

AGENDA  
CITY OF GRAPEVINE, TEXAS  
REGULAR JOINT CITY COUNCIL  
and  
PLANNING AND ZONING COMMISSION MEETING\*  
TUESDAY, SEPTEMBER 15, 2015  
GRAPEVINE CITY HALL, SECOND FLOOR  
200 SOUTH MAIN STREET  
GRAPEVINE, TEXAS 76051

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6:00 p.m.	Dinner - City Council Conference Room
6:30 p.m.	Call to Order - City Council Chambers
6:30 p.m.	Executive Session - City Council Conference Room
7:20 p.m.	4B Economic Development Board Meeting
7:20 p.m.	Crime Control and Prevention District Board Meeting
7:30 p.m.	Joint Public Hearings - City Council Chambers*
7:30 p.m.	Regular Meeting - City Council Chambers

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CALL TO ORDER: 6:30 p.m. - City Council Chambers

EXECUTIVE SESSION:

1. City Council to recess to the City Council Conference Room to conduct a closed session relative to:
  - A. Real property relative to deliberation or the exchange, lease, sale or value of City owned properties (portion of 185 acres owned by City) pursuant to Section 551.072, Texas Government Code.
  - B. Conference with City Manager and Staff to discuss and deliberate commercial and financial information received from business prospects the City seeks to have locate, stay, or expand in the City; deliberate the offer of a financial or other incentive; with which businesses the City is conducting economic development negotiations pursuant to Section 551.087, Texas Government Code.

City Council to reconvene in open session in the City Council Chambers and take any necessary action relative to items discussed in Executive Session.

REGULAR MEETING: 7:30 p.m. - City Council Chambers

INVOCATION AND PLEDGE OF ALLEGIANCE: Commissioner Jim Fechter

JOINT PUBLIC HEARINGS

2. **AM15-01 proposed amendments** – City Council and Planning and Zoning Commission to conduct a public hearing relative to amendments and changes to the Comprehensive Zoning Ordinance No. 82-73, same being Appendix D of the

Code of Ordinances as follows: Section 42, Supplementary District Regulations relative to off-premise advertising signage; and Section 60, Sign Standards relative to off-premise advertising signage and any other additions, deletions, or changes to various sections, articles and provisions contained in said Ordinance No. 82-73.

3. Conditional Use Permit **CU15-41** (Outfront Media) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Outfront Media, LLC to allow a converted digital billboard. The property is zoned “CC” Community Commercial District and is located at 1707 West State Highway 114.
4. Conditional Use Permit **CU15-38** (Kubota USA, Inc.) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Kubota USA, Inc. requesting a conditional use permit to exceed the maximum permitted height of the building and to establish a sign adjacent to State Highway 121 service road. The property is zoned “CC” Community Commercial District and is located at 4000 Kubota Drive.
5. Zoning Application **Z15-04** and Conditional Use Permit **CU15-22** (The Preserve) – City Council and Planning and Zoning Commission to conduct a public hearing relative to applications submitted by Greystar GP II, LLC to rezone approximately 67.667 acres from “LI” Light Industrial District and “PCD” Planned Commerce Development District to “R-MF” Multifamily District. The applicant is also requesting a conditional use permit to exceed the height requirement in conjunction with a 714 unit multi-family development. The property is located at 4501 State Highway 360.
6. Planned Development Overlay **PD15-04** (Stone Bridge Oaks) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Stone Bridge Oaks Homeowner’s Association to amend the previously approved site plan of PD10-04 (Ord. 2010-33) specifically to allow an emergency only access gate on the southbound State Highway 360 frontage road. The property is zoned “R-TH” Townhouse District and “R-5.0” Zero Lot Line District and is located at 4632 Trevor Trail.
7. Conditional Use Permit **CU15-37** (Ferrari’s) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Accent Graphics. The applicant is requesting a conditional use permit to amend the previously approved site plan of CU07-28 SPRC, CU06-32 (Ord. 2006-56) to allow a 20 foot pole sign. The property is zoned “CC” Community Commercial District and is located at 1200 William D. Tate Avenue. **This item was tabled from the August 18, 2015 Joint City Council and Planning and Zoning Commission meeting.**
8. **Final Plat** of Lots 3R1 and 3R2, Block A, Shamrock Ventures Addition being a replat of Lot 3R, Block A, Shamrock Ventures Addition – City Council and Planning and Zoning Commission to conduct a public hearing relative to an

application submitted by Sempco Surveying. The property is zoned "R-7.5" Single Family Residential is located at 1207 West Wall Street. **This item was tabled from the August 18, 2015 Joint City Council and Planning and Zoning Commission meeting.**

#### END OF JOINT PUBLIC HEARINGS

Planning and Zoning Commission to recess to Planning and Zoning Commission Conference Room, Second Floor to consider published agenda items.

City Council to remain in session in the Council Chambers to consider published business.

#### CITIZEN COMMENTS

9. Any person who is not scheduled on the agenda may address the City Council under Citizen Comments by completing a Citizen Appearance Request form with the City Secretary. In accordance with the Texas Open Meetings Act, the City Council is restricted in discussing or taking action during Citizen Comments.

#### PRESENTATIONS

10. Emergency Management Coordinator to present Grapevine Lake flooding update.

#### NEW BUSINESS

11. Consider an **ordinance** adopting the Fiscal Year 2015-2016 Budget and take any necessary action.
12. Consider an **ordinance** adopting the tax rate for Fiscal Year 2015-2016 and take any necessary action.
13. Consider a contract with Goodwin and Marshall for the submission of a Conditional letter of Map revision to FEMA and take any necessary action.

#### CONSENT AGENDA

Consent items are deemed to need little Council deliberation and will be acted upon as one business item. Any member of the City Council or member of the audience may request that an item be withdrawn from the consent agenda and placed before the City Council for full discussion. Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations.

14. Consider a **resolution** authorizing and ratifying the emergency purchase of turf for the golf course that was made from Trinity Turf Nursery, Inc. City Manager recommends approval.

15. Consider a **resolution** for the purchase of incident dashboard software and training from Advanced Public Safety, a sole source vendor. City Manager recommends approval.
16. Consider renewal of an annual contract for multimedia services from Swagit Productions, LLC for City Council and Planning and Zoning Commission meetings. City Manager recommends approval.
17. Consider the award of a professional services contract for a comprehensive economic impact study of tourism to Grapevine to Tourism Economics. Convention and Visitor's Bureau Executive Director recommends approval.
18. Consider award of an annual contract with Munich Re for Medical and Prescription Stop Loss Insurance. Chief Financial Officer recommends approval.
19. Consider renewal of an annual contract with STW, Inc. for extended support services, licensing fees and special projects for the City's financial application software system. Chief Financial Officer recommends approval.
20. Consider a **resolution** for an annual sole source contract, with renewals, for defibrillator technical support services from Physio-Control, Inc. Fire Chief recommends approval.
21. Consider renewal of an annual agreement with Temporaries of Texas, Inc. for temporary employment services. Human Resources Director recommends approval.
22. Consider a **resolution** for the purchase of sports field lighting repair services from Musco Sports Lighting, LLC through an Interlocal Participation Agreement with The Local Government Purchasing Cooperative (Buyboard). Parks and Recreation Director recommends approval.
23. Consider an **ordinance** amending Chapter 25, Utilities and Services, Article III, Solid Waste Disposal, Section 25-97, Service Rates – Schedules to reflect adjustments to the commercial and residential solid waste and recycling collection rates. Public Works Director recommends approval.
24. Consider a **resolution** for the purchase of water plant filter valve actuators from REXA, Inc., a sole source vendor. Public Works Director recommends approval.
25. Consider a **resolution** authorizing and ratifying the emergency rental of water filled traffic barriers for Public Works that was made from Buyers Barricades. Public Works Director recommends approval.
26. Consider a **resolution** for the purchase of a police Tahoe through an Interlocal Agreement for Cooperative Purchasing with the Houston-Galveston Area Council (H-GAC). Public Works Director recommends approval.

27. Consider renewal of annual contracts for aggregate materials with Big Sandy Sand Company; DFW Materials; Hanson Aggregates, LLC; Lowery Sand and Gravel Company, Inc.; Texas Sports Sands, Inc. (formerly Neese Materials, Inc.); and Martin Marietta Materials. Public Works Director recommends approval.
28. Consider award of an informal request for quotes for backlit street name sign mounting arms from Structural and Steel Products, Inc. Public Works Director recommends approval.
29. Consider changing the time of the October 6, 2015 City Council meeting to 5:30 p.m. to allow the City Council to attend neighborhood National Night Out functions. City Secretary recommends approval.
30. Consider a **resolution** adopting a master plan on the city-owned 185 acres. City Manager recommends approval.
31. Consider the minutes of the August 18, 2015 Regular City Council meeting and August 26, 2015 Special City Council meeting as published. City Secretary recommends approval.

Pursuant to the Texas Open Meetings Act, Texas Government Code, Chapter 551.001 et seq, one or more of the above items may be considered in Executive Session closed to the public. Any decision held on such matter will be taken or conducted in open session following conclusion of the executive session.

#### PLANNING AND ZONING COMMISSION RECOMMENDATIONS

32. **AM15-01 proposed amendments** – Consider the recommendation of the Planning and Zoning Commission and a subsequent **ordinance**, if applicable.
33. Conditional Use Permit **CU15-41** (Outfront Media) – Consider the recommendation of the Planning and Zoning Commission and a subsequent **ordinance**, if applicable.
34. Conditional Use Permit **CU15-38** (Kubota USA, Inc.) – Consider the recommendation of the Planning and Zoning Commission and a subsequent **ordinance**, if applicable.
35. **Preliminary Plat** of Grapevine 135 – Consider the recommendation of the Planning and Zoning Commission relative to an application submitted by David Sutton with Kubota USA, Inc. for property zoned “CC” Community Commercial Districted located north of Grapevine Mills Boulevard between Grapevine Mills Parkway (F.M. 2499) and State Highway 121, and take any necessary action.
36. **Final Plat** of Lots 1 and 2, Block 1, Kubota Addition – Consider the recommendation of the Planning and Zoning Commission relative to an application submitted by David Sutton with Kubota USA, Inc. for property zoned

“CC” Community Commercial Districted located north of Grapevine Mills Boulevard between Grapevine Mills Parkway (F.M. 2499) and State Highway 121, and take any necessary action.

37. Zoning Application **Z15-04** (The Preserve) – Consider the recommendation of the Planning and Zoning Commission and a subsequent **ordinance**, if applicable.
38. Conditional Use Permit **CU15-22** (The Preserve) – Consider the recommendation of the Planning and Zoning Commission and a subsequent **ordinance**, if applicable.
39. **Preliminary Plat** of Lots 1 and 2, Block A, Glade 360 Addition – Consider the recommendation of the Planning and Zoning Commission relative to an application submitted by Paul Gardner with Silvertree Partners for property zoned “LI” Light Industrial District and “PCD” Planned Commerce Development District with a requested zoning of “R-MF” Multifamily District. The property is located at 4501 State Highway 360, and take any necessary action.
40. **Final Plat** of Lots 1 and 2, Block A, Glade 360 Addition – Consider the recommendation of the Planning and Zoning Commission relative to an application submitted by Paul Gardner with Silvertree Partners for property zoned “LI” Light Industrial District and “PCD” Planned Commerce Development District with a requested zoning of “R-MF” Multifamily District. The property is located at 4501 State Highway 360, and take any necessary action.
41. Planned Development Overlay **PD15-04** (Stone Bridge Oaks) – Consider the recommendation of the Planning and Zoning Commission and a subsequent **ordinance**, if applicable.
42. Conditional Use Permit **CU15-37** (Ferrari’s) – Consider the recommendation of the Planning and Zoning Commission and a subsequent **ordinance**, if applicable.
43. **Final Plat** of Lots 3R1 and 3R2, Block A, Shamrock Ventures Addition – Consider the recommendation of the Planning and Zoning Commission and take any necessary action.

ADJOURNMENT

In accordance with the Open Meetings Law, Texas Government Code, Chapter 551, I hereby certify that the above agenda was posted on the official bulletin boards at Grapevine City Hall, 200 South Main Street and on the City's website on September 11, 2015 by 5:00 p.m.

  
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Tara Brooks, City Secretary



If you plan to attend this public meeting and you have a disability that requires special arrangements at the meeting, please contact the City Secretary's Office at 817.410.3182 at least 24 hours in advance of the meeting. Reasonable accommodations will be made to assist your needs.

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CITY OF GRAPEVINE, TEXAS  
REGULAR PLANNING AND ZONING COMMISSION MEETING  
TUESDAY, SEPTEMBER 15, 2015  
GRAPEVINE CITY HALL, SECOND FLOOR  
200 SOUTH MAIN STREET  
GRAPEVINE, TEXAS 76051

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7:00 p.m. Briefing Session – Planning and Zoning Commission Conference Room  
7:30 p.m. Joint Public Hearings – City Council Chambers  
7:30 p.m. Regular Session – Planning and Zoning Commission Conference Room

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CALL TO ORDER: 7:00 p.m. - Planning and Zoning Commission Conference Room

BRIEFING SESSION:

1. Conduct a briefing session to discuss all items scheduled on tonight's agenda. No action will be taken. Each item will be considered during the Regular Session which immediately follows the Joint Public Hearings.

JOINT PUBLIC HEARINGS: 7:30 p.m. - City Council Chambers

INVOCATION AND PLEDGE OF ALLEGIANCE: Commissioner Jim Fechter

2. **AM15-01 proposed amendments** – City Council and Planning and Zoning Commission to conduct a public hearing relative to amendments and changes to the Comprehensive Zoning Ordinance No. 82-73, same being Appendix D of the Code of Ordinances as follows: Section 42, Supplementary District Regulations relative to off-premise advertising signage; and Section 60, Sign Standards relative to off-premise advertising signage and any other additions, deletions, or changes to various sections, articles and provisions contained in said Ordinance No. 82-73.
3. Conditional Use Permit **CU15-41** (Outfront Media) – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Outfront Media, LLC to allow a converted digital billboard. The property is zoned “CC” Community Commercial District and is located at 1707 West State Highway 114.
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relative to applications submitted by Greystar GP II, LLC to rezone approximately 67.667 acres from "LI" Light Industrial District and "PCD" Planned Commerce Development District to "R-MF" Multifamily District. The applicant is also requesting a conditional use permit to exceed the height requirement in conjunction with a 714 unit multi-family development. The property is located at 4501 State Highway 360.

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8. **Final Plat** of Lots 3R1 and 3R2, Block A, Shamrock Ventures Addition being a replat of Lot 3R, Block A, Shamrock Ventures Addition – City Council and Planning and Zoning Commission to conduct a public hearing relative to an application submitted by Sempco Surveying. The property is zoned "R-7.5" Single Family Residential is located at 1207 West Wall Street. **This item was tabled from the August 18, 2015 Joint City Council and Planning and Zoning Commission meeting.**

#### END OF JOINT PUBLIC HEARINGS

Planning and Zoning Commission to recess to Planning and Zoning Commission Conference Room, Second Floor to consider published agenda items.

REGULAR SESSION: 7:30 p.m. (Immediately following Joint Public Hearings) - Planning and Zoning Commission Conference Room

#### NEW BUSINESS

9. **AM15-01 proposed amendments** – Consider the application and make a recommendation to the City Council.

10. Conditional Use Permit **CU15-41** (Outfront Media) – Consider the application and make a recommendation to the City Council.
11. Conditional Use Permit **CU15-38** (Kubota USA, Inc.) – Consider the application and make a recommendation to the City Council.
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17. **Final Plat** of Lots 1 and 2, Block A, Glade 360 Addition – Consider and make a recommendation to the City Council relative to an application submitted by Paul Gardner with Silvertree Partner, for property zoned “LI” Light Industrial District and “PCD” Planned Commerce Development District with a requested zoning of “R-MF” Multifamily District. The property is located at 4501 State Highway 360.
18. Planned Development Overlay **PD15-04** (Stone Bridge Oaks) – Consider the application and make a recommendation to the City Council.
19. Conditional Use Permit **CU15-37** (Ferrari’s) – Consider the application and make a recommendation to the City Council.
20. **Final Plat** of Lots 3R1 and 3R2, Block A, Shamrock Ventures Addition – Consider the application and make a recommendation to the City Council.

21. Consider the minutes of the August 18, 2015 Planning and Zoning Commission meeting and take any necessary action.

NOTE: Following the adjournment of the Planning and Zoning Commission meeting, a representative will present the recommendations of the Planning and Zoning Commission to the City Council for consideration in the City Council Chambers.

ADJOURNMENT

In accordance with the Open Meetings Law, Texas Government Code, Chapter 551, I hereby certify that the above agenda was posted on the official bulletin boards at Grapevine City Hall, 200 South Main Street and on the City's website on September 11, 2015 by 5:00 p.m.

*Tara Brooks*

\_\_\_\_\_  
Tara Brooks, City Secretary



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MEMO TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND  
MEMBERS OF THE PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR <sup>per Scott  
9/5/15</sup>

MEETING DATE: SEPTEMBER 15, 2015

SUBJECT: ZONING ORDINANCE AMENDMENT AM15-01—AMENDMENTS  
TO SECTION 43 NONCONFORMING USES AND STRUCTURES  
AND SECTION 60 SIGN STANDARDS

RECOMMENDATION:

Staff recommends the Planning and Zoning Commission and the City Council approve the amendments to Section 43, Nonconforming Uses and Structures and to Section 60, Sign Standards and take any other action necessary.

BACKGROUND INFORMATION:

***Section 43, Nonconforming Uses and Structures:***

This amendment is relative to the settlement of a lawsuit between Outfront Media (formerly CBS Outdoor) regarding an existing static billboard sign located along the S.H. 114 right-of-way to the east of the existing Sam's Club. Although this sign was a nonconforming structure and continues to remain so, as part of the settlement of the lawsuit, staff was directed by Council to amend the appropriate sections of the zoning ordinance to allow conversion of the existing static billboard sign to a digital billboard 60 feet in height with cabinet dimensions of 14 feet by 48 feet (672 square feet). Specifically, Section 43 was amended to allow, because of right-of-way acquisition, the alteration of an off-premise advertising sign (billboard sign) fronting on S.H. 114, only through approval of a conditional use permit from the City Council.

***Section 60, Sign Standards:***

Section 60, Sign Standards was amended to provide a narrowly defined set of criteria to regulate the use of the converted digital billboard sign which will only be applicable to the Outfront sign on S.H. 114. Key specific criteria based on peer ordinances and industry standards includes:

- The existing legal, nonconforming sign fronts on S.H.114
- Right-of-acquisition necessitates the alteration of the sign

- The City Council approves the conversion with a conditional use permit
- Lighting levels will not increase more than 0.3 foot candles over ambient levels measured 250 feet from the sign
- Each message must be displayed for a minimum of eight seconds
- Changes of messages must be accomplished within two seconds
- Changes of messages must occur simultaneously on the entire sign face
- No flashing, dimming, or brightening of message is permitted except to accommodate changes of the message
- Ticker tape streaming and streaming video are prohibited

Section 60, Sign Standards was also amended to provide a mechanism to allow “off-premise” signage specific only to the City’s 185 acres to improve and enhance the development potential of the site. Specifically Section 60 was amended to allow, only through approval of a conditional use permit by the City Council, off-premise signage *within* developments with frontage along Grapevine Mills Parkway (F.M. 2499), Grapevine Mills Boulevard North, North State Highway 121, and Freeport Parkway. See the attached ordinances and memo from the City Attorney.

/rs

**BOYLE & LOWRY, L.L.P.**

**ATTORNEYS AND COUNSELORS**

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IRVING, TEXAS 75062-2763  
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(972) 650-7105 telecopier  
www.boyle-lowry.com

**MEMO**

Via Email

DATE: September 2, 2015  
TO: Bruno Rumbelow, City Manager  
FROM: Matthew Boyle, Assistant City Attorney  
RE: Sign Ordinance Amendments

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We are recommending for approval amendments to Sections 43 and 60 of the Zoning Ordinance regarding nonconforming and off-site signage. These amendments are the result of two separate initiatives: 1. the settlement of a pending lawsuit regarding the billboard located between Sam's Club and SH 114; and 2. the request by Kubota U.S.A. Inc. to have signage adjacent to SH121 on part of the 185 acres owned by the City. As will be explained further below, these amendments are limited in scope and are intended to carry forward on prior direct action by the City Council in approving the settlement of the lawsuit and in approving the sale of 25 plus acres of City owned property to bring Kubota's North American headquarters to Grapevine.

Outfront Media (formerly known as CBS Outdoor) sued the City and its Board of Zoning Adjustment relative to their request to adjust the location of their billboard by moving it four feet away from SH114 so as it to remove it from the expanded right of way for SH114. The billboard has been and remains a nonconforming use and structure as an off-site sign which is no longer permitted by the Zoning Ordinance. As part of the settlement of the lawsuit filed by Outfront, the City Council directed staff to prepare amendments to the Zoning Ordinance to allow the existing billboard to be converted to a full size digital billboard with dimensions of 12' x. 48'. Doing so requires amendments to both Section 43 and Section 60 of the Zoning Ordinance. Section 43, Nonconforming Uses and Structures, is being amended to allow for the alteration, enlargement, or remodeling of an off-premise sign which fronts on SH114 and a governmental right-of-way acquisition necessitates the alternation. Such alteration can only proceed upon the approval of a conditional use permit. Correspondingly Section 60(B)(2)(o) of the Zoning Ordinance is being added to establish the baseline criteria and requirements for a converted digital billboard. The technical requirements are based on peer Ordinances along with the known technical data from Outfront as to the proposed conversion. The goal of those requirements is to regulate the visual impact of the digital sign. These revisions have been narrowly drafted so as to only be applicable to the Outfront sign. The Outfront CUP is also being scheduled for consideration on September 15.

In an effort to enhance the function and develop-ability of the 185 acres of property owned by the City, we recommend allowing certain off-premise signs on the 185 acres. Such signage will be subject to the requirement of obtaining a conditional use permit and the sign(s) must be for the advertisement of goods, entertainment, or services sold, offered, or made on the 185 acres. Kubota U.S.A. Inc. has contracted to purchase 25 plus acres of land from the City which is internal to the site and as such does not include any frontage on SH121. Absent these amendments the only means to achieve Kubota's request for signage on SH121 would be through acquiring additional real estate or through the creation of a Planned Commercial Center. The real estate option is neither practical nor prudent inasmuch as it would result in the waste of potentially developable property. A Planned Commercial Center is not feasible because the remainder of the 185 acres remains undeveloped at this time. These amendments represent a similar approach to how we have dealt with signage at Grapevine Mills Mall, and the signage process at the Mall has been successful to date.

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**Section 60, Sign Standards  
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**Section 60. Sign Standards**

Signs are recognized as a significant and specific use of land for the purpose of protection of places and areas of historical and cultural importance; to increase safety and lessen congestion in the streets; to conserve the value of buildings; to preserve residential values; and to encourage the most appropriate use of land, standards are herein provided for the installation of signs. No sign shall be erected, placed, or located except in accordance with the following standards:

- A. **SIGN PERMITS.** No sign, except for signs listed in Section 60, shall be painted, constructed, erected, remodeled, relocated, or expanded until a zoning permit for such sign has been obtained in accordance with the procedure set out in this Ordinance. No zoning permit for any sign shall be issued unless the sign complies with the regulations of this Section 60.

It shall be unlawful for the owner of any property, or any other person, firm, or entity to place, allow to be placed, maintain or allow to be maintained, portable commercial billboards or on-site business signs in the City. Any portable sign for which a current and valid permit has been issued shall be allowed until the expiration of the permit. No signs shall be permitted except as specified in this Section 60.

B. **CLASSIFICATION OF SIGNS.**

1. **Functional Types.**

- a. **NAMEPLATE SIGNS.** A permanent sign affixed to the exterior wall of a building, giving the name and/or address of the owner or occupant of a building or premises in which it is located, and, where applicable, a professional status.
- b. **ON-PREMISE SIGNS.** A permanent sign which directs attention to a business or profession conducted, or to a commodity or service sold, offered or manufactured, or an entertainment offered, on the premises where the sign is located or to which it is affixed. **Signs within developments with frontage on Grapevine Mills Parkway (F.M. 2499), Grapevine Mills Boulevard North, North State Highway 121 and Freeport Parkway shall be considered on-premise signs, regardless of the lot on which they are placed, provided the following conditions are met:**

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Section 60, Sign Standards  
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1. A conditional use for such sign is approved by City Council.
  2. Written permission for the placement of such sign is submitted to the City by the owner of the property on which the sign is placed.
- c. **DEVELOPMENT SIGNS.** A temporary sign identifying the developing tract of land on which it is located. In residential districts, said sign shall be removed after four (4) years, or when ninety (90) percent of the lots are sold, whichever occurs first. In all other zoning districts, said sign shall be removed after three (3) years, or when seventy (70) percent of the lots are developed, or whichever occurs first.
- d. **CONSTRUCTION SIGNS.** A temporary sign containing the names of architects, engineers, landscape architects, contractors, and similar artisans involved in the design and construction of a structure or project. This temporary sign may be located only on the premises on which the construction is taking place and only during the period when construction is taking place. Said sign shall be removed prior to the issuance of the first Certificate of Occupancy.
- e. **REAL ESTATE SIGNS.** A temporary sign pertaining to the sale or lease of the lot or tract of land on which the sign is located, or to the sale or lease of one or more structures, or a portion thereof located thereon. Said sign shall be removed upon the sale or lease of the property. Real Estate signs advertising the lease or rent of buildings or space within buildings shall comply with the following regulations:
- (1) The sign shall be removed when the building is one hundred (100) percent occupied. This percentage shall be exclusive of common areas.
  - (2) The property owner or authorized management company (but in no case the sign contractor) shall submit a notarized affidavit with all permit applications for real estate signs on a form provided by the City. Said affidavit shall certify that the building is less than one hundred (100) percent occupied, exclusive of common areas.
  - (3) The sign permit shall be valid for a period of not more than one

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**Section 60, Sign Standards  
091515**

year or when the structure becomes one hundred (100) percent occupied, exclusive of common areas, whichever comes first. The permit may be renewed annually provided the building is less than one hundred (100) percent occupied, exclusive of common areas. A twenty one dollar (\$21.00) renewal fee is required. A new affidavit (as described above) shall be submitted certifying that the building is less than one hundred (100) percent occupied, excluding common areas.

(4) In lieu of providing an affidavit certifying that the building is less than one hundred (100) percent occupied, the property owner or authorized Management Company may provide a notarized affidavit showing that a vacancy will occur within thirty (30) days.

f. **POLITICAL SIGNS.** A temporary sign meeting the requirements of Chapter 20, Article II, Division 3 of the Grapevine Code of Ordinances.

g. **SUBDIVISION SIGNS.** A sign identifying a subdivision on which it is located. The subdivision sign shall not be located in any right-of-way or easement in the subdivision.

h. **TEMPORARY DIRECTIONAL SIGNS:** A temporary sign permitted for a period of two years, directing attention to the location of a developing subdivision located in Grapevine that is zoned R-7.5, R-12.5, R-20 or R-5.0. Said sign shall not be located in any right-of-way or easement.

**2. Structural Types.**

a. **AWNING, CANOPY AND MARQUEE SIGNS.** A sign that is mounted or painted on, or attached to, an awning, canopy or marquee that is otherwise permitted by this Ordinance. No such sign shall project above, below, or beyond the physical dimensions of the awning, canopy or marquee.

b. **GROUND SIGNS.** A sign, except a portable sign, permanently placed upon, or supported by the ground independent of the principal building or structure on the property, the top edge of which sign is no more than six (6) feet above ground level, except ground signs in the

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HGT District shall be three (3) feet above ground level. All ground signs must conform to the following regulations:

- (1) Sign support shall be masonry, non-decaying wood, or structural steel tubing.
- (2) Sign face shall be non-decaying wood, or flat, clear acrylic sheet with all copy and background sprayed on second surface with acrylic colors.
- (3) Maximum gross surface area: Sixty (60) square feet, except signs in the HGT District shall be nine (9) square feet.
- (4) Ground Sign Conditional Uses:

The following Conditional Uses may be permitted provided they meet the provision of Section 48 and a Conditional Use Permit is issued: Sign face with changeable copy.

- (5) Ground Signs in the BP Business Park District:
  - i. Maximum sign height: Ten (10) feet
  - ii. Maximum gross surface area: Two hundred (200) square feet.
  - iii. Changeable Copy: Thirty (30) percent. The percentage of changeable copy may be increased provided a conditional use permit is issued in accordance with Section 48 of this Ordinance.

**c. MONUMENT SIGNS.** A sign permanently placed upon, or supported by the ground independent of the principal building or structure on the property. The height of the sign, including the base shall be measured from ground level. A monument sign shall be solid from the ground up; pole(s) or support(s) shall be concealed. A monument sign may be located on a two (2) foot high berm or masonry planter box. All monument signs must conform to the following regulations:

- (1) Sign support shall be masonry or structural steel tubing.

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- (2) Sign face shall be non-decaying wood, or flat, clear acrylic sheet with all copy and background sprayed on second surface with acrylic colors.
  - (3) Maximum gross surface area: One hundred (100) square feet except as provided for in Section 60.B.2c.6.
  - (4) Maximum sign height: Ten (10) feet except as provided for in Section 60.B.2c.6.
  - (5) Changeable copy: Thirty (30) percent. The percentage of changeable copy may be increased provided a conditional use permit is issued in accordance with Section 48 of this Ordinance.
  - (6) Monument Signs in the HC Highway Commercial District For Properties Fronting Wall Street:
    - i. Maximum sign height: Six (6) feet.
    - ii. Maximum gross surface area: Sixty (60) square feet.
    - iii. Changeable Copy: Sign face with changeable copy may be permitted provided they meet the provision of Section 48 and a Conditional Use Permit is issued.
- d. **POLE SIGNS.** A sign that is mounted on a freestanding pole, conforming to the following regulations:
- (1) **Engineering Regulations.** All pole signs shall be designed in accordance with Chapter 23 of the Grapevine Building Code. All plans and specifications shall be prepared by a professional engineer. Wind pressure design for signs shall be twenty (20) pounds per square foot for signs less than thirty (30) feet in height and twenty-five (25) pounds per square foot for signs thirty (30) feet to forty (40) feet in height.
  - (2) **Sign Cabinet.** Paint grip sheet metal on angle iron frame with angle retaining rim to secure sign face or other materials approved by the Director of Development Services.

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- (3) **Sign Cabinet Minimum Gross Surface Area.** Thirty (30) square feet.
- (4) **Maximum Sign Cabinet Dimensions and Maximum Gross Surface Area.** The maximum gross surface of the sign cabinet shall be one hundred eight (108) square feet with a maximum cabinet width of twelve (12) feet, a maximum cabinet height of twelve (12) feet and a maximum cabinet depth of fourteen (14) inches.
- (5) **Sign Face.** Flat, clear acrylic sheet, or other material approved by the Director of Development Services; all copy and background sprayed on second surface with acrylic colors. Thirty (30) percent of the gross surface area of the sign face may have changeable copy. Neon tubing on solid background.
- (6) **Changeable Copy.** Thirty (30) percent of the gross surface area of the sign face may have changeable copy. All explanatory text related to the changeable copy shall be calculated as a part of the thirty (30) percent gross surface area.
- (7) **Sign Finish.** Degrease, prime, and finish coat all exposed metal surfaces as required.
- (8) **Sign Support Color.** Painted surfaces are to match architecturally with the main structure on the lot.
- (9) **External Illumination.** Neon tubing on a solid background is allowed.
- (10) **Internal Illumination.** Internal illumination provided by fluorescent lamps spaced no further than twelve (12) inches on center.
- (11) **Overall Sign Height.** All signs to be twenty (20) feet in height.
- (12) **Pole Sign Conditional Uses.** The following Conditional Uses may be permitted provided they meet the provisions of Section 48 and a Conditional Use Permit is issued:

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- a. All pole signs erected after April 17, 2001 will be permitted upon approval of a conditional use permit.
- b. A sign face with changeable copy exceeding thirty (30) percent of the gross surface area of the sign face.
- c. Pole signs on property zoned Neighborhood Commercial, Community Commercial and Highway Commercial and located adjacent to Highway 121 (excluding from a point 2,400 feet due south of the southern right-of-way of Timberline Drive south to the city limit line), Highway 360 and Highway 114 (excluding Business 114), and F.M. 2499 may be a minimum of twenty (20) feet in height up to forty (40) feet in height. Pole signs on property located contiguous to Highway 26 shall be limited to twenty (20) feet in height, except for Lots 1 and 2, Block 1, Wal-Mart Addition, which shall have pole signs up to thirty (30) feet in height. For pole signs exceeding twenty (20) feet in height, the sign cabinet dimensional requirements shall be a maximum of thirty-six (36) inches in depth and a maximum gross surface area of two hundred eighty-eight (288) square feet. There shall be no minimum or maximum cabinet width or height regulations for signs approved with a conditional use exceeding twenty (20) feet in height.
- d. Pylon signs on property zoned Community Commercial located adjacent to Highway 121 (from a point 2,400 feet due south of the southern right-of-way of Timberline Drive south to the city limit line) with a planned commercial center designation, may be a minimum of twenty (20) feet in height up to forty (40) feet in height. For pylon signs exceeding twenty (20) feet in height, the sign cabinet dimensional requirements shall not exceed 24 (twenty-four) feet in width or height, a maximum of thirty-six (36) inches in depth and a maximum gross surface area of two hundred eighty-eight (288) square feet. Such signs shall be multi-tenant signs and shall conform to the architectural standards of the shopping center.

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- e. The Director of Development Services may approve the replacement of an existing pole/pylon signs, approved in conjunction with a conditional use permit, with a monument sign.
- e. **PROJECTING SIGNS.** A sign that is wholly or partly dependent upon a building for support and which projects more than twelve (12) inches from such building, but less than forty-eight (48) inches.
- f. **ROOF SIGNS.** A sign fastened to or resting on the roof of a structure.
- g. **WALL SIGNS.** A sign fastened to or painted on a wall of a building or structure in such a manner that the wall becomes merely the supporting structure or forms the background surface, and which does not project more than twelve (12) inches from such building.
- h. **PORTABLE COMMERCIAL BILLBOARDS.** Any sign which is supported by the ground but not attached to the ground, or other object which is used primarily to advertise to the general public for commercial purposes; is of a temporary nature; is not directly connected to or in relation to or in close proximity to a business, church, development or other establishment that is being advertised.
- i. **PORTABLE ON-SITE BUSINESS SIGNS.** Any sign supported by the ground but not attached to the ground or other object, which is of a temporary nature, and is used for advertising purposes connected to, adjacent to or in close proximity of the business, church, development or other establishment that is being advertised.
- j. **PORTABLE SANDWICH BOARD.** A portable sign, consisting of two panels of equal size, made of painted, decay resistant wood, which are hinged at the top and placed on the ground or pavement so as to be self supporting. Portable Sandwich Boards must conform to the following regulations:
  - (1) Maximum sign height shall be three (3) feet.
  - (2) Maximum sign width shall be two (2) feet.
  - (3) Signs shall not be placed in front of adjoining property. No portion of the sign shall extend more than three (3) feet from

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the building face.

- (4) A minimum clear sidewalk width of forty-eight (48) inches shall be maintained.
  - (5) Chalkboards may be used for daily changing messages. No changeable letters on tracks may be used.
  - (6) Sign must be removed after business hours.
  - (7) Portable sandwich boards shall be allowed on any commercially zoned property with frontage on Main Street from Peach Street to the north and Nash Street to the south, any property zoned CBD Central Business District and any commercially zoned property with a historic landmark subdistrict overlay.
- k. **HISTORIC WALL SIGN.** A sign painted directly on a building existing as of October 18, 1994, which is a restoration of or an exact replica of a sign advertising a historic former premise or a product. A replica sign must be documented as a historic sign known to have previously existed on a building in Grapevine.
- I. **TEMPORARY DIRECTIONAL SIGNS:** A sign supported by the ground, conforming to the following regulations:
- (1) Maximum sign height shall be fifteen (15) feet.
  - (2) Maximum area: The maximum gross surface of the sign cabinet shall be sixty-four (64) square feet for signs placed on State Highways and thirty-two (32) square feet for signs placed on property fronting streets designated on the City of Grapevine Thoroughfare Plan.
  - (3) Permitted locations: Signs shall be located only on property fronting State Highways or property fronting on streets designated on the City of Grapevine Thoroughfare Plan.
  - (4) Maximum number of signs shall be two (2) signs for any subdivision.

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- (5) Minimum spacing shall be one hundred (100) feet measured radially from all other off-site development signs.
- (6) The sign shall be removed upon permits being issued to build upon ninety-five (95) percent of the lots being advertised.
- (7) Temporary Directional Signs are permitted in all zoning districts.
- (8) Permits issued for Temporary Directional Signs shall be issued for periods of two years. Permits shall become null and void when permits are issued to build upon ninety-five (95) percent of the lots in a subdivision being advertised.
- (9) Removal of signs: Permittee agrees to remove signs promptly after the permit expires or is terminated. Permittee submits a bond with the application in face amount equivalent to the cost of removing same in the event the sign is not removed within thirty (30) days expiration or termination of the permit.

The bond is for the benefit of the City, who may recover its costs incurred in removing same. Permittee, in its application, authorizes the City to remove the sign and releases the City, its officers, agents, servants and employees from all injuries and damages for removal of the same after permittee fails to remove same.

- m. **PYLON SIGNS.** A type of free-standing pole sign erected on one or more free-standing shafts, posts, poles, or piers, solidly affixed to the ground which are totally enclosed from view by a decorative cladding that is a minimum width of 50% (fifty percent) of the width of the cabinet, if the width of the cabinet is greater than the height of the cabinet or 100% (one hundred percent) of the width of the cabinet, if the cabinet width is equal to or less than the height of the cabinet.
- n. **ELECTRONIC MESSAGE SIGNS.** A sign or portion of a sign that displays an electronic image or video, which may or may not include text, where the rate of change is electronically programmed and can be modified by electronic processes. This definition includes television screens, plasma screens, digital screens, LED screens, video boards, holographic displays and other similar media.

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o. CONVERTED DIGITAL BILLBOARD. A legal, nonconforming off-premise advertising sign that is converted to a sign, display or device, internally illuminated, which changes the static message or copy by electronic means.

1. A legal, non-conforming advertising sign may be altered to a Converted Digital Billboard only if all of the following conditions are met:

i. the existing legal, non-conforming advertising sign fronts State Highway 114,

ii. a right-of-way acquisition by a governmental agency necessitates the alteration of the existing off-premise advertising sign, and

iii. City Council approves the conversion with a conditional use permit.

2. A Converted Digital Billboard may only be operated with a valid, unexpired conditional use permit.

3. All Converted Digital Billboards shall conform to the following regulations:

i. The display must contain a default mechanism that shows full black in case of a malfunction.

ii. The display must automatically adjust the sign brightness based on natural ambient light conditions in compliance with the following:

Digital advertising signs shall not operate at brightness levels of more than 0.3 foot candles above ambient light, as measured using a foot candle meter at a pre-set distance. Pre-set distances to measure the foot candles impact vary with the expected viewing distances of each size sign. Measurement distance criteria:

Face Size	Distance to be measured from:
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<u>12' x 25'</u>	<u>150'</u>
<u>10'6" x 36'</u>	<u>200'</u>
<u>14' x 48'</u>	<u>250'</u>

Each digital advertising display must have a light sensing device that will adjust the brightness as ambient light conditions change.

iii. The face may not display light of such intensity or brilliance to cause glare, impair the vision of an ordinary driver, or constitute a nuisance.

iv. The display must have a full color display able to display a minimum of 281 trillion color shades and must be able to display a high quality image with a minimum resolution equivalent to the following table:

<u>Digital Display Sign Resolution Chart</u>	
<u>Size of LED Panel</u>	<u>Maximum Pixel Size</u>
<u>100 s/f to 125 s/f</u>	<u>16 mm</u>
<u>Greater than 126 s/f</u>	<u>20 mm</u>

v. Each message must be displayed for a minimum of eight seconds.

vi. Changes of message must be accomplished within two seconds.

vii. Changes of message must occur simultaneously on the entire sign face.

viii. No flashing, dimming, or brightening of message is permitted except to accommodate changes of message.

ix. Ticker tape streaming and streaming video are prohibited.

x. Converted Digital Billboard operators must respond to a malfunction or safety issue within one hour after notification.

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4. Before the issuance of a sign permit for a Converted Digital Billboard, the applicant shall provide written certification from the sign manufacturer that:

i. the light intensity has been factory programmed to comply with the maximum brightness and dimming standards in the formula in this subsection; and

ii. the light intensity is protected from end-user manipulation by password-protected software, or other method satisfactory to the building official.

C. GENERAL STANDARDS.

1. **GROSS SURFACE AREA OF SIGNS.** The entire area within a single continuous perimeter enclosing the extreme limits of such sign and in no case passing through or between any adjacent elements of same. Such perimeter shall not include any structural elements lying outside the limits of such sign which do not form any integral part of the display. The gross area of a sign shall be measured on only one side of a sign, provided however, that v-shaped signs shall have an angle of ninety (90) degrees or less between sign faces. When two (2) or more signs are located on a zoning lot, the gross surface area of all signs on the lot shall not exceed the maximum gross surface area per street frontage set by the applicable district regulations, except as is provided by Section 60.C.8. For computing the area of any wall sign which consists of letters mounted or painted on a wall, the area shall be deemed to be the area of the smallest rectangular figure which can encompass all of the letters.
2. **HEIGHT OF SIGNS.** Sign height shall be measured from ground level at the base of or below the sign to the highest element of the sign.
3. **BUILDING AND ELECTRICAL CODES APPLICABLE.** All signs must conform to the regulations and design standards of the Building Code and other Ordinances of the City of Grapevine.
4. **ILLUMINATED SIGNS.** Signs shall be shaded wherever necessary to avoid casting a bright light upon property located in any residential district or upon any public street or park. Any illuminated sign located on a lot adjacent to or across the street from any residential district, which sign is visible from such

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residential district, shall not be illuminated between the hours of 11:00 p.m. and 7:00 a.m.

5. **FLASHING OR MOVING SIGNS.** No flashing signs, rotating or moving signs, animated signs, signs with moving lights, or signs which create the illusion of movement shall be permitted. A sign on which the current time and/or temperature is indicated by intermittent lighting shall not be deemed to be a flashing sign if the lighting changes are limited to the numerals indicating the time, temperature, or message and do not change more frequently than every fifteen (15) seconds.

Electronic message signs that meet the following criteria shall be exempt from the requirements of this ordinance:

- a. Sign shall not be visible from public rights-of-way.
- b. Sign must be on premise.
- c. Maximum height: Eighteen (18) inches above grade.
- d. Maximum gross surface area: One hundred (100) square feet per one hundred (100) linear feet of street frontage of the lot. If the electronic message sign comprises a portion of another sign, the aggregate area shall not exceed the square footage allowed by the most restrictive type of sign.
- e. Required Setback:
  - (1) Sign shall be setback a minimum of two hundred (200) feet from any property line
  - (2) Sign shall be located a maximum of seventy five (75) feet from main building.
  - (3) Sign shall be a minimum of three hundred (300) feet from all residentially zoned properties, public parks or designated open space.
- f. Messages cannot be displayed for more than twenty (20) minutes per hour.

