary action.

BACKGROUND:

The original 1889 plat of Yates and Jenkins Addition established 115 foot wide by 115 foot deep lots with 12 foot alleys spaced every two lots in Block 30. The owner of Lot 5 has purchased a strip of land from Lot 4 to the west of the subject alley and wishes to incorporate the alley and the strip into his lot.

The property owner has requested that the City abandon the 12 foot wide alley.

The alley will be retained as a drainage and utility easement.

Staff has reviewed the request and has no objections.

Staff recommends approval.

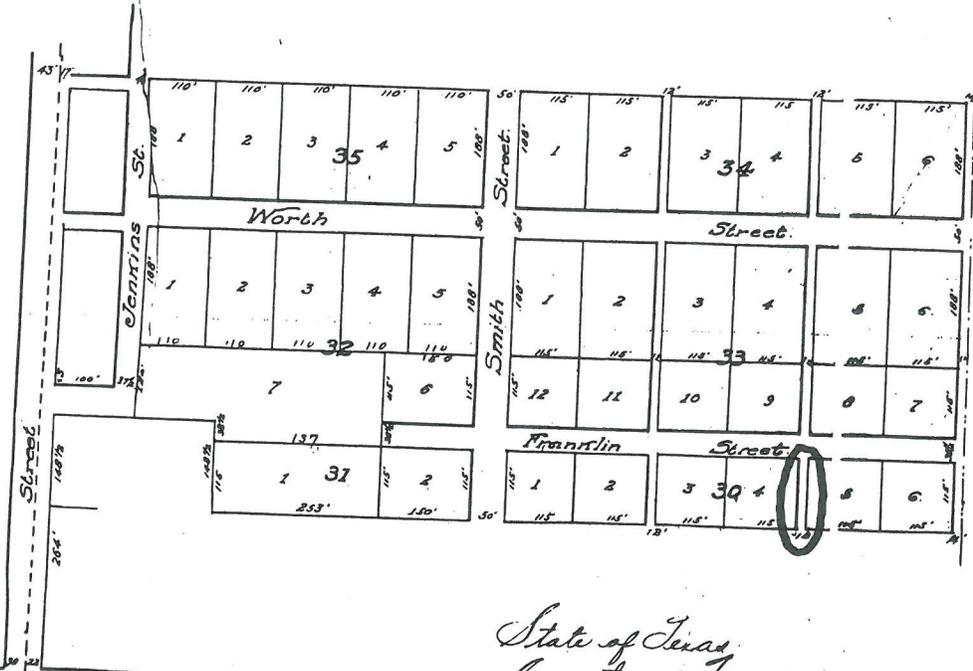
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Pg 546

GRAPEVINE TEXAS

.....LAND OF.....

YATES and JENKINS

< Scale this map 1" = 200' >



State of Texas

State of Texas
County of Tarrant

Know all men by the Presence, c
we J. E. Yates and Zeb Jenkins of the County of
and State aforesaid do hereby adopt the foregoing
as correctly representing our Subdivision of Block
numbering from 30 to 35 inclusive, also lots owned
from 9 to 22 inclusive in Block No. 11 in the town of
Grapevine in Tarrant County and we do hereby give
to the use of the public the streets and alleys of
our property as represented thereon.

J. E. Yates
Zeb Jenkins

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, ABANDONING AND VACATING AN ALLEY BETWEEN LOTS 4 AND 5, BLOCK 30, YATES AND JENKINS ADDITION, IN THE CITY OF GRAPEVINE, TEXAS AS HEREINAFTER DESCRIBED; RETAINING SAID ALLEY AS A DRAINAGE AND UTILITY EASEMENT; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the owner of Lot 5, and the eastern 13 feet of Lot 4, Block 30, Yates and Jenkins Addition has requested that a 12 foot wide and 115 foot long alley located between Lots 4 and 5, as recorded in Volume 65, Page 5, PRTCT, be abandoned and vacated; and

WHEREAS, the alley is not needed for public street use and will not be needed in the future for public street use; and

WHEREAS, the alley shall be retained for a public drainage and utility easement; and

WHEREAS, abandoning and vacating the said alley will relieve the City of Grapevine, Texas from the cost and expense of maintaining said property.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated in the preamble of this ordinance are true and correct and are hereby incorporated into the body of this ordinance as if copied in their entirety.

Section 2. That the alley described herein and depicted in Exhibit "A", attached hereto and incorporated herein for all purposes, is hereby abandoned and vacated for public use subject to the retention of said alley for a drainage and utility easement.

Section 3. That the terms and provisions of this ordinance shall be deemed to be severable, and that if the validity of any section, subsection, word, sentence or phrase shall be held to be invalid, it shall not affect the remaining part of this ordinance.

Section 4. That the fact that the right of way is no longer needed by the public for public usage and would create a hardship or burden upon the City of Grapevine to keep open and maintain such right of way creates an urgency and an emergency for the immediate preservation of the public health, safety, and general welfare which requires that this ordinance shall take effect immediately from and after its passage and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of August, 2014.

APPROVED:

ATTEST:

APPROVED AS TO FORM:

State of Texas
County of Tarrant

Before me, Anne Baker, Notary Public on this day personally appeared _____
_____ known to me to be the
persons whose names are subscribed to the foregoing instrument and acknowledged to
me that they executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this _____ day of _____ .

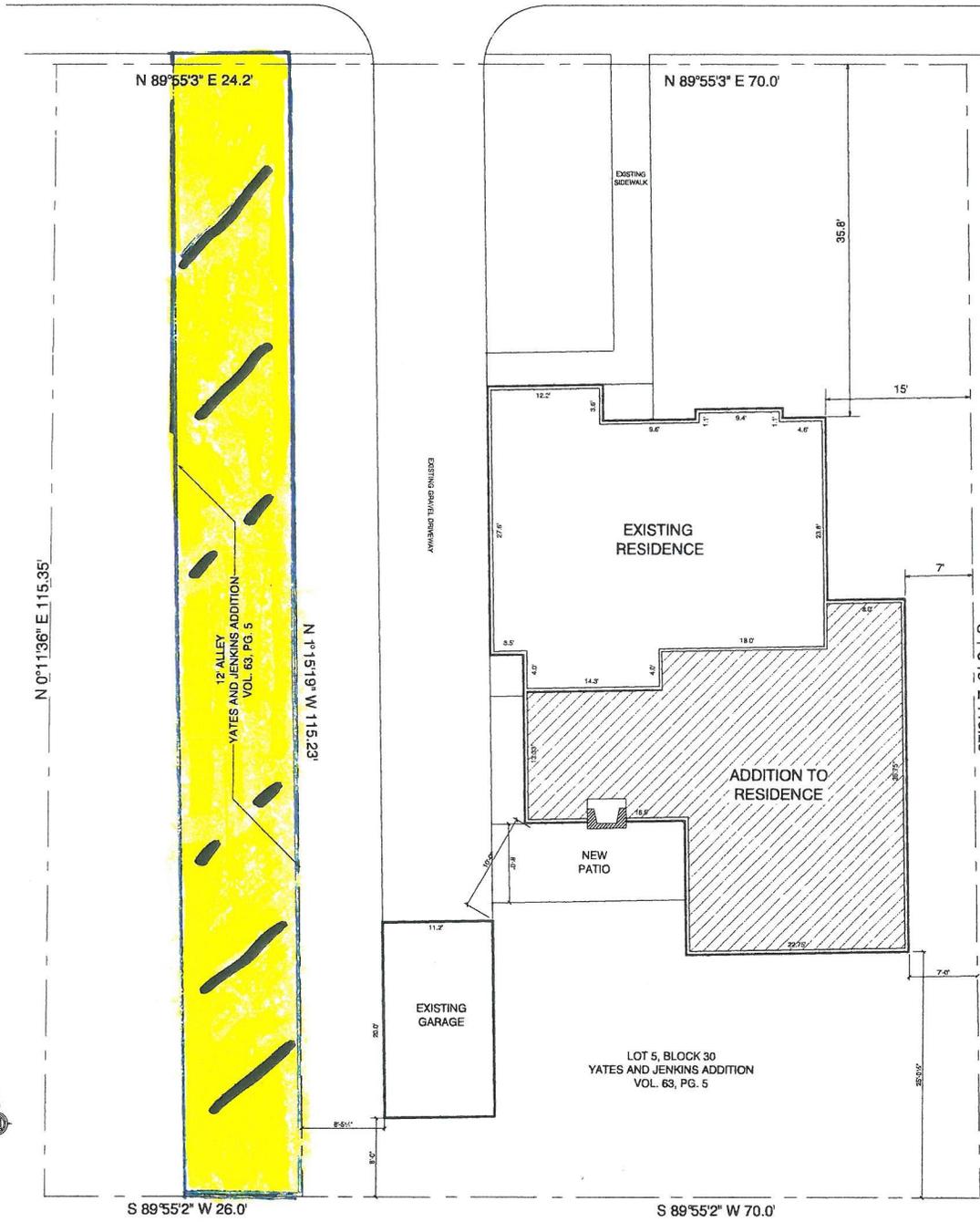
Notary Signature

My Commission Expires:

EXHIBIT A

CC ITEM #20

FRANKLIN STREET



SITE PLAN

3/16" = 1'-0"

SP-1

RESIDENTIAL REMODELING

420 E. FRANKLIN
GRAPEVINE, TEXAS

Gary D. Land

ARCHITECT

designs for commercial - industrial - residential - interiors
Dallas, Texas 214-335-5263

STATE OF TEXAS
COUNTY OF TARRANT
CITY OF GRAPEVINE

The City Council and the Planning & Zoning Commission of the City of Grapevine, Texas met in Regular Joint Session on this the 15th day of July, 2014 in the City Council Chambers, Second Floor, 200 South Main Street, with the following members of the City Council present to-wit:

William D. Tate	Mayor
C. Shane Wilbanks	Mayor Pro Tem
Sharron Spencer	Council Member
Darlene Freed	Council Member
Mike Lease	Council Member
Chris Coy	Council Member
Duff O'Dell	Council Member

constituting a quorum, with the following members of the Planning & Zoning Commission:

Larry Oliver	Chairman
Herbert Fry	Vice Chairman
Betty "BJ" Wilson	Member
Monica Hotelling	Member
Jim Fechter	Member
Beth Tiggelaar	Member
Dennis Luers	Alternate
Theresa Mason	Alternate

constituting a quorum, with Commissioner Gary Martin absent, with the following members of the City Staff:

Bruno Rumbelow	City Manager
Jennifer Hibbs	Assistant City Manager
John F. Boyle, Jr.	City Attorney
Jodi C. Brown	City Secretary

CALL TO ORDER

Mayor Tate called the meeting to order at 6:32 p.m.

EXECUTIVE SESSION

Mayor Tate announced the City Council would recess to the City Council Conference Room to conduct a closed session regarding:

ITEM 1. EXECUTIVE SESSION

A. Conference with City Manager and Staff to discuss and deliberate commercial and financial information received from business prospects the City seeks to have locate, stay, or expand in the City; deliberate the offer of a financial or other incentive; with which businesses the City is conducting economic development negotiations pursuant to Section 551.087, Texas Government Code.

The City Council recessed to the City Council Conference Room and began the closed session at 6:34 p.m.

Upon reconvening in open session in the Council Chambers, Mayor Tate asked if there was any action necessary relative to the closed session. City Manager Bruno Rumbelow stated there was no action necessary relative to conference with City Manager and Staff under Section 551.087, Texas Government Code.

NOTE: City Council continued with the Workshop portion of the Agenda in open session in the City Council Chambers.

WORKSHOP

CALL TO ORDER

The Workshop Session was called to order at 6:52 p.m.

ITEM 2. DISCUSS PROCESS OF APPOINTING BOARD AND COMMISSION MEMBERS

City Secretary Brown provided an overview of the July 1st Workshop discussion on the entire Council interviewing new board and commission applicants instead of the current three-member Council panel. Council discussion ensued on interviewing in the City Council Conference Room, scheduling this year's interviews for the last two weeks of July, conducting a workshop to discuss application revisions and adopting a resolution outlining the appointment policy.

No formal action was taken by the City Council. There being no further business to discuss on the Workshop Agenda, the Workshop was adjourned.

JOINT MEETING

CALL TO ORDER

Mayor Tate called the meeting to order at 7:32 p.m. in the City Council Chambers.

INVOCATION

Commissioner BJ Wilson delivered the Invocation and led the Pledge of Allegiance.

ITEM 3. PUBLIC HEARING, CONDITIONAL USE APPLICATION CU14-26
COTTON PATCH CAFE

This item was considered after Item 14.

Mayor Tate declared the public hearing open.

Assistant Development Services Director Ron Stombaugh stated that Conditional Use Application CU14-26 (Cotton Patch Cafe) had been submitted by Cotton Patch Cafe requesting a conditional use permit for the possession, storage, retail sale and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages) in conjunction with a restaurant. The subject property is located at 129 South Main Street #155 and is zoned "CBD" Central Business District.