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- g. No flashing or strobing shall be permitted.
  - h. Converted Digital Billboards that meet the requirements of this Section 60 are exempt from the requirements of this subsection.
6. **ACCESSWAY OR WINDOW.** No sign shall block any required accessway or window.
  7. **SIGNS ON TREES OR UTILITY POLES.** No sign shall be attached to a tree, utility pole, or fence post whether on public or private property.
  8. **CORNER AND THROUGH LOTS.** On corner and through lots, each lot line that abuts a street or highway shall be considered a separate street frontage. On corner and through lots, restrictions that are phrased in terms of "signs per zoning lot" shall be deemed to permit the allowable number of signs facing each street or highway that abuts the lot.
  9. **METAL SIGNS.**
    - a. Signs constructed of metal and illuminated by any means requiring internal wiring or electrically wired accessory fixtures attached to a metal sign shall maintain a free clearance to grade of at least nine (9) feet. Accessory lighting fixtures attached to a nonmetal frame sign shall maintain a clearance of at least nine (9) feet to ground.
    - b. No metal ground shall be located within eight (8) feet vertically and four (4) feet horizontally of electric wires or conductors in free air carrying more than forty-eight (48) volts, whether or not such wires or conductors are insulated or otherwise protected.
  10. **PERMITTED MONUMENT AND GROUND SIGNS.** In all districts where monument and ground signs are permitted, only one of the two (2) structural types shall be permitted per lot. More than one monument or ground sign may be permitted for Planned Commercial Centers provided they meet the provisions of Section 48, and a Conditional Use Permit is issued.
  11. Whenever a sign is damaged by wind, is inadequately maintained, the construction is faulty, or it is damaged by any other cause, it shall be declared a public nuisance and the owner shall be required to repair such sign substantially to its original condition as determined by the Director of Development Services, or at the owner's election such sign shall be

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removed. A sign which has been permitted to remain in place as a nonconforming use shall be removed when the sign, or a substantial part of it is blown down or otherwise destroyed or dismantled for any purpose other than maintenance operations or for changing the letters, symbols or other material on the sign. For purposes of this Section 60, a sign or substantial part of it is considered to have been destroyed only if the cost of repairing the sign is more than sixty (60) percent of the cost of erecting a new sign of the same type at the same location.

12. Planned Commercial Centers are defined as having a five (5) acre minimum size with a combination of retail stores, offices, personal service establishments and similar uses.

**13. PORTABLE AND VEHICLE SIGNS.**

a. It shall be unlawful to attach any sign to or upon any vehicle, trailer, skid or similar mobile structure where the primary use is to provide a base for such sign or constitute the sign itself. Such signs attached to or upon any vehicle or mobile structure shall be prohibited where any such vehicle is allowed to remain parked along a right-of-way in the same location, or in the same vicinity, at frequent or extended periods of time, where the intent is apparent to be one of using the vehicle and signs for purposes of advertising establishments, services or products.

b. It shall be an affirmative defense to prosecution under this section if the owner of the vehicle can show through a log or other documentation made contemporaneously with the vehicle usage that the primary use of the vehicle is for delivery of the goods or services identified on the vehicle, or other bona fide business transportation. Primary use shall mean more than 50% of the total hours such vehicle is in use.

c. Exceptions:

1. Vehicle identification signs attached to or painted upon a vehicle used for delivery or bona fide business transportation.
2. Political signs in or upon a motor vehicle when not illuminated.

14. **USE OF OBJECTS AS SIGNAGE.** Displaying, elevating, or continuously

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moving objects such as cars, trucks, vans, or boats or other similar objects for the purpose of identifying, advertising or drawing notice to a place of business shall not be permitted.

The use of stationary elevated display areas such as podiums, pads, ramps, and similar features not to exceed five (5) feet in height to advertise cars, trucks, vans, boats, motorcycles or similar objects for sale for a business which has received a conditional use permit by the Grapevine City Council shall be exempt from the requirements of this section.

**D. TRAFFIC SAFETY.**

1. No sign shall be erected or maintained at any location where by reason of its position, size, shape or color, it may obstruct, impair, obscure, interfere with the view of, or be confused with, any traffic control-sign, signal or device, or where it may interfere with, mislead or confuse traffic.
2. No sign shall be located in any vision triangle formed by the center lines of any two (2) intersecting streets. At any intersection where at least one of the intersecting streets is an arterial street (as defined in the Thoroughfare Plan of the City of Grapevine) the sides of the triangle formed by the center lines of the intersecting streets shall be one hundred-twenty (120) feet in length as measure outward from the point of intersection of such center lines along such center lines. At all other intersections, each of such sides shall be eighty (80) feet in length.

**E. EXEMPTION.**

1. The following signs shall be exempt from the requirements of this section:
  - (a) Flags, or emblems of a government or of a political, civic, philanthropic, educational or religious organization, when displayed on private property.
    - 1) Flags or emblems of a business or corporation when displayed on private property and accompanied by both the national flag and the state flag. One business or corporate flag shall be permitted per lot of record. All flags displayed must follow the rules of standard flag etiquette and all business or corporate flags shall be no larger than the accompanying national or state flag.

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- (b) Signs of a duly constituted governmental body for traffic or similar regulatory devices, legal notices, warnings at railroad crossings, recreational scoreboards for football, baseball fields or other sports attractions, and city park signage; and other instructional or regulatory signs having to do with health, hazards, parking, dumping, etc. Off premise signs or commercial billboards shall not be exempt from this section.
- (c) Address numerals and other signs required to be maintained by law or governmental order, rule or regulation, provided that the content and size of the sign do not exceed the requirements of such law, order, rule or regulation.
- (d) Small signs, displayed on private property for the convenience of the public, including signs to identify entrance and exit drives, parking areas, one-way drives, restroom, freight entrances, and the like, (shall) conform to the following regulation:
  - (1) The maximum height of the sign shall be forty-two (42) inches.
  - (2) A company logo or name shall not exceed ten percent (10%) of the sign.
  - (3) Directional signs, i.e., enter, exit, drive-through, shall have an arrow indicating the direction of travel.
  - (4) The maximum gross surface of the sign cabinet shall be five (5) square feet.
- (e) Scoreboards in athletic stadiums.
- (f) Temporary political signs regulated by Chapter 20, Article II, Division 3, of the Grapevine Code of Ordinances.
- (g) Signs in the right-of-way regulated by Chapter 20, Article I, Section 20-13.1 of the Grapevine Code of Ordinances.
- (h) Permission is granted as a special privilege to any business in a properly zoned area to display flags, banners and balloons for a period not exceeding two (2) weeks in any quarter of a calendar year in connection with special sales being conducted by said business.

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Such signs and their placement must be approved by the Director of Development Services. Such flags, banners and balloons may be erected and maintained only during such two (2) week period. Flags, banners and balloons which advertise a business's grand opening may be displayed for an extended period not to exceed thirty (30) days within sixty (60) days of the issuance of a Certificate of Occupancy for a new business. Flags, banners and balloons which advertise a business going out of business may extend the two week period not to exceed thirty days. A permit shall be required.

- (i) Permission may be granted by the Director of Development Services as a special privilege to civic organizations and other nonprofit organizations to erect signs promoting special events or activities at the locations and times, and under the conditions specified by the Director of Development Services. A permit shall be required.
  - (j) On-premises signs for hospitals as defined in Section 12.A.196 of this Ordinance.
  - (k) Historic Replica Signs: A sign designed to replicate or duplicate a documented, previously existing sign. Such sign shall be located in a designated historic district and must receive a certificate of appropriateness from the Historic Landmark Commission and a permit shall be required
  - (l) On premise signage consisting of painted roof signs when not visible from the subject property line, public right-of-way, or public access easement. A permit shall be required for this form of signage.
  - (m) Real estate signs not exceeding eight (8) square feet in area or six (6) feet in height, provided however, that not more than one (1) sign be placed per street frontage.
2. The following signs are exempt from the zoning permit requirement of Section 60.A., but shall comply with all of the other regulations imposed by this section:
- (a) Nameplate signs not exceeding two (2) square feet in gross surface area accessory to a single-family or two-family dwelling.
  - (b) Nameplate signs not exceeding fifteen (15) square feet in gross

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surface area accessory to a multiple-family dwelling.

- (c) On-premises signs when located on property used for agricultural purposes and pertaining to the sale of agricultural products produced on the premises.

**F. SIGNS IN R-20, R-12.5, R-7.5, R-5.0, R-3.5, R-3.75, R-MH, R-TH, R-MF, R-MODH, PRD-6, PRD-12, and HGT DISTRICTS.**

**1. FUNCTIONAL/STRUCTURAL TYPES PERMITTED.** The following permitted functional uses shall be limited to the associated structural types of signs:

- (a) On-Premise Signs: For churches, convents and other places of worship, parks, playgrounds, nature preserves, and for multifamily dwellings in R-MF zoning districts and neighborhood day care centers and Bed and Breakfast Inns approved with a special use permit in accordance with Section 49, Special Use Permits, and any use approved as a conditional use in the HGT District.
  - (1) Ground signs
  - (2) Wall signs, except no wall signs shall be permitted in the HGT District
- (b) Development Signs: See definition 60.B.1.(c)
- (c) Construction Signs: See definition 60.B.1.(d)
- (d) Real Estate Signs: See definition 60.B.1.(e).
- (e) Subdivision Signs:
  - (1) Ground signs

**2. NUMBER OF SIGNS PERMITTED.**

- (a) On-Premise: One (1) ground sign per platted lot and one (1) wall sign per street frontage.
- (b) Development: One (1) per subdivision.
- (c) Construction: One (1) per each ten (10) platted lots, not to exceed a total of four (4) signs per subdivision.

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- (d) Real Estate: One (1) per platted lot.
- (e) Subdivision Sign: One (1) per each fifty (50) lots, not to exceed a total of four (4) signs per subdivision.

**3. MAXIMUM GROSS SURFACE AREA.**

- (a) On-Premise Signs: Thirty-two (32) square feet.
- (b) Development Signs: Sixty-four (64) square feet.
- (c) Construction Signs: Thirty-two (32) square feet.
- (d) Real Estate Signs: Eight (8) square feet.
- (e) Subdivision Signs: Sixty (60) square feet per sign.

**4. MAXIMUM HEIGHT:**

- (a) Development Signs: Fifteen (15) feet.
- (b) Construction Signs: Twelve (12) feet.
- (c) Real Estate Signs: Six (6) feet.

**5. REQUIRED SETBACK:**

- (a) On-Premise: Fifteen (15) feet from the front lot line.
- (b) Development: Ten (10) feet from the front lot line.
- (c) Construction: Fifteen (15) feet from the front lot line.
- (d) Real Estate: Five (5) feet from the front lot line.
- (e) Subdivision Sign: Fifteen (15) feet from the front lot line.

**6. ILLUMINATION.** No sign shall be illuminated except that on-premise signs may be illuminated with incandescent or fluorescent light.

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**G. SIGNS IN THE CBD CENTRAL BUSINESS DISTRICT.**

1. **FUNCTIONAL/STRUCTURAL TYPES PERMITTED.** The following permitted functional uses shall be limited to the associated structural types of signs:

- (a) Nameplate Signs:
  - (1) Wall
- (b) On-Premise Signs:
  - (1) Wall signs
  - (2) Ground signs
  - (3) Awning, canopy, marquee
  - (4) Projecting
  - (5) Portable sandwich board
  - (6) Historic wall sign
- (c) Real Estate Signs:
  - (1) Wall

2. **NUMBER OF SIGNS PERMITTED:**

- (a) Nameplate: One (1) per storefront.
- (b) On-Premise Signs: Awning, canopy, marquee, and either one (1) wall sign per each individual wall for each lease space or one (1) projecting sign, and one (1) ground sign per platted lot, one (1) portable sandwich board per building and historic wall signs as approved by the Historic Preservation Commission.
- (c) Real-Estate: One (1) per storefront.

3. **MAXIMUM GROSS SURFACE AREA:**

- (a) Nameplate: Two (2) square feet.
- (b) Projecting Signs: Twenty-five (25) square feet.
- (c) Real-Estate: Sixteen (16) square feet.
- (d) Wall Signs: Fifteen (15) percent of the wall, except for historic wall

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signs approved by the Historic Preservation Commission.

- (e) Awning, Canopy and Marquee: Twenty-five (25) percent of the awning, canopy or marquee.
  - 4. **MAXIMUM HEIGHT:** No sign shall protrude above the roof or eave line of the principal structure. Projecting signs shall be a minimum of eight (8) feet above sidewalk grade and shall not protrude above the roof or eave line of the principal structure.
  - 5. **REQUIRED SETBACK:**
    - (a) Ground Signs: Ten (10) feet.
  - 6. **ILLUMINATION:** Illuminated signs are permitted for nameplate and on-premise signs only.
- H. **CN NEIGHBORHOOD, CC COMMUNITY COMMERCIAL, RA RECREATION/AMUSEMENT AND PCD PLANNED COMMERCIAL DEVELOPMENT DISTRICTS.**
- 1. **FUNCTIONAL/STRUCTURAL TYPES PERMITTED.** The following permitted functional uses shall be limited to the associated structural types of signs.
    - (a) Nameplate Signs:
      - (1) Wall
    - (b) On-Premise Signs:
      - (1) Wall
      - (2) Awning, canopy, marquee
      - (3) Ground
      - (4) Pole (upon approval of a conditional use permit)
      - (5) Monument
      - (6) Pylon (only permitted in CC Community Commercial District and in accordance with Section 60.B.2.d.12.d.)
    - (c) Development Signs: See definition 60.B.1.(c)
    - (d) Construction Signs: See definition 60.B.1.(d)

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- (e) Real Estate Signs: See definition 60.B.1.(e).
- (f) Subdivision Signs:
  - (1) Ground

**2. NUMBER OF SIGNS PERMITTED;**

- (a) Nameplate Signs: One (1) per lease space.
- (b) On-Premise Signs: One (1) ground, monument or pole sign per platted lot and one (1) awning, canopy, marquee, sign per lease space; one (1) wall sign per each individual wall for each lease space, provided, however, in the case of a Planned Commercial Center approved pursuant to a conditional use or property zoned CC Community Commercial, PCD, or HC, the City Council may authorize and approve one (1) or more additional ground, monument or pole signs within a platted subdivision where it is determined by the City Council, after receipt of a recommendation from the Planning and Zoning Commission, that a need exists for such additional ground, monument or pole signs in order to properly and adequately inform and apprise the public relative to the commercial activities being conducted within the platted subdivision by the issuance of a Conditional Use Permit.
- (c) Development Signs: One (1) per platted lot.
- (d) Construction Signs: One (1) per platted lot.
- (e) Real Estate Signs: One (1) per platted lot.
- (f) Subdivision Sign: One (1) per each fifty (50) lots, not to exceed a total of four (4) signs per subdivision.

**3. MAXIMUM GROSS SURFACE AREA:**

- (a) Nameplate Signs: Two (2) square feet.
- (b) Developments: Sixty-four (64) square feet.
- (c) Construction: Sixty-four (64) square feet.

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- (d) Real Estate: Sixteen (16) square feet, except that signs located on lots fronting State Highways 114, 121, 360 and State Highway 26 east of Texan Trail/Ruth Wall Street may be thirty-two (32) square feet.
- (e) Wall: Twenty-five (25) percent of the wall.
- (f) Awning, Canopy or Marquee: Fifty (50) percent of the awning, canopy or marquee.
- (g) Subdivision Signs: Sixty (60) square feet per sign.

**4. MAXIMUM HEIGHT:**

- (a) Development, Construction: Fifteen (15) feet.
- (b) Real Estate: Ten (10) feet, except that signs located on lots fronting State Highways 114, 121, 360 and State Highway 26 east of Texan Trail/Ruth Wall Street may be fifteen (15) feet.

**5. REQUIRED SETBACK:**

- (a) On-Premise: Ten (10) feet.
- (b) Development: Ten (10) feet.
- (c) Construction: Fifteen (15) feet.
- (d) Real Estate: Fifteen (15) feet.
- (e) Subdivision Signs: Fifteen (15) feet.

**6. ILLUMINATION:** Illuminated signs are permitted for nameplate and on-premises signs only.

**I. LB, GV, PO, AND HCO DISTRICTS.**

**1. FUNCTIONAL/STRUCTURAL TYPES PERMITTED.** The following permitted functional uses shall be limited to the associated structural types of signs:

- (a) Nameplate Signs:

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- (1) Wall
- (b) On-Premises Signs:
  - (1) Wall
  - (2) Awning, canopy, marquee
  - (3) Ground
  - (4) Pole (upon approval of a conditional use permit; not allowed in the Grapevine Vintage District)
  - (5) Monument
- (c) Development Signs: See definition 60.B.1.(c)
- (d) Construction Signs: See definition 60.B.1.(d)
- (e) Real Estate Signs: See definition 60.B.1.(e).
- (f) Subdivision Signs:
  - (1) Ground

**2. NUMBER OF SIGNS PERMITTED:**

- (a) Nameplate Signs: One (1) per lease space.
- (b) On-Premise Signs: One (1) ground, monument or pole sign per platted lot and one (1) awning, canopy, marquee sign per lease space, one (1) wall sign per each individual wall for each lease space.
- (c) Development Signs: One (1) per platted lot.
- (d) Construction Signs: One (1) per platted lot.
- (e) Real Estate Signs: One (1) per platted lot.
- (f) Subdivision Signs: One (1) per each fifty (50) lots, not to exceed a total of four (4) signs per subdivision.

**3. MAXIMUM GROSS SURFACE AREA:**

- (a) Nameplate: Two (2) square feet.
- (b) Development: Sixty-four (64) square feet.

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- (c) Construction: Sixty-four (64) square feet.
- (d) Real Estate: Sixteen (16) square feet, except that signs located on lots fronting State Highways 114, 121, 360 and State Highway 26 east of Texan Trail/Ruth Wall Street may be thirty-two (32) square feet.
- (e) Wall: Twenty-five (25) percent of the wall.
- (f) Awning, Canopy, Marquee: Fifty (50) percent of the awning, canopy or marquee.
- (g) Subdivision Signs: Sixty (60) square feet per sign.

**4. MAXIMUM HEIGHT:**

- (a) Development, Construction: Fifteen (15) feet.
- (b) Real Estate: Ten (10) feet, except that signs located on lots fronting State Highways 114, 121, 360 and State Highway 26 east of Texan Trail/Ruth Wall Street may be fifteen (15) feet.
- (c) On-Premise: Awning, canopy, marquee: Thirty (30) feet in HCO District.

**5. REQUIRED SETBACK:**

- (a) On-Premise: Ten (10) feet.
- (b) Development: Ten (10) feet.
- (c) Construction: Fifteen (15) feet.
- (d) Real Estate: Fifteen (15) feet.
- (e) Subdivision Signs: Fifteen (15) feet.

**6. ILLUMINATION:** Illuminated signs are permitted for nameplate and on-premises signs only.

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**J. HC HIGHWAY COMMERCIAL DISTRICT.**

**1. FUNCTIONAL/STRUCTURAL TYPES PERMITTED.** The following permitted functional uses shall be limited to the associated structural types of signs.

- (a) Nameplate Signs:
  - (1) Wall
- (b) On-Premise Signs:
  - (1) Wall
  - (2) Awning, canopy, marquee
  - (3) Ground
  - (4) Pole (upon approval of a conditional use permit)
  - (5) Monument
- (c) Development Signs: See definition 60.B.1.(c)
  - (1) Ground
  - (2) Pole
- (d) Construction Signs: See definition 60.B.1.(d)
  - (1) Ground
  - (2) Pole
- (e) Real Estate Signs: See definition 60.B.1.(e).
- (f) Subdivision Signs:
  - (1) Ground

**2. NUMBER OF SIGNS PERMITTED:**

- (a) Nameplate signs: One (1) per lease space.
- (b) On-Premise Signs Excluding Properties Fronting Wall Street: One (1) ground, monument or pole sign per platted lot and one (1) awning, canopy, marquee sign per lease space, one (1) wall sign per each individual wall for each lease space, provided, however, in the case of a Planned Commercial Center approved pursuant to a Conditional Use or property zoned CC Community Commercial, PCD or HC, the City Council may authorize and approve one (1) or more additional ground, monument or pole signs within a platted subdivision where it

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is determined by the City Council, after receipt of a recommendation from the Planning and Zoning Commission, that a need exists for such additional ground, monument or pole signs in order to properly and adequately inform and apprise the public relative to the commercial activities being conducted within the platted subdivision by the issuance of a Conditional Use Permit.

- (c) On-Premise Signs For Properties Fronting Wall Street: One (1) monument sign per platted lot and one (1) awning, canopy, marquee sign per lease space, one (1) wall sign per each individual wall for each lease space, provided, however, in the case of a Planned Commercial Center approved pursuant to a Conditional Use, the City Council may authorize and approve one (1) or more additional monument signs within a platted subdivision where it is determined by the City Council, after receipt of a recommendation from the Planning and Zoning Commission, that a need exists for such additional monument signs in order to properly and adequately inform and apprise the public relative to the commercial activities being conducted within the platted subdivision by the issuance of a Conditional Use Permit.
- (d) Development Signs: One (1) per platted lot.
- (e) Construction Signs: One (1) per platted lot.
- (f) Real Estate Signs: One (1) per platted lot.
- (g) Subdivision Signs: One (1) per each fifty (50) lots, not to exceed a total of four (4) signs per subdivision.

**3. MAXIMUM GROSS SURFACE AREA:**

- (a) Nameplate Signs: Two (2) square feet.
- (b) Development: Sixty-four (64) square feet.
- (c) Construction: Sixty-four (64) square feet.
- (d) Real Estate: Sixteen (16) square feet, except that signs located on lots fronting State Highways 114, 121, 360 and State Highway 26 east of Texan Trail/Ruth Wall Street may be thirty-two (32) square feet.

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- (e) Wall: Twenty-five (25) percent of the wall.
- (f) Awning, Canopy or Marquee: Fifty (50) percent of the awning, canopy or marquee.
- (g) Subdivision Signs: Sixty (60) square feet per sign.

**4. MAXIMUM HEIGHT:**

- (a) Development, Construction: Fifteen (15) feet.
- (b) Real Estate: Ten (10) feet, except that signs located on lots fronting State Highways 114, 121, 360 and State Highway 26 east of Texan Trail/Ruth Wall Street may be fifteen (15) feet.

**5. REQUIRED SETBACK:**

- (a) On-Premise: Ten (10) feet.
- (b) Development: Ten (10) feet.
- (c) Construction: Fifteen (15) feet.
- (d) Real Estate: Fifteen (15) feet.
- (e) Subdivision Signs: Fifteen (15) feet.

**6. ILLUMINATION:** Illuminated signs are permitted for nameplate and on-premises signs only.

**K. LIGHT INDUSTRIAL, BUSINESS PARK AND PLANNED INDUSTRIAL DEVELOPMENT DISTRICTS:**

**1. FUNCTIONAL/STRUCTURAL TYPES PERMITTED.** The following permitted functional uses shall be limited to the associated structural types of signs.

- (a) Nameplate Signs:
  - (1) Wall

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- (b) On-Premise Signs:
  - (1) Wall
  - (2) Awning, canopy, marquee
  - (3) Ground
  - (4) Pole (upon approval of a conditional use permit; not allowed in the Business Park District)
  - (5) Monument
- (c) Development Signs: See definition 60.B.1.(c)
- (d) Construction Signs: See definition 60.B.1.(d)
- (e) Real Estate Signs: See definition 60.B.1.(e)
- (f) Subdivision Signs:
  - (1) Ground

**2. NUMBER OF SIGNS PERMITTED:**

- (a) Nameplate Signs: One (1) per lease space.
- (b) On-Premise Signs: One (1) ground, monument or pole sign per platted lot and one (1) awning, canopy, marquee sign per lease space, one (1) wall sign per each individual wall for each lease space. However, in the case of a Planned Business Park approved pursuant to a conditional use permit on property zoned BP Business Park, the City Council may authorize and approve one (1) or more additional ground or monument signs within a platted subdivision where it is determined by the City Council, after receipt of a recommendation from the Planning and Zoning Commission, that a need exists for additional ground or monument signs in order to properly and adequately inform and apprise the public relative to the commercial activities being conducted within the platted subdivision by the issuance of a conditional use permit.
- (c) Development Signs: One (1) per platted lot.
- (d) Construction Signs: One (1) per platted lot.
- (e) Real Estate Signs: One (1) per platted lot.

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- (f) Subdivision Signs: One (1) per each fifty (50) lots, not to exceed a total of four (4) signs per subdivision.

**3. MAXIMUM GROSS SURFACE AREA:**

- (a) Nameplate Signs: Two (2) square feet.
- (b) Development: Sixty-four (64) square feet.
- (c) Construction: Sixty-four (64) square feet.
- (d) Real Estate: Sixteen (16) square feet, except that signs located on lots fronting State Highways 114, 121, 360 and State Highway 26 east of Texan Trail/Ruth Wall Street may be thirty-two (32) square feet.
- (e) Wall: Twenty-five (25) percent of the wall.
- (f) Awning, Canopy or Marquee: Fifty (50) percent of the awning, canopy or marquee.
- (g) Subdivision Signs: Sixty-four (64) square feet per lot.

**4. MAXIMUM HEIGHT:**

- (a) Development, Construction: Fifteen (15) feet.
- (b) Real Estate: Ten (10) feet, except that signs located on lots fronting State Highways 114, 121, 360 and State Highway 26 east of Texan Trail/Ruth Wall Street may be fifteen (15) feet.

**5. REQUIRED SETBACK:**

- (a) On-Premise: Ten (10) feet.
- (b) Development: Ten (10) feet.
- (c) Construction: Fifteen (15) feet.
- (d) Real Estate: Fifteen (15) feet.

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(e) Subdivision Signs: Fifteen (15) feet.

6. **ILLUMINATION:** Illuminated signs are permitted for nameplate and on-premise signs only.

**L. GU GOVERNMENTAL USE DISTRICT**

Signs in a Governmental District shall meet the sign requirements of the most restrictive adjacent or contiguous district, except wall, ground, or monument signs are permitted for public schools adjacent to any district.

The City Council may authorize and approve a sign that does not comply with the most restrictive adjacent or contiguous district where it is determined by the City Council, after receipt of a recommendation from the Planning and Zoning Commission, that a need exists for such a sign in order to properly and adequately apprise the public relative to the activities being conducted on the site by issuance of a Conditional Use Permit.

**M. APPLICATION TO EXTRATERRITORIAL JURISDICTION:**

In accordance with Article 10150-1, Texas Revised Civil Statutes Annotated, the provision of this Section 60 is extended to the extraterritorial jurisdiction of the City as defined by the Municipal Annexation Act (Art. 970a, Texas Revised Civil Statutes Annotated.)

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**Section 43, Nonconforming Uses and Structures  
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**Section 43. Nonconforming Uses and Structures**

Hereinafter provided, no nonconforming use of land or buildings, nor any nonconforming structure shall be enlarged, changed, altered, or repaired, except in conformity with the following regulations:

- A. **TYPES OF NONCONFORMITY:** Any use of land or buildings which does not conform to use regulations prescribed in this ordinance shall be deemed to be a nonconforming use.
- B. **NONCONFORMING STATUS:** Any building or structure which does not conform to the lot area, front yard, side yard, rear yard, coverage, height, floor area ratio on conforming status. A nonconforming status under the provisions of this ordinance shall exist:
  - 1. When a use or structure, which does not conform to the regulations prescribed for the district in which such use or structure is located, was in existence and lawfully constructed, located, and operating on the effective date of this ordinance and has since been in regular and continuous use.
  - 2. When a use or structure, which does not conform to the regulations prescribed in the district in which such use or structure is located, was in existence at the time of annexation to the City of Grapevine and has since been in regular and continuous use.
- C. **REGISTRATION OF NONCONFORMING USES:** The operator, owner or owners of all nonconforming uses of land or buildings shall, within eighteen (18) months of the effective date of this ordinance, register such nonconforming use by obtaining from the Building Official a Certificate of Occupancy (nonconforming). Such Certificate of Occupancy (nonconforming) shall be considered as evidence of the legal existence of a nonconforming use, as contrasted to an illegal use or violation of this Ordinance. The Building Official shall maintain a register of all Certificates of Occupancy issued for nonconforming uses and shall, on written request and payment of a fee, issue a duplicate certificate to anyone having a proprietary interest in the property in question. A nonconforming structure need not be registered.
- D. **TERMINATION OF NONCONFORMING USES:**
  - 1. It is the declared purpose of this Ordinance that nonconforming uses be eventually discontinued and the use of the premises be required to conform

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to the regulations prescribed herein having due regard for the investment in such nonconforming uses. Nonconforming uses shall be discontinued in the following manner:

- a. Any nonconforming use not conducted within a building shall be discontinued within two (2) years from the date this Ordinance shall become effective.
  - b. Any nonconforming use conducted partly within a building and partly without a building shall be discontinued within five (5) years from the date this Ordinance shall become effective.
  - c. Any nonconforming use conducted wholly within a building shall be discontinued within ten (10) years from the date this Ordinance shall become effective.
2. A nonconforming use may be occupied, used, and maintained in good repair, but it shall not be remodeled or enlarged except as hereinafter provided.
  3. The right to operate a nonconforming use shall cease and such use shall be terminated under any of the following circumstances.
    - a. Whenever a nonconforming use is abandoned, all nonconforming right shall cease, and the use of the premises shall henceforth be in conformance to this Ordinance. Abandonment shall involve the intent of the user or owner to discontinue a nonconforming operation and the actual act of discontinuance. Any nonconforming use which is discontinued for, or which remains vacant for a period of six (6) months shall be considered to have been abandoned.
    - b. The violation of any of the provisions of this Ordinance or violation of any Ordinance of the City of Grapevine with respect to a nonconforming use shall terminate immediately the right to operate such nonconforming use.
    - c. Whenever a nonconforming use is changed to a conforming use by rezoning so as to achieve compliance with the provisions of a new or different zoning district.
    - d. Whenever a nonconforming use is changed to a conforming use under the provision of this section.

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No nonconforming use may be expanded or increased beyond the lot or tract upon which such nonconforming use is located as of the effective date of this ordinance except to provide off-street loading or off-street parking space upon approval of the Board of Adjustment.

All nonconforming uses being expanded under the provisions of this Ordinance shall comply with the other applicable provisions of this Ordinance.

**G. TERMINATION OF NONCONFORMING STRUCTURES:**

1. In the event of damage or destruction of a nonconforming structure to the extent of sixty (60) percent of the replacement cost of such structure on the date of such damage, such nonconforming structure may be rebuilt only after public hearing and favorable action by the Board Of Adjustment as provided by Section 67A.
2. Whenever a nonconforming structure is determined to be obsolete, dilapidated, or substandard by the Board of Adjustments, the right to operate, occupy, or maintain such structure may be terminated by action of the Board of Adjustment as provided in Section 67A and such structure shall be demolished.

**H. SPECIAL REGULATIONS FOR PUBLIC AND DENOMINATIONAL SCHOOLS:** All public schools, denominational schools having a curriculum equivalent to public elementary or secondary schools, and all accessory buildings and structures normally associated therewith, including stadiums and field houses, which are built and existing on the effective date of this Ordinance, shall be considered as conforming to the provision of this Ordinance. In the event such school building has been constructed with lesser front yards, or rear yards, or with greater coverage, of floor area ratio than herein specified, such building may be altered, remodeled, enlarged, or increased in height but no provisions herein shall be construed as to require greater yards, or lesser coverage, or floor area ratio than provided by the existing construction and building permits shall be issued if in compliance with the provisions of the building code.

**I. RIGHT-OF-WAY ACQUISITION BY GOVERNMENTAL AGENCY**

1. *Definitions.* As used in this section, the following terms shall have the respective meanings ascribed to them:

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*Governmental agency* shall mean the United States of America, State of Texas, County of Tarrant, the City of Grapevine, or any other governmental agency with the ability to exercise eminent domain powers.

*Right-of-way acquisition* shall mean the securing of right-of-way through negotiation, purchase, bargain, trade, donation, condemnation, or other means by use or threat of eminent domain, but not including the dedication of right-of-way through platting or zoning processes.

*Damages to the remainder* shall mean the diminution or reduction of value of the remainder property suffered as a result of the acquisition of a portion of property for a public purpose.

2. *Exemption permitted.* In the event a right-of-way acquisition by a governmental agency causes a property or its existing improvements to be in violation of a City zoning ordinance, subdivision rule, or other land use regulation or ordinance, the property shall be exempt from the provision to the extent the violation is caused by the right-of-way acquisition, subject to the following:

(A) *Zoning Change.*

- (1) The exemption shall not apply to a property that undergoes a zoning change initiated by the property owner subsequent to the right-of-way acquisition; instead, the property shall have a non-conforming status to the extent that any nonconformance with city ordinances resulted from a right-of-way acquisition by a governmental agency prior to the rezoning, and shall be treated as a nonconforming use or structure pursuant to the City's comprehensive zoning ordinance.
- (2) A zoning change initiated by the City shall not cause a property to lose the exemption provided by this section for property affected by right-of-way acquisitions.

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- (B) *Safety Hazard.* Nothing in this provision shall be construed to permit any site element to create a traffic safety hazard or another life safety hazard.
  
- (C) *Compensation for Noncompliance.*
  - (1) The exemption shall not apply to property if the right-of-way acquisition renders the remainder of the property unusable, and the governmental agency compensates the property owner for the damage to the remainder. Where such compensation is provided, the property owner is responsible for any curative measures necessary to bring the property in compliance with city codes, ordinances, and regulations.
  
  - (2) The exemption shall not apply to the property if the governmental agency offered compensation to the property owner for demolition, removal, relocation, or replacement of improvements or other measures curative of the violation of City codes or ordinances caused by the right-of-way acquisition.
  
  - (3) For property ineligible for an exemption under this subsection (C), the development services director is authorized to:
    - a. Provide notice to any affected property owner, lienholder, and/or certificate of occupancy holder, listing any items of noncompliance; and
  
    - b. File an affidavit in the Tarrant County Deed Records noting the item(s) of noncompliance, advising that compensation was paid for such noncompliance, and that a certificate of occupancy shall not issue until such noncompliance is cured. Once the property and its improvements are brought into full compliance with all applicable ordinances of the City, the planning director shall file an

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affidavit in the Tarrant County Deed Records noting such compliance.

- (4) If a property is ineligible for an exemption under this subsection (C), the building official is authorized to revoke a certificate of occupancy of any building or structure for noncompliance with a code, ordinance, or regulation.
  - (5) The Building Board of Appeals Commission is authorized to issue an order of demolition a minimum of 90 days after the certificate of occupancy has been revoked for any building or structure on property ineligible for an exemption under subsection (C)(1).
3. *Effective Date.* The provisions of this section shall apply to any property acquired by eminent domain after January 19, 2010.
  4. **In the event that a right-of-way acquisition by a governmental agency necessitates the alteration of an existing off-premise advertising sign fronting on State Highway 114, City Council may approve such alteration, and any other alterations, enlargements, or remodeling deemed appropriate through a conditional use permit.**

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE OF GRAPEVINE, TEXAS, AMENDING SECTION 43, NONCONFORMING USES AND STRUCTURES, AND SECTION 60, SIGN STANDARDS; PERMITTING LIMITED ALTERATION OF NON-CONFORMING SIGNS WITH A CONDITIONAL USE PERMIT; PERMITTING THE INSTALLATION OF ON-PREMISE SIGNS IN CERTAIN DEVELOPMENTS WITH A CONDITIONAL USE PERMIT; REPEALING CONFLICTING ORDINANCES; PROVIDING A PENALTY; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, Section 43 of the Zoning Ordinance of the City of Grapevine regulates non-conforming uses and structures; and

WHEREAS, Section 60 of the Zoning Ordinance of the City of Grapevine regulates sign standards; and

WHEREAS, the City Council wishes to amend Sections 43 and 60 of the Zoning Ordinance; and

WHEREAS, the City Council of the City of Grapevine deems the passage of this ordinance as necessary to protect the public, health, safety, and welfare; and

WHEREAS, the City Council is authorized by law to adopt the provisions contained herein, and has complied with all the prerequisites necessary for the passage of this Ordinance, including but not limited to the Open Meetings Act.

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference as if copied in their entirety.

Section 2. That Section 43 of the Zoning Ordinance – “Nonconforming Uses and Structures”, is hereby amended by adding Subsection (I)(4), which shall read as follows:

- “4. In the event that a right-of-way acquisition by a governmental agency necessitates the alteration of an existing off-premise advertising sign fronting on State Highway 114, City Council may approve such alteration, and any

other alterations, enlargements, or remodeling deemed appropriate through a conditional use permit.”

Section 3. That Section 60 of the Zoning Ordinance – “Sign Standards”, Subsection (B)(1)(b) is hereby amended and replaced with the following:

- “b. On-premise signs. A permanent sign which directs attention to a business or profession conducted, or to a commodity or service sold, offered or manufactured, or an entertainment offered, on the premises where the sign is located or to which it is affixed. Signs within developments with frontage on Grapevine Mills Parkway (F.M. 2499), Grapevine Mills Boulevard North, North State Highway 121 and Freeport Parkway shall be considered on-premise signs, regardless of the lot on which they are placed, provided the following conditions are met:
- (1) A conditional use for such sign is approved by City Council.
  - (2) Written permission for the placement of such sign is submitted to the City by the owner of the property on which the sign is placed.”

Section 4. That Section 60 of the Zoning Ordinance – “Sign Standards”, is hereby amended by adding Subsection (B)(2)(o) which shall read as follows:

- “o. Converted digital billboard. A legal, nonconforming off-premise advertising sign that is converted to a sign, display or device, internally illuminated, which changes the static message or copy by electronic means.
1. A legal, non-conforming advertising sign may be altered to a Converted Digital Billboard only if all of the following conditions are met:
    - i. the existing legal, non-conforming advertising sign fronts State Highway 114,
    - ii. a right-of-way acquisition by a governmental agency necessitates the alteration of the existing off-premise advertising sign, and
    - iii. City Council approves the conversion with a conditional use permit.
  2. A Converted Digital Billboard may only be operated with a valid, unexpired conditional use permit.
  3. All Converted Digital Billboards shall conform to the following regulations:

- i. The display must contain a default mechanism that shows full black in case of a malfunction.
- ii. The display must automatically adjust the sign brightness based on natural ambient light conditions in compliance with the following formula:

Digital advertising signs shall not operate at brightness levels of more than 0.3 foot candles above ambient light, as measured using a foot candle meter at a pre-set distance. Pre-set distances to measure the foot candles impact vary with the expected viewing distances of each size sign. Measurement distance criteria:

Face Size	Distance to be measured from
12' x 25'	150'
10'6" x 36'	200'
14 x 48'	250'

Each digital advertising display must have a light sensing device that will adjust the brightness as ambient light conditions change.

- iii. The face may not display light of such intensity or brilliance to cause glare, impair the vision of an ordinary driver, or constitute a nuisance.
- iv. The display must have a full color display able to display a minimum of 281 trillion color shades and must be able to display a high quality image with a minimum resolution equivalent to the following table:

<b>Digital Display Sign Resolution Chart</b>	
Size of LED Panel	Maximum Pixel Size
100 s/f to 125 s/f	16 mm
Greater than 126 s/f	19 mm

- v. Each message must be displayed for a minimum of eight seconds.
- vi. Changes of message must be accomplished within two seconds.

- vii. Changes of message must occur simultaneously on the entire sign face.
  - viii. No flashing, dimming, or brightening of message is permitted except to accommodate changes of message.
  - ix. Ticker tape streaming and streaming video are prohibited.
  - x. Converted Digital Billboard operators must respond to a malfunction or safety issue within one hour after notification.
4. Before the issuance of a sign permit for a Converted Digital Billboard, the applicant shall provide written certification from the sign manufacturer that:
- i. the light intensity has been factory programmed to comply with the maximum brightness and dimming standards in the formula in this subsection; and
  - ii. the light intensity is protected from end-user manipulation by password-protected software, or other method satisfactory to the building official.”

Section 5. That Section 60 of the Zoning Ordinance – “Sign Standards”, Subsection (C)(5) is hereby amended and replaced with the following:

5. Flashing or moving signs. No flashing signs, rotating or moving signs, animated signs, signs with moving lights, or signs which create the illusion of movement shall be permitted. A sign on which the current time and/or temperature is indicated by intermittent lighting shall not be deemed to be a flashing sign if the lighting changes are limited to the numerals indicating the time, temperature, or message and do not change more frequently than every fifteen (15) seconds.

Electronic message signs that meet the following criteria shall be exempt from the requirements of this subsection:

- a. Sign shall not be visible from public rights-of-way.
- b. Sign must be on premises.
- c. Maximum height: Eighteen (18) inches above grade.
- d. Maximum gross surface area: One hundred (100) square feet per one hundred (100) linear feet of street frontage of the lot. If the electronic message sign comprises a portion of another sign, the aggregate area

shall not exceed the square footage allowed by the most restrictive type of sign.

- e. Required Setback:
  - (1) Sign shall be setback a minimum of two hundred (200) feet from any property line.
  - (2) Sign shall be located a maximum of seventy-five (75) feet from main building.
  - (3) Sign shall be a minimum of three hundred (300) feet from all residentially zoned properties, public parks or designated open space.
- f. Messages cannot be displayed for more than twenty (20) minutes per hour.
- g. No flashing or strobing shall be permitted
- h. Converted Digital Billboards that meet the requirements of this Section 60 are exempt from the requirements of this subsection.”

Section 6. That all ordinances or any parts thereof in conflict with the terms of this ordinance shall be and hereby are deemed repealed and of no force or effect; provided, however, that the ordinance or ordinances under which the cases currently filed and pending in the Municipal Court of the City of Grapevine, Texas shall be deemed repealed only when all such cases filed and pending under such ordinance or ordinances have been disposed of by a final conviction or a finding of not guilty, nolo contendere, or dismissal.

Section 7. That any person, firm or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed two thousand dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. That if any section, article, paragraph, sentence, clause, phrase or word in this ordinance, or application thereto any person or circumstance is held invalid or unconstitutional by a Court of competent jurisdiction, such holding shall not affect the validity of the remaining portions of this ordinance; and the City Council hereby declares it would have passed such remaining portions of the ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

Section 9. That the fact that the present ordinances and regulations of the City of Grapevine, Texas are inadequate to properly safeguard the health, safety, morals, peace

and general welfare of the public creates an emergency which requires that this ordinance become effective from and after the date of its passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of September, 2015.

APPROVED:

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ATTEST:

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APPROVED AS TO FORM:

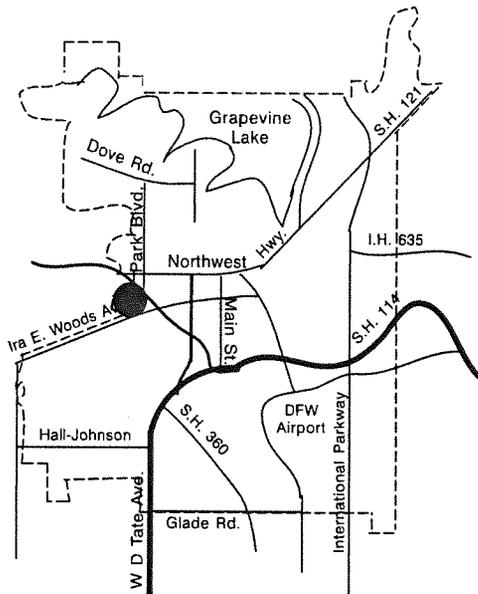
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TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE  
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BIR</sup>  
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR <sup>msb-956</sup>

MEETING DATE: SEPTEMBER 15, 2015

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF  
CONDITIONAL USE APPLICATION CU15-41 OUTFRONT MEDIA



APPLICANT: Tanya Lillie for Outfront Media

PROPERTY LOCATION AND SIZE:

The subject property is located at 1707 West State Highway 114 and is platted as Lot 1, Block 1, Wal-Mart Addition. The addition contains 17.49 acres.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to allow for a converted digital billboard sign.

As a result of the settlement of a pending lawsuit between Outfront Media (formerly CBS Outdoor) and the City regarding an existing billboard sign adjacent to the existing Sam's Club along the southbound West State Highway 114 service road, the applicant intends to convert this static billboard sign into a digital billboard sign 60 feet in height with a digital sign face comprising 672 square feet (14 feet in height by 48 feet in length). Approximately 40 feet of the support column will be clad in decorative stone.

Lighting levels associated with the digital display will not increase more than 0.3 foot candles over ambient levels measured 250 feet from the sign. This will be automatically adjusted by a sensing device that will adjust the brightness of the digital display as ambient lighting conditions change. In the event of a malfunction, five separate methods are built

into the power management and software functions of the sign to completely blank (darken) the sign—these redundant systems will never let the sign go bright in the event of any type of software/hardware failure.

Relative to the ordinance amendments written to govern the usage of this type of sign, messages/images are subject to the following regulations:

- Each message must be displayed for a minimum of eight seconds
- Changes of messages must be accomplished within two seconds
- Changes of messages must occur simultaneously on the entire sign face
- No flashing, dimming, or brightening of message is permitted except to accommodate changes of the message
- Ticker tape streaming and streaming video are prohibited

More information on the proposal from Outfront Media is attached.

#### PRESENT ZONING AND USE:

The property is currently zoned “CC” Community Commercial District and is developed as a Sam’s Club.

#### HISTORY OF TRACT AND SURROUNDING AREA:

The eastern portion of the subject property as well as those surrounding areas to the north and south were rezoned in the 1984 City Rezoning from “I-1” Light Industrial district to “LI”, Light Industrial District. The western portion of the subject site was rezoned from “I-2”, Heavy Industrial District to “LI”, Light Industrial District at that time. SU97-03 approved the installation of a 35-foot telecommunications tower with the accompanying equipment cabinet in February 1997. It was not installed and the special use permit expired. CU95-14, approved in June 1995, provided for the development of mini-storage warehouses with outside storage to the north of the subject site. CU95-25, approved in November 1995, revised the site plan of the mini-storage warehouse facility and the façade of the accompanying office building. CU99-67 (Ord. No. 99-177) for a planned commercial center was approved for the property to the south on December 7, 1999. CU00-65 (Ord. No. 01-03) was approved in January 2001, providing for the development of Lots 2, 3 and 7 as well as amending the landscape plan for the site. CU01-17 (Ord. No. 01-32) was approved in April 2001, allowing for the development of Lots 5 and 6 with an Academy Sports store. CU01-56, approved in October 2001, allowed the possession, storage, retail sale and on-premise consumption of alcoholic beverages (beer, wine and mixed drinks) in conjunction with a restaurant located on Lot 2. At the January 15, 2002 meeting, Council approved a zone change (Z01-19) rezoning approximately 41-acres from “LI” Light Industrial District to “CC” Community Commercial District and a conditional use permit (CU01-71) establishing a planned commercial center with off-premise alcoholic beverages sales for the establishment of a Sam’s Club and a Wal-Mart Supercenter. Several minor changes to the site plan for the subject property has been approved by the Site Plan

Review Committee. At the September 21, 2004 meeting Council approved a conditional use permit on the subject property (CU04-29) to allow for a two-bay, fully enclosed automated car wash.

The property located to the west was not within the City of Grapevine prior to the 1984 City Rezoning, but was located within the City's Extraterritorial boundary. In 1986 this property and nearby surrounding property (approximately 63.53 acres) was annexed into the City and immediately rezoned to "LI", Light Industrial District. Since that time, the area has seen a high level of development activity as an industrial park.

The property to the east was rezoned from "PD", Planned Development in the 1984 City Rezoning to "PCD", Planned Commerce Development District. Zoning Case Z87-09, approved in June 1987 rezoned the site to "CC", Community Commercial District. CU92-06 was approved in May 1992, thus expanding the Baylor Medical Center site into this property.

#### SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH: "LI", Light Industrial District—Storgard Mini-warehouses
- SOUTH: "CC", Community Commercial District—Regency Center
- EAST: "CC", Community Commercial District—Baylor Medical Center and Medical Offices
- WEST: "LI", Light Industrial District—Heritage Industrial Park

#### AIRPORT IMPACT:

The subject tract is located within "Zone B" Middle Zone of Effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" Map. In "Zone B" the following uses may be considered only if sound treatment is included in building design: multifamily apartments, motels, office buildings, movie theaters, restaurants, personal and business services. Single family residential and sound sensitive uses such as schools and churches should avoid this zone. The applicant's proposal is an appropriate use in this noise zone.

#### MASTER PLAN APPLICATION:

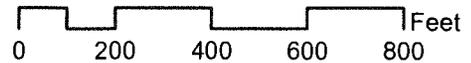
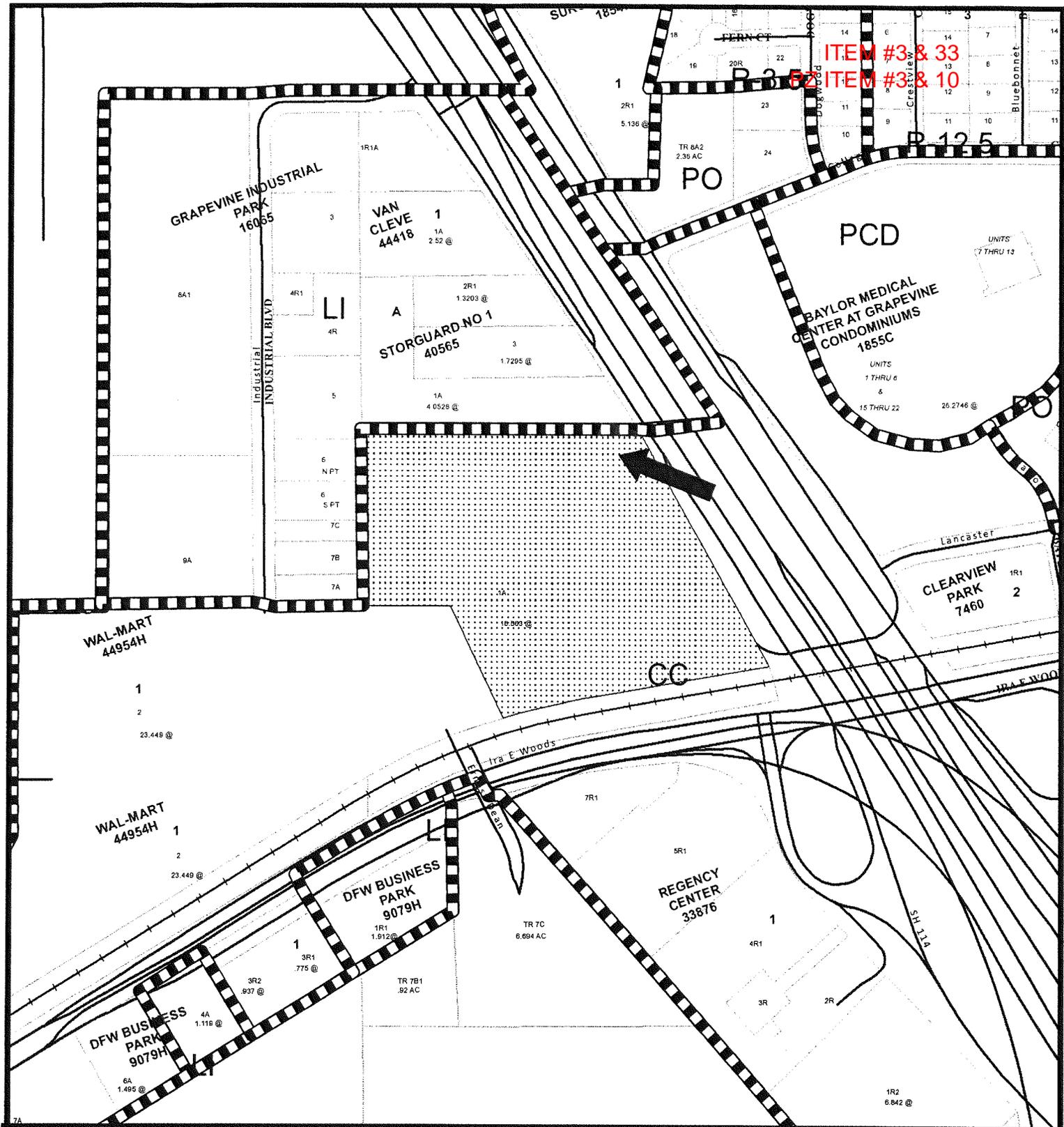
The Master Plan designates the subject property as a Commercial land use. The applicant's proposal is in compliance with the Master Plan.

#### THOROUGHFARE PLAN APPLICATION:

The Thoroughfare Plan designates Ira E. Woods Avenue/State Highway 26 as a Type A

Major Arterial with a minimum 100-foot right-of-way developed as six lanes with a median.  
/rs

ITEM #3 & 33  
ITEM #3 & 10

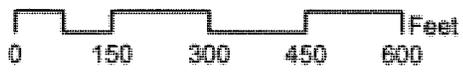


# CU15-41 Outfront Media

Date Prepared: 9/1/2015

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

ITEM #3 & 33  
PZ ITEM #3 & 10

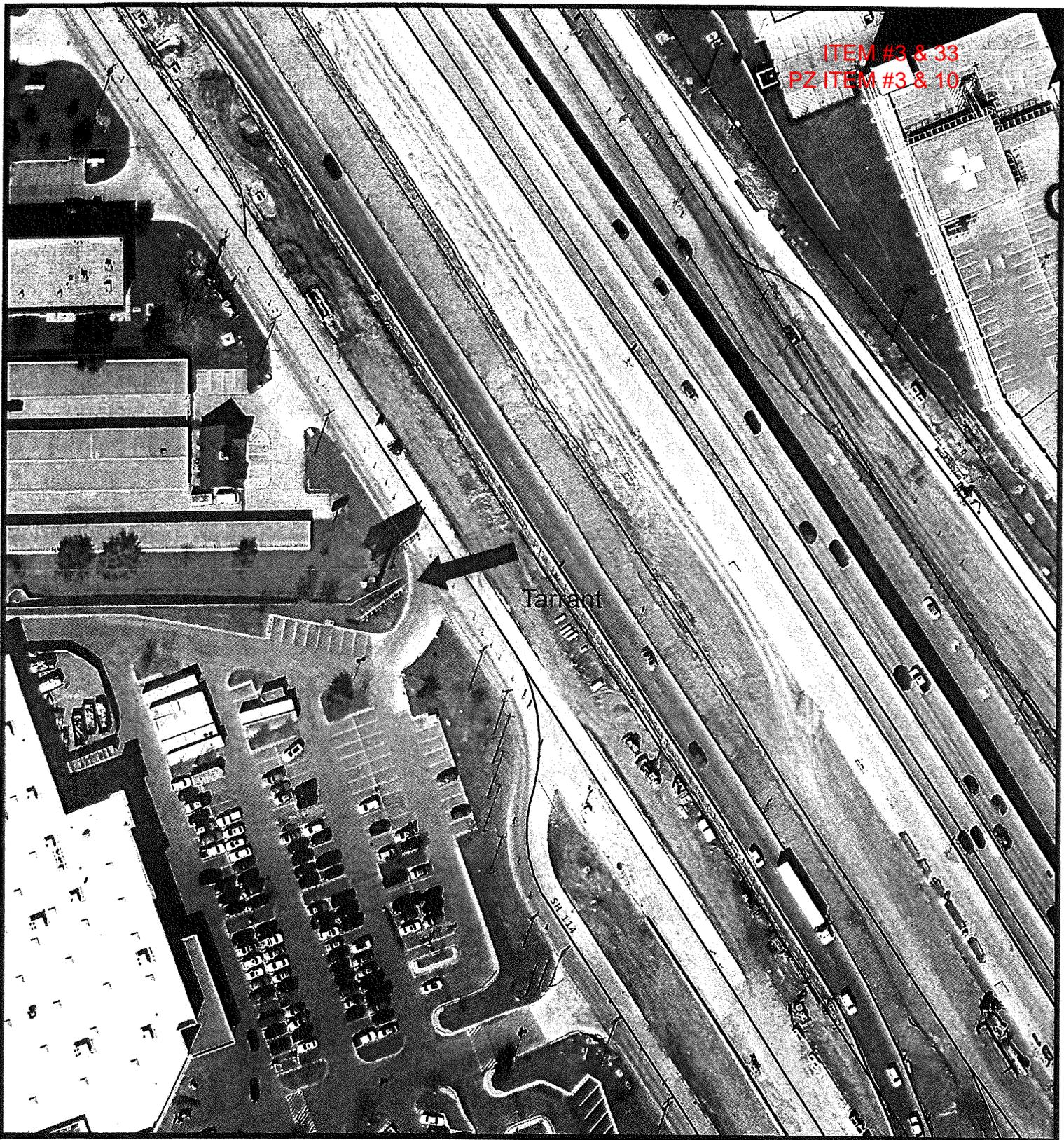


# CU15-41 Outfront Media

Date Prepared: 9/3/2015

This data has been compiled by the City of Grapevine (TCGIS) department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data. However, no guarantee is given or implied as to the accuracy of said data.

ITEM #3 & 33  
PZ ITEM #3 & 10



Tarant

0 50 100 150 200 Feet



# CU15-41 Outfront Media

Date Prepared: 9/3/2015

This data has been compiled by the City of Grapevine ITIGIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.



# CITY OF GRAPEVINE

## CONDITIONAL USE APPLICATION

### Form "A"

#### PART 1. APPLICANT INFORMATION

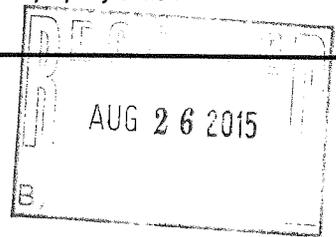
Name of applicant / agent: / company / contact Outfront Media LLC	
Street address of applicant / agent: 11233 North Stemmons Frwy.	
City / State / Zip Code of applicant / agent: Dallas, Texas 75229	
Telephone number of applicant / agent: 972-243-1100	Fax number of applicant / agent 972-247-0697
Email address of applicant / agent Tanya.Lillie@outfrontmedia.com	Mobile phone number of applicant / agent 214-563-7297

#### PART 2. PROPERTY INFORMATION

Street address of subject property 1707 West State Hwy. 114	
Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)	
Lot <u>1</u>	Block <u>1</u>
Addition <u>Walmart</u>	
Size of subject property	
17.490	Acres
Square footage	
Present zoning classification: <u>Community Commercial</u>	Proposed use of the property: <u>Digital Billboard</u>
Circle yes or no, if applies to this application	
Outdoor speakers Yes <input type="radio"/> No <input checked="" type="radio"/>	
Minimum / maximum district size for conditional use request:	
Zoning ordinance provision requiring a conditional use:	

#### PART 3. PROPERTY OWNER INFORMATION

Name of current property owner: Stacey Trip LLC	
Street address of property owner:	
P. O. Box 836316	
City / State / Zip Code of property owner: Richardson, Texas 75083	
Telephone number of property owner: 972-991-7062	Fax number of property owner:



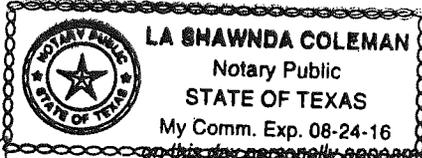
- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

**PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY**

Tanya Lillie/Outfront Media LLC  
 Print Applicant's Name: \_\_\_\_\_

Tanya Lillie  
 Applicant's Signature: \_\_\_\_\_

The State of Texas  
 County Of Dallas  
 Before Me LA Shawnda Coleman on this day personally appeared Tanya Lillie  
 (notary) (applicant)



known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 26<sup>th</sup> day of August, A.D. 2015.

Shawnda Coleman  
 Notary In And For State Of Texas

Stacey Tripp LLC  
 Print Property Owners Name: \_\_\_\_\_

Deborah Tripp  
 Property Owner's Signature: \_\_\_\_\_

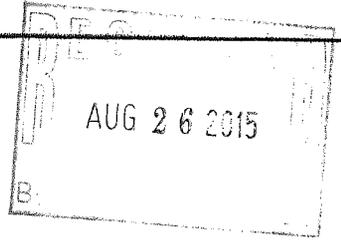
Permanent Easement Owner's

The State of Texas  
 County Of Dallas  
 Before Me Lori Savage on this day personally appeared Deborah Tripp  
 (notary) (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 20 day of August, A.D. 2015.

Lori Savage  
 Notary In And For State Of Texas



**ACKNOWLEDGEMENT**

**All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.**

**All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.**

**Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.**

**Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.**

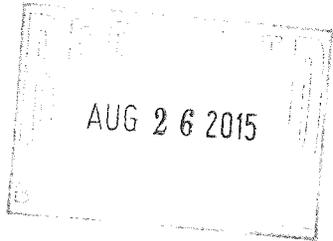
**I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.**

**Signature of Applicant** Jay's Lillie

**Date:** 8/24/15

**Signature of Owner** Deborah Truppert  
Permit Easement owner Stacy-Trop LLC

**Date:** 8-20-15



CU13-41

ITEM #3 & 33  
PZ ITEM #3 & 10



August 24, 2015

Tanya Lillie  
Real Estate Manager  
OUTFRONT Media Inc.  
11233 North Stemmons Freeway  
Dallas, Texas 75229

Dear Tanya:

I hereby delegate to you in the name and on behalf of OUTFRONT Media LLC and Fuel Outdoor LLC of which I am an elected officer (collectively, the "Company"), the authority to sign, execute, deliver and bind the Company, in the ordinary conduct of the Company's business, with respect to any and all permit applications with the Texas Department of Transportation and any renewals thereto, applications for permits/registrations and contractor registrations with Texas state and local municipalities, and administrative relocation forms, or any other document similar to the foregoing with respect to properties located in the State of Texas.

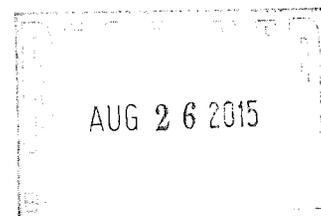
You are not authorized to further delegate this authority in any manner to anyone else. In exercising this authority, you will ensure that all approvals required in accordance with the relevant limits of authority have been secured. In addition, you will ensure that all documents have been reviewed and approved by the law department and any other appropriate department.

This authority expires automatically on the earliest of (a) one year from the date of this letter, (b) the date you are no longer serving as an employee of Outfront Media Inc. or one of its majority owned subsidiaries, (c) the day you become an elected officer of the Company with the title of Vice President or above, and (d) the date this delegation of authority is rescinded in writing.

Very truly yours,

A handwritten signature in black ink, appearing to read "Chris Steinbacher".

Christopher Steinbacher  
Senior Vice President, Real Estate



## Digital Billboards Brightness Recommendations and Measurement Techniques

The Outdoor Advertising Association of America (OAAA) has commissioned Dr. Ian Lewin, a principal at Lighting Sciences, Inc., Scottsdale, AZ, to recommend criteria for brightness levels on digital billboards. The standards are designed to minimize the risk of glare or unreasonable driver distraction. Highlights from the lighting research follow:

- The recommended criteria follows the lighting standards established by the Illuminating Engineering Society of North America (IESNA)
- Recommended regulatory criteria:
  - Lighting levels will not increase by more than 0.3 foot candles (over ambient levels) as measured using a foot candle meter at a pre-set distance
  - Pre-set distances to measure the foot candles impact vary with the expected viewing distances of each size sign. Measurement distance criteria follows:

Posters	150'
10'6x36 Bulletins	200'
14x48 Bulletins	250'
20x60 Bulletins	350'

- Each display must have a light sensing device that will adjust the brightness as ambient light conditions change

### Background to support the regulations:

- The measurement distances were selected based on the average minimum viewing of any digital billboard.
- Enforcement: Standards can be easily enforced as follows:
  1. At least 30 minutes past sunset, use a foot-candle meter to record the ambient light reading for the area. This is done while the digital billboard is off or displaying all black copy.
  2. The reading should be taken with the meter aim directly at the digital sign at the appropriate pre-set distance.
  3. Turn on the digital display to full white copy and take another reading.
  4. If the difference between the readings is 0.3 foot-candles or less, the brightness is properly adjusted.
- These lighting standards will drop the night time brightness of the sign to approximately 4% to 15% of its capable output. The light output spread is due to the variation in the ambient lighting level of each location.
- The daytime brightness will operate near maximum output (7,500 nits), which is required to overcome full sunlight.

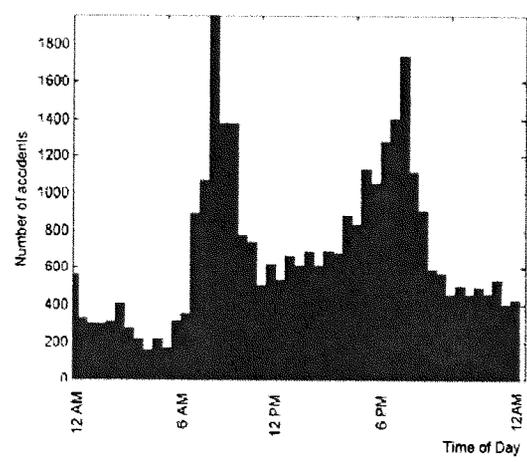
AUG 26 2015

# Digital Billboards Nighttime

- The typical glance in the direction of a digital billboard at night is less than one second (.78 seconds). A federal study says the risk of accidents goes up with glances more than two seconds.

Virginia Tech Transportation Institute, 2007, 2006

- Most accidents occur during rush hour, not at night



Tantala Associates, 2007

- Light sensors on digital billboards adjust lighting to surrounding conditions; brightness is turned down at night. The industry code:

*We are committed to ensuring that the ambient light conditions associated with standard-size digital billboards are monitored by a light sensing device at all times and that display brightness will be appropriately adjusted as ambient light levels change.*

- Industry lighting standards for digital billboards are stricter than government standards for signs on the right of way. The industry's digital billboard lighting standards have been presented to the Illuminating Engineering Society of North America (IESNA), peer reviewed, and the findings published on the IESNA web site.

AUG 26 2015

# Digital Sensor

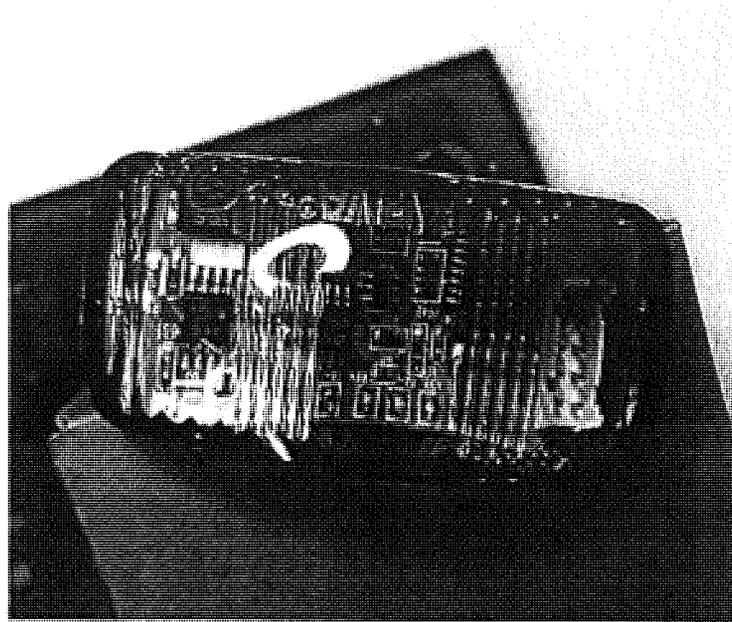
Version 1-0



## Description

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Photo sensors are primarily designed to detect the indirect amount of ambient light and not direct light such as street lights and automotive headlights. By measuring indirect light from within the structure we can accurately control the brightness of the sign to fit the ambient light conditions during the daytime. During the evening and night time hours we use computer controlled software to manually limit the brightness to eliminate the possibility of false readings. This software is set through GPS on a per sign basis to account for time shift and daylight savings.





ITEM #3 & 33  
PZ ITEM #3 & 10

May 5, 2015

Reference: Dimming and Disable Circuitry in OutFront Media Digital Displays

The attached schematic is the actual dimming circuitry utilized by OutFront Media for their digital displays. In addition to the hardware circuit, a software "watchdog" program is integrated using dusk to dawn timetables. This acts as an override system to never let the sign go bright in the event of a failed sensor. Other design criterion is to prevent unforeseen light being directed at the sensor to provide the ability for the sign to logically calculate a bright ambient condition that is not present.

With regards to malfunction, OutFront Media utilizes remote power management and software functions to provide 5 separate methods to blank a display during a malfunction. Software functions include the ability to "blank" the output of the content player. We also have the capability to "blank" the display in the diagnostics software for the LED system. Remote power management gives us the capability to disable power to the content player, SPU (Signal Processing Unit) or DDU (Data Distribution Unit). Disabling power to any of these devices will disable light output to the digital display.

In conclusion, OutFront Media is dedicated to public safety and beyond redundant hardware and software systems for digitals, we have 24/7/365 access to staffing capable of reviewing camera access, posting and disabling displays for any reason that would constitute a concern to public safety.

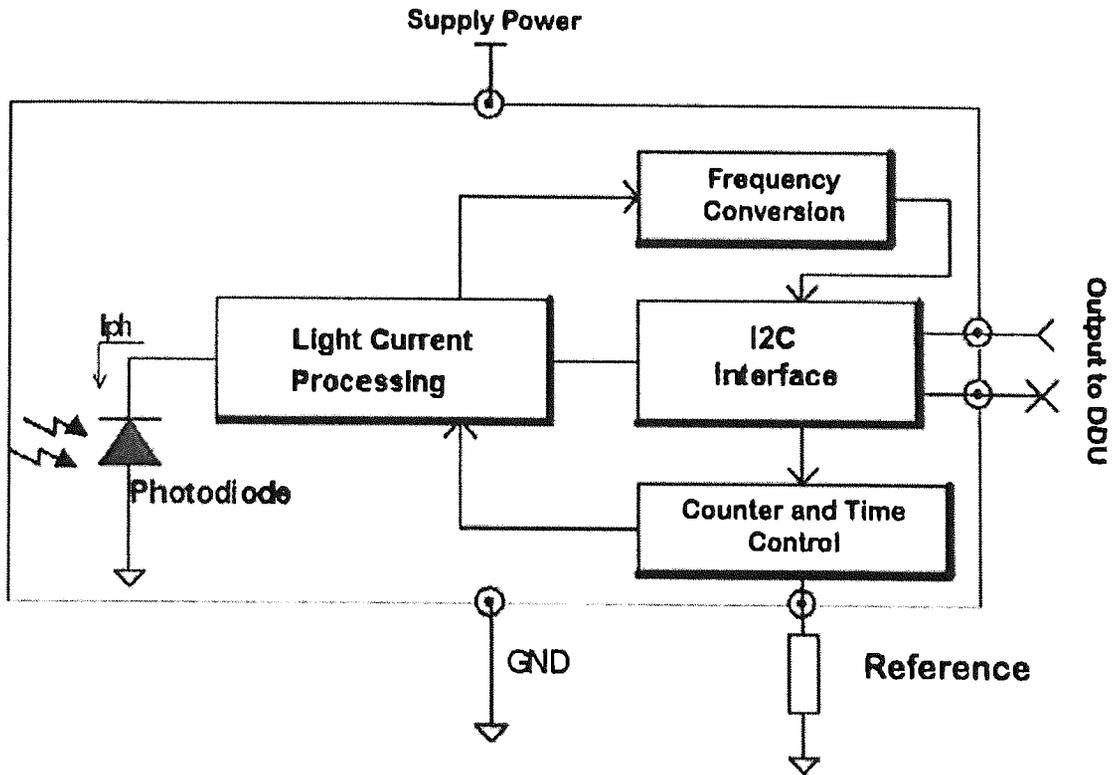
Respectfully Yours,

A handwritten signature in black ink that reads "G. Todd Lathan". The signature is written in a cursive, flowing style.

G. Todd Lathan  
VP, Digital Division  
OutFront Media

## Function Block

The digital sensor measures light using a 15 bit perception sensor giving the user the data from the Frequency Converter through the I2C interface. This is fed into the diagnostic PC from the DDU and used in conjunction with the time schedule to maintain a balanced brightness.



The following shows the photocell working range. The chip uses a photodiode-induced current that calculates and interprets the ambient LUX (brightness). The detectable range is from around 0 ~ 22,000 LUX.

The following are some example LUX values:

Direct sunlight 100,000 LUX •

Cloudy day 10,000 LUX •

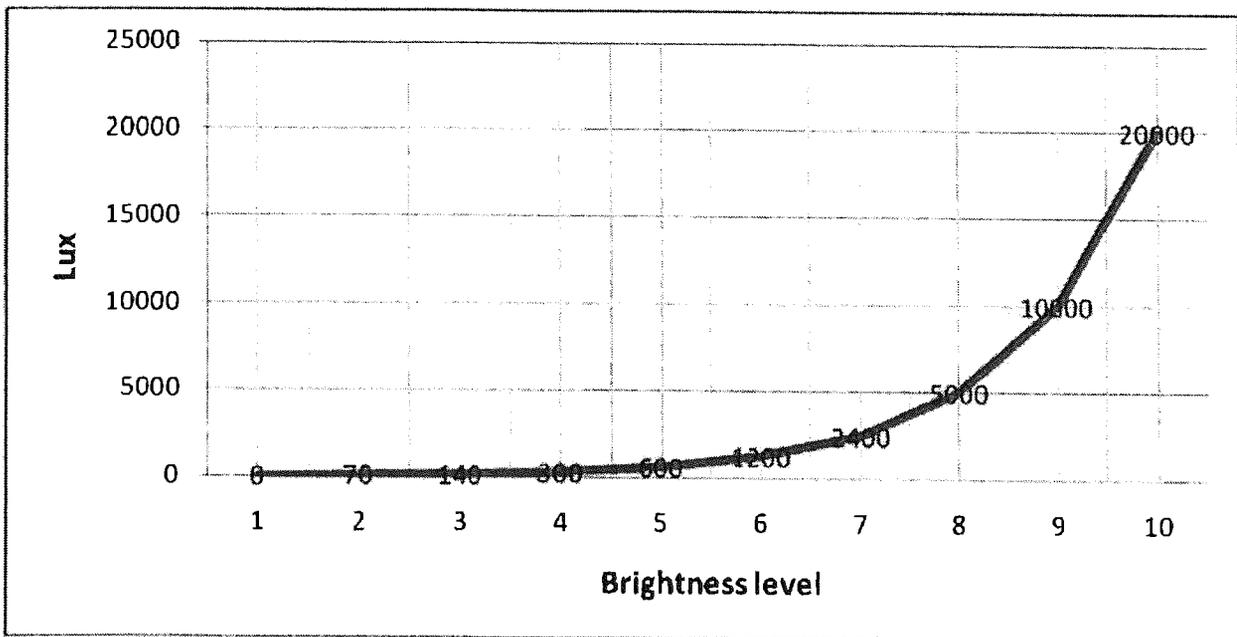
60W desk lamp at 60 cm distance 300 LUX •

Office fluorescent lamps 100 LUX •

Sunset from indoors 10 LUX •

Full moon on a clear night 1 LUX •

Candle light at 20cm distance 10~15 LUX •



LUX TABLE

0015-41

ITEM #3 & 33  
PZ ITEM #3 & 10

Deep savings in the  
heart of Texas

Safe drivers save 45% or more

2-8325

OUTFRONT

Allstate

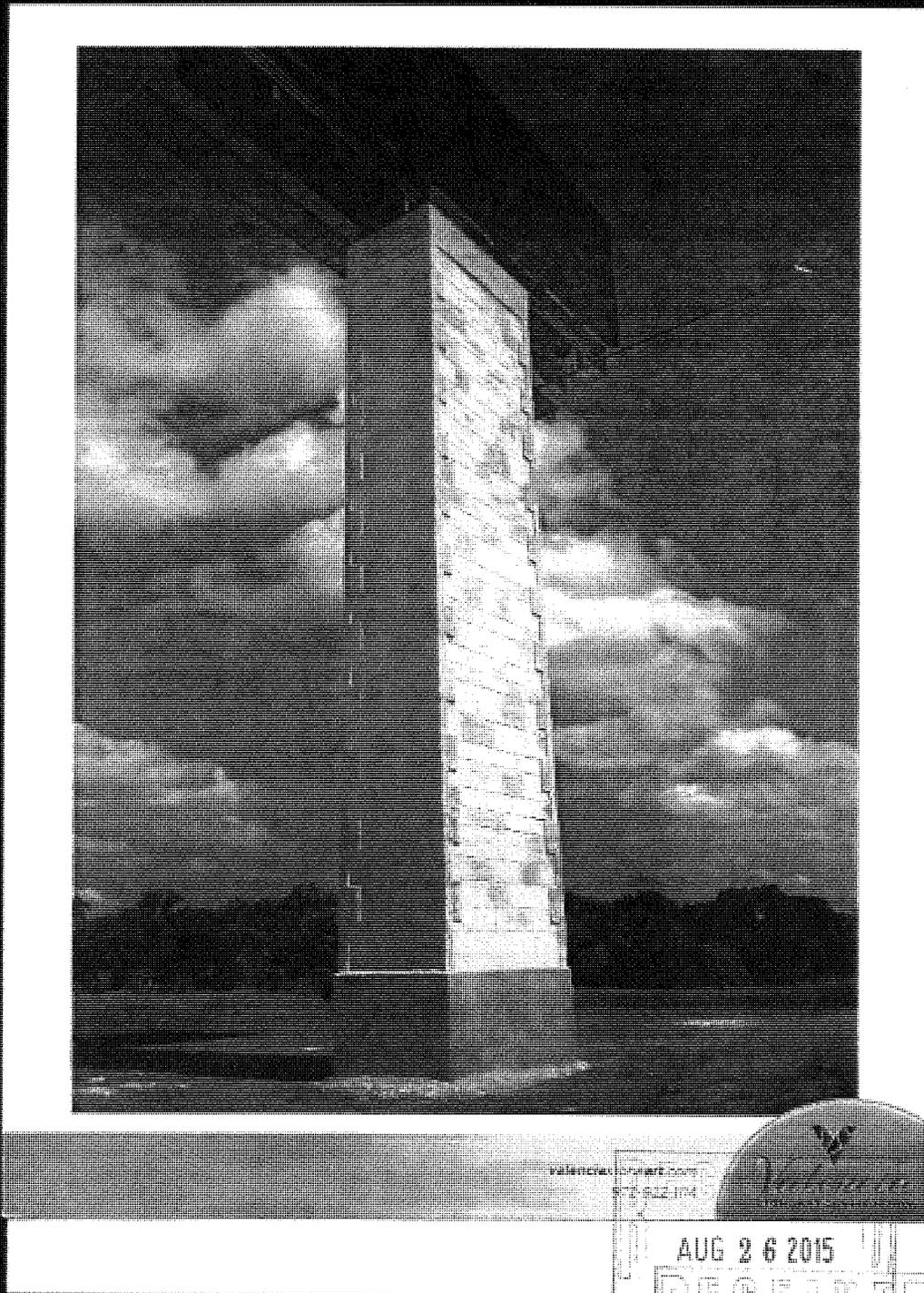
APR 26 2005



ITEM #3 & 10  
015-41  
PZ ITEM #3 & 10

▶ Play slide show    ⬇ Download    🖼 View Original    🖨 Order prints

1 of 1    ✕



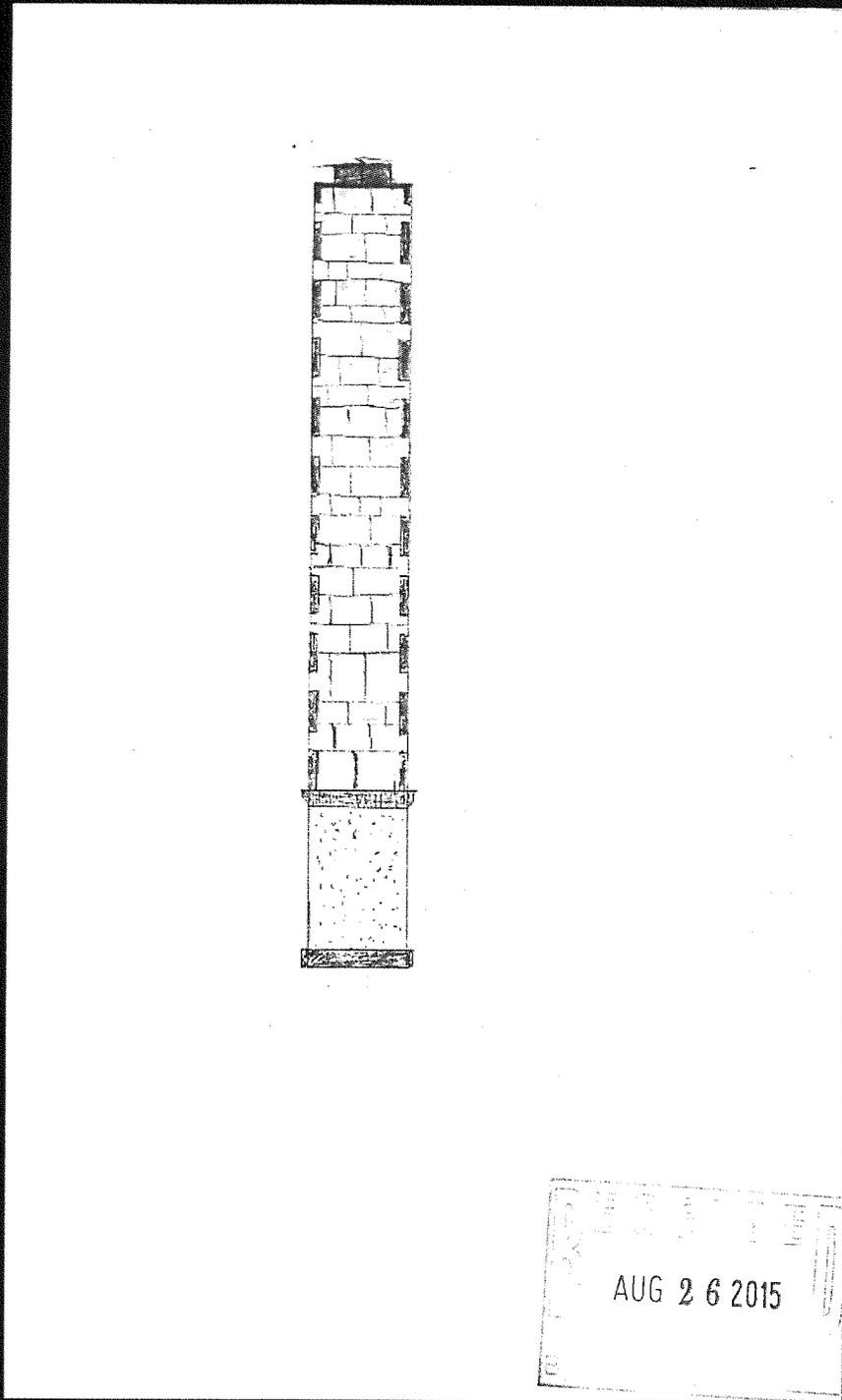
ITEM #3 & 38

015-41

PZ ITEM #3 & 10

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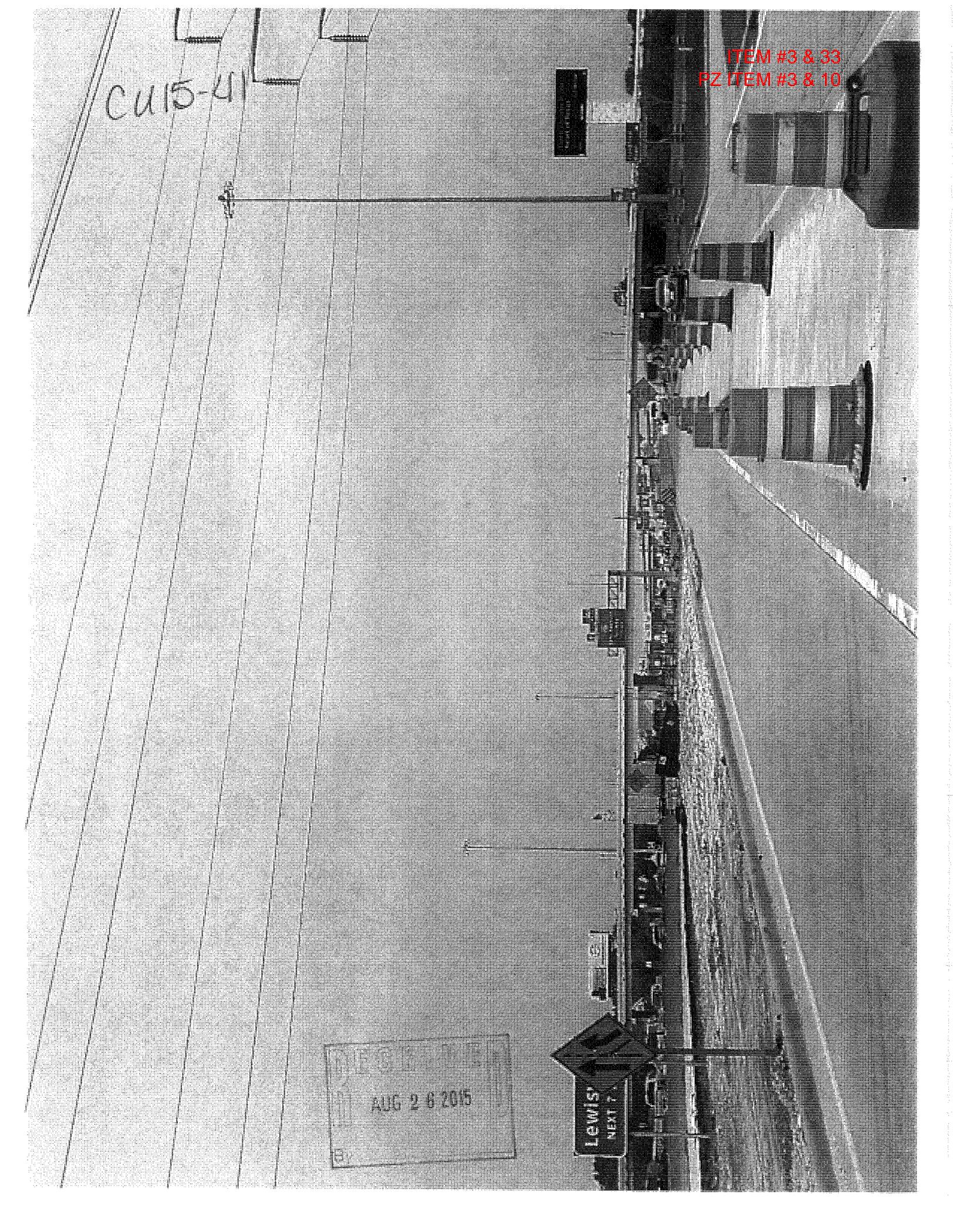


CU15-41

ITEM #3 & 33  
PZ ITEM #3 & 10

AUG 26 2015

LEWIS  
NEXT 7



ORDINANCE NO. \_\_\_\_\_

*Outfront Media*

AN ORDINANCE ISSUING A CONDITIONAL USE PERMIT IN ACCORDANCE WITH SECTION 48 OF ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE, BY GRANTING CONDITIONAL USE PERMIT CU15-41, TO ALLOW FOR A CONVERTED DIGITAL BILLBOARD SIGN IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT REGULATIONS, ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED UPON EACH DAY DURING OR ON WHICH A VIOLATION OCCURS; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected

to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU15-41 to allow for a converted digital billboard sign in a district zoned "CC" Community Commercial District Regulations within the following described property: Lot 1, Block 1, Wal-Mart Addition (1707 West State Highway 114) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safely from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of September, 2015.