The applicant proposes to develop a 3,595 square foot, 117-seat restaurant on the first floor of the two story multi-tenant building. Required parking for this proposed restaurant is 39 spaces; 52 spaces were allocated for restaurant use as part of the zoning request approved in February 2013.

Mr. Larry Marshall requested favorable consideration of the application and answered questions on the restaurant's opening and bar area, and if there were plans to close their other restaurant located in southern Grapevine.

Mayor Tate invited guests present to comment regarding the application. No one wished to speak and there was no correspondence to report.

Commissioner Luers, seconded by Commissioner Wilson, offered a motion to close the public hearing. The motion prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar & Luers
Nays: None
Absent: Martin

Council Member Lease, seconded by Council Member Coy, offered a motion to close the public hearing. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell
Nays: None

ITEM 4. PUBLIC HEARING, CONDITIONAL USE APPLICATION CU14-27 BRICK
HOUSE TAVERN & TAP

Mayor Tate declared the public hearing open.

Assistant Development Services Director Stombaugh stated that Conditional Use Application CU14-27 (Brick House Tavern & Tap) had been submitted by GHA Architects requesting a conditional use permit to amend the site plan approved by Ordinance No. 97-115 to revise the building elevations, allow outdoor speakers and outside dining and a 38-foot pole sign in conjunction with a restaurant in a planned commercial center with the possession, storage, retail sale and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages). The subject property is located at 700 West State Highway 114 and is zoned "HC" Highway Commercial District.

The applicant proposes to convert the existing Romano's Macaroni Grill into a Brick House Tavern & Tap restaurant; change the building elevation to include a 1,281 square foot outdoor patio area on the west and south side of the building that can accommodate 66 patrons; and 10 television monitors and five outdoor speakers are proposed on the patio. Eleven parking spaces will be removed to create the patio area. The proposed seating of 299 is an increase of 33 seats with a parking requirement of 100 spaces—143 spaces have been provided. The applicant proposes to reduce the existing pole sign—from 40 feet in height to approximately 38 feet and approximately 190 square feet in area to 174 square feet.

Ms. Alania Warren requested favorable consideration of the application.

There were no questions from the City Council or the Planning & Zoning Commission.

Mayor Tate invited guests present to comment regarding the application. No one wished to speak and there was no correspondence to report.

Commissioner Fechter, seconded by Commissioner Wilson, offered a motion to close the public hearing. The motion prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar & Luers
Nays: None
Absent: Martin

Mayor Pro Tem Wilbanks, seconded by Council Member Freed, offered a motion to close the public hearing. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell
Nays: None

ITEM 5. PUBLIC HEARING, CONDITIONAL USE APPLICATION CU14-28
GRAPEVINE STATION AND FINAL PLAT, LOTS 3R1, 3R2 AND 3R3,
BLOCK 4, GRAPEVINE STATION BEING A REPLAT OF LOT 3, BLOCK
4, GRAPEVINE STATION

Mayor Tate declared the public hearing open.

Assistant Development Services Director Stombaugh stated that Conditional Use Application CU14-28 (Grapevine Station) and the final plat of Lots 3R1, 3R2 and 3R3, Block 4, Grapevine Station being a replat of Lot 3, Block 4, Grapevine Station had been submitted by Triple T Farms and Buchanan Investments. The conditional use application is for the development of three professional and medical office buildings located at 1024, 1040, 1042 Texan Trail and is zoned "CC" Community Commercial District Regulations.

Mr. Otis Lee and Mr. Chris Leighton requested favorable consideration of the application and stated that the three planned buildings would have mixed medical and office tenants.

Mayor Tate invited guests present to comment regarding the application. No one wished to speak and one letter of concern was copied to the Council and Commission.

Commissioner Fry, seconded by Commissioner Hotelling, offered a motion to close the public hearing. The motion prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar & Luers
Nays: None
Absent: Martin

Council Member Freed, seconded by Council Member Coy, offered a motion to close the public hearing. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell
Nays: None

ITEM 6. PUBLIC HEARING, CONDITIONAL USE APPLICATION CU14-29 FAITH CHRISTIAN SCHOOL

Mayor Tate declared the public hearing open.

Assistant Development Services Director Stombaugh stated that Conditional Use Application CU14-29 (Faith Christian School) had been submitted by Faith Christian School requesting a conditional use permit to amend the site plan approved by Ordinance No. 2006-50 for a 4,944 square foot expansion to the existing gymnasium. The subject property is located at 730 East Worth Street and is zoned "R-7.5" Single Family District Regulations.

Mr. Justin Jordan requested favorable consideration of the application.

There were no questions from the City Council or the Planning & Zoning Commission.

Mayor Tate invited guests present to comment regarding the application. No one wished to speak and three letters of support were copied to the Council and Commission.

Commissioner Wilson, seconded by Commissioner Luers, offered a motion to close the public hearing. The motion prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar & Luers
Nays: None
Absent: Martin

Council Member Spencer, seconded by Mayor Pro Tem Wilbanks, offered a motion to close the public hearing. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell
Nays: None

ITEM 7. PUBLIC HEARING, HISTORIC LANDMARK SUBDISTRICT HL14-02
318 TURNER ROAD

Mayor Tate declared the public hearing open.

Assistant Development Services Director Stombaugh stated that Historic Landmark Subdistrict HL14-02 (318 Turner Road) had been submitted by Nona Chivers requesting designation of property located at 318 Turner Road as a historical landmark subdistrict. The subject property is zoned "R-5.0" Zero Lot Line District Regulations. On March 26, 2014, the Historic Preservation Commission adopted the preservation criteria for the subject property addressing such issues as setbacks, driveways, parking, exterior finishes and other architectural embellishments to preserve the historic integrity of the property.

There were no questions from the City Council or the Planning & Zoning Commission.

Mayor Tate invited guests present to comment regarding the application. Ms. Katie Maeder, 1218 Berkley Drive, representing the applicant spoke in support of the application. One letter of protest was copied to the Council and Commission.

Commissioner Fechter, seconded by Commissioner Tiggelaar, offered a motion to close the public hearing. The motion prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar & Luers
Nays: None
Absent: Martin

Council Member Lease, seconded by Council Member Coy, offered a motion to close the public hearing. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell
Nays: None

ITEM 8. PUBLIC HEARING, HISTORIC LANDMARK SUBDISTRICT HL14-03
321 TURNER ROAD

Mayor Tate declared the public hearing open.

Assistant Development Services Director Stombaugh stated that Historic Landmark Subdistrict HL14-03 (321 Turner Road) had been submitted by Regina Baldwin requesting designation of property located at 321 Turner Road as a historical landmark subdistrict. The subject property is zoned "R-5.0" Zero Lot Line District Regulations. The Historic Preservation Commission, at their March 26, 2014 meeting, adopted the preservation criteria for the subject property addressing such issues as setbacks, driveways, parking, exterior finishes and other architectural embellishments to preserve the historic integrity of the property.

There were no questions from the City Council or the Planning & Zoning Commission.

Mayor Tate invited guests present to comment regarding the application. The following spoke in support of the application: Ms. Katie Maeder, 1218 Berkley Drive and Ms. Becky St. John, 2702 West Kimball, Southlake (owner of 405 Washington). Two letters of protest were copied to the Council and Commission.

Commissioner Luers, seconded by Commissioner Wilson, offered a motion to close the public hearing. The motion prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar & Luers
Nays: None
Absent: Martin

Council Member Freed, seconded by Council Member Coy, offered a motion to close the public hearing. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell
Nays: None

ITEM 9. PUBLIC HEARING, HISTORIC LANDMARK SUBDISTRICT HL14-04
422A JONES STREET

Mayor Tate declared the public hearing open.

Assistant Development Services Director Stombaugh stated that Historic Landmark Subdistrict HL14-04 (422A Jones Street) had been submitted by Eliza Brewer requesting designation of property located at 422A Jones Street as a historical landmark subdistrict. The subject property is zoned "R-5.0" Zero Lot Line District

Regulations. The Historic Preservation Commission, at their March 26, 2014 meeting, adopted the preservation criteria for the subject property addressing such issues as setbacks, driveways, parking, exterior finishes and other architectural embellishments to preserve the historic integrity of the property.

Ms. Eliza Brewer requested favorable consideration of the application.

There were no questions from the City Council or the Planning & Zoning Commission.

Mayor Tate invited guests present to comment regarding the application. Mr. James Hart, 302 Silver Oak Drive, spoke in opposition to the application due to the condition of the dwelling. Ms. Clarissa Tarrant, 3025 Mustang Drive, representing the property owner at 422B Jones Street, spoke in support of the application. There was no correspondence to report.

Commissioner Fechter, seconded by Commissioner Wilson, offered a motion to close the public hearing. The motion prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar & Luers
Nays: None
Absent: Martin

Mayor Pro Tem Wilbanks, seconded by Council Member Coy, offered a motion to close the public hearing. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell
Nays: None

ITEM 10. PUBLIC HEARING, HISTORIC LANDMARK SUBDISTRICT HL14-05
1400 SOUTH MAIN STREET

Mayor Tate declared the public hearing open.

Assistant Development Services Director Stombaugh stated that Historic Landmark Subdistrict HL14-05 (1400 South Main Street) had been submitted by the Historic Preservation Commission requesting designation of property located at 1400 South Main Street as a historic landmark subdistrict. The subject property is zoned "HC" Highway Commercial District.

Historic Preservation Officer David Klempin noted that on April 23, 2014 the Historic Preservation Commission voted unanimously to bring forward a case for landmark designation of the First National Bank Building. The ca. 1970 building, constructed as the First National Bank of Grapevine and is now owned by Wells Fargo Bank, is one of Grapevine's most iconic structures. It marks the south Gateway Entrance to Grapevine's historic Main Street at State Highway 114. This five-acre tract of land was purchased in 1963 by Mr. Joseph N. Box as the most desirable of available locations.

The building's sleek cubist design is unique in Grapevine and adds sophistication to Historic Main Street with its clean lines, high quality materials, and sophistication exemplified through simplicity.

The Historic Preservation Commission, at their May 28, 2014 meeting, adopted the preservation criteria for the subject property addressing such issues as setbacks, driveways, parking, exterior finishes and other architectural embellishments to preserve the historic integrity of the property.

Mr. Klempin answered questions from the Council on the initiated case, significant property identification and property owner notification.

NOTE: Council Member Coy left the dais at 8:35 p.m. and returned at 8:36 p.m.

Mayor Tate invited guests present to comment regarding the application. The following spoke regarding the application:

1. Mr. Kirk Williams, representing Wells Fargo Bank, 2728 North Harwood, Suite 500, Dallas, spoke in opposition to the historic overlay subdistrict case filed on the property. Following Council dialog with Mr. Williams, he then consented to the case and requested that the drive-through bank and the two-story structure not be considered as part of the case. 2. Ms. Margaret Telford, 416 Azalea, spoke in support.

NOTE: Council Member Freed left the dais at 9:01 p.m. and returned at 9:03 p.m.

3. Ms. Melva Stanfield, 318 Pebble Brook Drive, spoke in support of the case. 4. Mr. Vick Cox, 418 East Texas Street, spoke in support. 5. Mr. Burl Gilliam, 3311 Marsh Lane, spoke in support of the application. One letter of protest was copied to the Council and Commission.

Commissioner Luers, seconded by Commissioner Hotelling, offered a motion to close the public hearing. The motion prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar & Luers
Nays: None
Absent: Martin

Council Member Freed, seconded by Mayor Pro Tem Wilbanks, offered a motion to close the public hearing. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell
Nays: None

ITEM 11. PUBLIC HEARING, FINAL PLAT OF LOTS 1, 2 AND 3, BLOCK 1, RENTSCH ADDITION BEING A REPLAT OF LOT 1 AND A PORTION OF

LOT 7, BLOCK 119, CLIFTON H. JONES ADDITION TO COLLEGE HEIGHTS AND A 25' X 135' TRACT OF LAND

Mayor Tate declared the public hearing open.

Engineering Manager John Robertson stated that the final plat of Lots 1, 2 and 3, Block 1, Rentsch Addition being a replat of Lot 1 and a portion of Lot 7, Block 119, Clifton H. Jones Addition to College Heights and a 25' x 135' tract of land had been submitted by Kimberly Rentsch. The subject property is located at 605 Austin Street, is zoned "R 7.5" Single Family District Regulations and is being platted to divide the 0.65 acre site into three lots.

There were no questions from the City Council or the Planning & Zoning Commission.

Mayor Tate invited guests present to comment regarding the application. No one wished to speak and there was no correspondence to report.

Commissioner Fry, seconded by Commissioner Wilson, offered a motion to close the public hearing. The motion prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar & Luers
Nays: None
Absent: Martin

Council Member Lease, seconded by Council Member Coy, offered a motion to close the public hearing. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell
Nays: None

ITEM 12. PUBLIC HEARING, FINAL PLAT OF LOTS 8R1 AND 8R2, BLOCK 4, RUSSWOOD ESTATES, PHASE TWO BEING A REPLAT OF LOT 8, BLOCK 4, RUSSWOOD ESTATES, PHASE TWO

Mayor Tate declared the public hearing open.