APPROVED:

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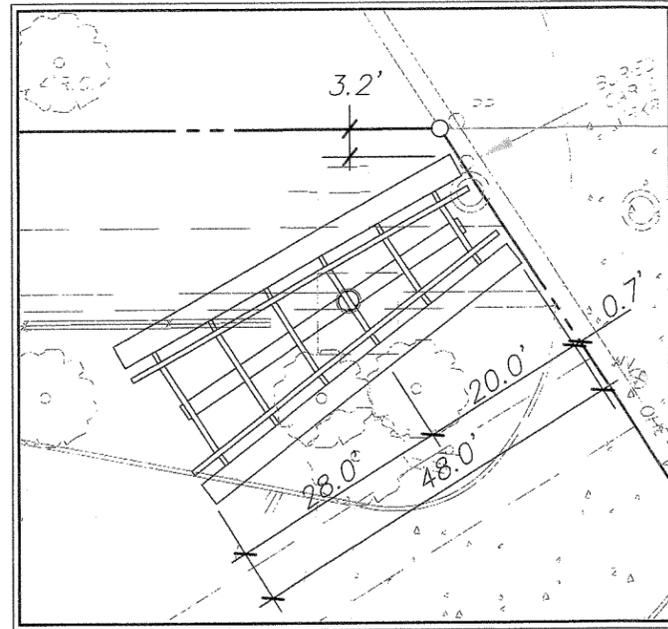
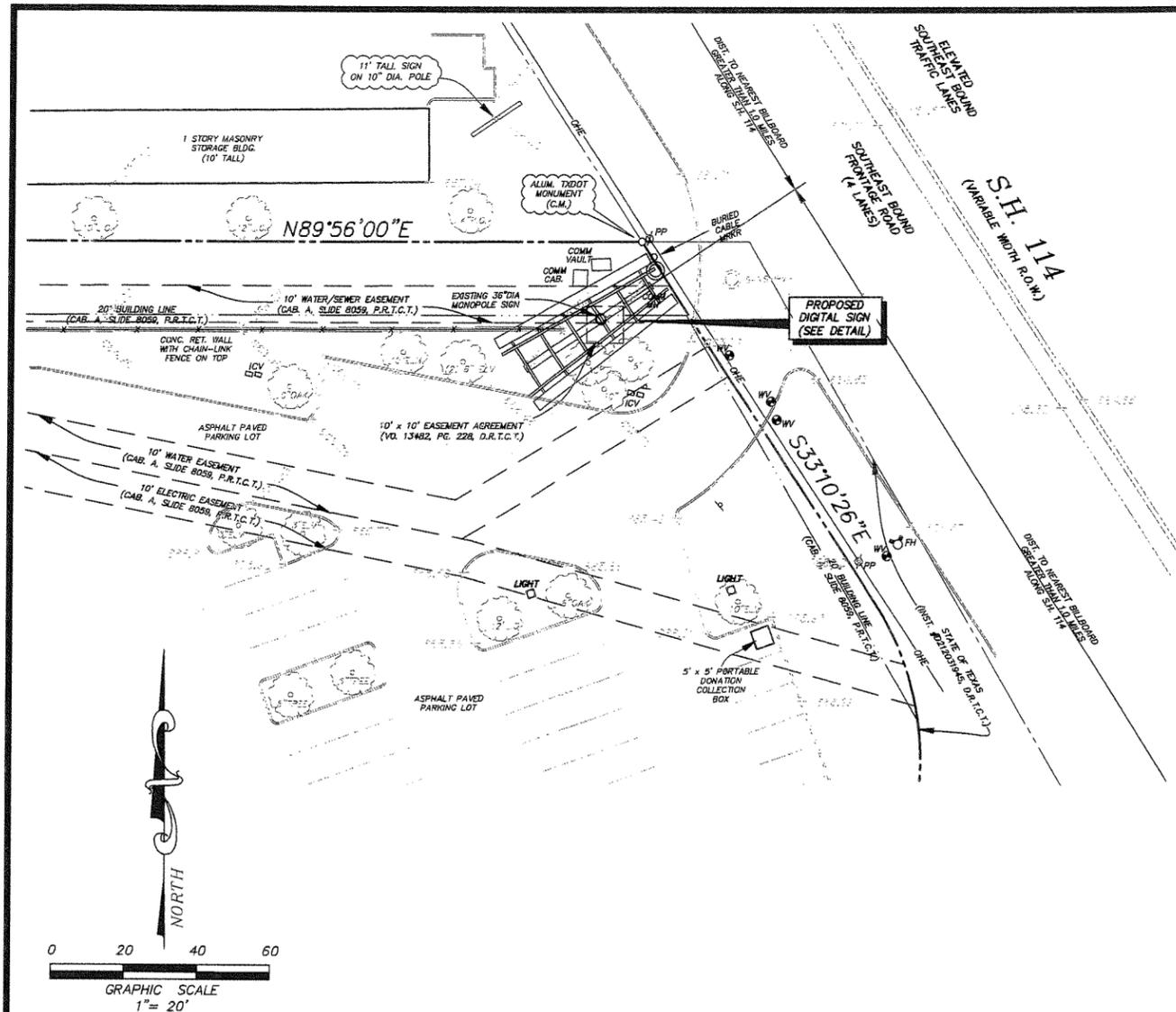
ATTEST:

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APPROVED AS TO FORM:

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ITEM #3 & B3  
PZ-ITEM #3 & 10

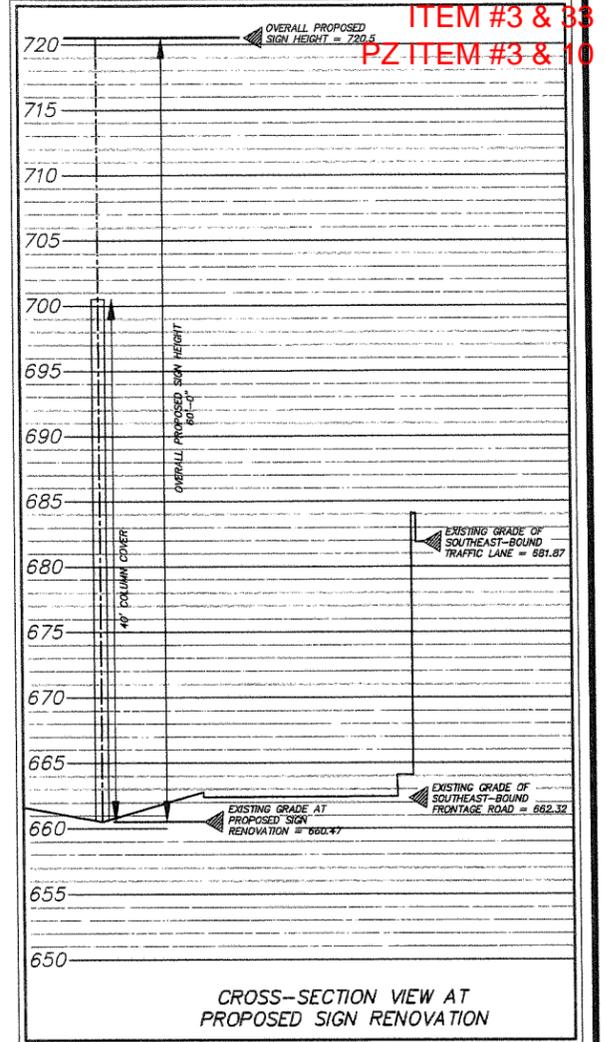


SIGN DETAIL  
SCALE: 1" = 10'

CASE NAME: CU15-14  
CASE NUMBER: OUTFRONT MEDIA DIGITAL BILLBOARD  
LOCATION: 1707 WEST STATE HIGHWAY 114

MAYOR \_\_\_\_\_ DATE \_\_\_\_\_ 2015  
SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_ 2015  
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_ 2015

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.  
DEPARTMENT OF DEVELOPMENT SERVICES



CROSS-SECTION VIEW AT PROPOSED SIGN RENOVATION

**LEGEND**

---	BOUNDARY LINE	○	MANHOLE
---	PLAT OR DEED LINES	○	SPOT ELEVATION
○	IRF IRON ROD FOUND	○	ASPHALT PAVING
○	IRS 5/8 INCH IRON ROD WITH YELLOW CAP MARKED RPLS 4562 SET	---	CONCRETE PAVING
---	OHE OVERHEAD ELECTRIC LINE	---	CURB LINE
---	PP POWER POLE	○	FW FIRE HYDRANT
---	UTEL UNDERGROUND TELEPHONE	□	WM WATER METER
---	GAS GAS LINE	○	WV WATER VALVE
□	GAS METER OR GAS MARKER	○	HW HANDICAP PARKING SPACE
□	LIGHT STREET OR FLOOD LIGHT	○	CM CONTROL MONUMENT
•	BLRD PIPE BOLLARD		



**SITE PLAN**  
1707 W. S.H. 114

BEING LOCATED ON LOT 1, BLOCK 1, WAL-MART ADDITION - AMENDED, AN ADDITION TO THE CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS, RECORDED IN CAB. A, SLIDE 8845, PLAT RECORDS, TARRANT COUNTY, TEXAS

KERRY M. HOEFNER  
REGISTERED PROFESSIONAL LAND SURVEYOR  
3107 Lockheed Drive, Midland, TX 79701  
214.714.2340

SCALE: 1" = 20' Job No. 2015-103 DATE: 28 AUGUST, 2015

NOTES:

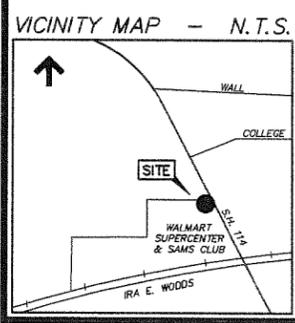
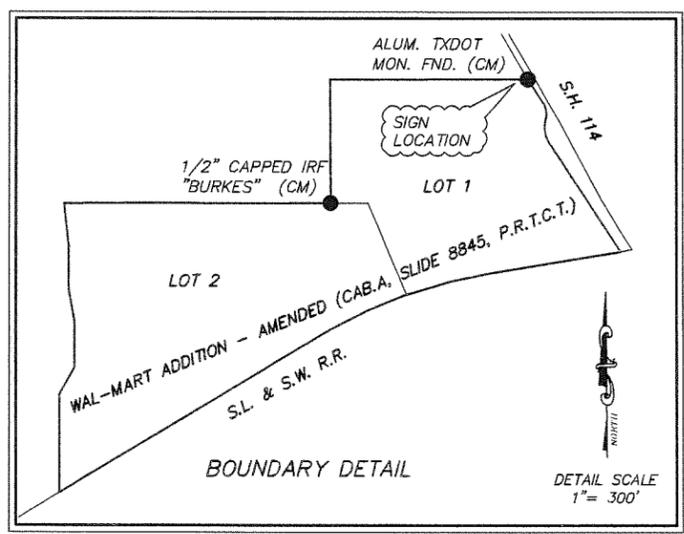
1. Surveyor has not abstracted subject property.
2. According to the Flood Insurance Rate Map published by the Federal Emergency Management Agency, the subject property appears to be located in Zone "X" (areas determined to be outside the 100-Year Flood Plain), as shown on Map No. 48439C0115K; Map Revised: September 25, 2009, for Tarrant County, Texas and incorporated areas. This flood statement does not imply that the property and/or the structures located in Zone "X" will be free from flooding or flood damage. This flood statement shall not create liability on the part of the surveyor.
3. The basis of bearing for this survey is the plat of WAL-MART ADDITION - AMENDED as recorded in Cab. A, Slide 8845, Plat Records of Tarrant County, Texas, at points labeled "CM" (Control Monument).
4. Elevation and/or contour data shown hereon based upon a topographic survey performed 09 August, 2015.
5. Bench Mark: City of Grapevine Monument Mon.#5, located at the intersection of Pebblebrook Road and West College Street. Published elevation: 533.01 (1929 datum)

**SURVEYOR'S CERTIFICATE**

The survey shown hereon is a true representation of the property as determined by a survey made on the ground and under my personal supervision. All visible improvements are as shown. There are no visible encroachments, conflicts, or protrusions, except as shown. This survey conforms to the Texas Board of Professional Land Surveyors' Minimum Standards of Practice, as adopted by the Board effective September 1, 1992. The property is subject to all easements of record.

Surveyed on the ground 09 August, 2015.

*Kerry M. Hoefner*  
Kerry M. Hoefner, RPLS 4562



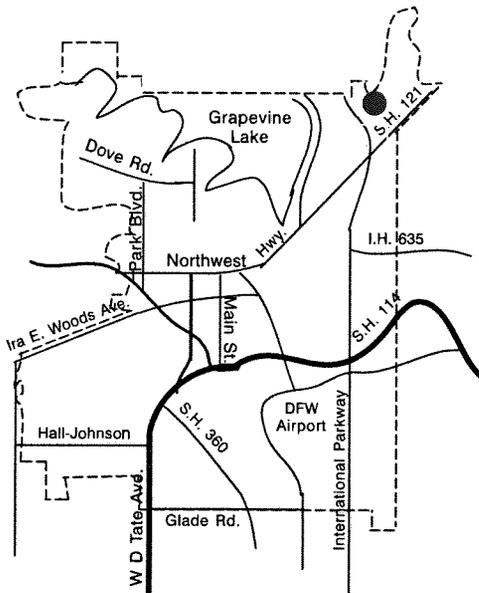


TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE  
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: SEPTEMBER 15, 2015

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF  
CONDITIONAL USE APPLICATION CU15-38 KUBOTA



APPLICANT: Kubota USA, Inc.

PROPERTY LOCATION AND SIZE:

The subject property is addressed at 4000 Kubota Drive and is proposed to be platted as Lots 1 and 2, Block 1, Kubota Addition. This property contains 27 acres and has approximately 728 feet of frontage along Kubota Drive.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to exceed the maximum height limit of 50 feet for the district and to establish a sign adjacent to the North State Highway 121 service road.

It is Kubota USA's intent to relocate their North American headquarters to the subject site. Specifically a three story, 125,000 square foot office structure, a two-story, 62,400 square foot research and development structure, and a three-level, 98,280 square foot parking structure are proposed. The site will primarily be accessed from a newly created right-of-way (Kubota Drive) which will be comprised of 100 feet of right-of-way developed as four lanes with a center median. Kubota Drive will be accessed from the southbound service road of North State Highway 121. Secondary access will also be provided from Corporate Drive to the east of the subject site.

The subject site is currently zoned "CC" Community Commercial District which establishes a maximum height of 50 feet for all principal structures. The district regulations do allow an exception to exceed the height requirement with approval of a conditional use permit. The tallest segment of the office structure is proposed to be 78 feet in height. Only a portion of the structure near the main entrance is 78 feet in height; the remainder of the structure is approximately 60 feet in height.

Along with this request the applicant proposes two monument signs. One will be located near the main entrance to the site and the other is proposed to be located to the south of the subject site along the North State Highway 121 southbound service road. Both signs are 5.3 feet in height and are 74 square feet in size. Amendments to Section 60, Sign Standards have been proposed to accommodate the location of this sign and are relative only to property with frontage along Grapevine Mills Parkway (F.M. 2499), Grapevine Mills Boulevard North, North State Highway 121, and Freeport Parkway with approval of a conditional use permit.

#### PRESENT ZONING AND USE:

The subject property is currently zoned "CC" Community Commercial District and is undeveloped.

#### HISTORY OF TRACT AND SURROUNDING AREA:

The subject and surrounding property was zoned "I-1" Light Industrial District prior to the 1984 City Rezoning. The area incorporating the D/FW Hilton to the north, Anderson-Gibson Road to the south and east to State Highway 26 and State Highway 121 North up to the Tarrant/Dallas County line was rezoned to "HCO" Hotel/Corporate Office during the 1984 City Rezoning. A 35 acre tract to the west of the subject site was rezoned to "CC" Community Commercial District (Z96-08) at the June 18, 1996 joint public hearing. The area to the east of the Tarrant/Dallas County line, south of Anderson-Gibson Road, as well as the area to the north of Anderson-Gibson Road east to State Highway 121 was rezoned to "PID" Planned Industrial Development during the 1984 City Rezoning. Zone Change Z85-23 approved October 1, 1985 rezoned a total of nine tracts in this area--one tract was rezoned to "R-MF-1" Multi-Family, one to "R-MF-2" Multi-Family; four tracts were rezoned to "CC" Community Commercial, one tract to "HCO" Hotel/Corporate Office, and another was rezoned to "LI" Light Industrial; one tract remained "PID" Planned Industrial Development. The approximate 28 acres currently zoned "R-20" Single Family Residential District located north and south of Anderson-Gibson Road was established during the Local Option Election of 1993. Zone Change Z95-04 rezoned three tracts in the north easternmost portion of the city from "LI" Light Industrial, "CC" Community Commercial, and "PID" Planned Industrial Development to "BP" Business Park District. Zone Change Z95-06 approved on August 15, 1995 placed deed restrictions on many of the tracts rezoned by Zone Change Z85-23. A portion of the subject property was rezoned from "PID" Planned Industrial Development to "BP" Business Park District (Z97-16) at the October 21, 1997 meeting. At Council's July 20, 1999 meeting, two tracts of land previously rezoned from

"PID" to "BP" at the October 21, 1997 meeting--approximately 20.413 acres and 36.710 acres were rezoned from "BP" Business Park District to "CC" Community Commercial District for potential retail and commercial development. A zone change request (Z01-11) was considered at the August 21, 2001 on the subject site rezoning 55.9 acres of the subject property from "R-MF-1" Multifamily District and 107.3 acres from "CC" Community Commercial District to "BP" Business Park District for potential office/warehouse development. That request was withdrawn by the applicant. A later zone change request (Z01-15) was submitted on the subject property at Council's November 20, 2001 meeting rezoning 55.9 acres from "R-MF-1" Multifamily District to "CC" Community Commercial District for potential commercial and office development.

At Council's December 19, 2006 meeting a zone change request (Z06-15) and a planned development overlay (PD06-09) was considered and denied on the subject and surround property. The applicant (Toll Brothers) was attempting to rezone approximately 110 acres of the entire 162 acre "Hunt" tract for townhouse and single family development. At the Council's July 21, 2009 meeting a zoning change (Z09-03) and a conditional use permit (CU09-17) were approved to rezone approximately 16.36 acres from "CC" Community Commercial District to "MXU" Mixed Use District for the development of a multi-phase apartment project and to allow on-premise consumption of alcoholic beverages in conjunction with a restaurant and hotel development—neither project were developed.

#### SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH: "GU" Governmental Use District, and "R-20" Single Family District—vacant undeveloped property
- SOUTH: "CC" Community Commercial District—vacant undeveloped property
- EAST: "BP" Business Park District—IDI Business Park development
- WEST: "CC" Community Commercial District—vacant undeveloped property

#### AIRPORT IMPACT:

The subject property is located within "Zone B" Middle Zone of Effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map. In Zone B, the following uses may be considered only if sound treatment is included in building design: multi family apartments, motels, office buildings, movie theaters, restaurants, personal and business services. Single family residential and sound sensitive uses such as schools and churches should avoid this zone. The applicant's proposal is an appropriate use within this noise zone.

#### MASTER PLAN APPLICATION:

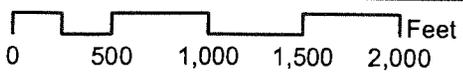
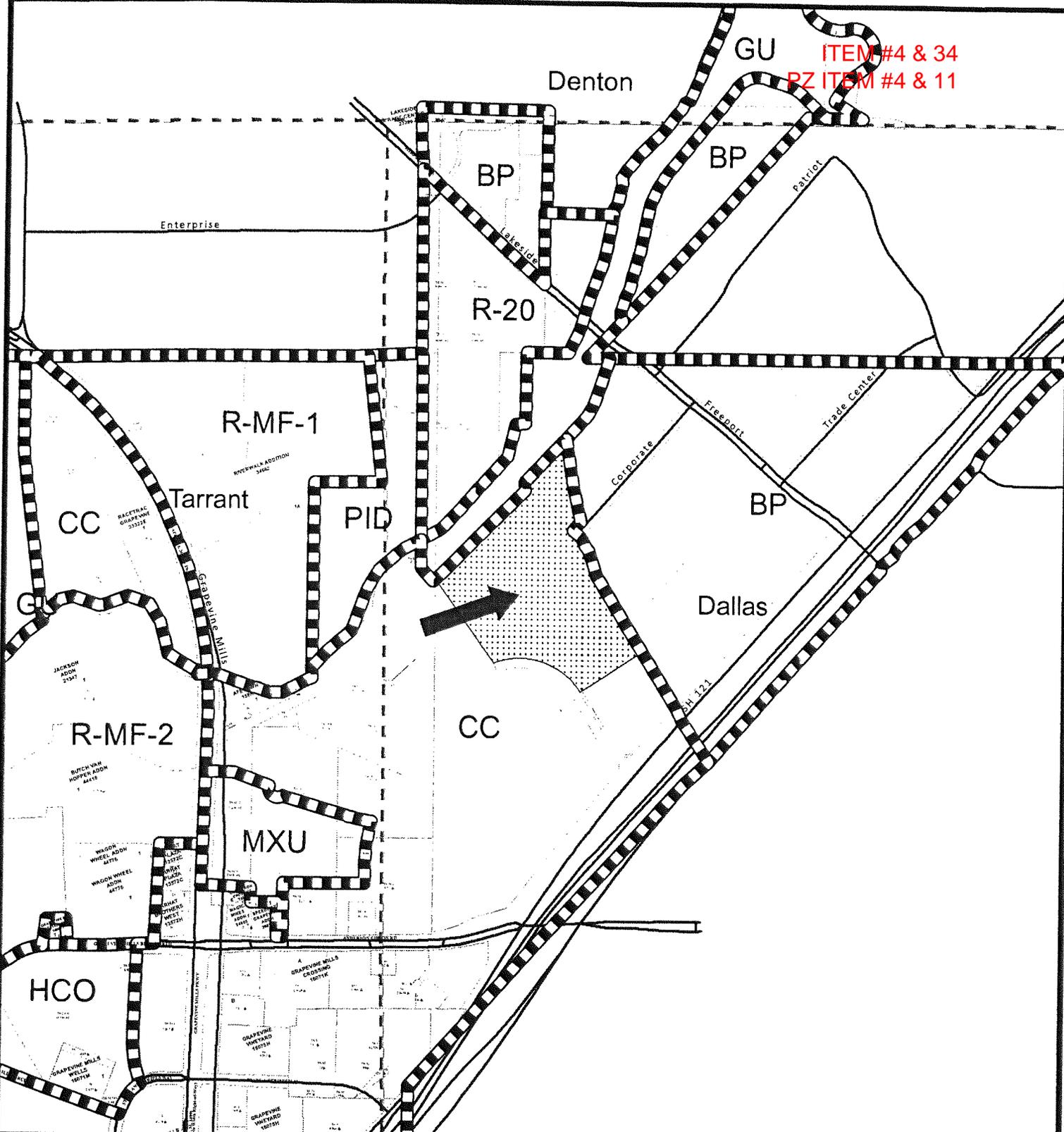
The Master Plan designates the subject property as a Commercial land use. The

applicant's proposal is in compliance with the Master Plan.  
THOROUGHFARE PLAN APPLICATION:

The subject site is proposed to be accessed from and have frontage on a newly created right-of-way (Kubota Drive). Kubota Drive is proposed to be comprised of 100 feet of right-of-way developed as four lanes with a center median. Kubota Drive is not currently designated a Thoroughfare as shown on the city's Thoroughfare Plan. This drive will access the southbound State Highway 121 service road.

/rs

ITEM #4 & 34  
PZ ITEM #4 & 11



# CU15-38 Kubota USA, Inc.

Date Prepared: 9/1/2015

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.



# CITY OF GRAPEVINE

## CONDITIONAL USE APPLICATION

### Form "A"

#### PART 1. APPLICANT INFORMATION

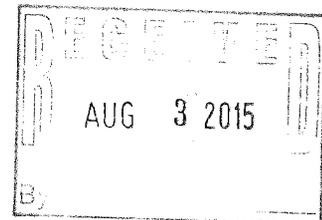
Name of applicant / agent/company/contact <b>KUBOTA U.S.A. INC.</b>	
Street address of applicant / agent: <b>4400 AMON CARTER BLVD., SUITE 100</b>	
City / State / Zip Code of applicant / agent: <b>FT. WORTH TEXAS 76155</b>	
Telephone number of applicant / agent: <b>(310) 370-3370 EXT 1591</b>	Fax number of applicant/agent
Email address of applicant/agent <b>DAVID.SUTTON@KUBOTA.COM</b>	Mobile phone number of applicant/agent <b>(817) 319-1134</b>

#### PART 2. PROPERTY INFORMATION

Street address of subject property <b>SW CORNER OF GRAPEVINE MILLS RLY &amp; HWY 121</b>			
Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)			
Lot	Block	Addition	<b>SEE ATTACHED</b>
Size of subject property <b>27.009</b>		Acres <b>1,176.518</b>	Square footage
Present zoning classification: <b>CC</b>	Proposed use of the property: <b>NEW CORPORATE HEADQUARTERS</b>		
Circle yes or no, if applies to this application			
Outdoor speakers Yes <input type="radio"/> No <input checked="" type="radio"/>			
Minimum / maximum district size for conditional use request:			
Zoning ordinance provision requiring a conditional use:			

#### PART 3. PROPERTY OWNER INFORMATION

Name of current property owner: <b>CITY OF GRAPEVINE</b>	
Street address of property owner: <b>200 SOUTH MAIN STREET</b>	
City / State / Zip Code of property owner: <b>GRAPEVINE, TEXAS 76051</b>	
Telephone number of property owner: <b>(817) 410-3136</b>	Fax number of property owner: <b>(817) 410-3003</b>



- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

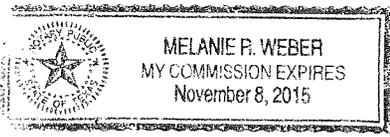
**PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY**

David A. Sutton  
 Print Applicant's Name: \_\_\_\_\_  
 Applicant's Signature: \_\_\_\_\_

The State of Texas  
 County Of Tarrant  
 Before Me Melanie R Weber (notary) on this day personally appeared David Sutton (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 31 day of July, A.D. 2015.

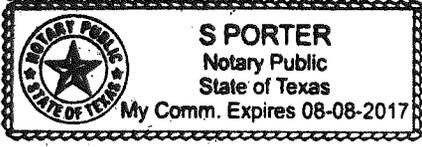


Melanie R Weber  
 Notary In And For State Of Texas  
BR  
 Property Owner's Signature: \_\_\_\_\_

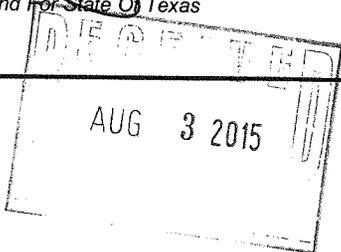
Bruno Rumbelow  
 Print Property Owners Name: \_\_\_\_\_  
 The State Of Texas  
 County Of Tarrant  
 Before Me S. Porter (notary) on this day personally appeared Bruno Rumbelow (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 3 day of Aug, A.D. 2015.



S Porter  
 Notary In And For State Of Texas



**ACKNOWLEDGEMENT**

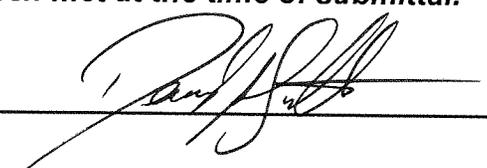
*All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.*

*All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.*

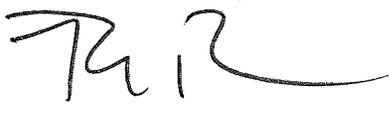
*Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.*

*Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.*

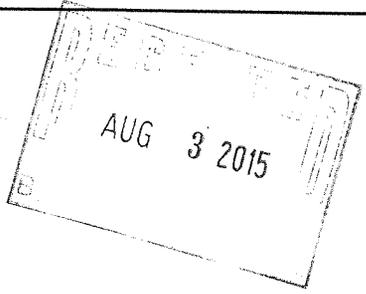
*I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.*

Signature of Applicant 

Date: 7-31-15

Signature of Owner 

Date: 8-3-15



**CBRE**  
CB RICHARD ELLIS

2100 Ross Avenue  
Suite 400  
Dallas, Texas 75201

T 214-979-6302  
F 214-979-5600

Kyle.bramlett@cbre.com  
www.cbre.com

Kyle Bramlett  
Sr. Project Manager  
Project Management Group

August 3, 2015

Mr. Bruno Rumbelow  
City of Grapevine  
200 South Main Street  
Grapevine, Texas 76051

RE: Kubota – Conditional Use Application

Dear Mr. Rumbelow:

Kubota is seeking a Conditional Use application due to the fact the office building will be above 50' tall. The building will be 78' tall.

The reasons are as follows:

- "Earth for Life" is Kubota's Mission Statement. Preserving natural resources is very important. The building is designed to allow 20' from floor-to-floor. This height will accommodate for higher ceilings on each floor which will allow for natural light to reach into the center portions of the building and reduce the amount of energy needed for lighting.
- Roof Top Units (RTU's) will be used to provide HVAC to the building. In order to screen the RTU's from view, the design has incorporated mechanical screens as a part of the building envelop of materials. In turn, this reduces the RTU's from being located on the ground and increases the height of the overall building. Minimizing the building area footprint is the primary goal of this project.
- The main entrance of the building is sited to be very near the tallest point on the site. In order to preserve the apex of this hill in its natural state, we have "carved" the main entrance drives around this hilltop portion which places the building behind the hill. The taller building will allow for greater views to and from the building from HWY 121.

If you have any questions, please call (214) 979-6302

Best Regards



Kyle Bramlett  
Senior Project Manager

ORDINANCE NO. \_\_\_\_\_

*Kubota*

AN ORDINANCE ISSUING A CONDITIONAL USE PERMIT IN ACCORDANCE WITH SECTION 48 OF ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE, BY GRANTING CONDITIONAL USE PERMIT CU15-38, TO EXCEED THE MAXIMUM HEIGHT LIMIT OF 50 FEET FOR THE DISTRICT AND TO ESTABLISH A SIGN ADJACENT TO THE NORTH STATE HIGHWAY 121 SERVICE ROAD IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT REGULATIONS, ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED UPON EACH DAY DURING OR ON WHICH A VIOLATION OCCURS; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the

neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of

the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit No. CU15-38 to exceed the maximum height limit of 50 feet for the district and to establish a sign adjacent to the North State Highway 121 service road, in a district zoned "CC" Community Commercial District Regulations within the following described property: Lots 1 and 2, Block 1, Kubota Addition (4000 Kubota Drive) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of September, 2015.

APPROVED:

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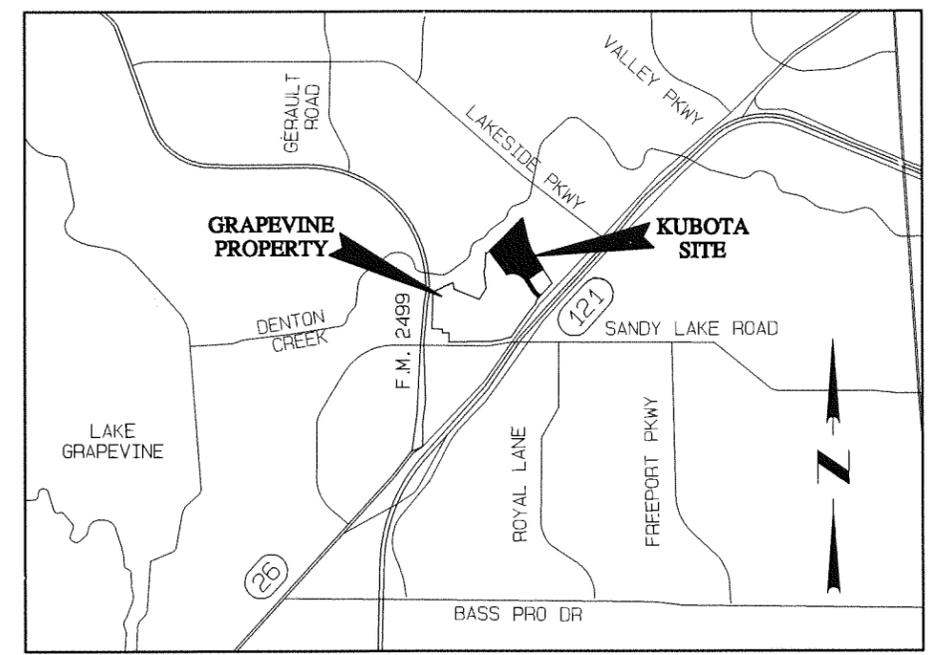
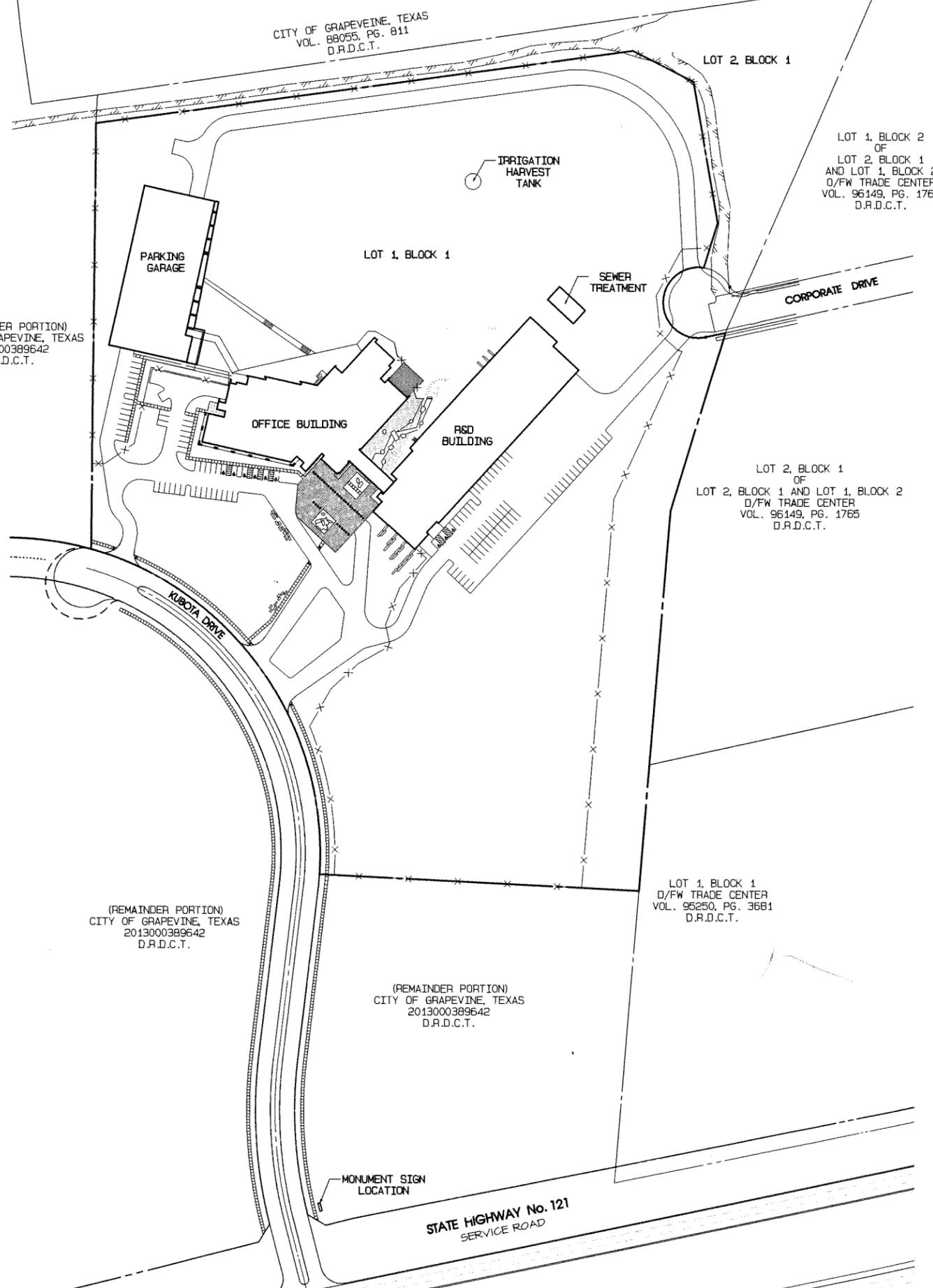
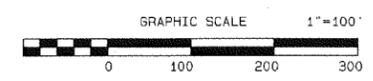
ATTEST:

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APPROVED AS TO FORM:

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ITEM #4 & 34  
PZ ITEM #4 & 11



VICINITY MAP  
(NOT TO SCALE)

CASE NAME: KUBOTA USA INC.  
CASE NUMBER: CUI5-38  
LOCATION: 4000 KUBOTA DRIVE  
LOTS 1 & 2, BLOCK 1, KUBOTA ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: I OF 16

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
CONFLICT WITH ANY CODES OR ORDINANCES.  
DEPARTMENT OF DEVELOPMENT SERVICES

**OVERALL SITE PLAN  
FOR  
KUBOTA ADDITION**

BEING  
**27.009**  
SITUATED IN THE

THOMAS W COUSY SURVEY, ABSTRACT No. 317  
JOHN E. HOLLAND SURVEY, ABSTRACT No. 614  
C.S. DUNNIGAN SURVEY, ABSTRACT N). 1655  
J.M. BAKER SURVEY, ABSTRACT No. 1691  
CITY OF GRAPEVINE, DALLAS COUNTY, TEXAS

EXISTING ZONING: CC  
EXISTING USE: VACANT SHEET C1  
SEPTEMBER, 2015

APPLICANT:  
**Kubota**  
4400 Amon Carter Boulevard, Suite 100  
Fort Worth, TX 76155

OWNER:  
**CITY OF GRAPEVINE**  
200 SOUTH MAIN STREET  
GRAPEVINE, TEXAS 78051



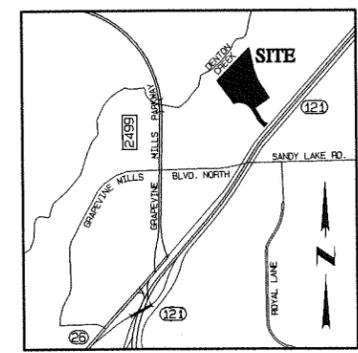
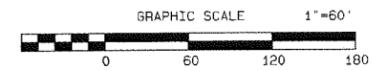
PREPARED BY:  
**GOODWIN & MARSHALL**  
CIVIL ENGINEERS - PLANNERS - SURVEYORS  
2405 Mustang Drive, Grapevine, Texas 78051  
Metro (817) 329-4979  
CONTACT: MATT BAACKE, P.E.

E:\108553 - Kubota Plans\Kubota.pro - Fri Sep 04 16:21:01 2015

**GENERAL NOTES**

1. THE PROPERTY IS CURRENTLY ZONED "CC" COMMUNITY COMMERCIAL.
2. THE CURRENT LAND USE DESIGNATION AS CONTAINED IN THE COMPREHENSIVE MASTER PLAN IS COMMERCIAL.
3. ALL REQUIREMENTS OF SECTION 25, COMMUNITY COMMERCIAL DISTRICT SHALL BE MET.
4. ALL REQUIREMENTS OF SECTION 53, LANDSCAPING REGULATIONS SHALL BE MET.
5. ALL REQUIREMENTS OF SECTION 56, OFF-STREET PARKING REQUIREMENTS SHALL BE MET.
6. ALL REQUIREMENTS OF SECTION 60, SIGN STANDARDS SHALL BE MET.
7. ALL DUMPSTERS SHALL BE SCREENED IN ACCORDANCE WITH SECTION 50.0.3. SECTION 50.0.3. REQUIRES ALL SOLID REFUSE DUMPSTERS TO BE VISUALLY SCREENED BY SOLID FENCE OR WALL ONE FOOT ABOVE THE REFUSE DUMPSTER NOT TO EXCEED 4 FEET IN HEIGHT ON ALL SIDES (EXCEPT THE SIDE USED FOR GARBAGE PICKUP). SUCH SIDES SHALL NOT BE REQUIRED TO BE SCREENED UNLESS THE SERVICE SIDE OF THE REFUSE STORAGE AREA IS VISIBLE FROM A RESIDENTIALLY ZONED DISTRICT.
8. THE DUMPSTERS ILLUSTRATED ON THIS SITE PLAN SHALL BE 8' IN HEIGHT AND WILL BE CONSTRUCTED OF PAINTED CONCRETE TILT-WALL PANELS WITH REVEALS.
9. ALL LIGHTING MUST COMPLY WITH SECTION 55 OF THE GRAPEVINE ZONING ORDINANCE. LIGHTING ELEMENTS MUST NOT BE VISIBLE FROM A POINT FIVE (5) FEET ABOVE GROUND MEASURED AT ALL PROPERTY LINES. PHYSICAL TESTING OF ILLUMINATION LEVELS MUST BE PERFORMED TO VERIFY COMPLIANCE WITH PHOTOMETRIC STUDY. DOCUMENTATION SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT. NO OCCUPANCY, INCLUDING TEMPORARY OCCUPANCY WILL BE PERMITTED UNTIL THE ABOVE REQUIREMENTS ARE MET.
10. ALL PARKING FOR DISABLED PERSONS SHALL BE DESIGNATED ACCORDING TO CHAPTER 23, SECTION 23.6 THROUGH 24.69 OF THE GRAPEVINE CODE OF ORDINANCES SHALL BE MET. THIS DESIGNATION IS THE BLUE HANDICAPPED SIGN REQUIREMENT.
11. A TYPICAL PARKING SPACE DIMENSION IS 9 X 18 FEET.
12. THE MINIMUM DRIVING LANE WIDTHS IN ALL PRIVATE PARKING LOTS FOR 90-DEGREE PARKING IS A MINIMUM OF 25 FEET.
13. ALL REQUIRED OFF-STREET PARKING AND LOADING AND DRIVES, VEHICLE (AUTOS, TRUCKS, TRAILERS, BOATS, ETC.) SALES, DISPLAY AREAS AND OUTSIDE STORAGE AREAS IN ALL DISTRICTS SHALL BE PAVED TO A MINIMUM STANDARD EQUIVALENT TO 4 INCH CONCRETE SLAB WITH 6 INCHES X 6 INCHES 8" GAGE MESH WIRE OR A 2 INCH HOT MIX ASPHALTIC CONCRETE OVER 6 INCH CRUSHED ROCK BASE.
14. MECHANICAL EQUIPMENT FOR THIS SITE PLAN SHALL BE ROOF MOUNTED. ALL MECHANICAL EQUIPMENT OVER FIVE HORSEPOWER MUST BE LOCATED A MINIMUM OF 120 FEET FROM THE CLOSEST RESIDENTIAL DISTRICT. ALL MECHANICAL EQUIPMENT, REGARDLESS OF HORSEPOWER, IS PROHIBITED FROM BEING LOCATED WITHIN THE REQUIRED OR ESTABLISHED FRONT YARD.
15. ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
16. ALL THE REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.
17. ALL ON-SITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.
18. ALL EDGE OF PAVEMENT SHALL HAVE A 6" CONCRETE CURB, UNLESS NOTED OTHERWISE.
19. THE MINIMUM PAVEMENT GRADE IS 0.5%.
20. THE MAXIMUM PAVEMENT GRADE IS 10%.
21. THE PROPOSED USE FOR LOT 1 IS A CORPORATE OFFICE CAMPUS.
22. A FIRE HYDRANT WILL BE PLACED WITHIN ONE HUNDRED AND FIFTY FEET (150') OF THE PROPOSED FIRE DEPARTMENT CONNECTION (FDC). SAID FIRE HYDRANT WILL BE SHOWN ON THE CIVIL CONSTRUCTION PLANS.
23. FENCE TO BE COATED CHAIN LINK.
24. A CONDITIONAL USE IS REQUESTED FOR A BUILDING HEIGHT EXCEEDING 50 FEET. THE MAXIMUM BUILDING HEIGHT IS 70 FEET.