Engineering Manager John Robertson stated that the final plat of Lots 8R1 and 8R2, Block 4, Russwood Estates, Phase Two being a replat of Lot 8, Block 4, Russwood Estates, Phase Two had been submitted by Jason Rawlings to subdivide the 0.6015 acre lot into two lots. The subject property is located at 2323 Eagle Crest Drive and is zoned "R-7.5" Single Family District Regulations.

Mayor Tate invited guests present to comment regarding the application. No one wished to speak and there was no correspondence to report.

Commissioner Fechter, seconded by Commissioner Luers, offered a motion to close the public hearing. The motion prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar & Luers
Nays: None
Absent: Martin

Council Member Spencer, seconded by Council Member Coy, offered a motion to close the public hearing. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell
Nays: None

RECESS AND RECONVENE

Mayor Tate announced the Planning & Zoning Commission would recess to the Planning & Zoning Conference Room to consider published business.

Mayor Tate announced that the City Council would take a brief recess. Upon reconvening in the Council Chambers, all members of the City Council were present.

ITEM 13. CITIZEN COMMENTS

13A. Mr. Marc Blum, 2198 Lakeridge Drive, addressed comments to the Council regarding the July 1st Workshop relative to golf carts on City streets.

13B. Mr. Mike Vanole, 2110 Westbrook Drive, was called upon but was no longer in attendance.

13C. Mr. Greg Roemer representing Community Waste Disposal, 2010 California Crossing, Dallas, presented information on his company and requested the opportunity to submit a proposal next year to the City.

ITEM 14. PRESENTATION, EMS SUPERSTAR AWARD

This presentation was made prior to conducting the Joint Public Hearings (Items 3-12).

Mr. Steve Newton, President of Baylor Medical Center at Grapevine, presented an EMS Superstar Award to the Fire Department's Emergency Medical Service crew of Donnie Sewell, Brad Pheldpausch, Todd Woodall, Mike Thompson, Eric Sellers, and Jarod Harding for their actions during two lifesaving events.

NOTE: City Manager Rumbelow requested the presentation on the joint fiber optic project with Grapevine-Colleyville ISD be tabled due to the late hour and be rescheduled to the August 5 meeting.

ITEM 15. MONTHLY FINANCIAL UPDATE

This item was presented after Item 13 Citizen Comments.

Administrative Services Director John McGrane presented the monthly financial update, noting that mixed beverage tax collections were up \$220,000 and that franchise fees were also up; that General Fund revenues and expenditures were tracking as projected; the sales tax revenue was up 6%; and that in the Utility Enterprise Fund, water and sewer sales were showing an increase. He stated that the average hotel room rate declined slightly, and that the City's unemployment rate was 4.5%.

There was no formal action taken by the City Council.

ITEM 15A. PRESENTATION, JOINT FIBER OPTIC PROJECT

This item was added by a Supplemental Agenda posted in accordance with the Open Meetings Act. Mayor Tate stated that Staff had requested this item be tabled.

Mayor Pro Tem Wilbanks, seconded by Council Member Coy, offered a motion to table the presentation until August 5, 2014. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell

Nays: None

ITEM 16. MARKET STUDY AND MASTER PLAN AGREEMENT, 185 ACRE CITY-OWNED TRACT

City Manager Rumbelow noted at the June 17, 2014 Council meeting, Staff was directed to proceed with negotiations with the team led by HR&A Advisors, Inc. for a market study and master plan for the 185 acres owned by the City in Northeast Grapevine. Since that time, Staff has worked with the firm to reach a balance of services and a budget. The final proposal includes the following scope of services: Goal setting workshop with Council and Staff; Market and site context analysis; Visioning workshop (based on market study findings); Development program and land-use alternatives; Alternatives presentation and Preferred alternative presentation and report. The fee for these services is \$257,700, with an anticipated time frame for completion of between five and six months.

Following discussion on the scope of services being provided in the contract, City Manager Rumbelow requested to table the item and redefine the scope of the contract.

Council Member Spencer, seconded by Council Member Lease, offered a motion to table consideration of the contract. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell

Nays: None

NOTE: Prior to considering the remaining two New Business items, the City Council considered the Planning & Zoning Commission recommendations (Items 24-35).

ITEM 17. ORDINANCE AMEND GRAPEVINE CODE OF ORDINANCES, CHAPTER 21 TAXATION, HOTEL DEFINITION AND SETTING HOTEL OCCUPANCY TAX RATE

This item was considered after Item 35.

Convention & Visitors Bureau Executive Director Paul McCallum recommended approval of an ordinance amending the Grapevine Code of Ordinances, Chapter 21 Taxation, Article II, Section 21-20 amending the definition of "Hotel", Section 21-21 relative to setting the hotel occupancy tax rate at the State authorized 7% and Section 21-22 relative to the use of tax revenue. Mr. McCallum noted the hotel occupancy tax rate increase would allow for incentives and, if approved, would become effective on October 1, 2014.

Following discussion, Council Member Spencer offered a motion to approve the recommended ordinance. Council Member Freed seconded the motion which prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease & O'Dell

Nays: Coy

ORDINANCE NO. 2014-37

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AMENDING THE CODE OF ORDINANCES CHAPTER 21, TAXATION, ARTICLE II SECTION 21-20 RELATING TO THE DEFINITION OF A HOTEL, SECTION 21-21 RELATING TO THE LEVY OF AN ADDITIONAL ONE PERCENT HOTEL TAX AND SECTION 21-22 RELATIVE TO USE OF TAX REVENUE; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

ITEM 18. RESOLUTIONS, AMEND GOLF COURSE ADVISORY BOARD AND HERITAGE FOUNDATION ADVISORY BOARD VOTING MEMBERSHIP AND ABOLISH INACTIVE COMMITTEES

As a result of the discussion at the July 1st Workshop, City Secretary Brown presented for consideration resolutions amending voting membership of the Golf Course Advisory Board and the Heritage Foundation Advisory Board, and the list of inactive committees to be abolished. The resolutions would remove the voting designation of the Council Liaison on the respective boards; thereby reducing the voting membership of the Golf Course Advisory Board to seven citizen members and the Heritage Foundation Advisory

Board to 10 citizen members. Staff identified the following inactive Council committees: Citizens Drainage Review, Northwest Highway and Council Travel.

Council Member Freed, seconded by Mayor Pro Tem Wilbanks, offered a motion to approve the two resolutions and abolish the three inactive committees. Discussion followed on abolishing the Council Corps Committee and the Grapevine Township Revitalization Corporation.

Council Member Freed amended her motion to approve the two resolutions as presented and to abolish the Citizens Drainage Review Committee, Northwest Highway Committee, Council Travel Committee, Council Corps Committee and the Grapevine Township Revitalization Corporation. Mayor Pro Tem Wilbanks accepted the amended motion and offered a second to approve. The amended motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell
Nays: None

RESOLUTION NO. 2014-58

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AMENDING RESOLUTION NO. 79-35 ADOPTED ON OCTOBER 16, 1979, AS AMENDED, RELATING TO THE GRAPEVINE GOLF COURSE ADVISORY BOARD; ALTERING THE MEMBERSHIP OF SAID BOARD BY AMENDING SECTION 3, PARAGRAPHS A AND B; AND PROVIDING AN EFFECTIVE DATE

RESOLUTION NO. 2014-59

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AMENDING THE RESOLUTIONS AUTHORIZING THE CREATION AND GOVERNANCE OF THE OPERATION OF THE GRAPEVINE HERITAGE FOUNDATION (THE FOUNDATION) BY AMENDING THE COMPOSITION OF THE ADVISORY BOARD; AND DECLARING AN EFFECTIVE DATE

CONSENT AGENDA

Consent items are deemed to need little Council deliberation and will be acted upon as one business item. Any member of the City Council or member of the audience may request that an item be withdrawn from the consent agenda and placed before the City Council for full discussion. Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations. There were none.

Item 19. Resolution, Authorize Police and Municipal Court Building Telephone System Purchase

City Manager recommended approval of a resolution authorizing the purchase of a telephone system for the Police and Municipal Court Building in an amount not to exceed \$74,637.57 from Radcom Technologies, Inc. through a contract established by the State of Texas Department of Information Resources (DIR) Cooperative Contracts Program.

Motion by Council Member Lease, seconded by Council Member Coy, to approve as recommended prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell
Nays: None

RESOLUTION NO. 2014-60

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE A TELEPHONE SYSTEM THROUGH A STATE OF TEXAS DEPARTMENT OF INFORMATION RESOURCES (DIR) CONTRACT PROGRAM AND PROVIDING AN EFFECTIVE DATE

Item 20. Resolution, Authorize Purchase of Workforce Management System for the Fire Department

Fire Chief recommended approval of a resolution authorizing the purchase of a workforce management (automated payroll) system for the Fire Department in an amount not to exceed \$48,655.75 from Kronos, Inc. through a Cooperative Purchasing Agreement with U.S. Communities.

Motion by Council Member Lease, seconded by Council Member Coy, to approve as recommended prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell
Nays: None

RESOLUTION NO. 2014-61

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE A WORKFORCE MANAGEMENT SYSTEM FOR THE FIRE DEPARTMENT THROUGH AN ESTABLISHED COOPERATIVE PURCHASING

AGREEMENT WITH U.S. COMMUNITIES AND
PROVIDING AN EFFECTIVE DATE

Item 21. Renew Law Enforcement Uniforms Annual Contract

Police Chief recommended approval of the renewal of an annual contract for law enforcement uniforms with Red the Uniform Tailor through an Interlocal Cooperative Agreement with the City of Frisco, Texas. This is the first of the four optional, one-year renewals available and funding is estimated in the amount of \$100,000.00.

Motion by Council Member Lease, seconded by Council Member Coy, to approve as recommended prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell

Nays: None

Item 22. Adopt-An-Area Agreement, Portion of Kimball Road

Parks & Recreation Director recommended approval of an Adopt-An-Area Agreement with Jodi Guidry for a portion of Kimball Road, from Silvercrest Lane to Roaring Springs Road.

Motion by Council Member Lease, seconded by Council Member Coy, to approve as recommended prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell

Nays: None

Item 23. Ordinance, Abandon Drainage and Sanitary Sewer Easements within
Glade Hill Addition

Public Works Director recommended approval of an ordinance abandoning a 25-foot drainage easement and a 15-foot sanitary sewer easement located within the Glade Hill Addition.

Motion by Council Member Lease, seconded by Council Member Coy, to approve as recommended prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell

Nays: None

ORDINANCE NO. 2014-38

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY
OF GRAPEVINE, TEXAS, ABANDONING AND VACATING
A DRAINAGE EASEMENT AND A SANITARY SEWER
EASEMENT, LOCATED IN GLADE HILL IN THE CITY OF

GRAPEVINE, TEXAS, AS HEREINAFTER DESCRIBED;
DECLARING AN EMERGENCY AND PROVIDING AN
EFFECTIVE DATE

ITEM 24. PLANNING & ZONING COMMISSION RECOMMENDATION
CONDITIONAL USE APPLICATION CU14-26 COTTON PATCH CAFE

Planning & Zoning Commission recommendations were considered after Item 16.

Chairman Oliver reported the Planning & Zoning Commission voted 7-0 for approval of Conditional Use Application CU14-26 (Cotton Patch Cafe) granting a conditional use permit for the possession, storage, retail sale and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages) in conjunction with a restaurant. The subject property is located at 129 South Main Street #155 and is zoned "CBD" Central Business District.

Council Member Spencer, seconded by Council Member Coy, offered a motion to accept the Commission's recommendation and approve the ordinance granting the conditional use permit. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell

Nays: None

ORDINANCE NO. 2014-39

AN ORDINANCE ISSUING A CONDITIONAL USE PERMIT IN ACCORDANCE WITH SECTION 48 OF ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE, BY GRANTING CONDITIONAL USE PERMIT CU14-26 FOR THE POSSESSION, STORAGE, RETAIL SALE, AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES IN CONJUNCTION WITH A RESTAURANT IN A DISTRICT ZONED "CBD" CENTRAL BUSINESS DISTRICT ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) AND A

SEPARATE OFFENSE SHALL BE DEEMED COMMITTED UPON EACH DAY DURING OR ON WHICH A VIOLATION OCCURS; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

ITEM 25. PLANNING & ZONING COMMISSION RECOMMENDATION
CONDITIONAL USE APPLICATION CU14-27 BRICK HOUSE TAVERN & TAP

Chairman Oliver reported the Planning & Zoning Commission voted 7-0 for approval of Conditional Use Application CU14-27 (Brick House Tavern & Tap) granting a conditional use permit to amend the site plan approved by Ordinance No. 97-115 to revise the building elevations, allow outdoor speakers and outside dining and a 38-foot pole sign in conjunction with a restaurant in a planned commercial center with the possession, storage, retail sale and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages). The subject property is located at 700 West State Highway 114 and is zoned "HC" Highway Commercial District.

Council Member Freed, seconded by Mayor Pro Tem Wilbanks, offered a motion to accept the Commission's recommendation and approve the ordinance granting the conditional use permit. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Freed, Lease, Coy & O'Dell

Nays: Spencer

ORDINANCE NO. 2014-40

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS ISSUING A CONDITIONAL USE PERMIT IN ACCORDANCE WITH SECTION 48 OF ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE, BY GRANTING CONDITIONAL USE PERMIT CU14-27 AMENDING THE SITE PLAN APPROVED BY ORDINANCE NO. 97-115 TO REVISE THE BUILDING ELEVATIONS, ALLOW OUTDOOR SPEAKERS, OUTSIDE DINING, AND A 38-FOOT POLE SIGN IN CONJUNCTION WITH A RESTAURANT WITH ON-PREMISE ALCOHOLIC BEVERAGES IN A DISTRICT ZONED "HC" HIGHWAY COMMERCIAL DISTRICT ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A

CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED UPON EACH DAY DURING OR ON WHICH A VIOLATION OCCURS; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

ITEM 26. PLANNING & ZONING COMMISSION RECOMMENDATION
CONDITIONAL USE APPLICATION CU14-28 GRAPEVINE STATION

Chairman Oliver reported the Planning & Zoning Commission voted 7-0 for approval of Conditional Use Application CU14-28 (Grapevine Station) granting a conditional use permit for the development of three professional and medical office buildings. The subject property is located at 1024, 1040, 1042 Texan Trail and is zoned "CC" Community Commercial District Regulations.

Council Member Coy, seconded by Council Member Lease, offered a motion to accept the Commission's recommendation and approve the ordinance granting the conditional use permit. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell
Nays: None

ORDINANCE NO. 2014-41

AN ORDINANCE ISSUING A CONDITIONAL USE PERMIT IN ACCORDANCE WITH SECTION 48 OF ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE, BY GRANTING CONDITIONAL USE PERMIT CU14-28 FOR THE DEVELOPMENT OF THREE PROFESSIONAL AND MEDICAL OFFICE BUILDINGS IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT REGULATIONS ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE

DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED UPON EACH DAY DURING OR ON WHICH A VIOLATION OCCURS; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

ITEM 27. PLANNING & ZONING COMMISSION RECOMMENDATION
FINAL PLAT, LOTS 3R1, 3R2 AND 3R3, BLOCK 4, GRAPEVINE STATION

Chairman Oliver reported the Planning & Zoning Commission voted 7-0 for approval of the Statement of Findings and the final plat of Lots 3R1, 3R2 and 3R3, Block 4, Grapevine Station being platting to subdivide the one lot into three lots for the development of three professional and medical office buildings. The 3.479 acres is located at 1024, 1040, 1042 Texan Trail and is zoned "CC" Community Commercial District Regulations.

Mayor Pro Tem Wilbanks, seconded by Council Member Freed, offered a motion to accept the Commission's recommendation and approve the Statement of Findings and the final plat of Lots 3R1, 3R2 and 3R3, Block 4, Grapevine Station. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell
Nays: None

ITEM 28. PLANNING & ZONING COMMISSION RECOMMENDATION
CONDITIONAL USE APPLICATION CU14-29 FAITH CHRISTIAN SCHOOL

Chairman Oliver reported the Planning & Zoning Commission voted 7-0 for approval of Conditional Use Application CU14-29 (Faith Christian School) granting a conditional use permit to amend the site plan approved by Ordinance No. 2006-50 for a 4,944 square foot expansion to the existing gymnasium. The subject property is located at 730 East Worth Street and is zoned "R-7.5" Single Family District Regulations.

Council Member Lease, seconded by Council Member Freed, offered a motion to accept the Commission's recommendation and approve the ordinance granting the conditional use permit. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell
Nays: None

ORDINANCE NO. 2014-42

AN ORDINANCE ISSUING A CONDITIONAL USE PERMIT IN ACCORDANCE WITH SECTION 48 OF ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE, BY GRANTING CONDITIONAL USE PERMIT CU14-29 AMENDING THE SITE PLAN APPROVED BY ORDINANCE NO. 2006-50 FOR A NON-PROFIT EDUCATIONAL INSTITUTIONAL SPECIFICALLY TO ALLOW FOR AN EXPANSION TO THE EXISTING GYMNASIUM IN A DISTRICT ZONED "R-7.5" SINGLE FAMILY DISTRICT REGULATIONS ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED UPON EACH DAY DURING OR ON WHICH A VIOLATION OCCURS; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

ITEM 29. PLANNING & ZONING COMMISSION RECOMMENDATION
HISTORIC LANDMARK SUBDISTRICT HL14-02 318 TURNER ROAD

Chairman Oliver reported the Planning & Zoning Commission voted 7-0 for approval of Historic Landmark Subdistrict HL14-02 (318 Turner Road) submitted by Nona Chivers granting a historical landmark subdistrict overlay for property located at 318 Turner Road and adoption of the Herman and Nona Chivers House Design Guidelines. The subject property is zoned "R-5.0" Zero Lot Line District Regulations.

Council Member Freed, seconded by Council Member Spencer, offered a motion to accept the Commission's recommendation and approve the ordinance granting the historical landmark subdistrict. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell
Nays: None

ORDINANCE NO. 2014-43

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, DESIGNATING A HISTORIC LANDMARK SUBDISTRICT HL14-02 IN ACCORDANCE WITH SECTION 39 OF ORDINANCE NO. 82-73 (APPENDIX "D" OF THE CODE OF ORDINANCES), DESIGNATING THE AREA LEAGALLY DESCRIBED AS TRACT 30R01, ABSTRACT 946, ARCHIBALD LEONARD SURVEY AND MORE SPECIFICALLY DESCRIBED HEREIN, IN A DISTRICT ZONED "R-5.0" ZERO LOT LINE DISTRICT REGULATIONS; PROVIDING FOR THE ADOPTION OF THE HERMAN AND NONA CHIVERS HOUSE HISTORIC DISTRICT PRESERVATION CRITERIA; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND A ZONING CHANGE AND AMENDMENT THEREIN MADE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE, AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED EACH DAY DURING OR ON WHICH AN OFFENSE OCCURS OR CONTINUES; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

ITEM 30. PLANNING & ZONING COMMISSION RECOMMENDATION
HISTORIC LANDMARK SUBDISTRICT HL14-03 321 TURNER ROAD

Chairman Oliver reported the Planning & Zoning Commission voted 7-0 for approval of Historic Landmark Subdistrict HL14-03 (321 Turner Road) submitted by Regina Baldwin granting a historical landmark subdistrict overlay for property located at 321 Turner Road and adoption of the George and Mary Baldwin House Design Guidelines. The subject property is zoned "R-5.0" Zero Lot Line District Regulations.

Mayor Pro Tem Wilbanks, seconded by Council Member Coy, offered a motion to accept the Commission's recommendation and approve the ordinance granting the historical landmark subdistrict. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell

Nays: None

ORDINANCE NO. 2014-44

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, DESIGNATING A HISTORIC LANDMARK SUBDISTRICT HL14-03 IN ACCORDANCE WITH SECTION 39 OF ORDINANCE NO. 82-73 (APPENDIX "D" OF THE CODE OF ORDINANCES), DESIGNATING THE AREA LEGALLY DESCRIBED AS TRACT 30001, ABSTRACT 946, ARCHIBALD LEONARD SURVEY AND MORE SPECIFICALLY DESCRIBED HEREIN, IN A DISTRICT ZONED "R-5.0" ZERO LOT LINE DISTRICT REGULATIONS; PROVIDING FOR THE ADOPTION OF THE GEORGE AND MARY BALDWIN HOUSE HISTORIC DISTRICT PRESERVATION CRITERIA; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND A ZONING CHANGE AND AMENDMENT THEREIN MADE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE, AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED EACH DAY DURING OR ON WHICH AN OFFENSE OCCURS OR CONTINUES; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

ITEM 31. PLANNING & ZONING COMMISSION RECOMMENDATION
HISTORIC LANDMARK SUBDISTRICT HL14-04 422A JONES STREET

Chairman Oliver reported the Planning & Zoning Commission voted 7-0 for approval of Historic Landmark Subdistrict HL14-04 (422A Jones Street) submitted by Eliza Brewer granting a historical landmark subdistrict overlay for property located at 422A Jones Street and adoption of the John W. and Eliza M. Brewer House Design Guidelines. The subject property is zoned "R-5.0" Zero Lot Line District Regulations.

Council Member Spencer, seconded by Council Member Lease, offered a motion to accept the Commission's recommendation and approve the ordinance granting the historical landmark subdistrict. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell
Nays: None

ORDINANCE NO. 2014-45

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, DESIGNATING A HISTORIC LANDMARK SUBDISTRICT HL14-04 IN ACCORDANCE WITH SECTION 39 OF ORDINANCE NO. 82-73 (APPENDIX "D" OF THE CODE OF ORDINANCES), DESIGNATING THE AREA LEGALLY DESCRIBED AS TRACT 30I01, ABSTRACT 946, ARCHIBALD LEONARD SURVEY AND MORE SPECIFICALLY DESCRIBED HEREIN, IN A DISTRICT ZONED "R-5.0" ZERO LOT LINE DISTRICT REGULATIONS; PROVIDING FOR THE ADOPTION OF THE JOHN W. AND ELIZA M. BREWER HOUSE HISTORIC DISTRICT PRESERVATION CRITERIA; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND A ZONING CHANGE AND AMENDMENT THEREIN MADE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE, AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED EACH DAY DURING OR ON WHICH AN OFFENSE OCCURS OR CONTINUES; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

ITEM 32. PLANNING & ZONING COMMISSION RECOMMENDATION
HISTORIC LANDMARK SUBDISTRICT HL14-05 1400 SOUTH MAIN STREET

Chairman Oliver reported the Planning & Zoning Commission voted 5-2 for approval of the first reading of an ordinance designating only the one-story building and with the stipulation that Staff work with the property owner to develop a new ordinance for Historic Landmark Subdistrict HL14-05 (1400 South Main Street) submitted by the Historic Preservation Commission requesting a historical landmark subdistrict overlay for property located at 1400 South Main Street. The subject property is zoned "HC" Highway Commercial District. City Attorney Boyle advised the Council to table action on the Planning & Zoning Commission's recommendation until a new ordinance was prepared.

Council Member Coy, seconded by Council Member Freed, offered a motion to table consideration of the Planning & Zoning Commission's recommendation until a new ordinance is drafted. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell
Nays: None

ITEM 33. PLANNING & ZONING COMMISSION RECOMMENDATION
FINAL PLAT, LOTS 1, 2 AND 3, BLOCK 1, RENTSCH ADDITION

Chairman Oliver reported the Planning & Zoning Commission voted 7-0 for approval of the Statement of Findings and the final plat of Lots 1, 2 and 3, Block 1, Rentsch Addition submitted by Kimberly Rentsch. The subject property is located at 605 Austin Street and is zoned "R 7.5" Single Family District Regulations. The 0.65 acre site is being platted into three lots.

Council Member Lease, seconded by Council Member O'Dell, offered a motion to accept the Commission's recommendation and approve the Statement of Findings and the final plat of Lots 1, 2 and 3, Block 1, Rentsch Addition. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell
Nays: None

ITEM 34. PLANNING & ZONING COMMISSION RECOMMENDATION
FINAL PLAT OF LOTS 8R1 AND 8R2, BLOCK 4, RUSSWOOD
ESTATES, PHASE TWO

Chairman Oliver reported the Planning & Zoning Commission voted 7-0 for approval of the Statement of Findings and the final plat of Lots 8R1 and 8R2, Block 4, Russwood Estates, Phase Two submitted by Jason Rawlings to subdivide the 0.6015 acre lot into two lots. The subject property is located at 2323 Eagle Crest Drive and is zoned "R-7.5" Single Family District Regulations.

Council Member Freed, seconded by Council Member Coy, offered a motion to accept the Commission's recommendation and approve the Statement of Findings and the final plat of Lots 8R1 and 8R2, Block 4, Russwood Estates, Phase Two. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell
Nays: None

ITEM 35. PLANNING & ZONING COMMISSION RECOMMENDATION
FINAL PLAT, LOTS 1 AND 2, BLOCK 1, SURREY LANE ESTATES

Chairman Oliver reported the Planning & Zoning Commission voted 7-0 for approval of the Statement of Findings and the final plat of Lots 1 and 2, Block 1, Surrey Lane Estates submitted by Tim Lancaster. The .0605 acre tract is being platted into two lots. The subject property is located at 811 Surrey Lane and is zoned "R-7.5" Single Family District Regulations.