ITEM #4 & 34  
RZ ITEM #4 & 11



**PARKING CALCULATIONS**

Non-Residential Use: Office and R & D  
 Parking Space Schedule: 103,963 SF of Office @ 1/300 + 5  
 63,314 SF of Storage @ 1/2000

Net Floor Space \_\_\_\_\_ 167,277 Sq. Ft.

Parking and Loading Spaces Required \_\_\_\_\_ 384

Parking and Loading Spaces Provided \_\_\_\_\_ 420

Handicapped Spaces Provided \_\_\_\_\_ 9

CASE NAME: KUBOTA USA INC.  
 CASE NUMBER: CU15-38  
 LOCATION: 4000 KUBOTA DRIVE  
 LOTS 1 & 2, BLOCK 1, KUBOTA ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: 2 OF 16

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES

CONDITIONAL USE REQUEST CU15-38 IS A REQUEST TO EXCEED THE HEIGHT REQUIREMENT OF 50-FEET WITHIN THE "CC" COMMUNITY COMMERCIAL DISTRICT. THE APPLICANT IS ALSO REQUESTING TO ESTABLISH A SIGN ADJACENT TO THE STATE HIGHWAY 121 SERVICE ROAD.

**SITE PLAN FOR KUBOTA ADDITION**

BEING 27.009 SITUATED IN THE

THOMAS W COUSY SURVEY, ABSTRACT No. 317  
 JOHN E. HOLLAND SURVEY, ABSTRACT No. 614  
 C.S. DUNNIGAN SURVEY, ABSTRACT N). 1655  
 J.M. BAKER SURVEY, ABSTRACT No. 1691  
 CITY OF GRAPEVINE, DALLAS COUNTY, TEXAS

EXISTING ZONING: CC  
 EXISTING USE: VACANT  
 SHEET C2  
 SEPTEMBER, 2015

**UTILITY LEGEND**

- W — EXISTING WATER LINE
- S — EXISTING SANITARY SEWER LINE
- SD — EXISTING STORM DRAIN LINE
- OE — EXISTING OVERHEAD UTILITY LINES
- — — EXISTING UNDERGROUND UTILITY LINES
- G — EXISTING GAS LINE
- FO — PHONE (FIBER OPTIC) LINE

**LINE TABLE**

LINE #	BEARING	DISTANCE
LINE #1	N06°13'04"W	35.36'
LINE #2	N48°36'27"W	64.79'
LINE #3	N40°50'47"E	34.72'
LINE #4	N19°41'26"W	79.21'
LINE #5	S79°37'05"W	116.14'
LINE #6	N83°46'56"E	33.72'

**CURVE TABLE**

CURVE #	RADIUS	LENGTH	CHORD BEARING	DELTA	CHORD
CURVE #1	783.00'	286.90'	S40°42'28"E	20°59'38"	285.30'
CURVE #2	467.00'	661.79'	S70°48'28"E	61°11'38"	607.79'
CURVE #3	750.00'	240.81'	S39°24'33"E	18°23'48"	233.78'
CURVE #4	639.00'	639.19'	S70°16'17"E	80°07'15"	643.59'
CURVE #5	60.00'	105.28'	N68°53'11"W	100°32'03"	92.28'
CURVE #6	717.00'	230.21'	N39°24'33"W	18°23'48"	229.23'
CURVE #7	533.00'	727.74'	N72°17'23"W	76°13'48"	672.52'

**SITE DATA CHART**

Kubota Addition

Description \_\_\_\_\_ CC

Existing Zoning \_\_\_\_\_ CC

Proposed Zoning \_\_\_\_\_ CC

Land Use Designation \_\_\_\_\_ Office, R & D, & Parking Garage

Building Heights \_\_\_\_\_ 78 Ft. (3 Stories)  
 \_\_\_\_\_ 38 Ft. (2 Stories)  
 \_\_\_\_\_ 40 Ft. (3 Stories)

Total Building Area \_\_\_\_\_ 285,780 Sq. Ft.

Square Footage (broken down by use) \_\_\_\_\_ 103,963 - Office  
 \_\_\_\_\_ 63,314 - Storage  
 \_\_\_\_\_ 98,280 - Parking Garage  
 \_\_\_\_\_ 265,557 Total

Total Lot Area \_\_\_\_\_ 1,176,518 SF (27.009 Ac)

Floor Area Ratio \_\_\_\_\_ 24.4%

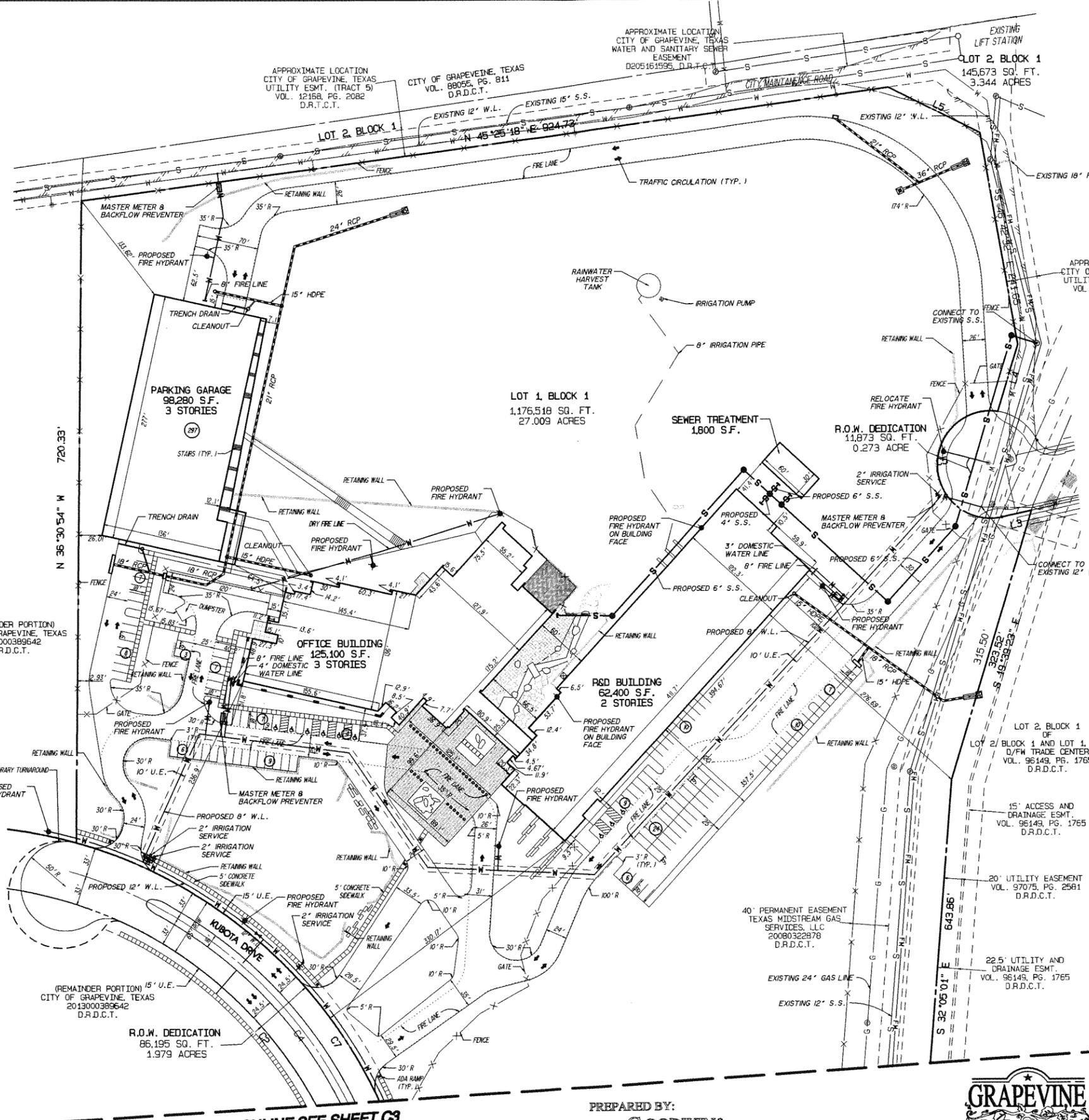
Total Impervious Area \_\_\_\_\_ 291,447 SF (6.691 Ac)

Total Open Space (Landscaped Area) \_\_\_\_\_ 885,071 SF (75.2%)

Total Building & Paved Area \_\_\_\_\_ 291,447 SF (6.691 Ac)

Outside Storage as a Percentage \_\_\_\_\_ 0.00%

Number of Proposed Lots \_\_\_\_\_ 1



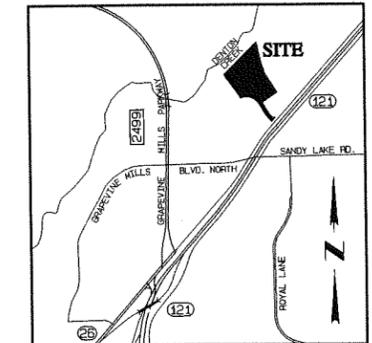
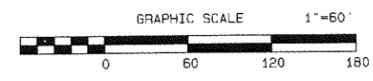
APPLICANT:  
**Kubota**  
 4400 Amon Carter Boulevard, Suite 100  
 Fort Worth, TX 76153

PREPARED BY:  
**GOODWIN & MARSHALL**  
 CIVIL ENGINEERS - PLANNERS - SURVEYORS  
 2405 Mustang Drive, Grapevine, Texas 76051  
 Metro (817) 328-4373  
 CONTACT: MATT BAACK, P.E.

OWNER:  
**CITY OF GRAPEVINE**  
 200 SOUTH MAIN STREET  
 GRAPEVINE, TEXAS 76061



ITEM #4 & 34  
PZ ITEM #4 & 11



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MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: 3 OF 16

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**SITE PLAN FOR KUBOTA ADDITION**

BEING 27.009 SITUATED IN THE THOMAS W COUSY SURVEY, ABSTRACT No. 317 JOHN E. HOLLAND SURVEY, ABSTRACT No. 614 C.S. DUNNIGAN SURVEY, ABSTRACT N). 1655 J.M. BAKER SURVEY, ABSTRACT No. 1691 CITY OF GRAPEVINE, DALLAS COUNTY, TEXAS

EXISTING ZONING: CC  
EXISTING USE: VACANT SHEET C3  
SEPTEMBER, 2015

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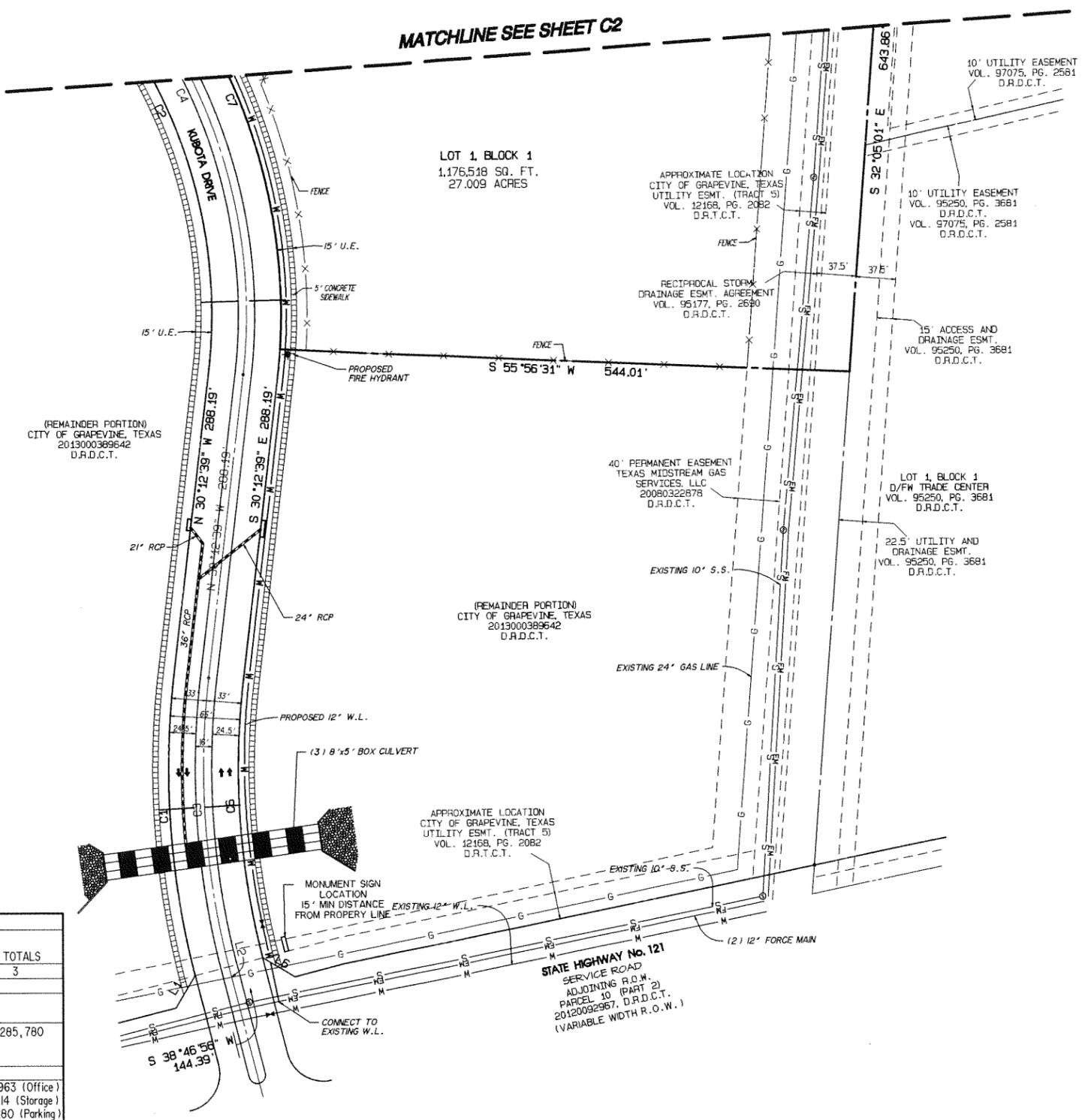
**LOT SUMMARY**

Site:	UNITS	REQUIRED	LOT 1 BLOCK 1
Zoning	-	-	CC
Lot Area	Sq. Ft.	30,000 min	1,176,518
Open Space	Sq. Ft.	min. 15% of Site	760,364
Paved Areas:	Sq. Ft.	-	245,109 (20.8%)
Vehicular	Sq. Ft.	-	12,147
Pedestrian	Sq. Ft.	-	232,962
Impervious Area	Sq. Ft.	max. 80% of Site	376,008
Parking Spaces	-	(min.)	420 (384 req.)
Accessible Spaces	-	(min.)	9 (9 req.)
Van Access. Space	-	(min.)	9 (4 req.)

**BUILDING SUMMARY - KUBOTA ADDITION**

	UNITS	REQUIRED	OFFICE	R & D	PARKING GARAGE	SITE TOTALS
Building: Number of Buildings	-	-	1	1	1	3
Proposed Use	-	-	Office & Storage	Office & Storage	Parking	
Height	Stories ft.	max. 3 max. 50'	3 78'*	2 38'	3 40'	
Area	Sq. Ft.	max. 60%	125,100	62,400	98,280	285,780
Area (Net)	Sq. Ft.		112,811	58,466	98,280	
Grass Area	Sq. Ft.		0%	0%	0%	
Min. Bldg. Separations	ft.	min 40'	60' & 93'	60'	93'	
Bldg. Distribution	Sq. Ft. (Net)		91,911 (Office) 16,900 (Storage) 4,000 (Fitness)	12,052 (Office) 46,414 (Storage)	98,280 (Parking)	103,963 (Office) 63,314 (Storage) 98,280 (Parking) 4,000 (Fitness)

\* CONDITIONAL USE REQUESTED FOR 78' BUILDING HEIGHT

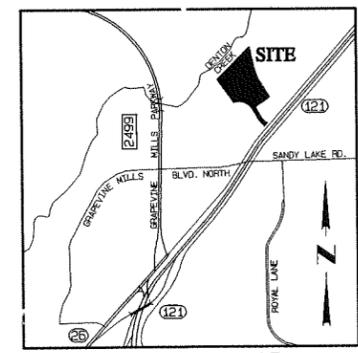
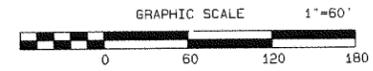


PREPARED BY:  
**GOODWIN & MARSHALL**  
CIVIL ENGINEERS - PLANNERS - SURVEYORS  
2405 Mustang Drive, Grapevine, Texas 76051  
Metro (817) 329-4373  
CONTACT: MATT BAACKE, P.E.

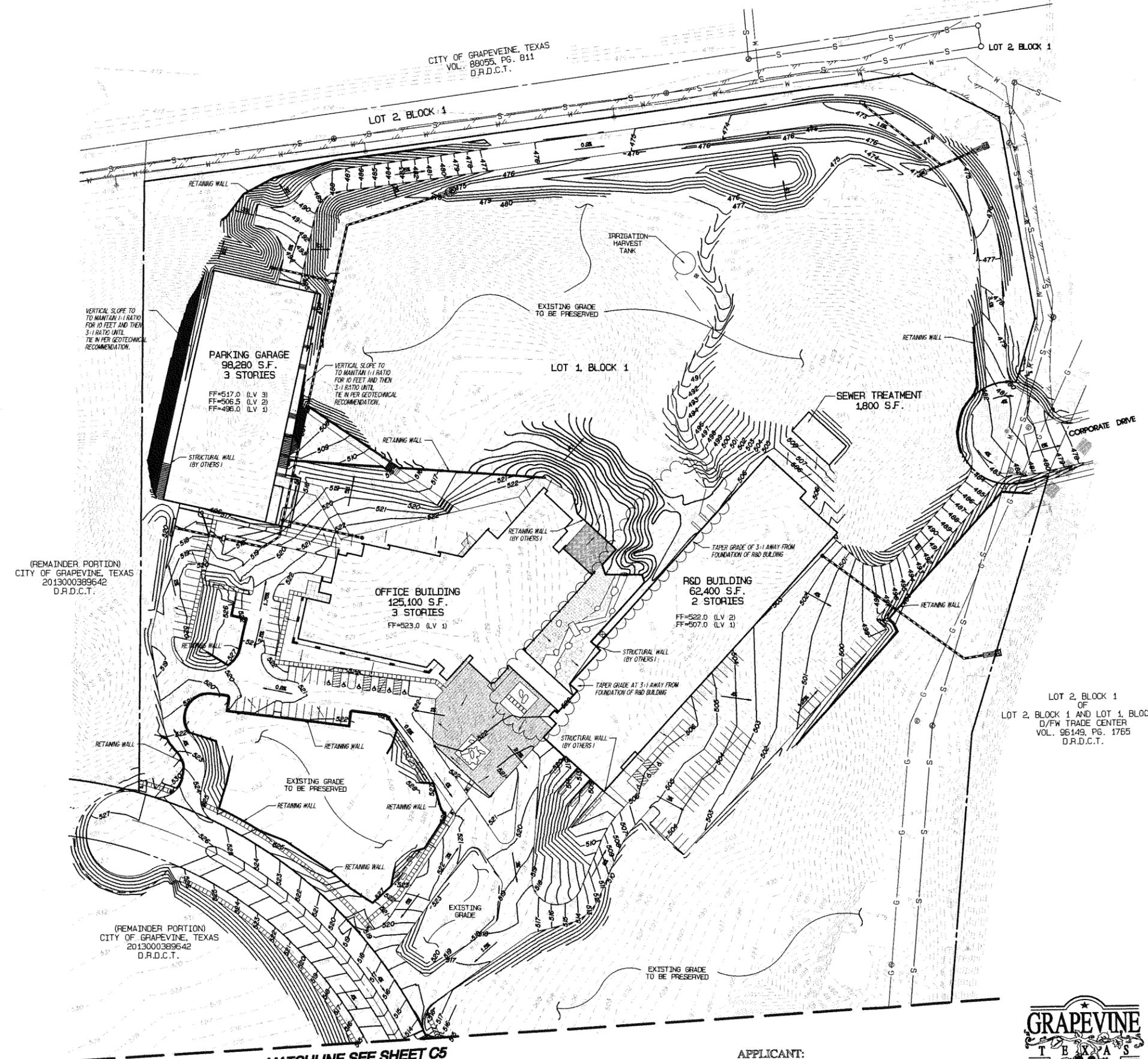
OWNER:  
**CITY OF GRAPEVINE**  
200 SOUTH MAIN STREET  
GRAPEVINE, TEXAS 76051



ITEM #4 & 34  
PZ ITEM #4 & 11



VICINITY MAP  
(NOT TO SCALE)



(REMAINDER PORTION)  
CITY OF GRAPEVINE, TEXAS  
2013000389642  
D.R.D.C.T.

(REMAINDER PORTION)  
CITY OF GRAPEVINE, TEXAS  
2013000389642  
D.R.D.C.T.

LOT 2, BLOCK 1  
OF  
LOT 2, BLOCK 1 AND LOT 1, BLOCK 2  
D/FW TRADE CENTER  
VOL. 96149, PG. 1765  
D.R.D.C.T.

MATCHLINE SEE SHEET C5

CASE NAME: KUBOTA USA INC.  
CASE NUMBER: CU15-38  
LOCATION: 4000 KUBOTA DRIVE  
LOTS 1 & 2, BLOCK 1, KUBOTA ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 4 OF 16

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
CONFLICT WITH ANY CODES OR ORDINANCES.  
DEPARTMENT OF DEVELOPMENT SERVICES

**PRELIMINARY GRADING PLAN  
FOR  
KUBOTA ADDITION**

BEING  
27.009  
SITUATED IN THE

THOMAS W COUSY SURVEY, ABSTRACT No. 317  
JOHN E. HOLLAND SURVEY, ABSTRACT No. 614  
C.S. DUNNIGAN SURVEY, ABSTRACT N). 1655  
J.M. BAKER SURVEY, ABSTRACT No. 1691  
CITY OF GRAPEVINE, DALLAS COUNTY, TEXAS

EXISTING ZONING: CC  
EXISTING USE: VACANT  
SEPTEMBER, 2015  
SHEET C4

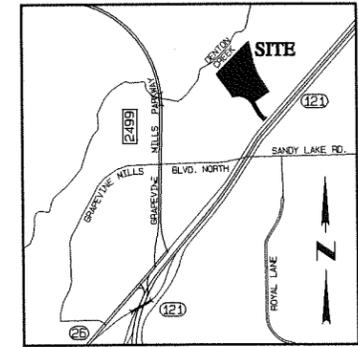
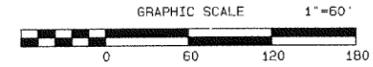
APPLICANT:  
**Kubota**  
4400 Amon Carter Boulevard, Suite 100  
Fort Worth, TX 76135

OWNER:  
CITY OF GRAPEVINE  
200 SOUTH MAIN STREET  
GRAPEVINE, TEXAS 76051



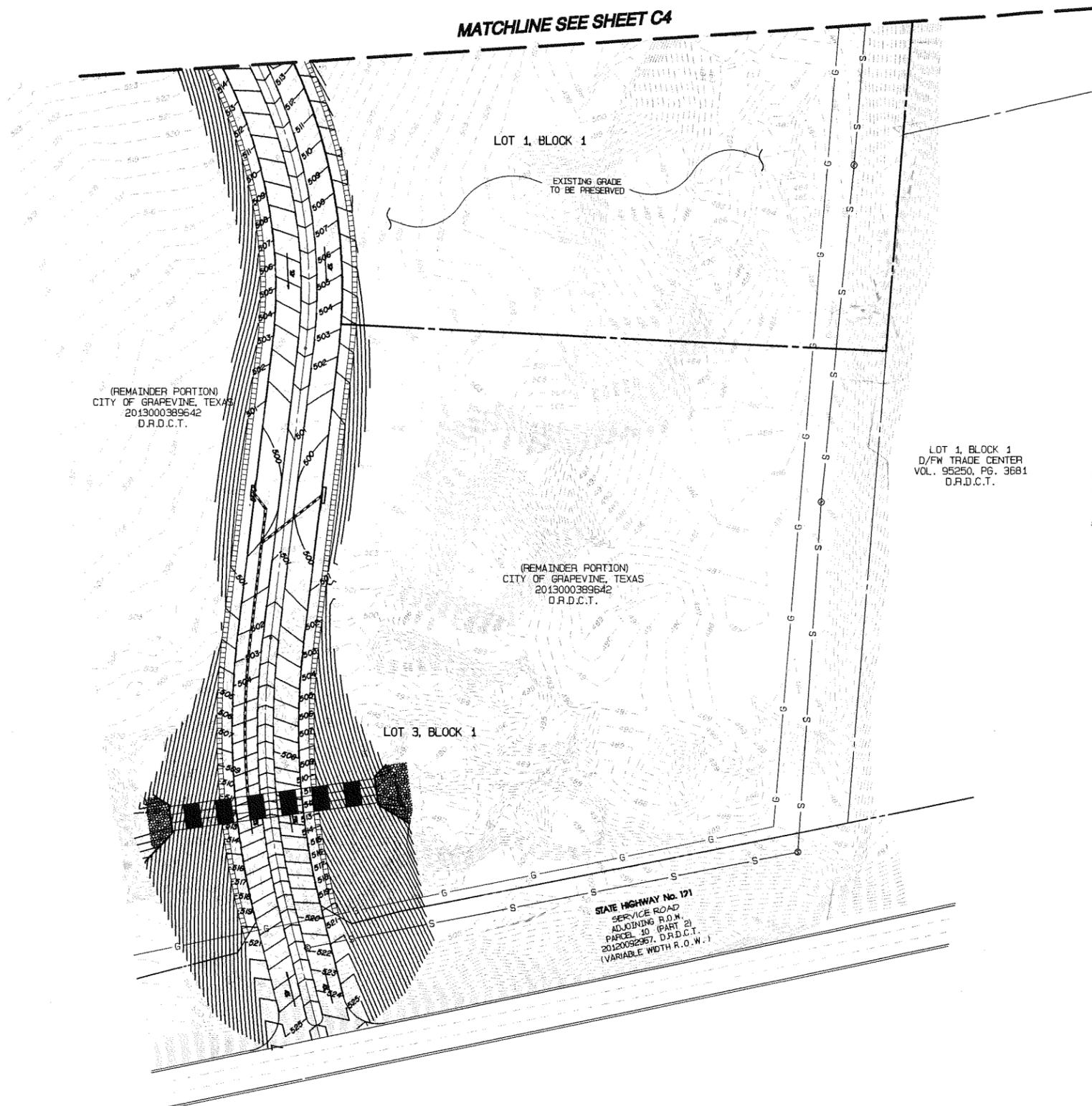
PREPARED BY:  
**GOODWIN & MARSHALL**  
CIVIL ENGINEERS ~ PLANNERS ~ SURVEYORS  
2405 Mustang Drive, Grapevine, Texas 76051  
Metro (817) 329-4373  
CONTACT: MATT BAACKE, P.E.

ITEM #4 & 34  
PZ ITEM #4 & 11



VICINITY MAP  
(NOT TO SCALE)

MATCHLINE SEE SHEET C4

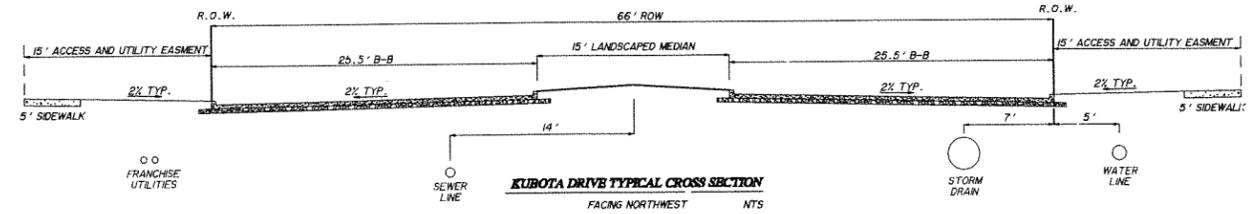


(REMAINDER PORTION)  
CITY OF GRAPEVINE, TEXAS  
2013000389642  
D.R.D.C.T.

LOT 1, BLOCK 1  
D/FW TRADE CENTER  
VOL. 95250, PG. 3681  
D.R.D.C.T.

(REMAINDER PORTION)  
CITY OF GRAPEVINE, TEXAS  
2013000389642  
D.R.D.C.T.

STATE HIGHWAY No. 171  
SERVICE ROAD  
ADJOINING R.O.W.  
PARCELS 40 (PART 2)  
20120092957, D.R.D.C.T.  
(VARIABLE WIDTH R.O.W.)



KUBOTA DRIVE TYPICAL CROSS SECTION  
FACING NORTHWEST NTS

CASE NAME: KUBOTA USA INC.  
CASE NUMBER: CU15-38  
LOCATION: 4000 KUBOTA DRIVE  
LOTS 1 & 2, BLOCK 1, KUBOTA ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 5 OF 16

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
CONFLICT WITH ANY CODES OR ORDINANCES.  
DEPARTMENT OF DEVELOPMENT SERVICES

**PRELIMINARY GRADING PLAN  
FOR  
KUBOTA ADDITION**

BEING  
27.009  
SITUATED IN THE

THOMAS W COUSY SURVEY, ABSTRACT No. 317  
JOHN E. HOLLAND SURVEY, ABSTRACT No. 614  
C.S. DUNNIGAN SURVEY, ABSTRACT N). 1655  
J.M. BAKER SURVEY, ABSTRACT No. 1691  
CITY OF GRAPEVINE, DALLAS COUNTY, TEXAS

EXISTING ZONING: CC  
EXISTING USE: VACANT SHEET C5  
SEPTEMBER, 2015

APPLICANT:  
**Kubota**  
4400 Aman Carter Boulevard, Suite 100  
Ft. Worth, TX 76135

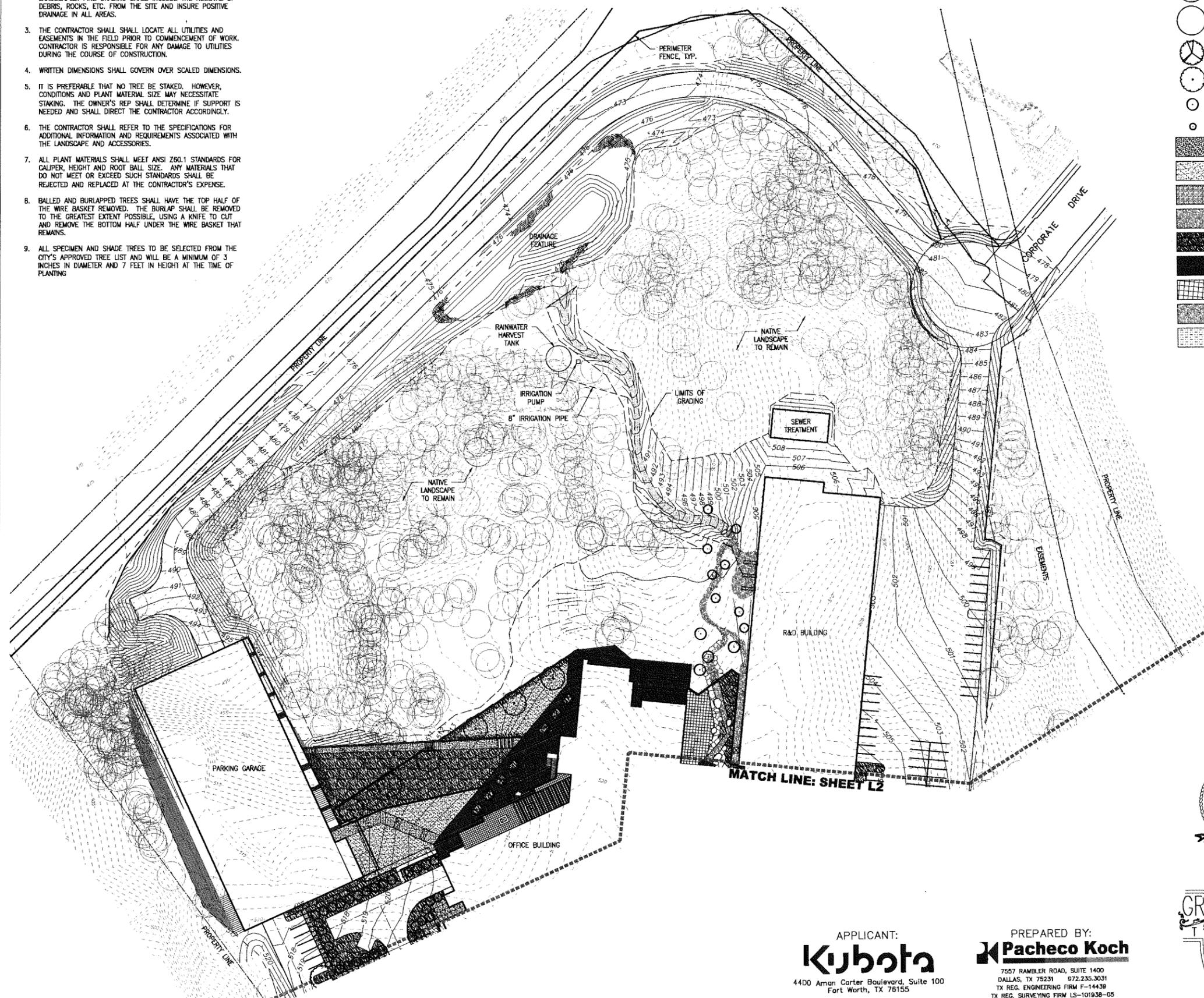
OWNER:  
CITY OF GRAPEVINE  
200 SOUTH MAIN STREET  
GRAPEVINE, TEXAS 76061



PREPARED BY:  
**GOODWIN & MARSHALL**  
CIVIL ENGINEERS - PLANNERS - SURVEYORS  
2405 Mustang Drive, Grapevine, Texas 76061  
Metro (817) 329-4373  
CONTACT: MATT BAACKE, P.E.

**PLANTING GENERAL NOTES**

- ALL PLANTS SHALL BE SET OUT FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- FINE GRADING SHALL BE PERFORMED IN ALL AREAS TO BE LANDSCAPED. FINE GRADING SHALL INCLUDE THE REMOVAL OF DEBRIS, ROCKS, ETC. FROM THE SITE AND INSURE POSITIVE DRAINAGE IN ALL AREAS.
- THE CONTRACTOR SHALL LOCATE ALL UTILITIES AND EASEMENTS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES DURING THE COURSE OF CONSTRUCTION.
- WRITTEN DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS.
- IT IS PREFERABLE THAT NO TREE BE STAKED. HOWEVER, CONDITIONS AND PLANT MATERIAL SIZE MAY NECESSITATE STAKING. THE OWNER'S REP SHALL DETERMINE IF SUPPORT IS NEEDED AND SHALL DIRECT THE CONTRACTOR ACCORDINGLY.
- THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS ASSOCIATED WITH THE LANDSCAPE AND ACCESSORIES.
- ALL PLANT MATERIALS SHALL MEET ANSI Z60.1 STANDARDS FOR CALIPER, HEIGHT AND ROOT BALL SIZE. ANY MATERIALS THAT DO NOT MEET OR EXCEED SUCH STANDARDS SHALL BE REJECTED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- BALLED AND BURLAPPED TREES SHALL HAVE THE TOP HALF OF THE WIRE BASKET REMOVED. THE BURLAP SHALL BE REMOVED TO THE GREATEST EXTENT POSSIBLE, USING A KNIFE TO CUT AND REMOVE THE BOTTOM HALF UNDER THE WIRE BASKET THAT REMAINS.
- ALL SPECIMEN AND SHADE TREES TO BE SELECTED FROM THE CITY'S APPROVED TREE LIST AND WILL BE A MINIMUM OF 3 INCHES IN DIAMETER AND 7 FEET IN HEIGHT AT THE TIME OF PLANTING

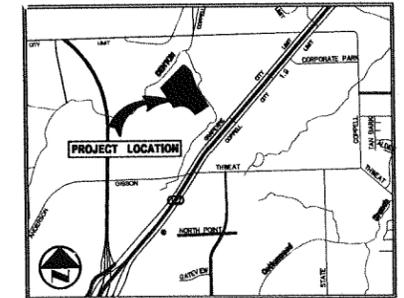
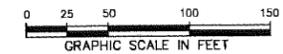


**PLANTING LEGEND**

- SIGNIFICANT EXISTING TREE
- OTHER EXISTING TREE
- PROPOSED 12" SPECIMEN TREE
- PROPOSED 4" SHADE TREE 1
- PROPOSED ORNAMENTAL TREE
- LARGE EVERGREEN SHRUB
- NATIVE PRAIRIE SEED MIX
- TURF GRASS
- GRAVEL TYPE 1
- GRAVEL TYPE 2
- ORNAMENTAL PLANTING MIX
- PAVING TYPE 1
- PAVING TYPE 2
- WATER FEATURE
- DRAINAGE FEATURE



**ITEM #4 & 34**  
**PZ ITEM #4 & 11**



**VICINITY MAP**  
(NOT TO SCALE)

LANDSCAPE TABULATIONS	
<b>OPEN SPACE:</b> MIN. 20% OF TOTAL SITE AREA TO BE LANDSCAPED + 1 REC. PER 4000 SF OF LANDSCAPE AREA	
TOTAL SITE AREA	1,188,752 SF (27.280 acres)
REQ'D OPEN SPACE (23% OF 1,176,512)	PROVIDED: 960,134 SF
REQ'D TREES: 294 (1,176,512 SF / 4000)	PROVIDED: 41,380 (26 NEW + 15,351 EXISTING)
<b>PARKING LOT LANDSCAPE:</b> 10% GROSS PARKING AREA TO BE LANDSCAPED + 1 TREE PER 400 SF OF LANDSCAPE AREA	
TOTAL PARKING AREA	39,878 SF
REQ'D INTERIOR LANDSCAPE (5,988 SF (10% OF 180,332))	PROVIDED: 5,855 SF
REQ'D TREES: 10 (3,988 SF / 400)	PROVIDED: 11
<b>PERIMETER LANDSCAPE:</b> ALL PAVING TO BE SCREENED WITH SCREEN & 1 TREE PER 50 FT OF PROPERTY ESTIMATE	
REQ'D SCREEN: 36" HT OPAQUE SCREEN	PROVIDED: 36" MIN. HT WALL & BERM COMBO
REQ'D TREES: 100 (4,991 LF / 50)	PROVIDED: 116 (13 NEW, 104 EXISTING)

CASE NAME: KUBOTA USA Inc  
CASE NUMBER: CU15-38  
LOCATION: 4000 KUBOTA DRIVE,  
LOT 1&2, BLOCK 1, KUBOTA ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: 6 OF 16

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES



09/04/2015

**L1: LANDSCAPE PLAN**  
FOR  
**KUBOTA ADDITION**

BEING  
27.009 Acres  
SITUATED IN THE

THOMAS W COUSY SURVEY, ABSTRACT No. 317  
JOHN E. HOLLAND SURVEY, ABSTRACT No. 614  
C.S. DUNNIGAN SURVEY, ABSTRACT N). 1655  
J.M. BAKER SURVEY, ABSTRACT No. 1691  
CITY OF GRAPEVINE, DALLAS COUNTY, TEXAS

EXISTING ZONING: CC  
EXISTING USE: VACANT  
AUGUST, 2015

APPLICANT:  
**Kubota**  
4400 Aman Carter Boulevard, Suite 100  
Fort Worth, TX 78155

PREPARED BY:  
**Pacheco Koch**  
7567 RAMBLER ROAD, SUITE 1400  
DALLAS, TX 75231 672.235.3031  
TX REG. ENGINEERING FIRM F-14439  
TX REG. SURVEYING FIRM LS-101938-05



**PLANTING GENERAL NOTES**

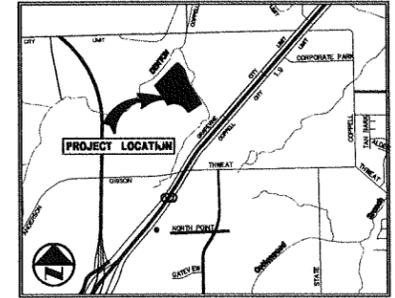
- ALL PLANTS SHALL BE SET OUT FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- FINE GRADING SHALL BE PERFORMED IN ALL AREAS TO BE LANDSCAPED. FINE GRADING SHALL INCLUDE THE REMOVAL OF DEBRIS, ROCKS, ETC. FROM THE SITE AND INSURE POSITIVE DRAINAGE IN ALL AREAS.
- THE CONTRACTOR SHALL LOCATE ALL UTILITIES AND EASEMENTS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES DURING THE COURSE OF CONSTRUCTION.
- WRITTEN DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS.
- IT IS PREFERABLE THAT NO TREE BE STAKED. HOWEVER, CONDITIONS AND PLANT MATERIAL SIZE MAY NECESSITATE STAKING. THE OWNER'S REP SHALL DETERMINE IF SUPPORT IS NEEDED AND SHALL DIRECT THE CONTRACTOR ACCORDINGLY.
- THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS ASSOCIATED WITH THE LANDSCAPE AND ACCESSORIES.
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- ALL SPECIMEN AND SHADE TREES TO BE SELECTED FROM THE CITY'S APPROVED TREE LIST AND WILL BE A MINIMUM OF 3 INCHES IN DIAMETER AND 7 FEET IN HEIGHT AT THE TIME OF PLANTING