Council Member Coy, seconded by Council Member Freed, offered a motion to accept the Commission's recommendation and approve the Statement of Findings and the final plat of Lots 1 and 2, Block 1, Surrey Lane Estates. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell

Nays: None

NOTE: Following the conclusion of the Planning & Zoning Commission recommendations, the City Council then considered Item 17.

ADJOURNMENT

Mayor Pro Tem Wilbanks, seconded by Council Member Freed, offered a motion to adjourn the meeting at 10:53 p.m. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell

Nays: None

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of August, 2014.

APPROVED:

William D. Tate
Mayor

ATTEST:

Jodi C. Brown
City Secretary

STATE OF TEXAS
COUNTY OF TARRANT
CITY OF GRAPEVINE

The City Council of the City of Grapevine, Texas met in a Special Meeting on this the 21st day of July, 2014 in the City Council Conference Room, Second Floor, 200 South Main Street, with the following members present to-wit:

William D. Tate	Mayor
C. Shane Wilbanks	Mayor Pro Tem
Sharron Spencer	Council Member
Mike Lease	Council Member
Darlene Freed	Council Member
Chris Coy	Council Member
Duff O'Dell	Council Member

constituting a quorum with the following members of the City Staff:

Bruno Rumbelow	City Manager
Tara Brooks	Assistant City Secretary

CALL TO ORDER

Mayor Tate called the workshop to order at 5:32 p.m.

ITEM 1. CONDUCT BOARD AND COMMISSION INTERVIEWS FOR NEW APPLICANTS

Council interviewed six board and commission applicants. These applicants do not currently serve on any boards.

NOTE: Mayor Pro Tem Wilbanks arrived at 7:08 p.m.

Council discussed the next steps to be taken. Council decided to interview the three remaining new applicants prior to discussing the appointments.

There was no action taken by the City Council.

ADJOURNMENT

Council Member Freed, seconded by Mayor Pro Tem Wilbanks, offered a motion to adjourn the workshop at 8:02 p.m. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Lease, Freed, Coy & O'Dell

Nays: None

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE,
TEXAS on this the 19th day of August, 2014

APPROVED:

William D. Tate
Mayor

ATTEST:

Jodi C. Brown
City Secretary

STATE OF TEXAS
COUNTY OF TARRANT
CITY OF GRAPEVINE

The City Council of the City of Grapevine, Texas met in Workshop on this the 29th day of July, 2014 in the City Council Chambers, Second Floor, 200 South Main Street, with the following members present to-wit:

William D. Tate	Mayor
C. Shane Wilbanks	Mayor Pro Tem
Sharron Spencer	Council Member
Darlene Freed	Council Member
Mike Lease	Council Member
Chris Coy	Council Member
Duff O'Dell	Council Member

constituting a quorum, with the following members of the City Staff:

Bruno Rumbelow	City Manager
Jennifer Hibbs	Assistant City Manager
John F. Boyle, Jr.	City Attorney
Jodi C. Brown	City Secretary

CALL TO ORDER

Mayor Tate called the workshop to order at 6:34 p.m.

ITEM 1. DISCUSS MARKET STUDY AND MASTER PLAN AGREEMENT, 185 ACRE CITY-OWNED TRACT

City Manager Rumbelow briefed Council on the revised scope of service objects on the 185 acre City-owned tract market study and master plan agreement with HR&A Advisors, Inc. which had been tabled at the July 15 meeting. Mr. Rumbelow reviewed for four phases and associated phase pricing. Discussion followed on schedule of timing, partial contracts authorizing phases, and utilization of incentives. The contract for Phase 1 market study, master plan and implementation strategy agreement would be presented to Council at the August 5 meeting.

There was no formal action was taken by the City Council.

ITEM 2. DISCUSS FY2015 BUDGET MAJOR ISSUES REPORT

Mayor Tate requested Staff review the number of proposed employees, operating expenses of the new Community Activities Center (CAC) and the future Public Safety Building. City Manager Rumbelow reviewed the basic assumptions used to draft the

FY2015 budget, noting that the budget responds to the Council's priorities and continued commitment to meeting objectives to achieve the City's goals.

Administrative Services Director John McGrane reported the current ad valorem tax rate is \$0.342500 and that \$0.332439 would be proposed for the FY2015 budget. He led discussion of the proposals for the General Fund, Quality of Life Fund, Convention & Visitors Bureau Fund, Equipment and Technology Fund, Crime Control and Prevention District Fund, Utilities Enterprise Fund, Lake Park Special Fund, Lake Enterprise Fund, PCMF and PSMF Fund and Storm Water Drainage Utility Fund. NOTE: Council Member Freed left the dais at 8:13 p.m. and returned at 8:15 p.m.

Staff answered questions on projecting CAC staffing needs, Quality of Life Fund projects and funding, General Fund line items, budgeted operational costs for CAC, fund balance of the Utility Fund. Council requested Staff review new employee requests, future needs for the CAC and Public Safety Building, and tax rate.

It was noted a budget workshop would be conducted on August 14, 2014. There was no formal action taken by the City Council.

ADJOURNMENT

Mayor Pro Tem Wilbanks, seconded by Council Member Coy, offered a motion to adjourn the workshop at 8:29 p.m. The motion prevailed by the following vote:

Ayes: Tate, Wilbanks, Spencer, Freed, Lease, Coy & O'Dell
Nays: None

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of August, 2014.

APPROVED:

William D. Tate
Mayor

ATTEST:

Jodi C. Brown
City Secretary

STATE OF TEXAS
COUNTY OF TARRANT
CITY OF GRAPEVINE

The City Council of the City of Grapevine, Texas met in Regular Session on this the 5th day of August, 2014 in the City Council Chambers, Second Floor, 200 South Main Street, with the following members present to-wit:

William D. Tate	Mayor
Sharron Spencer	Council Member
Darlene Freed	Council Member
Chris Coy	Council Member
Duff O'Dell	Council Member

constituting a quorum, with Mayor Pro Tem C. Shane Wilbanks and Council Member Mike Lease absent, with the following members of the City Staff:

Bruno Rumbelow	City Manager
Jennifer Hibbs	Assistant City Manager
John F. Boyle, Jr.	City Attorney
Jodi C. Brown	City Secretary

CALL TO ORDER

Mayor Tate called the meeting to order at 6:46 p.m.

EXECUTIVE SESSION

Mayor Tate announced the City Council would recess to the City Council Conference Room to conduct a closed session regarding:

ITEM 1. EXECUTIVE SESSION

A. Personnel relative to Economic Development Director appointment, employment and duties pursuant to Section 551.074, Texas Government Code.

B. Conference with City Manager and Staff to discuss and deliberate commercial and financial information received from business prospects the City seeks to have locate, stay, or expand in the City; deliberate the offer of a financial or other incentive; with which businesses the City is conducting economic development negotiations pursuant to Section 551.087, Texas Government Code.

The City Council recessed to the City Council Conference Room and began the closed session at 6:49 p.m.

Upon reconvening in open session in the Council Chambers, Mayor Tate asked if there was any action necessary relative to the closed session. City Manager Bruno

Rumbelow stated there was no action necessary relative to personnel under Section 551.074, Texas Government Code. Item 1B. Conference with City Manager and Staff under Section 551.087, Texas Government Code was not discussed.

REGULAR MEETING

CALL TO ORDER

Mayor Tate called the meeting to order at 7:31 p.m. in the City Council Chambers.

INVOCATION

Council Member Sharron Spencer delivered the Invocation.

PLEDGE OF ALLEGIANCE

Boy Scout Troop 402 posted the colors and led the Pledge of Allegiance.

ITEM 2. CITIZEN COMMENTS

There were no Citizen Comments submitted.

ITEM 3. PRESENTATION, DOVE POOL LIFEGUARDS AND AQUATICS STAFF LIFESAVING MEASURES

Fire Chief Steve Bass expressed his sincere admiration to the Dove Pool Aquatics' Staff for their life-saving rescue and resuscitation measures administered to a three-year-old child on July 5, 2014. Mayor Tate presented Certificates of Recognition to lifeguards--Jenelle Garcia, Makenzie Brown, Jacob Mattson, Megan Brown and Madison Bass and to Aquatics Safety Coordinator, Jennifer Kashner Fry.

ITEM 4. PRESENTATION, JOINT FIBER OPTIC PROJECT

This item was tabled at the July 15, 2014 meeting. City Manager Rumbelow introduced the presentation topic and then Information Technology Director John Jennery briefed the City Council on the proposed joint fiber optic project with Grapevine-Colleyville ISD. Mr. Jennery noted there is a need to expand the City's fiber optic services to additional City buildings and facilities and that the school district has the same needs of supplying fiber optic services. Staff members from the school district and City have discussed a joint partnership to install 56 miles of fiber optics over a five-year period under an Interlocal Agreement. GCISD Superintendent Dr. Robin Ryan addressed Council on the district's interest and support of the joint project.

Council noted their interest in the proposed joint fiber optic project and asked Staff to continue efforts with the school district. No formal action was taken by the City Council.

ITEM 5. AWARD MARKET STUDY, MASTER PLAN AND IMPLEMENTATION STRATEGY AGREEMENT, 185 ACRE CITY OWNED TRACT

City Manager Rumbelow noted that after discussions at the July 15 meeting, this item was tabled for additional information and was discussed during the July 29th Workshop. Mr. Rumbelow reviewed previous discussion, the multiple phases and related expenses, and recommended approval of a market study, master plan and implementation strategy agreement for the 185 acres owned by the City with HR&A Advisors, Inc. in an amount not to exceed \$257,700.00. The revised scope of services provides a breakdown of the phases, tasks and deliverables. HR&A has proposed a flat fee for the first phase of the scope of services and a not to exceed amount for all future phases, if Council pursues those services.

Council Member Spencer, seconded by Council Member Coy, offered a motion to approve the Phase 1 agreement with HR&A Advisors, Inc. The motion prevailed by the following vote:

Ayes: Tate, Spencer, Freed, Coy & O'Dell
Nays: None
Absent: Wilbanks & Lease

ITEM 6. RESOLUTION, ACCEPTING CERTIFIED TAX ROLLS

Administrative Services Director John McGrane recommended approval of a resolution accepting the Certified Tax Rolls having a total appraised value of \$10,409,573,943 less exemptions of \$3,816,444,111 for a net taxable value of \$6,593,129,832.

Motion by Council Member Freed, seconded by Council Member O'Dell, to approve the resolution as recommended prevailed by the following vote:

Ayes: Tate, Spencer, Freed, Coy & O'Dell
Nays: None
Absent: Wilbanks & Lease

RESOLUTION NO. 2014-62

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, APPROVING THE TAX ROLLS FOR 2014 ON PROPERTY WITHIN THE CITY; AND PROVIDING AN EFFECTIVE DATE

ITEM 7. ADOPT 2012 INTERNATIONAL FIRE CODE

Mayor Tate announced that Staff had requested to table consideration of an ordinance amending the Grapevine Code of Ordinances, Chapter 11 Fire Code relative to the adoption of the 2012 International Fire Code with local amendments.

Council Member Coy, seconded by Council Member Freed, offered a motion to table the item. The motion prevailed by the following vote:

Ayes: Tate, Spencer, Freed, Coy & O'Dell
Nays: None
Absent: Wilbanks & Lease

CONSENT AGENDA

Consent items are deemed to need little Council deliberation and will be acted upon as one business item. Any member of the City Council or member of the audience may request that an item be withdrawn from the consent agenda and placed before the City Council for full discussion. Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations. There were none.

Item 8. Renew Brokerage Services Annual Contract for City's Self-Funded Medical Program, Stop Loss, and Pharmacy Benefit Manager

Administrative Services Director recommended approval of the renewal of an annual contract for Brokerage Services in an estimated amount of \$60,000.00 with McGriff Seibels & Williams, Inc. for the City's Self-Funded Medical Program, Stop Loss, and Pharmacy Benefit Manager.

Motion by Council Member Spencer, seconded by Council Member Coy, to approve as recommended prevailed by the following vote:

Ayes: Tate, Spencer, Freed, Coy & O'Dell
Nays: None
Absent: Wilbanks & Lease

Item 9. Declare Certain Items as Surplus Property and Confiscated Property

Administrative Service Director recommended approval of declaring certain items as surplus property and confiscated property and authorization for the sale through public auction.

Motion by Council Member Spencer, seconded by Council Member Coy, to approve as recommended prevailed by the following vote:

Ayes: Tate, Spencer, Freed, Coy & O'Dell
Nays: None
Absent: Wilbanks & Lease

Item 10. Contracts, First Alternate Municipal Court Judge, Second Alternate Municipal Court Judge and Alternate Municipal Court Judge

Administrative Services Director recommended approval of a one year First Alternate Municipal Court Judge contract with Brad Bradley, a one year Second Alternate Municipal Court Judge contract with Terry Leach and a one year Alternate Municipal Court Judge contract with Alan Wayland.

Motion by Council Member Spencer, seconded by Council Member Coy, to approve as recommended prevailed by the following vote:

Ayes: Tate, Spencer, Freed, Coy & O'Dell
Nays: None
Absent: Wilbanks & Lease

Item 11. Waiver of Rights of First Refusal and Consents to Assignment of Lease and Sublease for the Cowboys Golf Club

Administrative Services Director recommended approval of a Waiver of Rights of First Refusal and Consents to Assignment of Lease and Sublease for the Cowboys Golf Club to CF Cowboys Arcis LLC. The subject property is located at 1600 Fairway Drive.

Motion by Council Member Spencer, seconded by Council Member Coy, to approve as recommended prevailed by the following vote:

Ayes: Tate, Spencer, Freed, Coy & O'Dell
Nays: None
Absent: Wilbanks & Lease

Item 12. Resolution, Authorize Contract for Ethernet 100 MBPS Internet Circuit Services

City Manager recommended approval of a resolution authorizing a one year contract for Ethernet 100 MBPS Internet Circuit services for the Information Technology Department with Qwest Communications Company, LLC dba CenturyLink in an amount not to exceed \$57,669.24 through a contract established by the State of Texas Department of Information Resources (DIR), Communications Technology Services (CTS) Cooperative Contracts Program.

Motion by Council Member Spencer, seconded by Council Member Coy, to approve as recommended prevailed by the following vote:

Ayes: Tate, Spencer, Freed, Coy & O'Dell
Nays: None
Absent: Wilbanks & Lease

RESOLUTION NO. 2014-63

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO

CONTRACT FOR ONE YEAR ETHERNET 100 MBPS INTERNET CIRCUIT SERVICES FOR THE CITY'S NETWORK SYSTEM THROUGH A STATE OF TEXAS DEPARTMENT OF INFORMATION RESOURCES (DIR) CONTRACT PROGRAM AND PROVIDING AN EFFECTIVE DATE

Item 13. Resolution, Authorize Purchase of Planimetric Data for GIS Department

City Manager recommended approval of a resolution for the purchase of planimetric data for the GIS Department in an amount not to exceed \$21,398.59 from the North Central Texas Council of Governments (NCTCOG) through an Interlocal Cooperative Agreement.

Motion by Council Member Spencer, seconded by Council Member Coy, to approve as recommended prevailed by the following vote:

Ayes: Tate, Spencer, Freed, Coy & O'Dell
Nays: None
Absent: Wilbanks & Lease

RESOLUTION NO. 2014-64

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE PLANIMETRIC DATA FOR GIS THROUGH AN ESTABLISHED INTERLOCAL COOPERATIVE AGREEMENT WITH THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS AND PROVIDING AN EFFECTIVE DATE

Item 14. Award Informal Request for Quote for Refurbishing a Pole Sign, Settlement to City Museum Complex

Convention & Visitors Bureau Executive Director recommended approval of the award of an informal request for quote to YESCO in an amount not to exceed \$19,258.00 for refurbishing a pole sign for the Settlement to City Museum Complex.

Motion by Council Member Spencer, seconded by Council Member Coy, to approve as recommended prevailed by the following vote:

Ayes: Tate, Spencer, Freed, Coy & O'Dell
Nays: None
Absent: Wilbanks & Lease

Item 15. Joint Resolution, Establishing an Inter-jurisdictional Emergency Management Program

Fire Chief recommended approval of a joint resolution with Tarrant County to create an inter-jurisdictional emergency management program. The inter-jurisdictional program is designed to establish a mechanism for Tarrant County to assist offices with limited emergency management administrative support to reach state planning thresholds for grant eligibility requirements.

Motion by Council Member Spencer, seconded by Council Member Coy, to approve as recommended prevailed by the following vote:

Ayes: Tate, Spencer, Freed, Coy & O'Dell

Nays: None

Absent: Wilbanks & Lease

RESOLUTION NO. 2014-65

JOINT RESOLUTION ESTABLISHING AN INTER-
JURISDICTIONAL EMERGENCY MANAGEMENT
PROGRAM

Item 16. Renew Professional Service Contract for Annual Medical Physicals for
Fire and Police Departments

Fire and Police Chiefs recommended approval of the renewal of an annual professional service contract to Huguley Assessment Center in an amount not to exceed \$38,145.00 for providing annual medical physicals for the Fire and Police Departments. This is the final renewal of the two optional, one-year renewals available.

Motion by Council Member Spencer, seconded by Council Member Coy, to approve as recommended prevailed by the following vote:

Ayes: Tate, Spencer, Freed, Coy & O'Dell

Nays: None

Absent: Wilbanks & Lease

Item 17. Renew Tree Maintenance Services Annual Contract

Parks & Recreation Director recommended approval of the renewal of Tree Maintenance Services Annual Contract with Arbor Masters Tree Service as the primary vendor and Preservation Tree Service as the secondary vendor. Funding for this purchase is limited to the budgeted amount by each department in an annual estimated amount of \$375,000.00.

Motion by Council Member Spencer, seconded by Council Member Coy, to approve as recommended prevailed by the following vote:

Ayes: Tate, Spencer, Freed, Coy & O'Dell

Nays: None

Absent: Wilbanks & Lease

Item 18. Resolution, Authorize Carpet and Installation Services for the Library

Public Works Director recommended approval of a resolution for the purchase of carpet and installation services for the Library in an amount not to exceed \$89,925.00 from Retail Commercial Flooring Services through an Interlocal Participation Agreement with The Local Government Purchasing Cooperative (Buyboard).

Motion by Council Member Spencer, seconded by Council Member Coy, to approve as recommended prevailed by the following vote:

Ayes: Tate, Spencer, Freed, Coy & O'Dell

Nays: None

Absent: Wilbanks & Lease

RESOLUTION NO. 2014-66

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE CARPET AND INSTALLATION SERVICES THROUGH AN ESTABLISHED INTERLOCAL PARTICIPATION AGREEMENT AND PROVIDING AN EFFECTIVE DATE

Item 19. Resolution, Authorize Roof Replacement Contract for Water Treatment Chemical Building

Public Works Director recommended approval of a resolution for a roof replacement contract for the water treatment chemical building with Weatherproofing Technologies, Inc. in an amount not to exceed \$25,608.49 through an established Cooperative Agreement with The Cooperative Purchasing Network (TCPN).

Motion by Council Member Spencer, seconded by Council Member Coy, to approve as recommended prevailed by the following vote:

Ayes: Tate, Spencer, Freed, Coy & O'Dell

Nays: None

Absent: Wilbanks & Lease

RESOLUTION NO. 2014-67

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE A ROOF REPLACEMENT CONTRACT FOR THE WASTE WATER CHEMICAL BUILDING THROUGH AN ESTABLISHED COOPERATIVE AGREEMENT AND PROVIDING AN EFFECTIVE DATE

Item 20. Resolution, Authorize Sales Agreement and Amend Minimum Sales Price on 2002 E-One Bronto Aerial Unit

Public Works Director recommended approval of a resolution authorizing a sales agreement with Firetec Used Apparatus Sales, or any other appropriate vendor, for the sale of the City's surplus 2002 E-One Bronto Aerial unit, amending the minimum sales price and authorizing the City Manager to execute the agreement. The vehicle was declared surplus property on June 4, 2013 by the passage of Resolution No. 2013-59.

Motion by Council Member Spencer, seconded by Council Member Coy, to approve as recommended prevailed by the following vote:

Ayes: Tate, Spencer, Freed, Coy & O'Dell

Nays: None

Absent: Wilbanks & Lease

RESOLUTION NO. 2014-68

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AMENDING THE MINIMUM SALE PRICE APPROVED BY RESOLUTION NO. 2013-59 WHICH DECLARED A 2002 E-ONE BRONTO FIRE TRUCK AS SURPLUS PROPERTY AND AUTHORIZED SALE AT AUCTION AND PROVIDING AN EFFECTIVE DATE

Item 21. First Amendment to Household Hazardous Waste Program Interlocal Agreement

Public Works Director recommended approval of a First Amendment to the Interlocal Agreement with the City of Fort Worth, Texas for continued participation in their Environmental Collection Center and Household Hazardous Waste Program and authorization for the City Manager to execute the amendment. Funding for this program is limited to the budgeted amount of \$51,500.00.

Motion by Council Member Spencer, seconded by Council Member Coy, to approve as recommended prevailed by the following vote:

Ayes: Tate, Spencer, Freed, Coy & O'Dell

Nays: None

Absent: Wilbanks & Lease

Item 22. Consideration of Minutes

City Secretary recommended approval of the minutes of the July 1, 2014 City Council meetings as published.

Motion by Council Member Spencer, seconded by Council Member Coy, to approve as recommended prevailed by the following vote:

Ayes: Tate, Spencer, Freed, Coy & O'Dell
Nays: None
Absent: Wilbanks & Lease

ADJOURNMENT

Council Member Coy, seconded by Council Member Freed, offered a motion to adjourn the meeting at 8:19 p.m. The motion prevailed by the following vote:

Ayes: Tate, Spencer, Freed, Coy & O'Dell
Nays: None
Absent: Wilbanks & Lease

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 19th day of August, 2014.

APPROVED:

William D. Tate
Mayor

ATTEST:

Jodi C. Brown
City Secretary

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *B12*

MEETING DATE: AUGUST 19, 2014

SUBJECT: FINAL PLAT APPLICATION
LOT 1, BLOCK 1, C.M. GROVE ADDITION

PLAT APPLICATION FILING DATE.....August 12, 2014

APPLICANT..... Ann and Michael Christopher

REASON FOR APPLICATION Platting tract of land into one lot

PROPERTY LOCATION.....3922 W.T. Parr Road

ACREAGE 1.0

ZONING..... R-20

NUMBER OF LOTS..... 1

PREVIOUS PLATTING..... No

CONCEPT PLAN..... No

SITE PLAN No

OPEN SPACE REQUIREMENT Yes

AVIGATION RELEASE..... Yes

PUBLIC HEARING REQUIRED..... No

**PLAT INFORMATION SHEET
FINAL PLAT APPLICATION
LOT 1, BLOCK 1, C.M. GROVE ADDITION**

I. GENERAL:

- The applicants, Michael and Ann Christopher are this platting this 1.0 acre tract of land into one lot. The property is located at 3922 W.T. Parr Road.

II. STREET SYSTEM:

- The development has access to W.T. Parr Road.
- ALL abutting roads: are on the City Thoroughfare Plan:
 are not on the City Thoroughfare Plan:

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 10.00 / LF		

Periphery Street Fees are not due:

TOTAL

III. STORM DRAINAGE SYSTEM:

- The site drains east into W.T. Parr Road.
- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for:
- Water and Wastewater Impact Fees are due prior to the issuance of building permits: Lot 1, Block 1, C.M. Grove Addition
 - Single Family Residential (\$ 2,191/ Lot)
 - Multifamily (\$ 1,026 / Unit)
 - Hotel (\$ 38,107/ Acre)
 - Corporate Office (\$ 18,847/ Acre)
 - Government (\$ 4,037/ Acre)
 - Commercial / Industrial (\$ 5,209 / Acre)
- Open Space Fees are not required for:
- Open Space Fees are required for: Lot 1, Block 1, C.M. Grove Addition
 - R-5.0, Zero Lot District (\$ 1,416.00 / Lot)
 - R-7.5, Single Family District (\$ 1,146.00 / Lot)
 - R-12.5, Single Family District (\$ 1,071.00 / Lot)
 - R-20.0, Single Family District (\$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
 - Front building line
 - Rear building line
 - Lot width & depth
 - Max. Impervious Area
 - Special Exception to the required front yard landscape setback
- The following items associated with this plat are not in accordance with the current subdivision standards:
 - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
 - Length of cul-de-sac street exceeds the 600-foot limit:
 - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
- The right-of-way provides for future widening of public streets that will serve the development of this site.
 - The onsite utility easements provide for a utility network to serve the development of this site.
 - The onsite drainage easements provide for a drainage network to serve the development of this site.
 - The onsite access easements provide cross access capabilities to this site and surrounding property.
 - The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

- B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:
- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
 - The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
 - The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
 - The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
 - The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
 - All of the dedications benefit the development to at least the extent of the impact of such on the development.

VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Final Plat of Lot 1, Block 1, C.M. Grove Addition."