**PLANTING LEGEND**

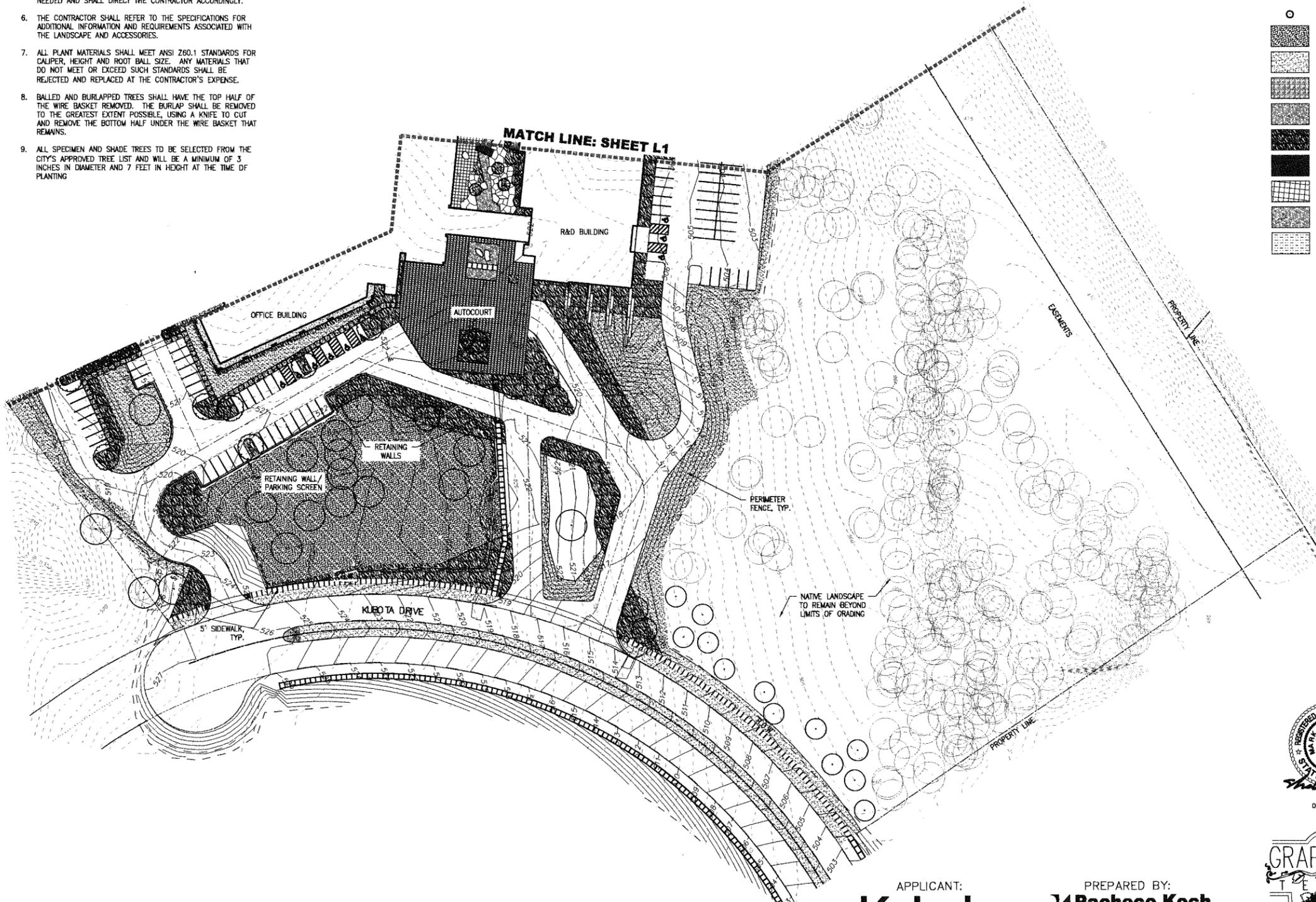
- SIGNIFICANT EXISTING TREE
- OTHER EXISTING TREE
- PROPOSED 12" SPECIMEN TREE
- PROPOSED 4" SHADE TREE 1
- PROPOSED ORNAMENTAL TREE
- LARGE EVERGREEN SHRUB
- NATIVE PRAIRIE SEED MIX
- TURF GRASS
- GRAVEL TYPE 1
- GRAVEL TYPE 2
- ORNAMENTAL PLANTING MIX
- PAVING TYPE 1
- PAVING TYPE 2
- WATER FEATURE
- DRAINAGE FEATURE



ITEM #4 & 34  
FZ ITEM #4 & 11



VICINITY MAP  
(NOT TO SCALE)



**LANDSCAPE TABULATIONS**

<b>OPEN SPACE:</b> MIN. 20% OF TOTAL SITE AREA TO BE LANDSCAPED + 1 TREE PER 4000 SF OF LANDSCAPE AREA	
TOTAL SITE AREA	1,188,752 SF (27.290 acres)
REQ'D OPEN SPACE (20% OF 1,176,512)	PROVIDED: 960,134 SF
REQ'D TREES (1,176,512 SF / 4000)	PROVIDED: 471,380 (29 NEW, 442 EXISTING)
<b>PARKING LOT LANDSCAPE:</b> 10% GROSS PARKING AREA TO BE INTERIOR LANDSCAPE + 1 TREE/400 SF OF LANDSCAPE AREA	
TOTAL PARKING AREA	39,878 SF
REQ'D INTERIOR LANDSCAPE (3,988 SF / 10% OF 180,332)	PROVIDED: 5,855 SF
REQ'D TREES (10 (3,988 SF / 400)	PROVIDED: 11
<b>PERIMETER LANDSCAPE:</b> ALL PARKING TO BE SCREENED W/ 36" SCREEN & 1 TREE PER 50 LF OF PROPERTY PERIMETER	
REQ'D SCREEN 36" HT OPAQUE SCREEN	PROVIDED: 36" MIN HT WALL & BERM COMBO
REQ'D TREES: 100 (4,991 LF / 50)	PROVIDED: 116 (113 NEW, 104 EXISTING)

CASE NAME: KUBOTA USA Inc  
CASE NUMBER: CU15-39  
LOCATION: 4000 KUBOTA DRIVE, LOT 1&2, BLOCK 1, KUBOTA ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: 7 OF 16

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPARTMENT OF DEVELOPMENT SERVICES



09/04/2015



**L2: LANDSCAPE PLAN**  
FOR  
**KUBOTA ADDITION**

BEING  
27.009 Acres  
SITUATED IN THE

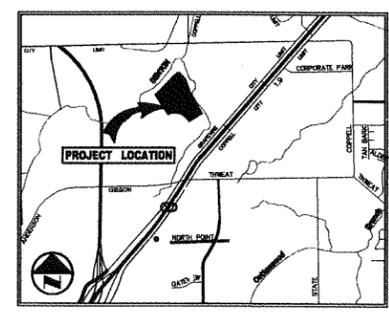
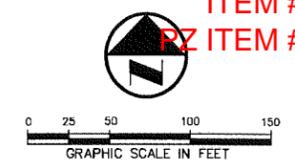
THOMAS W COUSY SURVEY, ABSTRACT No. 317  
JOHN E. HOLLAND SURVEY, ABSTRACT No. 614  
C.S. DUNNIGAN SURVEY, ABSTRACT N). 1655  
J.M. BAKER SURVEY, ABSTRACT No. 1691  
CITY OF GRAPEVINE, DALLAS COUNTY, TEXAS

EXISTING ZONING: CC  
EXISTING USE: VACANT  
AUGUST, 2015

APPLICANT:  
  
4400 Amon Carter Boulevard, Suite 100  
Fort Worth, TX 76155

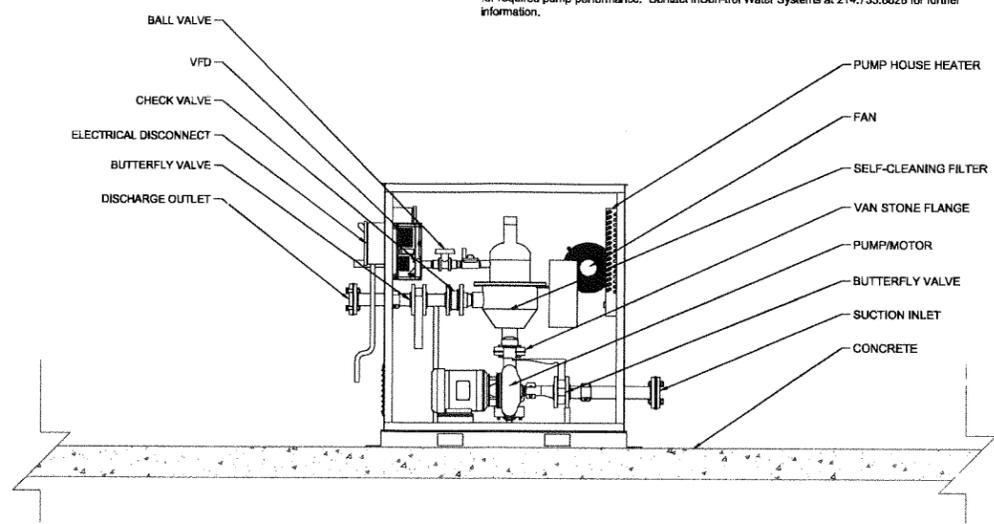
PREPARED BY:  
  
7557 RAMBLER ROAD, SUITE 1400  
DALLAS, TX 75231 972.235.3031  
TX REG. ENGINEERING FIRM F-14439  
TX REG. SURVEYING FIRM LS-101938-05

ITEM #4 & 34  
PZ ITEM #4 & 11



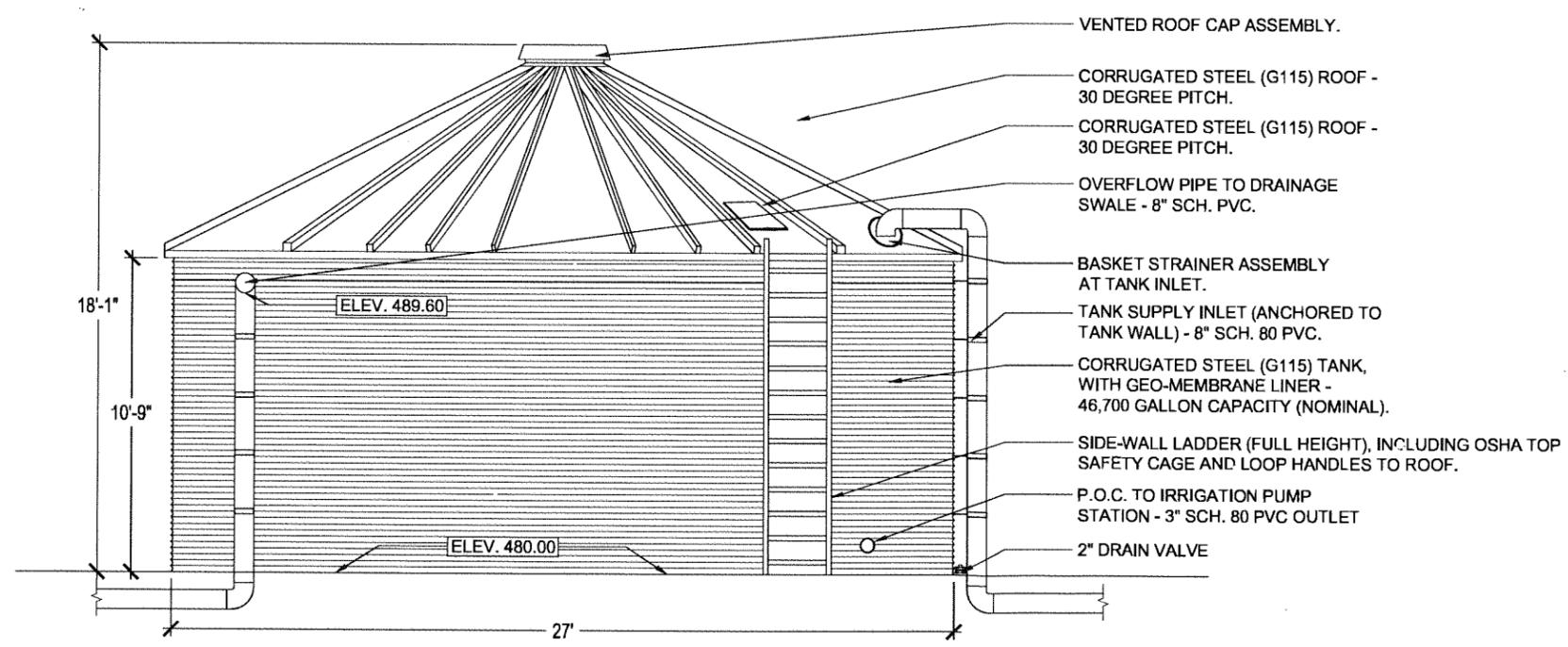
VICINITY MAP  
(NOT TO SCALE)

InCon-trol Water Systems, GALE FORCE SERIES, 10 horse power pump providing 60 GPM supply at 45 PSI\* at pump discharge. Pump model number: P16-GFS-1V-10-60-45-48(3)-B(1)CD(2)EJM. 480V, Three phase power to be provided by owner to pump skid and control panel. Contact Jeff Higgins with InCon-trol Water Systems at 214.733.8828 for further information. \*25 PSI for pressure loss and 22 PSI for elevation change has been added to accommodate site conditions for required pump performance. Contact InCon-trol Water Systems at 214.733.8828 for further information.



**1 IRRIGATION PUMP STATION**  
ELEVATION - MODEL NUMBER:

N.T.S.



**2 RAINWATER HARVESTING TANK, (TYP.)**  
ELEVATION

SCALE: 3/8" = 1'-0"

CASE NAME: KUBOTA USA Inc  
CASE NUMBER: CU15-38  
LOCATION: 4000 KUBOTA DRIVE,  
LOT 1&2, BLOCK 1, KUBOTA ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 8 OF 16

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
CONFLICT WITH ANY CODES OR ORDINANCES.  
DEPARTMENT OF DEVELOPMENT SERVICES



FOR  
KUBOTA ADDITION

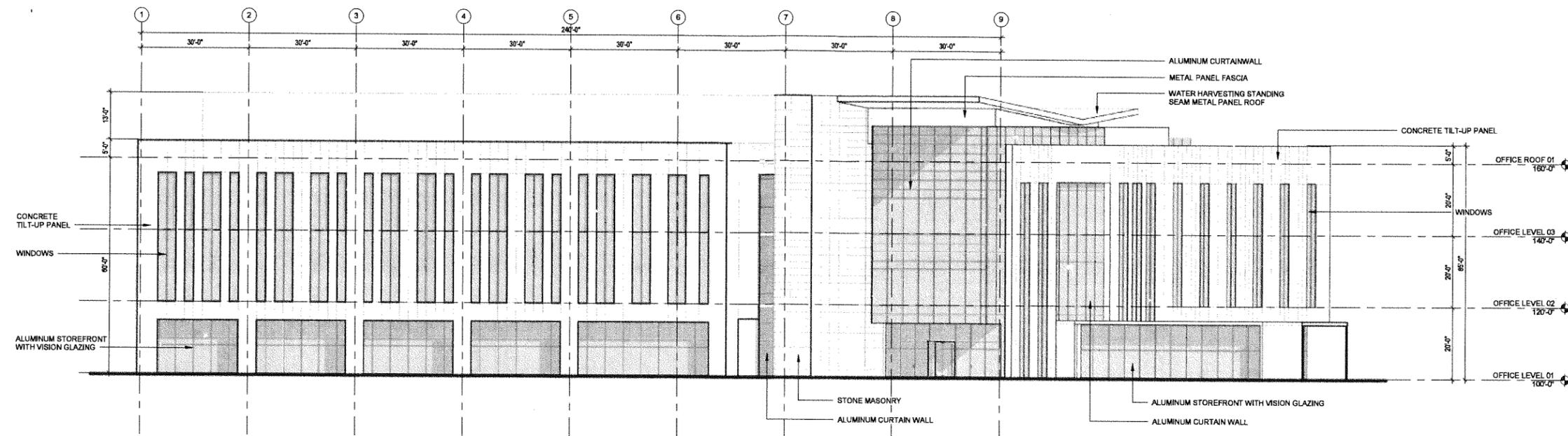
BEING  
27.009 Acres  
SITUATED IN THE

THOMAS W COUSY SURVEY, ABSTRACT No. 317  
JOHN E. HOLLAND SURVEY, ABSTRACT No. 614  
C.S. DUNNIGAN SURVEY, ABSTRACT N). 1655  
J.M. BAKER SURVEY, ABSTRACT No. 1691  
CITY OF GRAPEVINE, DALLAS COUNTY, TEXAS

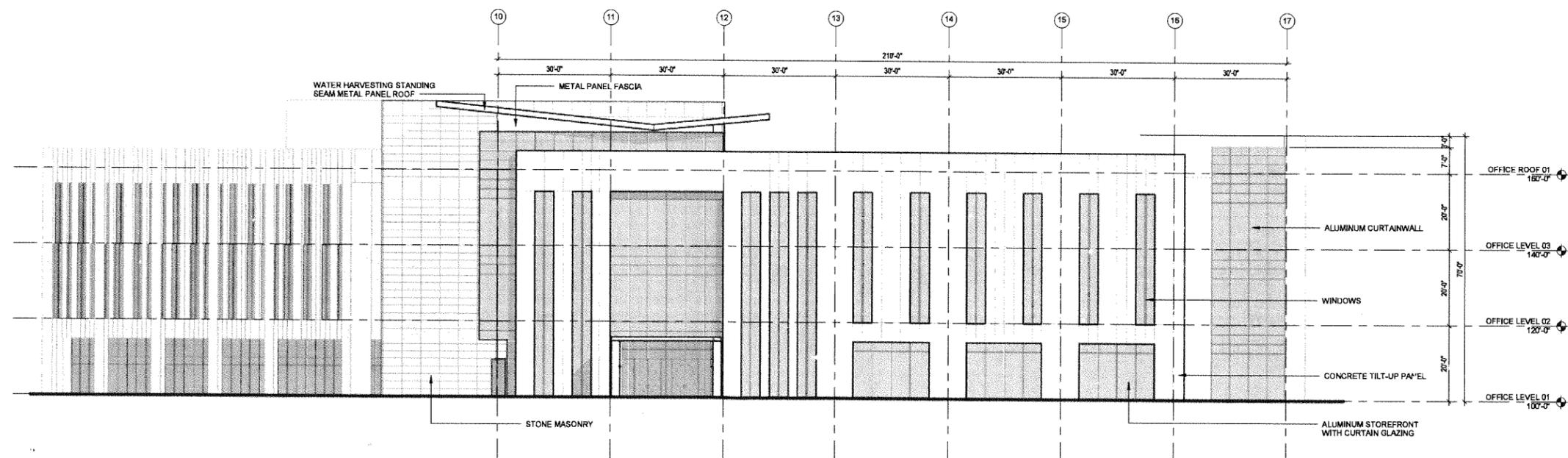
EXISTING ZONING: CC  
EXISTING USE: VACANT  
AUGUST, 2015

APPLICANT:  
**Kubota**  
4400 Aman Carter Boulevard, Suite 100  
Fort Worth, TX 76155

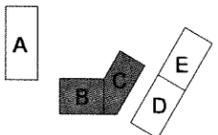
PREPARED BY:  
**Pacheco Koch**  
7557 RAMBLER ROAD, SUITE 1400  
DALLAS, TX 75231 972.235.7031  
TX REG. ENGINEERING FIRM F-14439  
TX REG. SURVEYING FIRM LS-101938-05



1 OFFICE ELEVATION - SOUTH  
1/16" = 1'-0"



2 OFFICE ELEVATION - SOUTH-EAST  
1/16" = 1'-0"

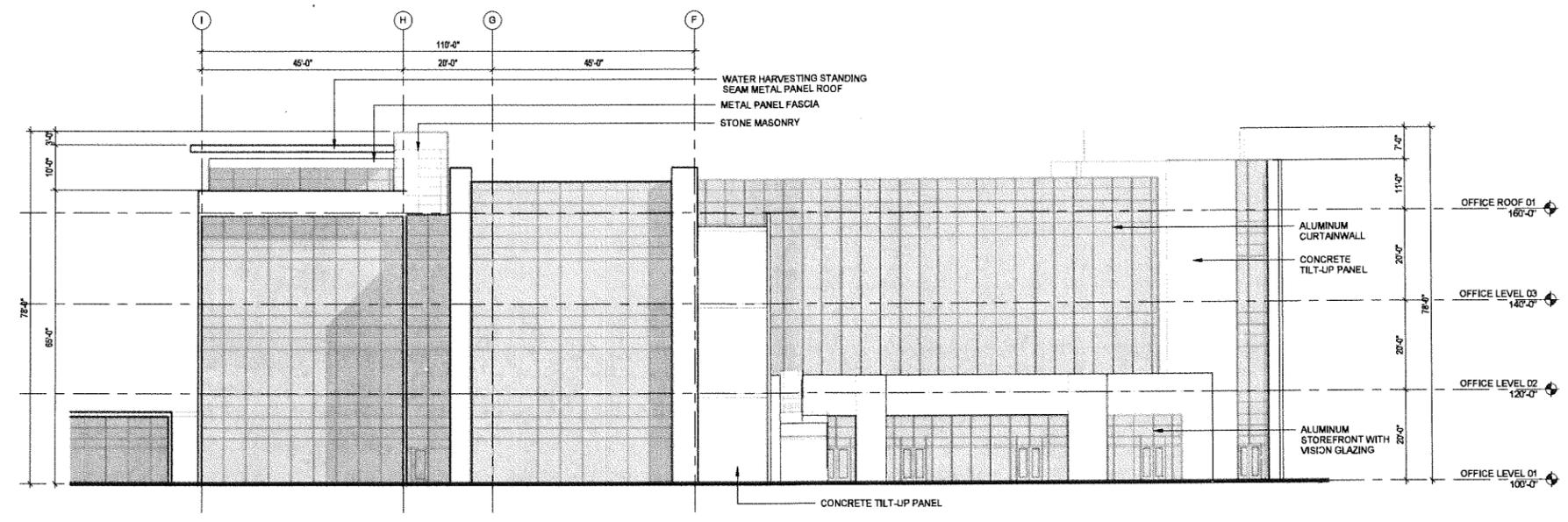


APPLICANT:  
**Kubota**  
4400 AmeriCenter Boulevard, Suite 1-10  
Fort Worth, TX 76155

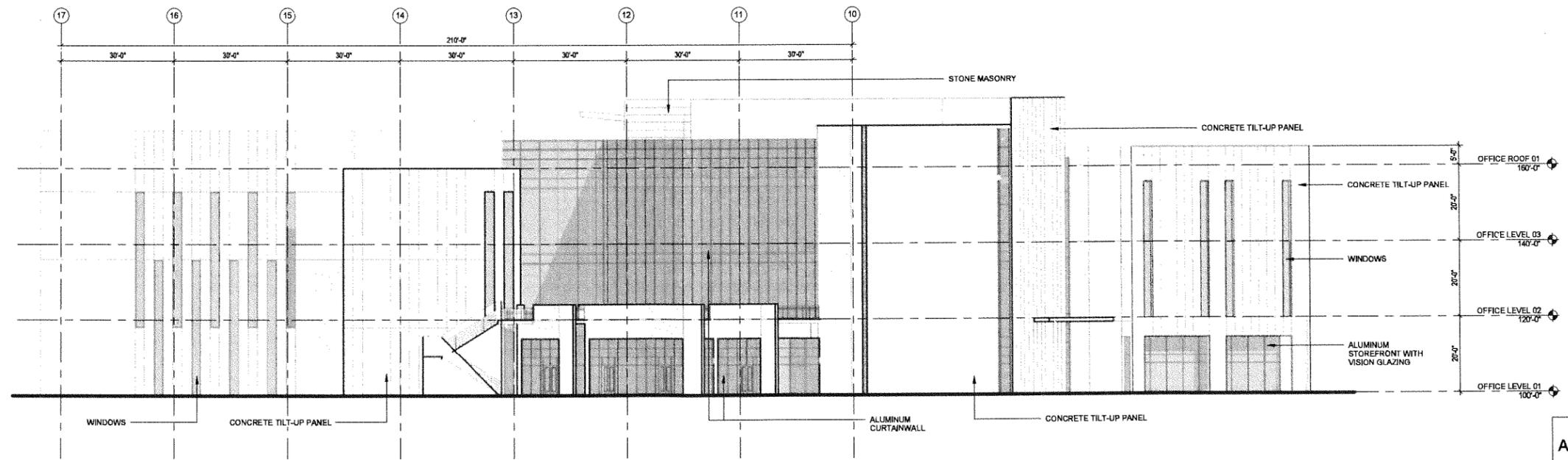


OWNER: Kubota USA Inc.  
CUI5-38  
4000 Kubota Drive  
Lots 1 & 2, Block 1, Kubota Addition  
CITY: WINTER  
COUNTY: TARRANT  
DATE: 9 16  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
APPROVED BY: [Name]

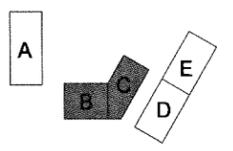
OFFICE EXTERIOR  
ELEVATIONS  
JOB 15189.0000  
DATE 08/03/2015  
SHEET  
A1



1 OFFICE ELEVATION - NORTH-EAST  
1/16" = 1'-0"



2 OFFICE ELEVATION - WEST  
1/16" = 1'-0"

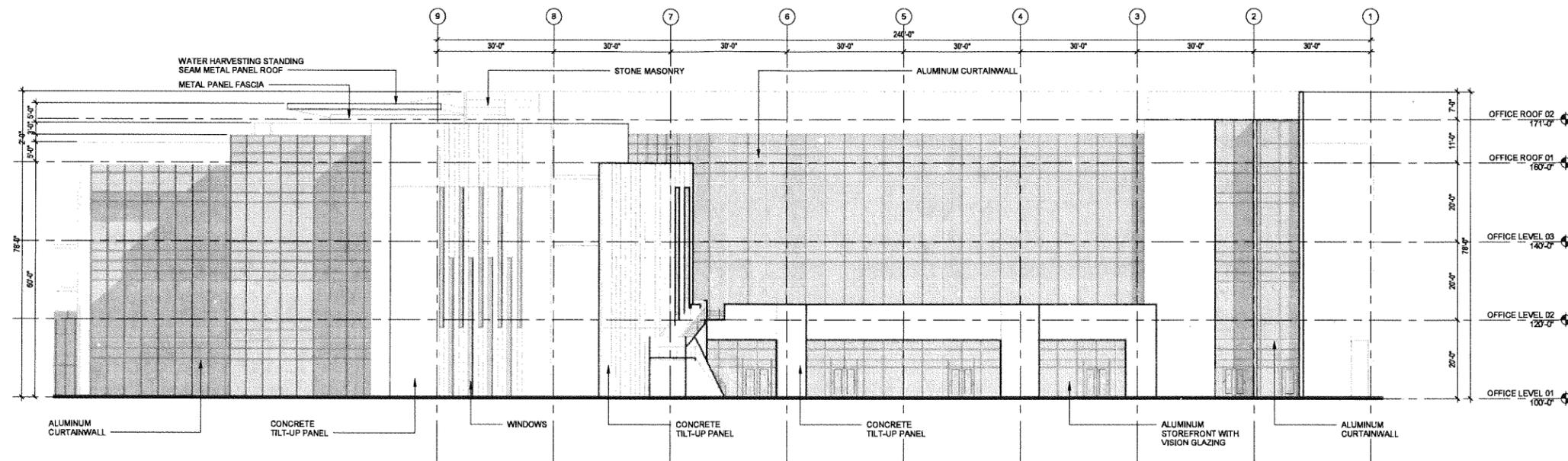


APPLICANT:  
**Kubota**  
4400 Arion Center Boulevard, Suite 100  
Fort Worth, TX 76155

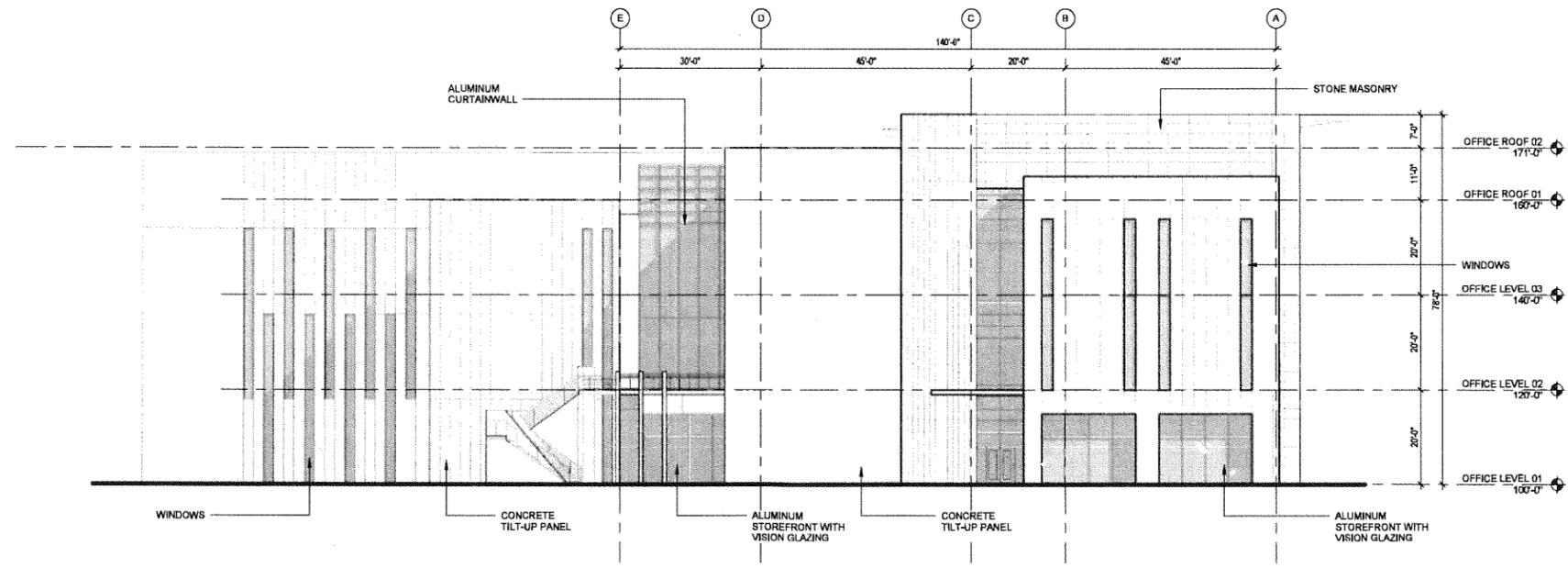


DATE: 10/08/16  
JOB: 15189.0000  
DATE: 08/03/2015  
SHEET: A2

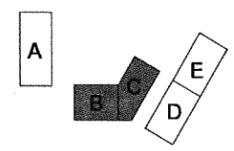
OFFICE EXTERIOR ELEVATIONS  
JOB 15189.0000  
DATE 08/03/2015  
SHEET A2



1 OFFICE ELEVATION - NORTH-WEST  
1/16" = 1'-0"



2 OFFICE ELEVATION - SOUTH-WEST  
1/16" = 1'-0"

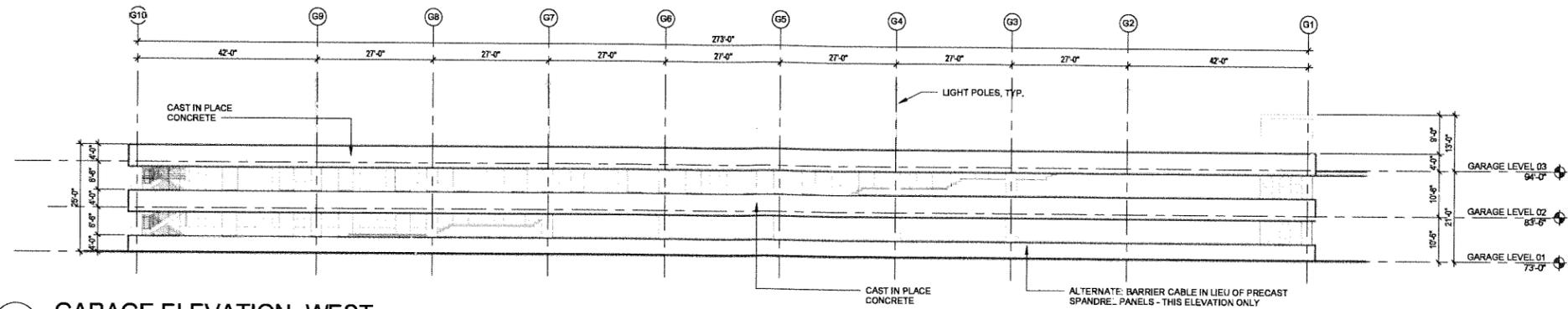


APPLICANT:  
**Kubota**  
4405 Armon Carter Boulevard, Suite 190  
Fort Worth, TX 76156

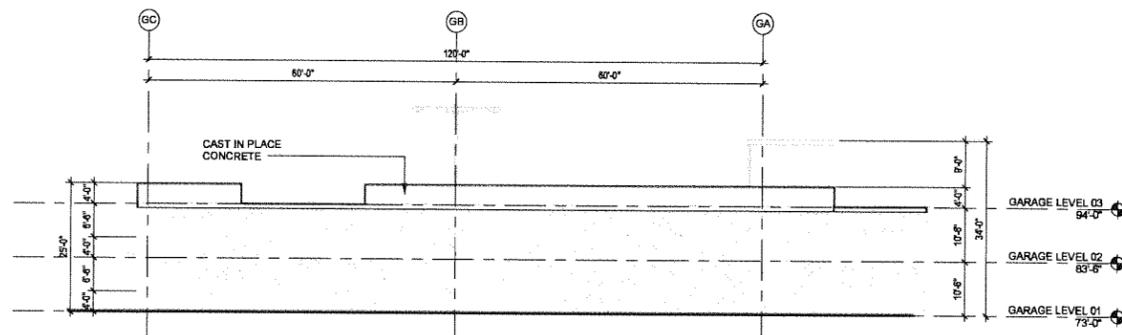


Client: Kubota USA Inc.  
Case Number: CU15-38  
Location: 4000 Kubota Drive  
Lots 1 & 2, Block 1, Kubota Addition  
Survey: SEE PLAN  
Date: \_\_\_\_\_  
Planning and Zoning Commission  
Chairman: \_\_\_\_\_  
Date: 11 DE 16  
Approval: \_\_\_\_\_  
City Clerk: \_\_\_\_\_  
Department: \_\_\_\_\_

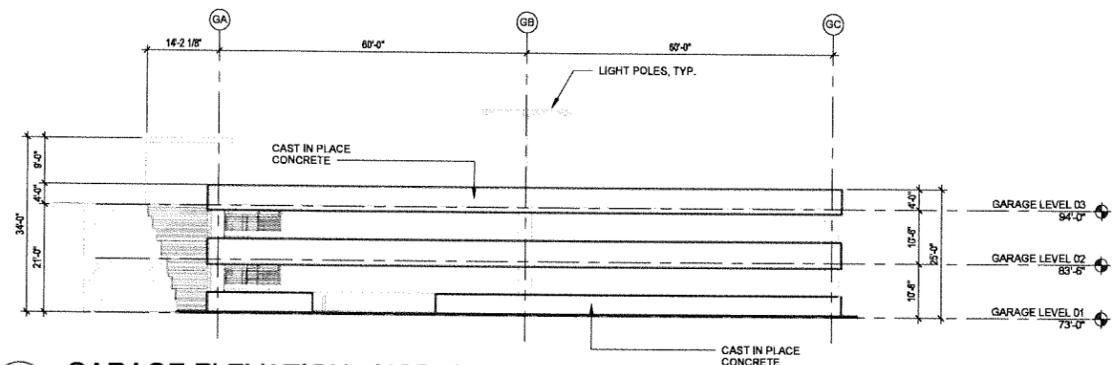
OFFICE EXTERIOR ELEVATIONS  
  
JOB 15189.0000  
DATE 08/03/2015  
SHEET  
**A3**



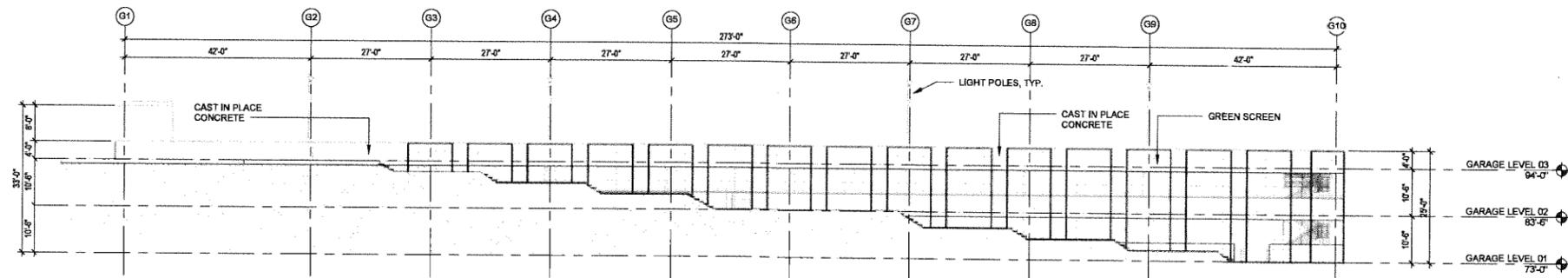
1 GARAGE ELEVATION- WEST  
1/16" = 1'-0"



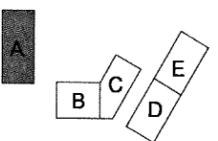
2 GARAGE ELEVATION - SOUTH  
1/16" = 1'-0"



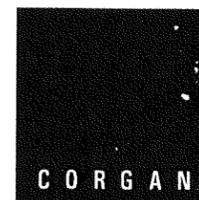
3 GARAGE ELEVATION - NORTH  
1/16" = 1'-0"



4 GARAGE ELEVATION - EAST  
1/16" = 1'-0"



APPLICANT:  
**Kubota**  
4400 Amen Carter Boulevard, Suite 100  
Fort Worth, TX 76145



OWNER: Kubota USA Inc.  
CU15-38  
4000 Kubota Drive  
Lots 1 & 2, Block 1, Kubota Addition

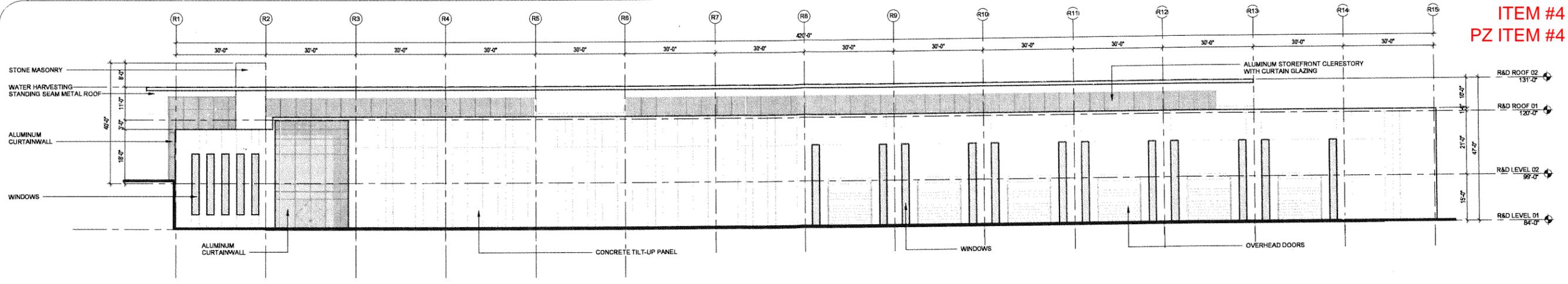
DATE: 12 16

**GARAGE EXTERIOR ELEVATIONS**

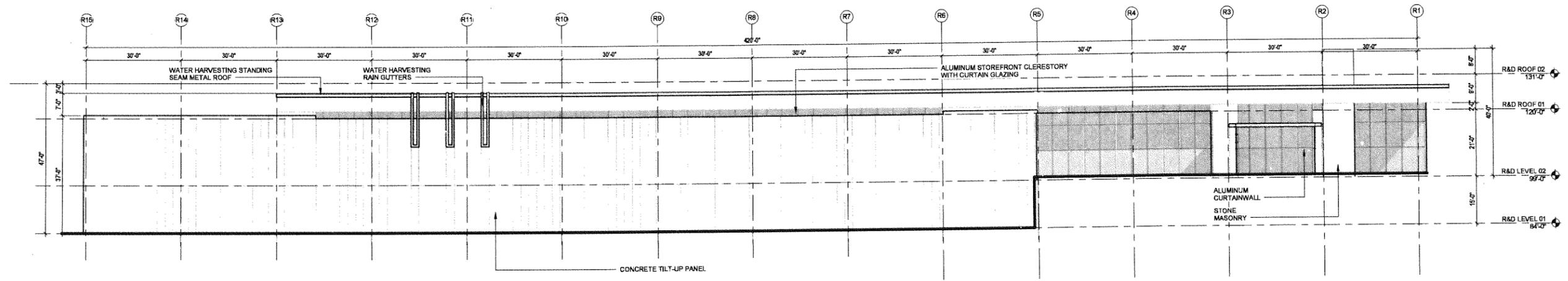
JOB 15189.0000  
DATE 08/03/2015  
SHEET

**A4**

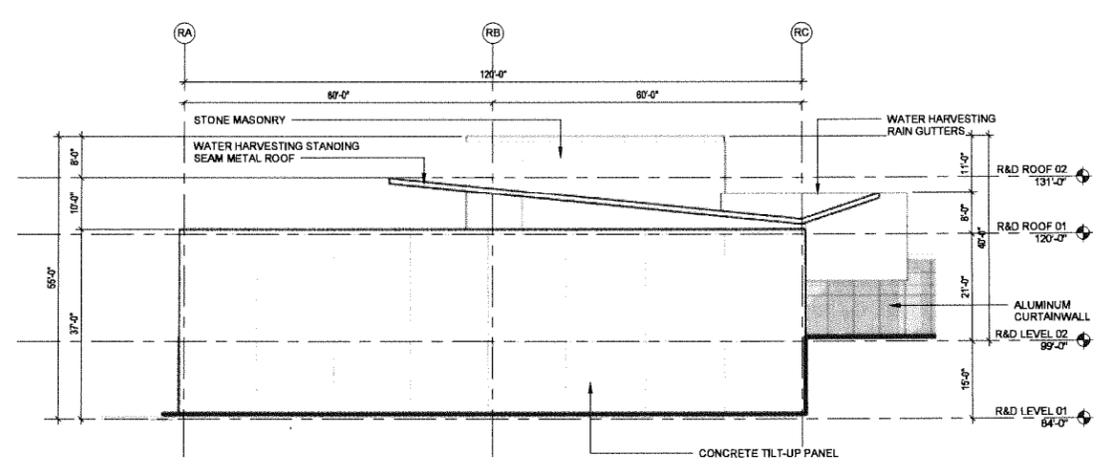
ITEM #4 & 34  
PZ ITEM #4 & 11



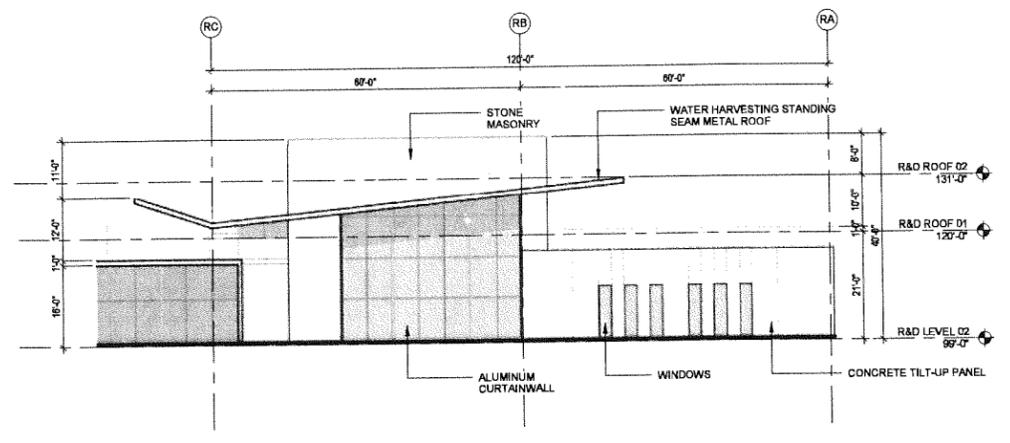
4 R&D ELEVATION SOUTH-EAST  
1/16" = 1'-0"