APPLICATION FOR PLATTING
CITY OF GRAPEVINE, TEXAS

TYPE OF PLAT: Preliminary Final Replat Amendment

PROPERTY DESCRIPTION:

Name of Addition: Block 1 Birdsong Addition C.M. Grove
Number of Lots: 1 Gross Acreage: 1 acre Proposed Zoning: R20
Location of Addition: 3922 WT PARK RD

PROPERTY OWNER:

Name: Ann Christopher
Michael Christopher Contact: Ann Christopher
Address: 1907 CRESSON DR
City / State: Southlake TX Zip: 76092 Phone: (817) 313-4699
Fax: (817) 481-9335
Signature: [Signature] Email: LAF656@AOL.COM

APPLICANT:

Name: Ann Christopher
Michael Christopher Contact: ANN CHRISTOPHER
Address: 1907 CRESSON DR
City / State: SOUTH LAKE TX Zip: 76092 Phone: (817) 313-4699
Fax: (817) 481-9335
Signature: [Signature] Email: LAF656@AOL.COM

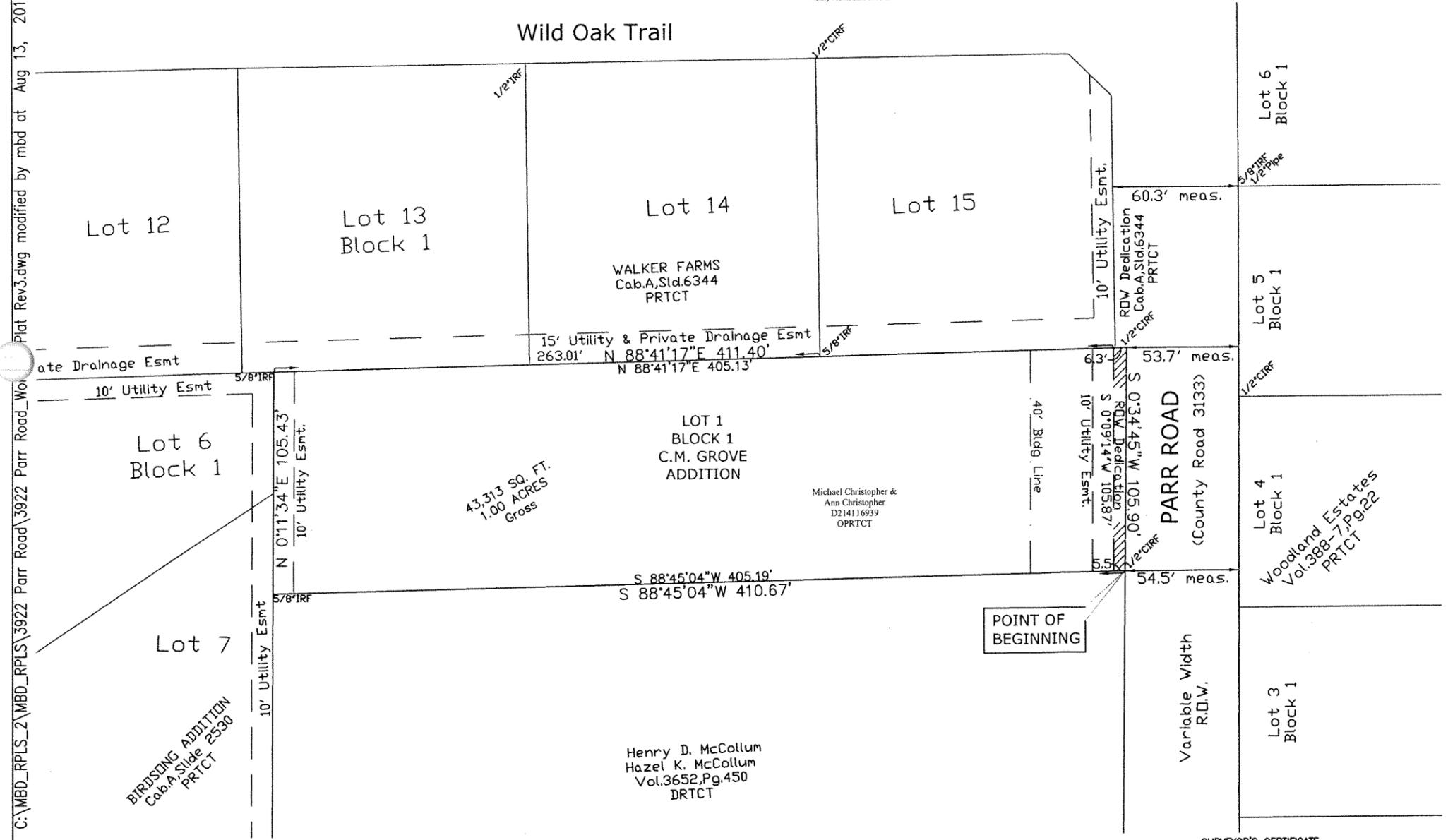
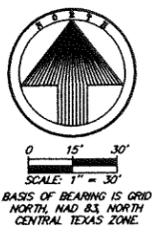
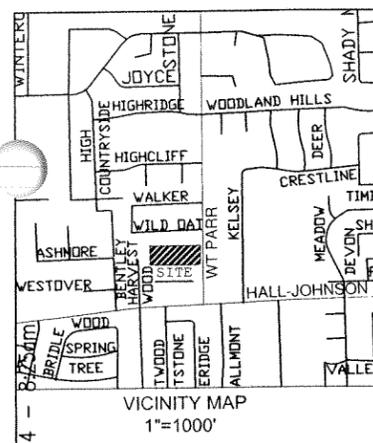
SURVEYOR: Alpha Land Surveying, Inc

Name: Mike Davis RPLS Contact: Mike Davis RPLS
Address: 969 EIKW Lane
City / State: Rowlett, TX Zip: 76262-4941 Phone: (817) 614-8017
Fax: (817) 379-5696
Email: mbd7@gte.net

***** FOR OFFICE USE ONLY *****

Application Received: 7/7/2011
Fee Amount: \$ 205.00

By: Michael C. Christopher
Ann F. Christopher
Check Number: 4493



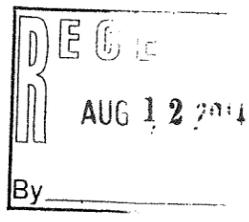
C:\MBO_RPLS_2\MBO_RPLS_3922 Parr Road\3922 Parr Road_Wo\Plat Rev3.dwg modified by mbd at Aug 13, 2014

STATE OF TEXAS
 COUNTY OF TARRANT
 WHEREAS, Michael & Ann Christopher, herein called "Owners" (whether one or more) is the owner of that certain parcel of land situated in the City of Grapevine, Tarrant County, Texas, being more particularly described as shown on this plat.
 NOW, THEREFORE, in consideration of the sum of One and 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confessed, Owners do hereby, waive, release, remise and quitclaim to the City of Grapevine, Tarrant County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas, Texas and Fort Worth, Texas, their successors and assigns, hereinafter called "Cities", for the use and benefit of the public and its agencies, any and all claims, for damages of any kind to persons or property that Owners may suffer by reason of the passage and flight of all aircraft in the air space above Owner's property above the height restriction presently established by Ordinance No. 71-59 for the City of Grapevine, known as the Airport Zoning Ordinance of the Dallas-Fort Worth International Airport, to an infinite height above same, whether such damage shall originate from noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft, landing at, or taking off from, or operating at or on the Dallas-Fort Worth International Airport.
 This instrument does not release the owners or operators of aircraft from liability for damage or injury to person or property caused by falling aircraft or falling physical objects from aircraft, except as stated herein with respect to noise, fumes, dust, fuel, and lubricant particles.
 It is agreed that this Release shall be binding upon said owner and his heirs and assigns, and successors in interest to said property; and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of the county or counties in which the property is situated.
 EXECUTED at _____, Texas, this _____ day of _____, 2014.
 _____ Michael Christopher _____ Ann Christopher
 STATE OF TEXAS
 COUNTY OF TARRANT
 Before me, the undersigned Notary Public, on this date personally appeared Michael Christopher and wife Ann Christopher, known to me to be the person whose names are subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and consideration therein expressed.
 Given under my hand and seal of office this _____ day of _____, 2014.
 _____ Notary Public, State of Texas

OWNER'S CERTIFICATE
 STATE OF TEXAS
 COUNTY OF TARRANT
 CC ITEM #30
 CC ITEM #16

Whereas, Michael Christopher & Ann Christopher, are the owners of a 1.00 acre tract of land located in the City of Grapevine, Tarrant County, Texas, and being all that tract of land conveyed to Michael Christopher & Ann Christopher, husband & wife, per the deed filed as County Clerk's document D214116939, Official Public Records, Tarrant County, Texas (OPRTCT), and being more particularly described as follows:
 BEGINNING at a 1/2 inch iron rod with a cap stamped "CBS SURVEYING" found for the Northeast corner of a tract of land conveyed to Henry D. McCollum and wife, Mrs. Hazel K. McCollum, per the deed recorded in Volume 3652, Page 450, Deed Records, Tarrant County, Texas (DRTCT) and being on the West line of Parr Road (County Road 3133);
 THENCE South 88° 45' 04" West, with the North line of said McCollum tract, a distance of 410.67 feet to a 5/8 inch iron rod found for a corner on the East line of Lot 7, Block 1, Birdsong Addition, according to the plat recorded in Cabinet A, Slide 2530, Plat Records, Tarrant County, Texas (PRTCT);
 THENCE North 0° 11' 34" East, with the East line of said Birdsong Addition, a distance of 105.43 feet to a 5/8 inch iron rod found for a corner on the South line of Block 1, Walker Farms, according to the plat recorded in Cabinet A, Slide 6344, PRTCT, and the being the Northeast corner of Lot 6, Block 1, Birdsong Addition;
 THENCE North 88° 41' 17" East, with the South line of said Walker Farms Addition, passing at a distance of 263.01 feet a 1/2 inch iron rod found for the common South corner of Lots 14 and 15, Block 1, of said Walker Farms Addition, and continuing a total distance of 411.40 feet to a 1/2 inch iron rod with a cap stamped "CBS SURVEYING" found for a corner on the West line of Parr Road;
 THENCE South 0° 34' 45" East, with the West line of Parr Road, a distance of 105.90 feet to the POINT OF BEGINNING and containing a calculated area of 43,413 square feet or 1.00 acres of land.
 NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS, that JKA Management, LLC, doe hereby adopt this plat of Lot 1, Block 1, C.M. GROVE Addition, an Addition to the City of Grapevine, Tarrant County, Texas, and does hereby dedicate to the public use forever the right-of-way and easements shown hereon. The easements shown hereon are hereby reserved for the purposes as indicated. The utility easements shall be open for all city or franchised public utilities for each particular use. The maintenance of paving on the easements is the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed, or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using, or desiring to use same. Any city or franchised utility shall have the full right to remove and keep removed all or parts of any fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all city or franchised utilities shall at all times have the full right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone.
 I have reviewed the city's findings concerning dedications and I do agree that the statements are true and correct.
 This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.
 Witness my hand this the _____ day of _____, 2014.
 _____ Michael Christopher _____ Ann Christopher
 STATE OF TEXAS
 COUNTY OF TARRANT
 Before me, the undersigned Notary Public, on this date personally appeared Michael Christopher and wife Ann Christopher, known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and consideration therein expressed.
 Given under my hand and seal of office this _____ day of _____, 2014.
 _____ Notary Public, State of Texas

PLANNING & ZONING COMMISSION
 Date Approved: _____
 Chairman: _____
 Secretary: _____
 GRAPEVINE CITY COUNCIL
 Date Approved: _____
 Mayor: _____
 City Secretary: _____



Right-of-Way Dedication Area: 622 Sq. Ft.
 Easement Dedication Area: 4798 Sq. Ft.
 Net Platted Area: 37,993 Sq. Ft.
 Total Platted Area: 43,413 Sq. Ft.

SURVEYOR'S CERTIFICATE
 I, Michael B. H. Davis, of Alpha Land Surveying, a Registered Professional Land Surveyor of the State of Texas, do hereby declare that I prepared this plat from an actual and accurate survey on the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the State of Texas and the City of Grapevine.
 For Texas Administrative Code, TITLE 24.02, SUBTITLE C, Chapter 24.02.001, Section 24.02.001.001, the surveyor shall be responsible for any person and shall not be used or abused or relied upon for a land survey document.
 Registered Professional Land Surveyor 5204
 PLS Registration Certificate Number: 10135300
 MICHAEL B. H. DAVIS
 Michael B.H. Davis
 Texas R.P.L.S. Number 5094
 Alpha Land Surveying, Inc.
 Texas Firm Registration Certificate number: 10135300

OWNER
 Michael & Ann Christopher
 1907 Crasson Dr
 Southlake, Texas 76092
 Contact: Ann Christopher
 Phone: 817-313-4699
 LAND SURVEYOR
 Michael B. Davis, RPLS
 Alpha Land Surveying, Inc.
 969 Elkin Lane
 Keller, Texas 76262-4941
 Phone: 817-614-8017
 Fax: 817-379-5696
 1.00 Acres, Zoned R-20.0
 Revised August 13, 2014
 This Plat Filed as Document No. _____ Date _____

NOTE: THIS SURVEY DRAWING IS PROVIDED SOLELY FOR THE USE OF THE CURRENT PARTIES & NO LICENSE HAS BEEN CREATED, EXPRESS OR IMPLIED TO COPY THIS SURVEY EXCEPT AS IS NECESSARY IN CONJUNCTION WITH THIS ORIGINAL TRANSACTION.
 Copyright 2014 Alpha Land Surveying, Inc./Michael B Davis

SURVEYORS NOTES:
 1. ALL LOT CORNERS WILL BE 5/8" IRON RODS WITH A BLUE CAP STAMPED "RPLS 5094" UNLESS NOTED OTHERWISE.
 2. ACCORDING TO THE FLOOD INSURANCE RATE MAP, DATED SEPTEMBER 25, 2009, TARRANT COUNTY, TEXAS, COMMUNITY PANEL No. 48439C0115K, THIS TRACT IS NOT IN A FLOOD HAZARD AREA. TRACT IS IN ZONE X, AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN. This determination is only accurate on the date of the above Flood Insurance Rate Map.
 3. The zoning information & Flood Zone information noted on this plat is only accurate on the date this data was compiled.