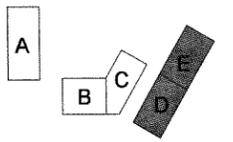
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1/16" = 1'-0"



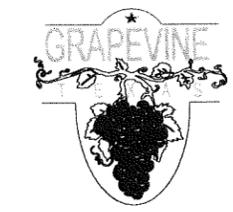
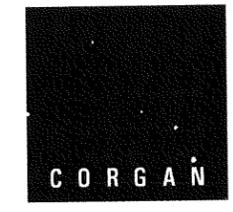
1 R&D ELEVATION - NORTH-EAST  
1/16" = 1'-0"



3 R&D ELEVATION - SOUTH-WEST  
1/16" = 1'-0"



APPLICANT:  
**Kubota**  
4400 Anton Carter Boulevard, Suite 100  
Fort Worth, TX 76155



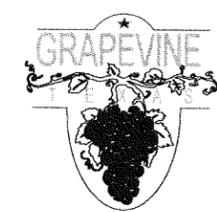
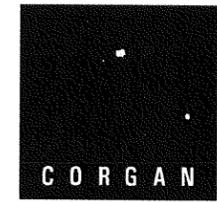
PROJECT: Kubota USA Inc.  
CU15-38  
LOCATION: 4000 Kubota Drive  
Lots 1 & 2, Block 1, Kubota Addition  
DATE: 13 08 16  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: AS SHOWN

R+D EXTERIOR ELEVATIONS  
JOB: 15189.0000  
DATE: 08/03/2015  
SHEET: A5



1 PHOTOMETRIC PLAN  
1" = 80'-0"

APPLICANT:  
**Kubota**  
4400 Armon Carter Boulevard, Suite 100  
Fort Worth, TX 76155

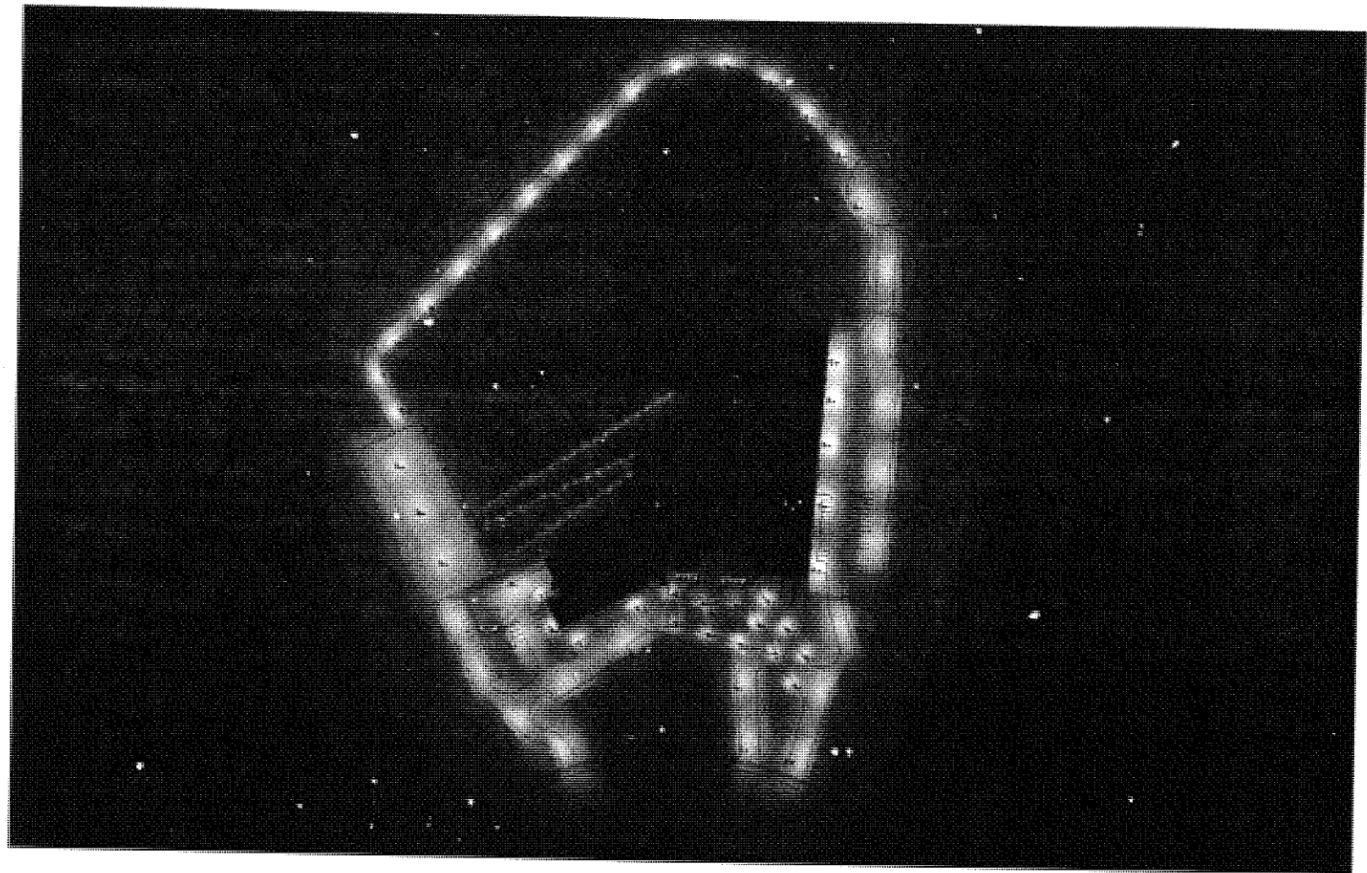


CASE NUMBER: Kubota USA Inc.  
CU15-38  
CASE NUMBER: 4000 Kubota Drive  
EXCEPTS  
Lots 1 & 2, Block 1, Kubota Addition  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
DATE: \_\_\_\_\_  
SHEET 14 OF 15  
APPROPRIATE CITY RESOLUTION AND ORDINANCE  
DEPARTMENT OF NEIGHBORHOOD SERVICES

PHOTOMETRIC PLAN  
JOB 15189.0000  
DATE 08/03/2015  
SHEET P1

TYPE	DESCRIPTION	MANUFACTURER/CATALOG #	LAMP
SA	SINGLE LED AREA TYPE III, 9" ARM ON 22'-6" ROUND STRAIGHT POLE, 2'-6" CONCRET BASE, CLEAR GLASS LENS, PHOTOCELL, 0-10V DIMMING, NATURAL PAINT FINISH	PHILIPS GARDCO P21-DIM-A1-1-3-130LA-WW-UNV-NP-CLR-PCB / 22'-6" ROUND STRAIGHT POLE TO MATCH, 2'-6" CONCRETE BASE	INTEGRAL LED 3000K 127 WATTS
SB	SINGLE LED AREA TYPE IV, 9" ARM ON 22'-6" ROUND STRAIGHT POLE, 2'-6" CONCRET BASE, CLEAR GLASS LENS, PHOTOCELL, 0-10V DIMMING, NATURAL PAINT FINISH	PHILIPS GARDCO P21-DIM-A1-1-4-130LA-WW-UNV-NP-CLR-PCB / 22'-6" ROUND STRAIGHT POLE TO MATCH, 2'-6" CONCRETE BASE	INTEGRAL LED 3000K 127 WATTS
SC	BACK TO BACK DOUBLE LED AREA TYPE V WIDE, 9" ARM ON 17'-6" ROUND STRAIGHT POLE, CLEAR GLASS LENS, PHOTOCELL, 0-10V DIMMING, NATURAL PAINT FINISH	PHILIPS GARDCO P21-DIM-A1-2-5W-90LA-WW-UNV-NP-CLR-PCB / 17'-6" ROUND STRAIGHT POLE TO MATCH, MOUNTED TO CONCRETE STRUCTURE	INTEGRAL LED 3000K (2) 88 WATTS
SD	SINGLE LED AREA TYPE III, 9" ARM ON 12'-0" ROUND STRAIGHT POLE, 2'-6" CONCRET BASE, CLEAR GLASS LENS, PHOTOCELL, 0-10V DIMMING, NATURAL PAINT FINISH	PHILIPS GARDCO P21-DIM-A1-1-3-55LA-WW-UNV-NP-CLR-PCB / 12'-0" ROUND STRAIGHT POLE TO MATCH, 2'-6" CONCRETE BASE	INTEGRAL LED 3000K 54 WATTS
SF	ALBERTSLUND MAXI POST TOP LED PEDESTRIAN LIGHT, NATURAL PAINT ALUMINUM FINISH, 12'-0" ROUND STRAIGHT POLE 4.5", 0-10V DIMMING	POULSEN ALB-MAX-PT-112W LED/3000K-120-277V-NAT PAINT ALU-T-RSA-4.5"-DIM 0-10V / RSA-4.5-12-NAT PAINT ALU	INTEGRAL LED 3000K 112 WATTS
SG	43" LED BOLLARD, NATURAL PAINT ALUMINUM FINISH, 0-10V DIMMING, VERIFY POST WITH DIRECT BURIAL OR BASEPLATE, 180° BEAM	POULSEN FLINDT-B-15W LED/3000K-120-277V-NAT PAINT ALU-POST?-DIM 0-10V	INTEGRAL LED 3000K 15 WATTS
SH	9" LED BOLLARD, SILVER FINISH, 0-10V DIMMING	BEGA 8361 LED-3000K-SLV	INTEGRAL LED 3000K 29 WATTS
SJ	WALL MOUNT LED AREA LIGHT, SHORT 5" ARM, CLEAR GLASS LENS, 0-10V DIMMING	PHILIPS GARDCO P21-DIM-A2-WS-4-130LA-WW-UNV-FINISH-CLR	INTEGRAL LED 3000K 127 WATTS
SK	12" SIGNAGE UPLIGHT AT FRONT ENTRANCE, SILVER FINISH, EXTERNAL YOKE, WET LOCATION OUTLET BOX AND COVER, CUTOFF VISOR, 0-10V DIMMING	ELLIPTIPAR S172-5036-S-07-M-V0-0-30-EL	INTEGRAL LED 3000K 56 WATTS

FIXTURE SCHEDULE



2 PHOTOMETRIC STUDY  
N.T.S.

APPLICANT:  
**Kubota**  
4400 Arton Center Boulevard, Suite 100  
Fort Worth, TX 76155

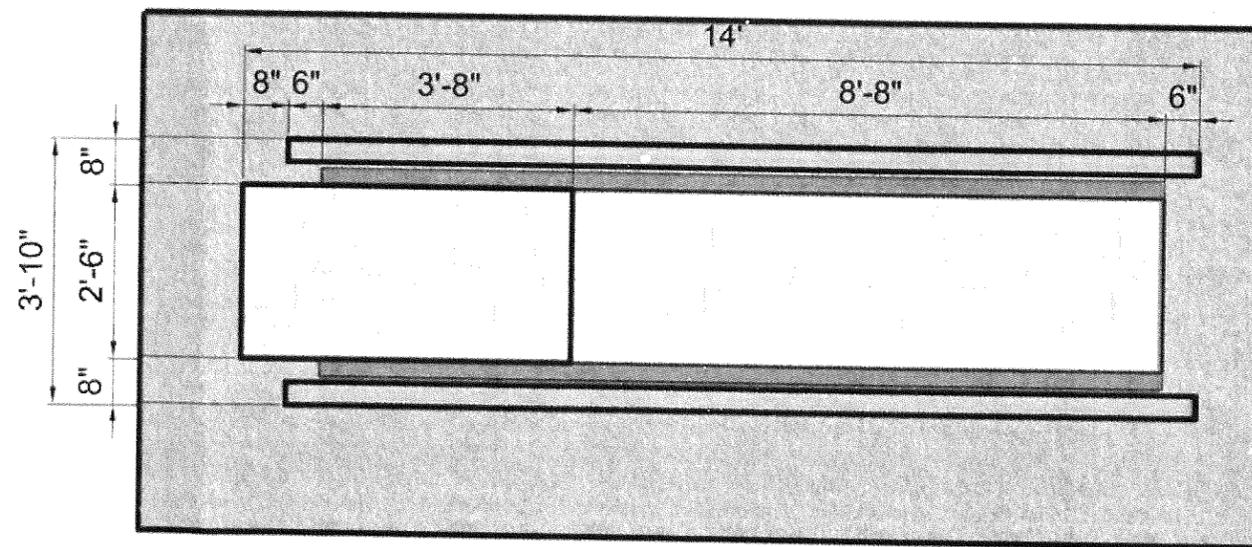
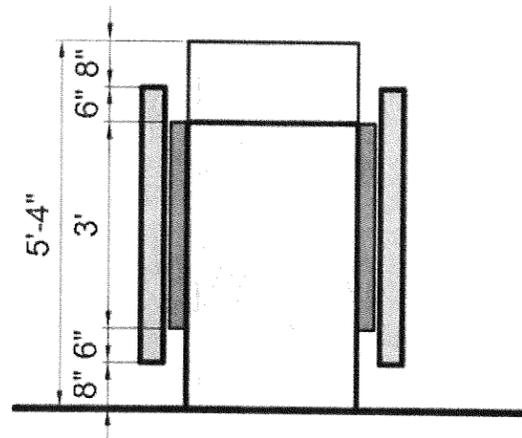
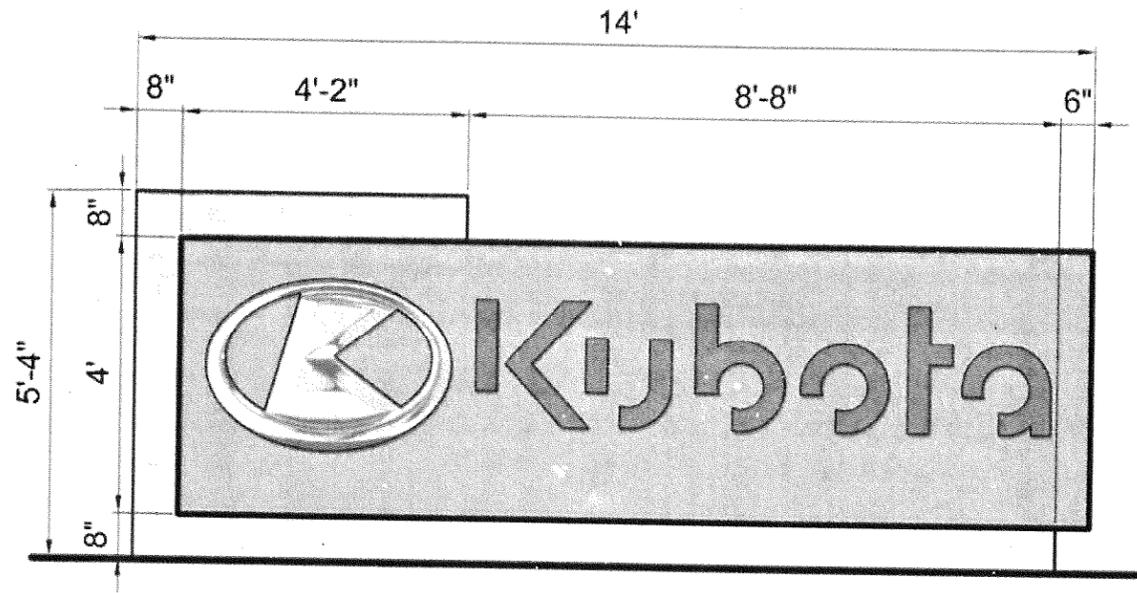
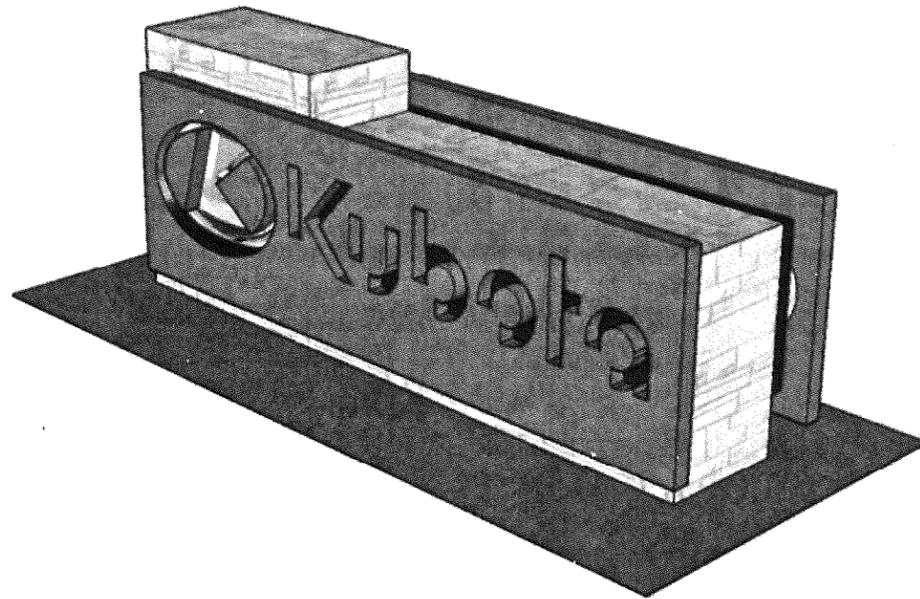


Client: Kubota USA Inc.  
CU15-38  
4000 Kubota Drive  
Lots 1 & 2, Block 1, Kubota Addition  
DATE: 08/03/2015  
DRAWING NO: 15189-0000-0000  
SHEET: 15 OF 16  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
APPROVED BY: [Name]

PHOTOMETRIC PLAN

JOB 15189.0000  
DATE 08/03/2015  
SHEET

P2



APPLICANT:  
**Kubota**  
4400 Arpan Carter Boulevard, Suite 100  
Ft Worth, TX 76115



CASE NAME: Kubota USA Inc.  
CASE NUMBER: CL15-38  
LOCATION: 4000 Kubota Drive  
Lots 1 & 2, Block 1, Kubota Addition  
MAYOR: \_\_\_\_\_ SHERIFF: \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
DATE: \_\_\_\_\_  
SHEET 16 OF 16  
APPROVALS: \_\_\_\_\_  
DEPARTMENT OF CIVIL ENGINEERING SERVICES

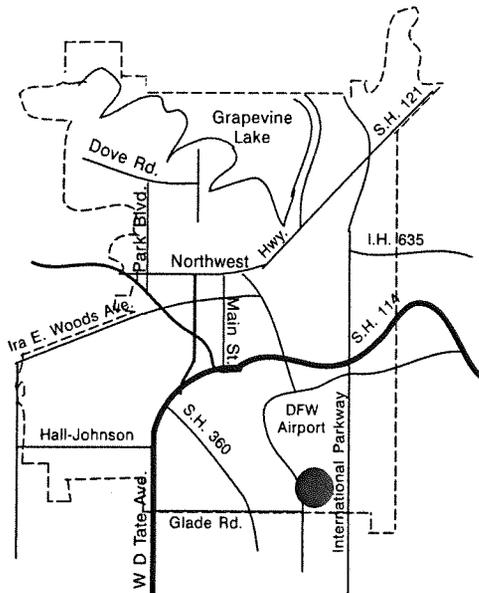
**SIGNAGE DETAILS**  
  
JOB 15189.0000  
DATE 08/03/2015  
SHEET S1

TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE  
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*  
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR *scott williams*

MEETING DATE: SEPTEMBER 15, 2015

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF ZONE  
CHANGE APPLICATION Z15-04 AND CONDITIONAL USE  
APPLICATION CU15-22, THE PRESERVE



APPLICANT: Greystar GP II, LLC

PROPERTY LOCATION AND SIZE:

The subject property is addressed at 4501 State Highway 360 and is proposed to be platted Lots 1 and 2, Block A, Glade/360 Addition. The subject property comprises 67.76 acres and has approximately 367 feet of frontage along Glade Road, 4,920 feet of frontage along the northbound State Highway 360 service road, and 527 feet of frontage along Euless-Grapevine Road.

REQUESTED ZONE CHANGE, CONDITIONAL USE AND COMMENTS:

The applicant is requesting a zone change to rezone 14.36 acres from "LI" Light Industrial District and 53.42 acres from "PCD" Planned Commerce Development District to "R-MF" Multi-Family District for the development of a two-phase, 714 total units multi-family development. The applicant is also seeking a conditional use permit to exceed the height requirements for the "R-MF" Multi-Family District.

It is the applicant's intent to develop a 714 total units, two phase, gated, multi-family complex on approximately 68 acres beginning at the southwest corner of Glade Road and State Highway 360 and continuing northward to Euless-Grapevine Road. The first phase, consisting of 399 units will have two primary points of access on Glade Road and a secondary point of access along the northbound State Highway 360 service road. This phase will consist of 256 one bedroom units ranging from 705-1,020 net square feet in size; 102 two bedroom units ranging from 1,092-1,268 net square feet in size; and 20 three

bedroom units 1,393 net square feet in size. Also as part of this phase the applicant intends to develop 21 brownstone-style apartments that are three-stories in height and resemble a product similar to an attached townhome with attached garages and guest parking; these brownstone apartments will range from 1,310-1,747 square feet in size. The flexible design standards within the conditional use section of the "R-MF" Multi-Family District allow through the conditional use process consideration of height in excess of the two-story, 35 feet maximum as stated in the district; all of the structures in this phase other than the clubhouse will be three stories in height ranging from 38-40 feet in height. Total required parking for this phase is 798 spaces; the applicant has provided 798 spaces in the form of 430 surface spaces, 88 carport spaces, 140 garages spaces, and 140 tandem spaces (behind garages). Two monument signs are proposed as part of phase one, each located near the Glade and S.H. 360 entrances. Both signs are six feet in height, 60 square feet in size. Also as part of phase one the applicant proposes to construct an architectural feature 30 feet in height and 17 feet in width that will contain no signage but will serve as an entryway feature to the site and to the city. Usable recreational open space provided by the applicant in the form of hiking trails, nature preserve areas, a dog park, and pool area total 133,642 square feet—99,750 square feet is required.

The second phase, similar to phase one relative to the various sizes of available units will consist of 315 total units and will be accessed from two access points along the northbound State Highway 360 service road. This phase will consist of 210 one bedroom units ranging from 705-1,020 square feet in size; 72 two bedroom units ranging from 1,092-1,268 square feet in size; and 12 three bedroom units 1,393 square feet in size. Similar to the phase one brownstone mix, this phase will also contain 21 brownstone apartments ranging from 1,310-1,747 square feet in size. All structures other than the clubhouse in this phase are three stories in height and range from 38-40 feet in height. Total required parking for this phase is 630 spaces; the applicant has provided 631 spaces in the form of 329 surface spaces, 78 carport spaces, 112 garage spaces, and 112 tandem spaces. One monument sign similar to phase one is proposed along the primary entrance from the S.H. 360 service road. Similar to phase one, the applicant has provided 80,131 square feet of recreational open space—78,750 square feet is required.

Contained within your packet is a letter from the Dallas/Fort Worth International Airport, Environmental Affairs Department. It is the Airport's position that residential uses in this area are not the best use of the site relative to the site's location and proximity to the 65DNL noise contour, and proximity to various D/FW Airport operations including the proximity to the ends of three runways, proximity to aircraft engine maintenance activities, and proximity to two Airport training facilities—the Fire Training and Research Center and the D/FW Airport's Department of Public Safety's firing and explosive range. See the attached correspondence. The applicant has included within the packet a response to the Airport's concerns.

#### PRESENT ZONING AND USE:

The property is currently zoned "PCD" Planned Commerce Development District and "LI"

Light Industrial District and is undeveloped.

#### HISTORY OF TRACT AND SURROUNDING AREA:

The subject property was zoned "I-2" Heavy Industrial District prior to the 1984 City Rezoning. The property to the north was zoned "R-1" Single Family District prior to the 1984 City Rezoning. At a February 3, 1997 meeting the Council approved a zone change (Z97-20) and a conditional use permit (CU97-73) on the subject site rezoning approximately 14.34 acres from "PCD" Planned Commerce Development District to "LI" for outside storage in conjunction with an office/warehouse development that never materialized.

#### SURROUNDING ZONING AND EXISTING LAND USE:

- NORTH: "R-7.5" Single Family District and D/FW International Airport—vacant undeveloped property and vacant undeveloped airport property
- SOUTH: City of Euless
- EAST: D/FW International Airport—vacant undeveloped property
- WEST: State Highway 360 right-of-way

#### AIRPORT IMPACT:

A portion of the subject tract is not located within any of the noise zones as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map and an approximate equal portion of the tract is located within "Zone A" Zone of Minimal Effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" Map. Few activities will be affected by aircraft sounds in "Zone A" except for sound sensitive activities such as auditoriums, churches, schools, hospitals, and theaters. The applicant's proposal is an appropriate use in this noise zone.

#### MASTER PLAN APPLICATION:

The Master Plan designates the subject property as a Commercial land use. The applicant's proposal is not in compliance with the Master Plan.

#### THOROUGHFARE PLAN APPLICATION:

The Thoroughfare Plan does not designate this portion of Glade Road east of State Highway as a thoroughfare.

/rs

ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15

PID

GU

R-7.5

R-7.5

PCD

arrant

R-7.5

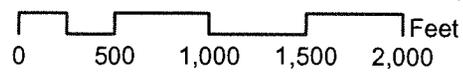
R-7.5

CN

R-5.0

CC

DALLAS-FORT WORTH  
INTERNATIONAL AIRPORT



# Z15-04/CU15-22 The Preserve

Date Prepared: 9/1/2015

This data has been compiled by the City of Grapevine I7/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.



Z15-04

ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15

# CITY OF GRAPEVINE

## ZONE CHANGE APPLICATION

### PART 1. APPLICANT INFORMATION

Applicant Name: Greystar GP II, LLC c/o Laird Spark.

Applicant Address: 600 E Las Colinas Blvd

City/State/Zip: Irving, Texas 75039

Phone No. 469.955.0400 Fax No. 469.955.0074

Email Address lsparks@greystar.com Mobile Phone 817.917.7042

Applicant's interest in subject property Purchaser

### PART 2. PROPERTY INFORMATION

Street Address of subject property n/a

Legal Description: Lot 1 & 2 Block A Addition Glade/360

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Size of subject property: acres 67.667 square footage 2,947,589

Present zoning classification LI Light Industrial District Requested zoning district R-MF-2 Multifamily District

Present use of property Vacant

Proposed use of property Multifamily Development

The applicant understands the master plan designation and the most restrictive zone that would allow the proposed use is R-MF Multifamily District

Minimum/Maximum District size for requested zoning 2 acres. Sec. 22.F.C

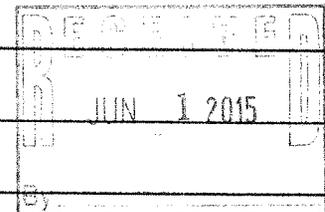
### PART 3. PROPERTY OWNER INFORMATION

Property Owner Grapevine Holdings, L.P., c/o Paul A. Gardner

Prop Owner Address 15303 Dallas Parkway, Suite 480

City/State/Zip Addison, Texas 75001

Phone No. 972.669.9955 Fax No. 972.669.9977





Z15-04

ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15

# CITY OF GRAPEVINE

## ZONE CHANGE APPLICATION

### PART 1. APPLICANT INFORMATION

Applicant Name: \_\_\_\_\_

Applicant Address: \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Phone No. \_\_\_\_\_ Fax No. \_\_\_\_\_

Email Address \_\_\_\_\_ Mobile Phone \_\_\_\_\_

Applicant's interest in subject property \_\_\_\_\_

### PART 2. PROPERTY INFORMATION

Street Address of subject property \_\_\_\_\_

Legal Description: Lot \_\_\_\_\_ Block \_\_\_\_\_ Addition \_\_\_\_\_

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Size of subject property: acres \_\_\_\_\_ square footage \_\_\_\_\_

Present zoning classification \_\_\_\_\_ Requested zoning district \_\_\_\_\_

Present use of property \_\_\_\_\_

Proposed use of property \_\_\_\_\_

The applicant understands the master plan designation and the most restrictive zone that would allow the proposed use is \_\_\_\_\_

Minimum/Maximum District size for requested zoning \_\_\_\_\_

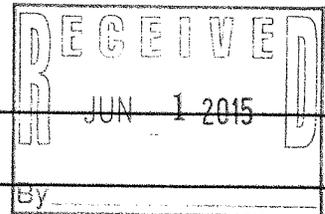
### PART 3. PROPERTY OWNER INFORMATION

Property Owner \_\_\_\_\_  
The Gardner 360 WLC Partnership - West, c/o Paul A. Gardner

Prop Owner Address \_\_\_\_\_  
15303 Dallas Parkway, Suite 480

City/State/Zip \_\_\_\_\_  
Addison, Texas 75001

Phone No. \_\_\_\_\_ Fax No. \_\_\_\_\_  
972.669.9955 972.669.9977





215-04  
ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15

# CITY OF GRAPEVINE

## ZONE CHANGE APPLICATION

### PART 1. APPLICANT INFORMATION

Applicant Name: \_\_\_\_\_

Applicant Address: \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Phone No. \_\_\_\_\_ Fax No. \_\_\_\_\_

Email Address \_\_\_\_\_ Mobile Phone \_\_\_\_\_

Applicant's interest in subject property \_\_\_\_\_

### PART 2. PROPERTY INFORMATION

Street Address of subject property \_\_\_\_\_

Legal Description: Lot \_\_\_\_\_ Block \_\_\_\_\_ Addition \_\_\_\_\_

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Size of subject property: acres \_\_\_\_\_ square footage \_\_\_\_\_

Present zoning classification \_\_\_\_\_ Requested zoning district \_\_\_\_\_

Present use of property \_\_\_\_\_

Proposed use of property \_\_\_\_\_

The applicant understands the master plan designation and the most restrictive zone that would allow the proposed use is \_\_\_\_\_

Minimum/Maximum District size for requested zoning \_\_\_\_\_

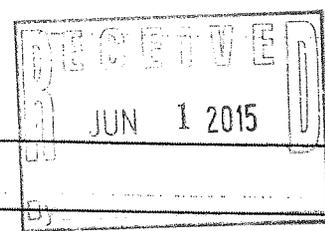
### PART 3. PROPERTY OWNER INFORMATION

Property Owner \_\_\_\_\_

Prop Owner Address \_\_\_\_\_

City/State/Zip \_\_\_\_\_

Phone No. \_\_\_\_\_ Fax No. \_\_\_\_\_



- All Zone Change Requests are assumed to be completed when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a concept plan approved with a zone change request can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for zone change request and acknowledge that all requirements of this application have been met at the time of submittal.

ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15

**PART 4. SIGNATURE TO AUTHORIZE A ZONE CHANGE REQUEST AND PLACE A ZONE CHANGE REQUEST SIGN ON THE SUBJECT PROPERTY**

Greystar GP II LLC c/o Laird Sparks  
Print Applicant's Name

*Laird Sparks*  
Applicant's Signature

The State of Texas

County of DALLAS

Before me (notary) LYNELL MANNING on this day personally appeared (applicant) Laird Sparks known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 28th day of MAY, A.D. 2015



*Lynell R. Manning*  
Notary In and For State of Texas

Grapevine Holdings, L.P, c/o Paul A. Gardner  
Print Property Owner's Name

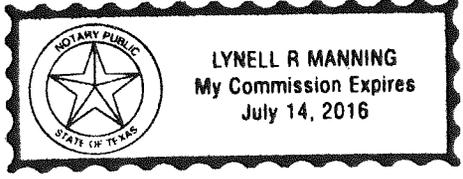
*Paul A. Gardner - manager*  
Property Owner's Signature

The State of Texas

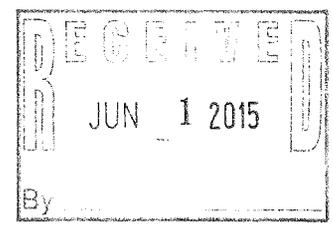
County of DALLAS

Before me (notary) LYNELL R. MANNING on this day personally appeared (applicant) Paul A. Gardner known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 28th day of MAY, A.D. 2015



*Lynell R. Manning*  
Notary In and For State of Texas



- All Zone Change Requests are assumed to be completed when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a concept plan approved with a zone change request can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for zone change request and acknowledge that all requirements of this application have been met at the time of submittal.

ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15

**PART 4. SIGNATURE TO AUTHORIZE A ZONE CHANGE REQUEST AND PLACE A ZONE CHANGE REQUEST SIGN ON THE SUBJECT PROPERTY**

Print Applicant's Name \_\_\_\_\_ Applicant's Signature \_\_\_\_\_

The State of \_\_\_\_\_

County of \_\_\_\_\_

Before me (notary) \_\_\_\_\_ on this day personally appeared (applicant) \_\_\_\_\_

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, A.D. \_\_\_\_\_

Notary In and For State of \_\_\_\_\_

The Gardner 360 WLC Partnership - West, c/o Paul A. Gardner  
Print Property Owner's Name

*Paul A. Gardner - manager*  
Property Owner's Signature

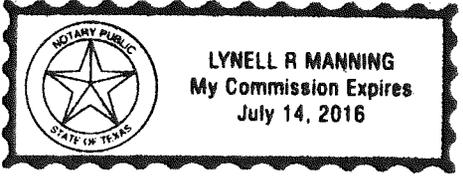
The State of Texas

County of DALLAS

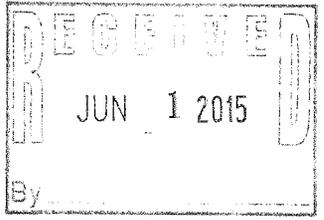
Before me (notary) *LYNELL R. MANNING* on this day personally appeared (applicant) Paul A. Gardner

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this *28th* day of *MAY*, A.D. 2015



*Lynell R. Manning*  
Notary In and For State of Texas



Z15-04

ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15

- All Zone Change Requests are assumed to be completed when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a concept plan approved with a zone change request can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for zone change request and acknowledge that all requirements of this application have been met at the time of submittal.

**PART 4. SIGNATURE TO AUTHORIZE A ZONE CHANGE REQUEST AND PLACE A ZONE CHANGE REQUEST SIGN ON THE SUBJECT PROPERTY**

\_\_\_\_\_  
 Print Applicant's Name

\_\_\_\_\_  
 Applicant's Signature

The State of \_\_\_\_\_  
 County of \_\_\_\_\_

Before me (notary) \_\_\_\_\_ on this day personally appeared (applicant) \_\_\_\_\_  
 known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, A.D. \_\_\_\_\_

\_\_\_\_\_  
 Notary In and For State of \_\_\_\_\_

KFF, Limited Partnership c/o Kathy C. Blackstone, Treasurer  
 Print Property Owner's Name

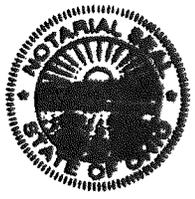
*Kathy C. Blackstone, Treasurer*  
 Property Owner's Signature

The State of OHIO  
 County of FRANKLIN

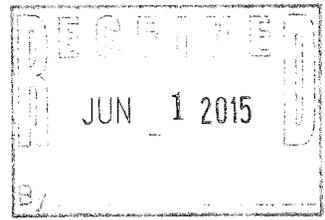
Before me (notary) *Rebecca Hendrix Blackstone* on this day personally appeared (applicant) *Kathy C. Blackstone, Treasurer*  
 known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 28th day of May, A.D. 2015

*Rebecca Hendrix Blackstone*  
 Notary In and For State of OHIO



Rebecca Hendrix Blackstone  
 Notary Public, State of Ohio  
 My Commission Expires 11-13-2015







# CITY OF GRAPEVINE

## CONDITIONAL USE APPLICATION

### Form "A"

#### PART 1. APPLICANT INFORMATION

Name of applicant / agent: / company / contact

Street address of applicant / agent:

City / State / Zip Code of applicant / agent:

Telephone number of applicant / agent:

Fax number of applicant / agent

Email address of applicant / agent

Mobile phone number of applicant / agent

#### PART 2. PROPERTY INFORMATION

Street address of subject property

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot                                      Block                                      Addition

Size of subject property

Acres

Square footage

Present zoning classification:

Proposed use of the property:

Circle yes or no, if applies to this application

Outdoor speakers    Yes    No

Minimum / maximum district size for conditional use request:

Zoning ordinance provision requiring a conditional use:

#### PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:

The Gardner 360 WLC Partnership-West, c/o Paul A. Gardner

Street address of property owner:

15303 Dallas Parkway, Suite 480

City / State / Zip Code of property owner:

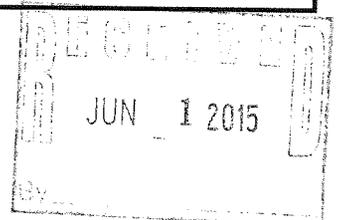
Addison, Texas 75001

Telephone number of property owner:

972.669.9955

Fax number of property owner:

972.669.9977





- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.

- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

**PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY**

Greystar GP II LLC c/o Laird Sparks

*Laird Sparks*

Print Applicant's Name:

Applicant's Signature:

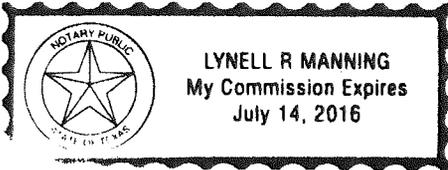
The State of Texas

County Of DALLAS

Before Me LYNELL R. MANNING on this day personally appeared Laird Sparks  
(notary) (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 28th day of MAY, A.D. 2015



*Lynell R. Manning*  
Notary In And For State Of Texas

Grapevine Holdings, L.P., c/o Paul A. Gardner

*Paul A. Gardner - manager*

Print Property Owners Name:

Property Owner's Signature:

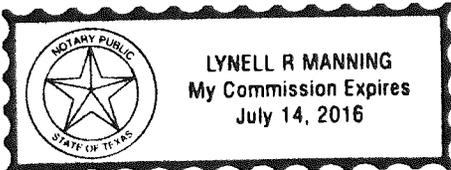
The State Of Texas

County Of DALLAS

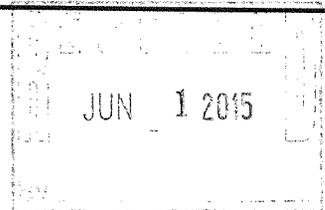
Before Me LYNELL R. MANNING on this day personally appeared Paul A. Gardner  
(notary) (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 28th day of MAY, A.D. 2015



*Lynell R. Manning*  
Notary In And For State Of Texas



- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
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- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

**PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY**

Print Applicant's Name: \_\_\_\_\_ Applicant's Signature: \_\_\_\_\_

The State of \_\_\_\_\_

County Of \_\_\_\_\_

Before Me \_\_\_\_\_ on this day personally appeared \_\_\_\_\_  
(notary) (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, A.D. \_\_\_\_\_.

Notary In And For State Of Texas

The Gardner 360 WLC Partnership-West,  
c/o Paul A. Gardner

*Paul A. Gardner - manager*  
Property Owner's Signature:

Print Property Owners Name:

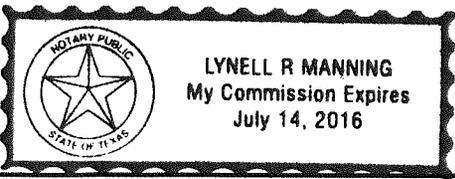
The State Of Texas

County Of DALLAS

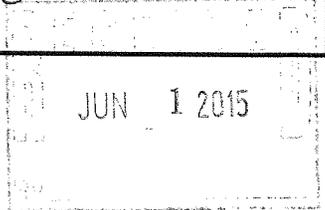
Before Me LYNELL R. MANNING on this day personally appeared Paul A. Gardner  
(notary) (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 28th day of MAY, A.D. 2015.



*Lynell R. Manning*  
Notary In And For State Of Texas



- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
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- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

**PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY**

Print Applicant's Name: \_\_\_\_\_ Applicant's Signature: \_\_\_\_\_

The State of \_\_\_\_\_

County Of \_\_\_\_\_

Before Me \_\_\_\_\_ on this day personally appeared \_\_\_\_\_  
(notary) (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, A.D. \_\_\_\_\_.

\_\_\_\_\_  
Notary In And For State Of Texas

KFF, Limited Partnership c/o  
Kathy C. Blackstone, Treasurer

X Kathy C Blackstone Treasurer  
Property Owner's Signature: \_\_\_\_\_

Print Property Owners Name:

The State Of OHIO

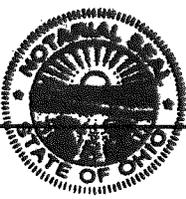
County Of FRANKLIN

Before Me Rebecca Hendrix Blackstone on this day personally appeared Kathy C. Blackstone, its  
(notary) (property owner) Treasurer

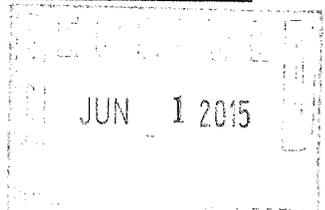
known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 28th day of May, A.D. 2015.