STATE OF TEXAS
COUNTY OF TARRANT
CITY OF GRAPEVINE

The Planning and Zoning Commission of the City of Grapevine, Texas met in Regular Session on this the 15th day of July 2014 in the Planning and Zoning Conference Room, 200 South Main Street, 2nd Floor, Grapevine, Texas with the following members present-to-wit:

Larry Oliver	Chairman
Herb Fry	Vice Chairman
B J Wilson	Member
Monica Hotelling	Member
Jimmy Fechter	Member
Beth Tiggelaar	Member
Dennis Luers	Alternate
Theresa Mason	Alternate

constituting a quorum with Gary Martin absent and the following City Staff:

Ron Stombaugh	Development Services Asst. Director
John Robertson	Engineering Manager
Albert Triplett, Jr.	Planner II
Susan Batte	Planning Technician

CALL TO ORDER

Chairman Oliver called the meeting to order at 7:00 p.m.

BREIFING SESSION

ITEM 1.

Chairman Oliver announced the Planning and Zoning Commission would conduct a work session relative to the following cases:

CU14-26	COTTON PATCH CAFE
CU14-27	BRICK HOUSE TAVERN & TAP
CU14-28	GRAPEVINE STATION
CU14-29	FAITH CHRISTIAN SCHOOL
HL14-02	CHIVERS HOME
HL14-03	BALDWIN HOME
HL14-04	BREWER HOME
HL14-05	FIRST NATIONAL BANK

WORKSHOP

ITEM 2.

Next for the Commission were possible amendments to Grapevine Code of Ordinances, Appendix D, Section 23A, "GV" Grapevine Vintage District Regulations relative to restaurant uses and restaurants within wineries.

At the June 17, 2014 workshop, direction was given to staff to eliminate the limit on food sales and allow restaurants as a conditional use but when proposed adjacent to existing residential uses, be allowed only as an accessory use.

A brief discussion was held then the item tabled until after the Planning and Zoning Commission regular session.

After the Planning and Zoning Commission's regular session, B J Wilson moved to set a public hearing regarding the changes to the ordinance as written. Monica Hotelling seconding the motion, which prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar and Luers
Nays: None

JOINT MEETING

Mayor Tate called the meeting to order at 7:32 p.m. in the City Council Chambers. Items 3-12 of the Joint Public Hearings were held in the City Council Chambers. The Planning and Zoning Commission recessed to the Planning and Zoning Conference Room, Second Floor to consider published agenda items.

PLANNING AND ZONING COMMISSION REGULAR SESSION

CALL TO ORDER

Chairman Oliver called the Planning and Zoning Commission regular session to order at 9:18 p.m.

NEW BUSINESS

ITEM 13. CONDITIONAL USE APPLICATION CU14-26 – COTTON PATCH CAFE

First for the Commission to consider and make recommendation to City Council was conditional use application CU14-26 submitted by Cotton Patch Cafe for property located at 129 South Main Street #155 and platted as Lot 1, Block 1, Hazlewood Commercial Building. The applicant was requesting a conditional use permit to allow the possession, storage, retail sales, and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages) in conjunction with a restaurant.

With this request the applicant proposed to develop a 3,595 square foot, 117 seats, Cotton Patch Café on the first floor of the new Hazlewood Commercial Building currently under construction at the northeast corner of North Main Street and Wall Street. Required parking for this proposed restaurant is 39 spaces; 52 spaces were allocated for restaurant uses as part of the zoning request.

In the Commission's regular session, Herb Fry moved to approve conditional use application CU14-26. Monica Hotelling seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar, and Luers
Nays: None

ITEM 14. CONDITIONAL USE APPLICATION CU14-27 – BRICK HOUSE TAVERN AND TAP

Next for the Commission to consider and make recommendation to City Council was conditional use application CU14-27 submitted by GHA Architects for property located at 700 West State Highway 114 and platted as Lot 5RB1, Block 1, Hayley Addition. The applicant was requesting a conditional use permit to amend the previously approved site plan of CU97-49 (Ord. 97-115) for a planned commercial center with the possession, storage, retail sale and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages) specifically to revise the elevations, allow outside speakers, outside dining, and a 38-foot pole sign in conjunction with a restaurant.

The applicant proposed to convert the existing Romano's Macaroni Grill into a Brick House Tavern & Tap restaurant. A change to the building elevation includes the addition of a 1,281 square foot outdoor patio area on the west and south side of the building that can accommodate 66 restaurant patrons. Ten television monitors and five outdoor speakers were proposed on the patio. Seating will increase by 33 seats with a parking requirement of 100 spaces—143 spaces have been provided. The applicant intends to reduce the height and area of the existing pole sign to approximately 38 feet in height and 174 square feet in area.

In the Commission's regular session, Dennis Luers moved to approve conditional use application CU14-27. J B Wilson seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar, and Luers
Nays: None

ITEM 15. CONDITIONAL USE APPLICATION CU14-28 – GRAPEVINE STATION

Next for the Commission to consider and make recommendation to City Council was conditional use application CU14-28 submitted by Triple T Farms and Buchanan

Investments for property located at 1024, 1040 and 1042 Texan Trail and proposed to be platted as Lots 3R1, 3R2, and 3R3, Block 4, Grapevine Station. The applicant was requesting a conditional use permit to allow the development of three professional office and medical office buildings.

The applicant proposed to develop three professional and medical office building, an 8,148 square foot, single story medical office building on Lot 3R1, an 8,114 square foot, single story medical/professional office building on Lot 3R2 and a 5,132 square foot, single story medical/professional office building on Lot 3R3. The applicant provided 60 off-street parking spaces on Lot 3R1 (60 required), 51 parking spaces on Lot 3R2 (51 required) and 34 spaces on Lot 3R3 (32 required).

In the Commission's regular session, Monica Hotelling moved to approve conditional use application CU14-28. Jimmy Fechter seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar, and Luers
Nays: None

ITEM 16. FINAL PLAT - LOTS 3R1, 3R2, 3R3, BLOCK 4, GRAPEVINE STATION

Next for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Final Plat Application of Lots 3R1, 3R2, 3R3, Block 4, Grapevine Station on property located at 1024, 1040, 1042 Texan Trail. The applicant was final platting 3.479 acres for the development of three office buildings.

In the Commission's regular session B J Wilson moved to approve the Statement of Findings and Final Plat Application of Lots 3R1, 3R2, 3R3, Block 4, Grapevine Station. Monica Hotelling seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar, and Luers
Nays: None

ITEM 17. CONDITIONAL USE APPLICATION CU14-29 – FAITH CHRISTIAN SCHOOL

Next for the Commission to consider and make recommendation to City Council was conditional use application CU14-29 submitted by Faith Christian School for property located at 730 East Worth Street and platted as Lot 1, Block 2 and Lot 1, Block 3, Faith Christian School. The applicant was requesting a conditional use permit to amend the previously approved site plan of CU06-27 (Ord. 06-50) for a non-profit educational institution, specifically to allow for an expansion of the existing gymnasium.

The applicant proposed to expand the existing gymnasium by 4,944 square feet.

In the Commission's regular session, Herb Fry moved to approve conditional use application CU14-29. Jimmy Fechter seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar, and Luers
Nays: None

ITEM 18. – HISTORIC LANDMARK SUBDISTRICT HL14-02 - HERMAN AND NONA CHIVERS HOUSE

Next for the Commission to consider and make recommendation to the City Council was historic landmark subdistrict application HL14-02 submitted by Nona Chivers for property located at 318 Turner Road and legally described as Tract 30R01, Abstract 946, Archibald Leonard Survey.

In the Commission's regular session Monica Hotelling moved to approve historic landmark subdistrict HL14-02. Jimmy Fechter seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar, and Luers
Nays: None

ITEM 19. – HISTORIC LANDMARK SUBDISTRICT HL14-03 - GEORGE AND MARY BALDWIN

Next for the Commission to consider and make recommendation to the City Council was historic landmark subdistrict application HL14-03 submitted by Regina Baldwin for property located at 321 Turner Road and legally described as Tract 30O01, Abstract 946, Archibald Leonard Survey.

In the Commission's regular session Dennis Luers moved to approve historic landmark subdistrict HL14-03. Jimmy Fechter seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar, and Luers
Nays: None

ITEM 20. – HISTORIC LANDMARK SUBDISTRICT HL14-04 - JOHN AND ELIZA BREWER HOUSE

Next for the Commission to consider and make recommendation to the City Council was historic landmark subdistrict application HL14-04 submitted by Eliza Brewer for property located at 422A Jones Street and legally described as Tract 30I01, Abstract 946, Archibald Leonard Survey.

In the Commission's regular session Monica Hotelling moved to approve historic

landmark subdistrict HL14-04. Beth Tiggelaar seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar, and Luers
Nays: None

ITEM 21. – HISTORIC LANDMARK SUBDISTRICT HL14-05 - FIRST NATIONAL BANK

Next for the Commission to consider and make recommendation to the City Council was historic landmark subdistrict application HL14-05 submitted by City of Grapevine for property located at 1400 South Main Street and platted as Lot 1R1, Block 1, First National Bank.

In the Commission's regular session discussion continued regarding clarification of exactly what will be designated as historical, the entire property or just the original building and whether or not a new ordinance specific to the original single story building should come back to the Planning and Zoning Commission for approval also. Monica Hotelling moved to approve historic landmark subdistrict HL14-05 of the original single story building as a 1st reading of the ordinance. Staff and the property owner shall work out a new ordinance specifying the original single story building. Dennis Luers seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Hotelling, Fechter, Tiggelaar, and Luers
Nays: Fry and Wilson

ITEM 22. FINAL PLAT - LOTS 1, 2, 3, BLOCK 1, RENTSCH ADDITION

Next for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Final Plat Application of Lots 1, 2, 3, Block 1, Rentsch Addition on property located at 605 Austin Street. The applicant was final platting 0.65 acres to subdivide the existing property into three lots.

In the Commission's regular session B J Wilson moved to approve the Statement of Findings and Final Plat Application of Lots 1, 2, 3, Block 1, Rentsch Addition. Herb Fry seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar, and Luers
Nays: None

ITEM 23. FINAL PLAT - LOTS 8R1, 8R2, BLOCK 4, RUSSWOOD ESTATES, PHASE TWO

Next for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Final Plat Application of Lots 8R1, 8R2, Block 4, Russwood Estates, Phase Two on property located at 2323 Eagle Crest Drive. The applicant was final platting 0.6015 acres to subdivide the existing property into two lots.

In the Commission's regular session Dennis Luers moved to approve the Statement of Findings and Final Plat Application of Lots 8R1, 8R2, Block 4, Russwood Estates, Phase Two. Monica Hotelling seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar, and Luers
Nays: None

ITEM 24. FINAL PLAT - LOTS 1, 2, BLOCK 1, SURREY LANE ESTATES

Next for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Final Plat Application of Lots 1, 2, Block 1, Surrey Lane Estates on property located at 811 Surrey Lane. The applicant was final platting 0.605 acres to plat a tract of land into two lots.

In the Commission's regular session B J Wilson moved to approve the Statement of Findings and Final Plat Application of Lots 1, 2, Block 1, Surrey Lane Estates Addition. Jimmy Fechter seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar, and Luers
Nays: None

ITEM 25. CONSIDERATION OF MINUTES

Next for the Commission to consider were the minutes of the June 17, 2014, Planning and Zoning Meeting.

Monica Hotelling moved to approve the Planning and Zoning Commission minutes of June 17, 2014 Planning and Zoning Meeting. Herb Fry Luers seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling and Luers
Nays: None
Abstain: Fechter and Tiggelaar

ADJOURNMENT

With no further business to discuss, Jimmy Fechter moved to adjourn the meeting at 9:38 p.m. Dennis Luers seconded the motion which prevailed by the following vote:

Ayes: Oliver, Fry, Wilson, Hotelling, Fechter, Tiggelaar and Luers
Nays: None

PLANNING & ZONING COMMISSION
JULY 15, 2014

PASSED AND APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE
CITY OF GRAPEVINE, TEXAS ON THIS THE 19TH DAY OF AUGUST 2014.

APPROVED:

CHAIRMAN

ATTEST:

PLANNING TECHNICIAN