X Rebecca Hendrix Blackstone  
Notary In And For State Of OHIO



Rebecca Hendrix Blackstone  
Notary Public, State of Ohio  
My Commission Expires 11-13-2015



"C1" Light Industrial to  
"R-MF" Multi-family District

LEGAL DESCRIPTION  
(TRACT 1)

Being a parcel of land located in the City of Grapevine, Tarrant County, Texas a part of the Green W. Minter Survey, Abstract Number 1083, and being all of that called 14.324 acre tract of land described in deed to KFF Limited Partnership, an Ohio limited partnership as recorded in Volume 14006, Page 43, Tarrant County Deed Records, and being further described as follows:

BEGINNING at a highway monument with an aluminum disc found at southwest corner of said 14.324 acre tract, said point also being at the intersection of the north right-of-way of Glade Road (a variable width right-of-way) with the east right-of-way of State Highway 360 (a variable width right-of-way);

THENCE along the east right-of-way line of State Highway 360 as follows:

North 29 degrees 23 minutes 17 seconds West, 193.24 feet to a highway monument with an aluminum disc found for corner;

North 27 degrees 58 minutes 48 seconds West, 195.10 feet to a highway monument with an aluminum disc found for corner;

North 31 degrees 03 minutes 10 seconds West, 99.30 feet to a highway monument with an aluminum disc found for corner;

North 41 degrees 19 minutes 29 seconds West, 104.66 feet to a highway monument with an aluminum disc found for corner;

Northwesterly, 399.12 feet along a curve to the right having a central angle of 06 degrees 02 minutes 03 seconds, a radius of 3789.72 feet, a tangent of 199.74 feet, and whose chord bears North 28 degrees 10 minutes 40 seconds West, 398.93 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

North 25 degrees 24 minutes 31 seconds West, 26.27 feet to a highway monument with an aluminum disc found for corner;

North 02 degrees 57 minutes 29 seconds East, 52.70 feet to a highway monument with an aluminum disc found for corner;

North 24 degrees 54 minutes 48 seconds West, 21.60 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner, said point being the northwest corner of said 14.324 acre tract, said point also being the southwest corner of that called 23.918 tract of land described in deed to The Gardner 360 WLC Partnership-West as recorded in Volume 15348, Page 75, Tarrant County Deed Records;

THENCE North 88 degrees 51 minutes 25 seconds East, 877.39 feet to a five-eighths inch iron rod found for corner, said point being the northeast corner of said 14.324 acre tract, said point being the southeast corner of said 23.918 acre tract, said point also being in the west line of the Dallas/Fort Worth International Airport;

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PZ ITEM #5, 14 & 15

THENCE South 00 degrees 00 minutes 54 seconds East, 993.83 feet along the west line of the Dallas/Fort Worth International Airport to a monument with brass disc found for corner, said point being the southeast corner of said 14.324 acre tract, said point also being in the north right-of-way line of Glade Road;

THENCE along the north right-of-way line of Glade Road as follows:

West, 234.43 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

North 79 degrees 23 minutes 48 seconds West, 132.59 feet to the POINT OF BEGINNING and containing 624,491 square feet or 14.336 acres of land.

"This document was prepared under 22 TAC 663.23, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared."

LEGAL DESCRIPTION  
(TRACT 2)

"PCD" Planned Commerce Dev. District to  
"R-MF" Multi-family District.

Being a parcel of land located in the City of Grapevine, Tarrant County, Texas a part of the Elijah C. Clary Survey, Abstract Number 323, and being a part of the Green W. Minter Survey, Abstract 1083, and being all of that called 23.918 tract of land described in deed to The Gardner 360 WLC Partnership-West as recorded in Volume 15348, Page 75, Tarrant County Deed Records, and also being all of that called 30.341 acre tract of land described in deed to Grapevine Holdings Ltd as recorded in Volume 16182, Page 9, Tarrant County Deed Records, and being further described as follows:

COMMENCING at a highway monument with an aluminum disc found at the southwest corner of that called 14.324 acre tract of land described in deed to KFF Limited Partnership, an Ohio limited partnership as recorded in Volume 14006, Page 43, Tarrant County Deed Records, said point also being at the intersection of the north right-of-way of Glade Road (a variable width right-of-way) with the east right-of-way of State Highway 360 (a variable width right-of-way);

THENCE along the east right-of-way line of State Highway 360 as follows:

North 29 degrees 23 minutes 17 seconds West, 193.24 feet to a highway monument with an aluminum disc found for corner;

North 27 degrees 58 minutes 48 seconds West, 195.10 feet to a highway monument with an aluminum disc found for corner;

North 31 degrees 03 minutes 10 seconds West, 99.30 feet to a highway monument with an aluminum disc found for corner;

North 41 degrees 19 minutes 29 seconds West, 104.66 feet to a highway monument with an aluminum disc found for corner;

Northwesterly, 399.12 feet along a curve to the right having a central angle of 06 degrees 02 minutes 03 seconds, a radius of 3789.72 feet, a tangent of 199.74 feet, and whose chord bears North 28 degrees 10 minutes 40 seconds West, 398.93 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

North 25 degrees 24 minutes 31 seconds West, 26.27 feet to a highway monument with an aluminum disc found for corner;

North 02 degrees 57 minutes 29 seconds East, 52.70 feet to a highway monument with an aluminum disc found for corner;

North 24 degrees 54 minutes 48 seconds West, 21.60 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner, said point being the northwest corner of said 14.324 acre tract, said point being the southwest corner of said 23.918 acre tract, said point also being the POINT OF BEGINNING of this tract of land;

THENCE continuing along the east right-of-way line of State Highway 360 as follows:

North 25 degrees 05 minutes 05 seconds West, 40.30 feet to a highway monument with an aluminum disc found for corner;

North 81 degrees 25 minutes 40 seconds West, 30.15 feet to a highway monument with an aluminum disc found for corner;

North 25 degrees 10 minutes 36 seconds West, 1585.93 feet to a one-half inch iron rod found for corner, said point being the northwest corner of said 23.918 acre tract, said point also being the southwest corner of said 30.341 acre tract;

North 25 degrees 09 minutes 27 seconds West, 1325.10 feet to a highway monument with an aluminum disc found for corner;

Northwesterly, 565.29 feet along a curve to the left having a central angle of 16 degrees 41 minutes 47 seconds, a radius of 1939.85 feet, a tangent of 284.66 feet, and whose chord bears North 33 degrees 31 minutes 42 seconds West, 563.29 feet to a highway monument with an aluminum disc found for corner;

North 41 degrees 52 minutes 35 seconds West, 50.00 feet to a highway monument with an aluminum disc found for corner;

Northwesterly, 233.37 feet along a curve to the right having a central angle of 41 degrees 47 minutes 08 seconds, a radius of 320.00 feet, a tangent of 122.15 feet, and whose chord bears North 20 degrees 59 minutes 09 seconds West, 228.24 feet to a highway monument with an aluminum disc found for corner;

North 00 degrees 05 minutes 35 seconds West, 68.58 feet to a highway monument with an aluminum disc found for corner;

North 89 degrees 17 minutes 09 seconds West, 21.89 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner in the east right-of-way line of Euless-Grapevine Road per a street right-of-way deed to the City of Grapevine as recorded in Document Number D205161589, Tarrant County Deed Records;

THENCE along the east right-of-way line of Euless-Grapevine Road as follows:

North 14 degrees 16 minutes 31 seconds West, 126.04 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

North 00 degrees 32 minutes 19 seconds West, 286.88 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;

North 06 degrees 59 minutes 09 seconds East, 62.50 feet to a five-eighths inch iron rod with yellow cap stamped "SURVCON INC." found for corner;

North 00 degrees 08 minutes 35 seconds East, 51.65 feet to a point for corner in the centerline of Bear Creek, said point also being in the west line of the Dallas/Fort Worth International Airport;

THENCE along the centerline of Bear Creek and the east line of said 30.341 acre tract and the west line of the Dallas/Fort Worth International Airport as follows:

South 65 degrees 26 minutes 08 seconds East, 325.18 feet to a point for corner;

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South 05 degrees 58 minutes 30 seconds East, 155.70 feet to a point for corner;  
South 24 degrees 02 minutes 30 seconds East, 163.50 feet to a point for corner;  
South 45 degrees 26 minutes 30 seconds East, 49.50 feet to a point for corner;  
South 65 degrees 14 minutes 30 seconds East, 93.90 feet to a point for corner;  
South 12 degrees 58 minutes 30 seconds East, 138.30 feet to a point for corner;  
South 05 degrees 53 minutes 30 seconds West, 135.80 feet to a point for corner;  
South 44 degrees 39 minutes 30 seconds East, 258.10 feet to a point for corner;  
South 33 degrees 24 minutes 30 seconds East, 220.50 feet to a point for corner;  
South 50 degrees 22 minutes 30 seconds East, 287.50 feet to a point for corner;  
North 71 degrees 31 minutes 30 seconds East, 268.20 feet to a point for corner;  
South 11 degrees 40 minutes 30 seconds East, 154.00 feet to a point for corner;  
South 17 degrees 59 minutes 30 seconds West, 53.80 feet to a point for corner;  
South 09 degrees 58 minutes 30 seconds East, 145.00 feet to a point for corner;  
South 38 degrees 11 minutes 30 seconds East, 129.00 feet to a point for corner;  
South 40 degrees 53 minutes 30 seconds East, 115.60 feet to a point for corner;  
South 08 degrees 02 minutes 30 seconds West, 67.70 feet to a point for corner;  
South 49 degrees 56 minutes 30 seconds West, 271.30 feet to a point for corner;  
South 20 degrees 44 minutes 30 seconds West, 85.80 feet to a point for corner;  
South 49 degrees 26 minutes 30 seconds East, 263.70 feet to a point for corner;  
South 73 degrees 47 minutes 30 seconds East, 101.20 feet to a point for corner;  
South 42 degrees 36 minutes 12 seconds East, 146.00 feet to a point for corner;  
South 29 degrees 26 minutes 25 seconds West, 100.00 feet to the northeast corner of said  
23.918 acre tract of land;

THENCE continuing along the centerline of Bear Creek and the east line of said 23.918 acre tract and the west line of the Dallas/Fort Worth International Airport as follows:

South 20 degrees 23 minutes 40 seconds West, 54.55 feet to a point for corner;  
South 40 degrees 58 minutes 41 seconds East, 130.10 feet to a point for corner;  
South 14 degrees 34 minutes 30 seconds East, 99.40 feet to a point for corner;  
South 21 degrees 54 minutes 48 seconds East, 222.15 feet to a point for corner;  
South 44 degrees 08 minutes 29 seconds East, 375.19 feet to a point for corner;  
South 39 degrees 37 minutes 45 seconds East, 95.97 feet to a point for corner;  
South 65 degrees 07 minutes 45 seconds East, 176.46 feet to a point for corner;  
South 20 degrees 43 minutes 45 seconds East, 212.81 feet to a point for corner;  
South 48 degrees 50 minutes 35 seconds East, 144.20 feet to a point for corner;  
South 79 degrees 25 minutes 45 seconds East, 205.58 feet to a point for corner;

THENCE continuing along the east line of said 23.918 acre tract and the west line of the Dallas/Fort Worth International Airport as follows:

South 01 degrees 20 minutes 13 second West, 30.64 feet to a point for corner;

ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15

South 01 degrees 06 minutes 45 seconds East, 239.36 feet to a five-eighths inch iron rod found at the southeast corner of said 23.918 acre tract, said point also being the northeast corner of said 14.324 acre tract;

THENCE South 88 degrees 51 minutes 25 seconds West, 877.39 feet to the POINT OF BEGINNING and containing 2,327,023 square feet or 53.421 acres of land.

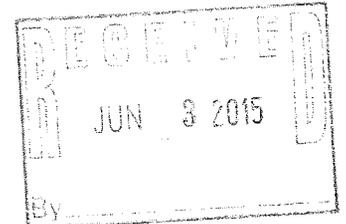
"This document was prepared under 22 TAC 663.23, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared."

DFW  
ITEM #5, 27 & 38  
PZ ITEM #5, 14 & 15

DALLAS/FORT WORTH INTERNATIONAL AIRPORT  
ENVIRONMENTAL AFFAIRS DEPARTMENT  
3200 EAST AIRFIELD DRIVE, P.O. BOX 619426  
DFW AIRPORT, TEXAS 75261-9426  
[www.dfwairport.com](http://www.dfwairport.com)  
T 972-973-5560 F 972 973 5561

May 31, 2015

Mr. Paul Gardner  
Silver Tree Partners, Inc.  
15303 Dallas Parkway  
Suite 480  
Addison, TX 75001



RE: Proposed Residential Development, The Preserve, at west side of Hwy 360 between  
Glade Road and Westport Parkway

Dear Mr. Gardner:

Thank you for being proactive in bringing your proposed use of the referenced site to the Airport for comment. On 13 August 2014 you and I met to discuss your proposed project now named "The Preserve". At that time the development was envisioned as a moderately dense residential plan with possible mixed residential use. As I understand it the project is now high density, about 600 units, rental residential, in three story townhome format, the revised plan being of significant concern to DFW Airport.

The Airport is extremely sensitive to residential projects proposed within the Airport's noise overlay and adjacent to it. In this case the Airport's principal concern is that an incompatible use is being proposed for a unique location that, though located adjacent to the noise overlay, it is proximate to significant airport-related activities as described herein.

**Site's Relation to Noise Contour:** The property abuts the Airport property and the 65DNL noise contour which was promulgated by the North Central Texas Council of Governments to the cities surrounding DFW and adopted by the City of Grapevine as Ordinance 78-2. FAA land use guidelines specify residential development as being incompatible within the 65dB DNL contour of the noise overlay. Because of the property's unique position relative to the DFW Airport, it would be inappropriate to rely solely on the noise contour for a determination of the compatibility of the townhouse development proposed. A graphic is enclosed showing some of the facilities and activities that could negatively affect the inhabitants of The Preserve.

**Proximity to DFW Operations:** The proposed development is proximate to the arrival and departure activities of three of DFW Airport's runway ends at between 0.7 and 1.3 mile from the proposed project. These runways have combined air operations of 700 to 900 flights a day. While turbo-jets operating on the three runways will not normally overfly the property, the roar of the thrust reverse of arriving aircraft and the low-frequency vibration and rumble of departing jets will frequently propagate off-airport to the immediate environs, depending on wind and weather conditions. Turbo-prop aircraft will overfly the property. Typically 6 to 12 overflights at altitudes of only 1000 to 2000 feet will occur on days with southerly winds, roughly 70% of the year.

In addition to the aircraft noise described above there are the noise and vibration associated with aircraft engine maintenance activities, including engine run-ups. The current engine run-up policy positions aircraft at the airline maintenance hangars located just 1.3 miles northeast of the subject property. Engine tests are often unscheduled, are performed on an as-needed basis, typically late at night, and can last anywhere from a few moments to much longer periods.

In addition to aircraft noise there are the unique impacts of two training facilities. DFW's Fire Training and Research Center is about half a mile east of the proposed Preserve site. Field training there consists of various aircraft fire sessions using propane and diesel fuels. These training sessions frequently produce black smoke during the period of the exercises. (See DFW's website for more information on DFW's Fire Training Research Center: [https://www.dfwairport.com/inthecommunity/fire\\_training\\_activity.php](https://www.dfwairport.com/inthecommunity/fire_training_activity.php)). The site is also proximate to the DFW Department of Public Safety's firing and explosives range, about 0.75 mile southeast of the Preserve site. This facility is used regularly by DFW's DPS personnel, local cities and federal agencies for firearms and explosives training. The noise from these training sessions is distinctive.

It is DFW Airport's position that residential occupancies are not the best use of the site for the reasons stated herein. DFW Airport urges all parties, including the City of Grapevine, to consider these factors in decisions regarding the proposed rezoning and development. If, despite DFW's position, the decision is made to rezone and allow residential occupancies on this property, DFW Airport staff recommend the following actions be taken:

1. Dedication of an avigation easement to the City of Grapevine, the Dallas-Fort Worth International Airport Board, and the Cities of Dallas and Fort Worth, on the plat and by separate instrument, in a form acceptable to the City of Grapevine, DFW Airport and the Cities of Dallas and Fort Worth.
2. Design and construction of the buildings in order to achieve a noise reduction of at least 25 dB outdoor to indoor. The attenuation efforts should be evidenced on design drawings and stamped and sealed by a professional engineer/architect licensed in the State of Texas. Such evidence should be provided to the City prior to the issuance of a building permit(s) and Certificate(s) of Occupancy.
3. Full disclosure of the proximity of DFW's industrial activities be made to all first time and subsequent purchasers of the residential units. It should be noted that the level of noise reduction recommended above might not be adequate to negate the vibration associated with the low-frequency rumble of jet departures.

Should you have any questions regarding the Airport's position on this matter, please feel free to contact me at 972-973-5570, Monday through Friday, from 8:30 a.m. to 5:00 p.m.

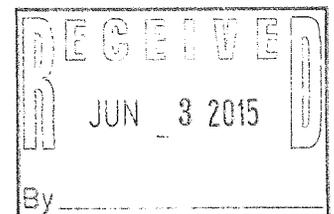
Sincerely,



H Holden  
Noise Compatibility Planner

With Attachments

Cc: Bruno Rumbelow, City of Grapevine  
Robert Horton, DFW Environmental Affairs Dept.  
Ron Stombaugh, Senior Planner, City of Grapevine  
Sandra J. Lancaster, DFW Environmental Affairs Dept.



1985-65 DNL-NCT

1992-65 DNL-EIS

GRAPEVINE

Proposed Site of  
The Preserve

MEGETO  
JUN 3 2015  
BY

DFW Industrial Activities Adjacent to the Proposed Site of The Preserve

The proposed site is between 0.7 and 1.3 miles from three active runways, two of which are among the world's busiest. Residents at the site would experience both departure takeoff blast and landing reverse thrust noise as well as periodic nighttime jet maintenance run-up noise from the hangar ramp areas.

The proposed site will be overflowed by turboprop departures at 1000 to 2000 feet during south flow, about 70% of the time.

The site is about 0.5 mile west of the DFW Fire Training and Research Center. Byproducts of the field training are large columns of black smoke. It is also about 0.7 mile from the DPS Firing and Explosives Range which produces a distinct array of noises.



The Airport has received and continues to receive calls regarding noise from its activities from citizens living in Grapevine and Colleyville, west across Hwy 360 from the site.

JUN 3 2015

ORDINANCE NO. \_\_\_\_\_

*The Preserve*

AN ORDINANCE AMENDING ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE OF GRAPEVINE, TEXAS, GRANTING ZONING CHANGE Z15-04 ON A TRACT OF LAND OUT OF THE GREEN W. MINTER SURVEY, ABSTRACT 1083, AND THE ELIJAH C. CLARY SURVEY, ABSTRACT 323 DESCRIBED AS BEING A TRACT OF LAND LYING AND BEING SITUATED IN THE CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS MORE FULLY AND COMPLETELY DESCRIBED IN THE BODY OF THIS ORDINANCE; ORDERING A CHANGE IN THE USE OF SAID PROPERTY FROM "LI" LIGHT INDUSTRIAL DISTRICT AND "PCD" PLANNED COMMERCE DEVELOPMENT DISTRICT REGULATIONS TO "R-MF" MULTI-FAMILY DISTRICT REGULATIONS; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND A ZONING CHANGE AND AMENDMENT THEREIN MADE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE, AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED EACH DAY DURING OR ON WHICH AN OFFENSE OCCURS OR CONTINUES; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, applications were made to amend the Official Zoning Map, City of Grapevine, Texas by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas as required by State statutes and the zoning ordinances of the City of Grapevine, Texas and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas after all legal notices, requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas at a public hearing called by the City Council did consider the following factors in making a determination as to whether these requested changes should be granted or denied; safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control, protection of adjacent property from flood or water damages, noise producing elements and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood,

location, lighting and types of signs and relation of signs to traffic control and adjacent property, street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood, adequacy of parking as determined by requirements of this ordinance for off-street parking facilities, location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust, effect on the promotion of health and the general welfare, effect on light and air, the effect on the transportation, water sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas at a public hearing called by the City Council of the City of Grapevine, Texas did consider the following factors in making a determination as to whether this requested change should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, the effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, the City Council further considered among other things the character of the district and its peculiar suitability for particular uses and with the view to conserve the value of buildings, encourage the most appropriate use of land throughout this city; and

WHEREAS, the City Council of the City of Grapevine, Texas does find that there is a public necessity for the zoning change, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and does find that the change in zoning lessens the congestion in the streets, helps secure safety from fire, panic and other dangers; promotes health and the general welfare; provides adequate light and air; prevents the overcrowding of land; avoids undue concentration of population; facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas has determined that there is a necessity and need for this change in zoning and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified; and, therefore, feels that a change in zoning classification for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas and helps promote the general health, safety, and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City of Grapevine Ordinance No. 82-73, being the Comprehensive Zoning Ordinance of the City of Grapevine, Texas same being also known as Appendix "D" of the City Code of Grapevine, Texas, be, and the same is hereby amended and changed by Zoning Application Z15-04 to rezone the following described property to-wit: being a 14.34 acre tract of land out of the Green W. Minter Survey, Abstract 1083, and a 53.42 acre tract of land out of the Elijah C. Clary Survey, Abstract 323, Tarrant County, Texas (Lots 1 and 2, Block A, Glade/360 Addition (4501 State Highway 360)), which was previously zoned "LI" Light Industrial District and "PCD" Planned Commerce Development District Regulations, respectively, is hereby changed to "R-MF" Multi-Family District Regulations, all in accordance with Comprehensive Zoning Ordinance No. 82-73, as amended.

Section 2. The City Manager is hereby directed to correct the official zoning map of the City of Grapevine, Texas to reflect the herein change in zoning.

Section 3. That in all other respects, the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinances and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future, to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to

exceed two thousand dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of September, 2015.

APPROVED:

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ATTEST:

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APPROVED AS TO FORM:

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ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE ISSUING A CONDITIONAL USE PERMIT IN ACCORDANCE WITH SECTION 48 OF ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE, BY GRANTING CONDITIONAL USE PERMIT CU15-22, TO EXCEED THE MAXIMUM HEIGHT LIMIT OF TWO STORIES OR 35 FEET IN A DISTRICT ZONED "R-MF" MULTI-FAMILY DISTRICT REGULATIONS, ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED UPON EACH DAY DURING OR ON WHICH A VIOLATION OCCURS; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected

to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU15-22 to exceed the maximum height limit of two stories or 35 feet, in a district zoned "R-MF" Multi-Family District Regulations within the following described property: Lots 1 and 2, Block A, Glade/360 Addition (4501 State Highway 360) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safely from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of September, 2015.

APPROVED:

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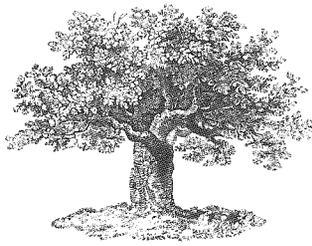
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ATTEST:

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APPROVED AS TO FORM:

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ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15

SILVER TREE PARTNERS

May 28, 2015

Members of Grapevine City Council  
and Members of Grapevine P&Z  
City of Grapevine  
200 S. Main St.  
Grapevine, TX 76051

Dear City Council and P&Z Members,

Silver Tree Partners and Greystar respectfully request your approval for The Preserve, a Master Planned Community. The Preserve will contain 714 units comprised of Brownstones, Urban Flats, and Breezeway Flats on land currently zoned PCD and Industrial, located on the east side of Highway 360 and Glade Road. Our Zoning Request is to allow for developing upon 28 acres out of the 68 acre tract. Total coverage of slightly over 10 units per acre allows for 40 acres of scenic trails, picnic areas, dog parks, and natural terrain. There truly is no site better suited for this type of development within the City of Grapevine.

Our property is a mile long and very narrow, with many topographic, flood plain and development issues. The current zoning is not suitable for office, retail, or just about any other commercial use except possibly auto or self-storage, both of which have rejected this site numerous times. Over the past 15 years we have contacted hundreds if not a thousand end users about this land. Qualified parties have shown no interest largely due to the 3 mile demographic ring, as well as the many development issues including the cost of bringing water across and along Highway 360.

The Preserve will not adversely affect any Grapevine property owner since it is bordered to the west by 700 feet of highway from the adjacent land owners. The only land owner to the north will be over 2,500 feet from the nearest structure. And, to the east and south are over 350 acres of undevelopable DFW Airport land. Neither will traffic be an issue. TXDOT counts both the Service Road and Glade Road as having less than 5,000 vehicles per day.

Since this is the southern entrance to the City, architecturally a great amount of detail has gone into designing and landscaping. The Preserves exteriors are representative of the Grapevine community, using a color pallet which is pleasing and visually fitting with that of the City. The interiors are similar or superior to a single family custom dwelling. Since this is Grapevine, every unit even has a wine cooler. Some of the community amenities include a one mile walking trail, aqua massage bed, 24 hour fitness center, package delivery room, business center with computers and conference room with audio/visual capability. Once developed, The Preserve could very well be a community the City of Grapevine uses as a template for future high-end density housing.

Valued at over \$180,000 per unit and \$130 Million upon completion, this development will pay approximately \$3.5 Million per year in taxes. And, please notice that our application request is seeking no city infrastructure cost, contributions or incentives. Millions in school taxes will be generated while adding only a few students because the resident profile is that of young professionals, empty nesters, nurses, police officers, lawyers, school teachers, and naturally airport employees. Those in need of a one or two bedroom housing accommodation will find the Preserve fulfills their needs and more.

The Conditional Use Request is to allow for 3 story structures not to exceed 44 feet which allows for an attractive pitched roof. The site drops 45-50 feet toward the airport and because of the drop in topography this site is restricted in developing buildings with large footprints. Once developed, visually The Preserve will look much like 2 story buildings. Incorporating the natural topography and terrain in the development makes The Preserve unlike other cookie cutter communities; rather, it will be more like hotel style living in a City that is known for its hospitality.

We have worked hard over the past year with City Staff to ensure that every concern the City of Grapevine might have was addressed and resolved properly. The Preserve is a well thought out, well planned, and with your permission will be a very well built and attractive development. We would greatly appreciate your approval, not only for ourselves but, for the current and future citizens of Grapevine.

Thank you for your consideration,



Paul A. Gardner

References Enclosed

LOCAL REFERENCES

In reference to Silver Tree's ability, follow through to detail, as well as our reputation in developing quality projects, please contact:

Phyllis Jarrell  
Director of Special Projects  
City of Plano  
972-941-7435

Tina Firgens  
Planning Projects Manager  
City of Richardson  
972-744-4242

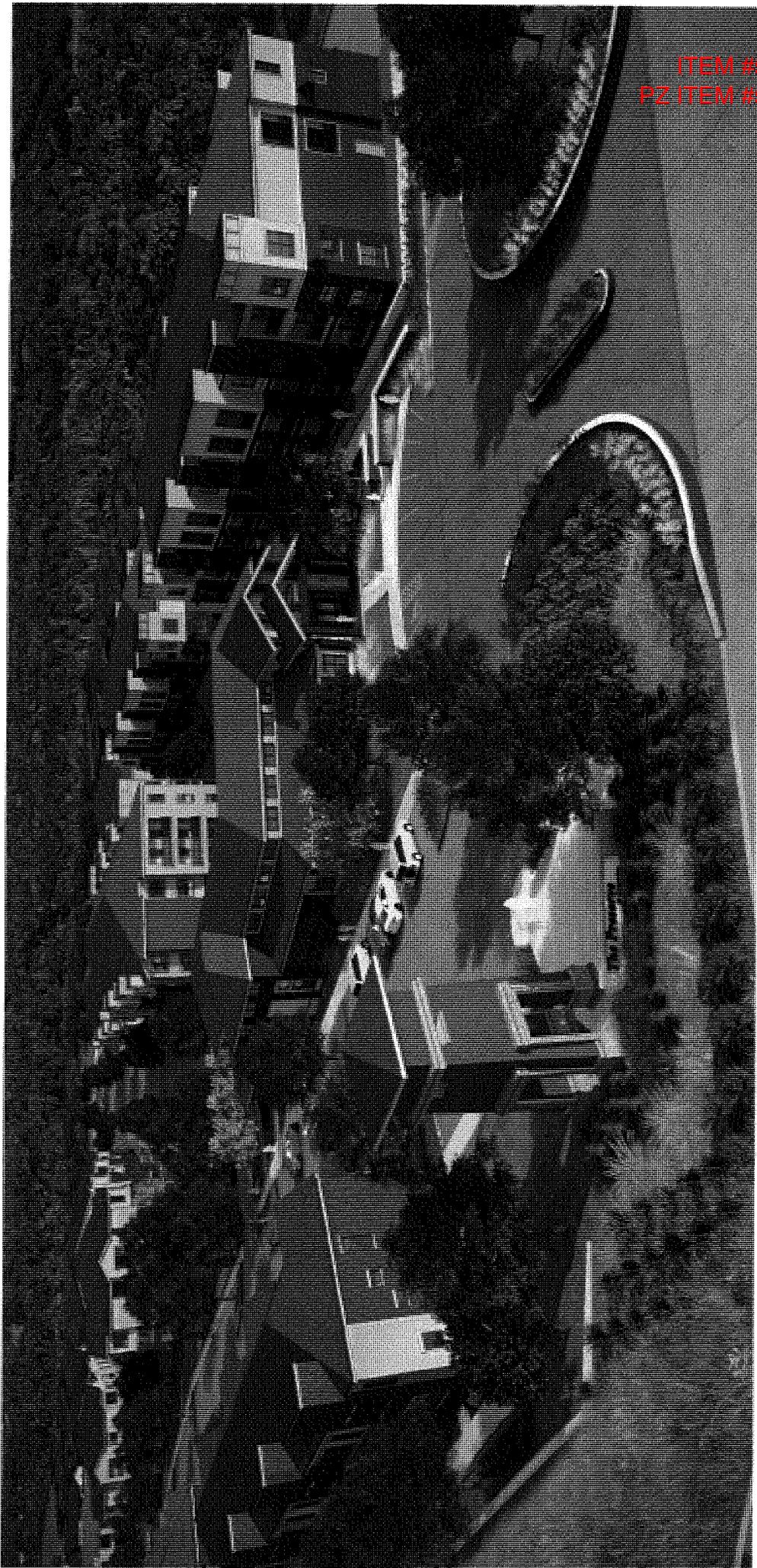
Both of these women are in charge of overall planning and zoning for their respective cities, and will be happy to discuss working with us and our companies past performance.

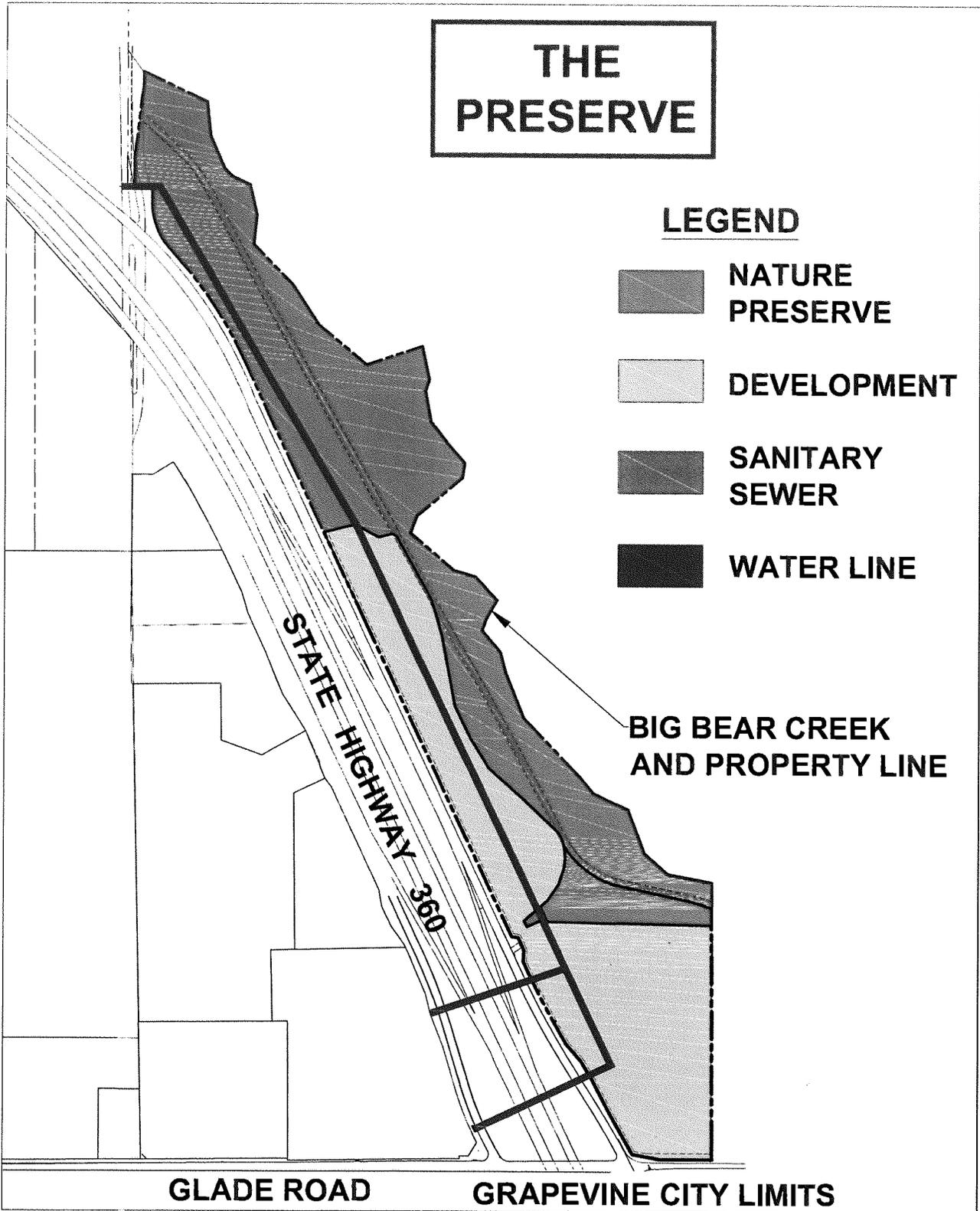
Evidence of Greystar's quality in design and construction may be viewed by visiting their nearest development, Lakeside on 2499 in Flower Mound or by contacting:

Doug Powell  
Executive Director of Development  
City of Flower Mound  
972-874-6351

These individuals will be able to discuss recent SilverTree and Greystar developments within their communities. Please feel free to contact any of them at your convenience.

ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15





September 2, 2015



Andrew Ord  
Senior Director, Development  
Greystar  
600 East Las Colinas Blvd., Suite 2100  
Dallas, TX 75039

o 972.444.2197  
[aord@greystar.com](mailto:aord@greystar.com)

Re: Commentary on Aircraft Noise Impact to  
**Greystar – The Preserve**  
**4500 Texas Hwy 360** (between Glade Road and Westport Parkway)  
Grapevine, Texas

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## TECHNICAL MEMORANDUM

Greystar has requested that SLR International review and comment on the aircraft noise impact to the proposed multi-family project called The Preserve located near DFW airport. Based upon our understanding, the proposed project site is between 1 and 1.5 miles from three active runways at DFW. The subject site is located just outside the 1985 65 dBA DNL (or Ldn) noise contour and roughly .33 to .5 miles outside the 1992 65 dBA DNA (or Ldn) noise contour. Per Federal Aviation Administration (FAR) Part 150, Section A150.101;

(d) For the purpose of compliance with this part, all land uses are considered to be compatible with noise levels less than  $L_{dn}$  65 dB. Local needs or values may dictate further delineation based on local requirements or determinations.

SLR has extensive experience with residential/multi-family projects and specifically the evaluation of environmental noise sources (including airports) to determine construction assemblies that limit the environmental sound levels to meet an industry standard of 45 dBA Ldn on the interior. We can also provide assemblies to comply with a minimum noise level reduction (NLR) of 25 decibels, outdoor to indoor, as requested by the airport in Mr. Holden's May 31, 2015 letter, which in this case should result in interior sound levels less than 45 dBA Ldn.

Based on preliminary observations, we feel strongly that we can, at a minimum, deliver technical specification and acoustical assemblies that will meet the sound metrics noted above. The project sits outside both of the recorded noise contours and we have had success on other projects in similar situations. One specific project that was highly successful was a project we worked on with Greystar roughly a mile away from Dallas Love Field and was also located adjacent to Dallas Airmotive facility. Dallas Airmotive is a commercial / light industrial facility that rebuilds and tests jet aircraft engines (turbines). Engine testing at Dallas Airmotive is

September 2, 2015  
Andrew Ord  
Greystar

Commentary on Aircraft Noise Impact  
ITEM #5, 14 & 15  
The Preserve  
PZ ITEM #5, 14 & 15  
Page 2

conducted during both daytime and nighttime hours. This project was in the 65-70 dBA DNL which required upgraded construction assemblies to provide a total NLR of 25. We developed the construction assemblies to achieve this requirement. We understand that this complex is fully leased and operating without noise complaints.

In closing, we have been highly successful in managing sound attenuation adjacent to airports with our other clients, as well as Greystar, in the recent past. These are the kinds of issues we deal with and solve on a regular basis and we feel that this project should be able to achieve the same kind of success.

Please call me if you have any questions or comments.

Sincerely,  
**SLR INTERNATIONAL CORPORATION**



Omar C. Longoria, P.E.  
Principal

500 Winstead Building  
2728 N. Harwood Street  
Dallas, Texas 75201

214.745.5400 OFFICE  
214.745.5390 FAX  
winstead.com

August 25, 2015

KIRK R. WILLIAMS  
direct dial: 214.745.5746  
[kwilliams@winstead.com](mailto:kwilliams@winstead.com)

[HHolden@dfwairport.com](mailto:HHolden@dfwairport.com)

Mr. Harvey Holden  
Noise Compatibility Planner  
Dallas/Fort Worth International Airport  
Environmental Affairs Department  
3200 East Airfield Drive  
P.O. Box 619428  
DFW Airport, TX 75261-9428

Re: Proposed Development at the NEC of SH 360 & Glade Road ("The Preserve")

Dear Mr. Holden:

I represent the owners and the prospective developer of The Preserve. I have reviewed your letter to Paul Gardner, dated May 31, 2015, and appreciate the issues raised in the letter on behalf of Dallas/Fort Worth International Airport ("DFW"). Had DFW been concerned about its adverse impact on the subject property, it could, and probably would have, acquired the site in the land assemblage for DFW.

By your own admission, The Preserve is outside the 65 dB DNL contour which is deemed to be line of demarcation for residential compatibility. Accordingly, my clients are entitled to develop the property in accordance with the rules and regulations of the City of Grapevine, Texas. They are also entitled to the quiet enjoyment of the use of said property.

My clients understand and appreciate the relationship of The Preserve to DFW. Regardless of the use of the subject property, DFW is not entitled to cause vibrations that create a nuisance, to emit unreasonable sounds, to release particulates, or to shoot firearms on, across, or over the subject site.

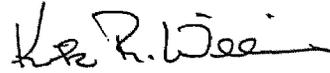
When operated reasonably, neither the DFW Fire Training and Research Center nor the DFW/DPS Firing and Explosives Range should create a nuisance. Without compliance with adequate operating guidelines, both facilities can create a safety concern to the general public. State Highway 360 and existing single-family homes are closer to the DFW/DPS Firing and Explosives Range than The Preserve will be.

Mr. Harvey Holden  
August 25, 2015  
Page 2

ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15

The Preserve intends to be a good neighbor and expects DFW to do the same. Please let me know if you have questions or need additional information. My clients and I will be glad to meet with you to discuss this in more detail if you wish.

Sincerely yours,

A handwritten signature in black ink that reads "Kirk R. Williams". The signature is written in a cursive style with a long horizontal flourish at the end.

Kirk R. Williams

KRW/plp

4830-3920-0807

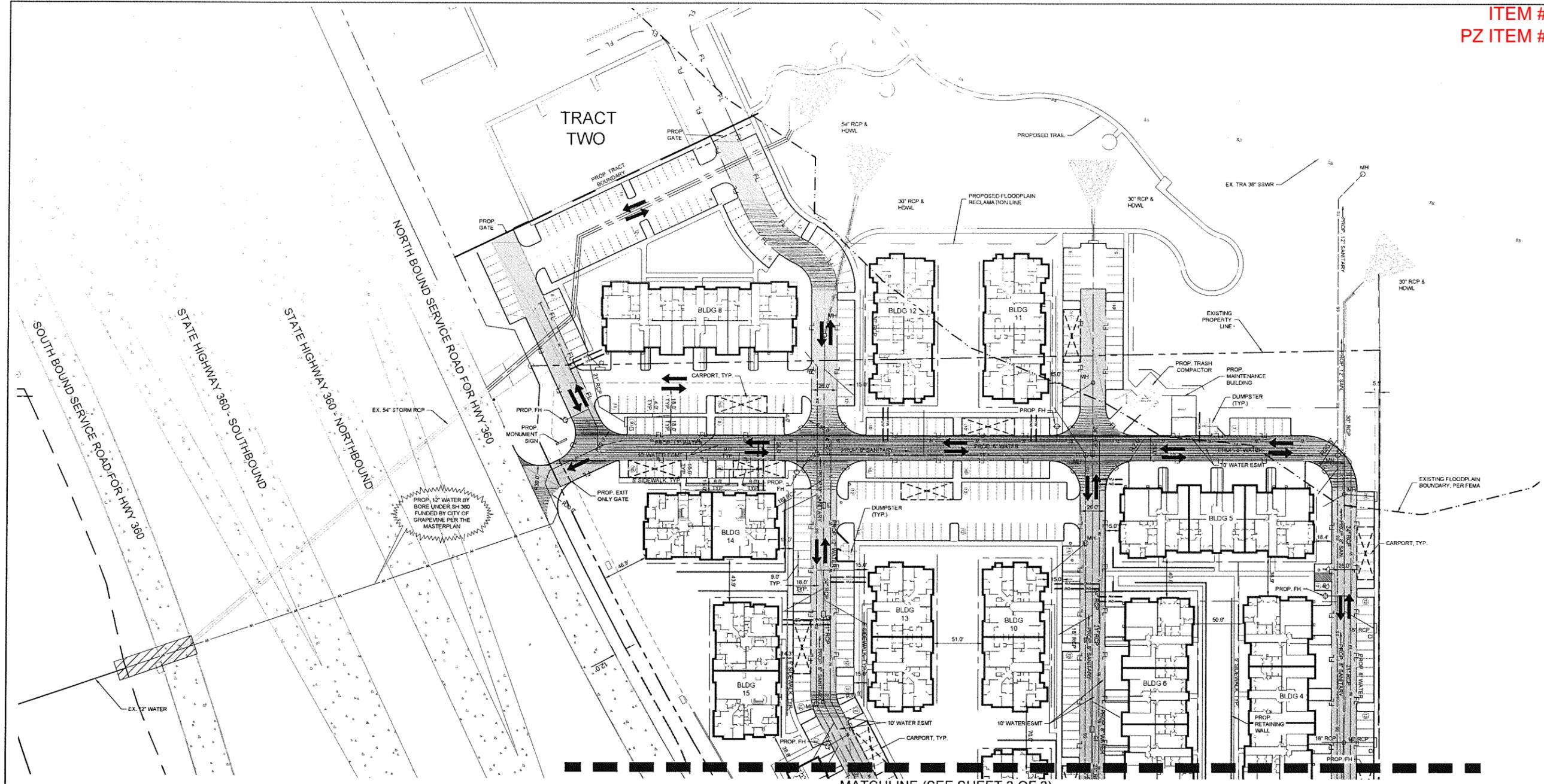
NO.	REVISIONS	DATE	BY

**Kimley»Horn**  
© 2015 KIMLEY-HORN AND ASSOCIATES, INC.  
12750 MERT DRIVE, SUITE 1000, DALLAS, TX 75251  
PHONE: 972-770-1300 FAX: 972-238-3820  
WWW.KIMLEY-HORN.COM TX-F-928

KHA PROJECT  
06771629  
DATE  
07/23/2015  
SCALE: AS SHOWN  
DESIGNED BY:  
DRAWN BY:  
CHECKED BY:

**GREYSTAR - THE PRESERVE**  
CITY OF GRAPEVINE  
TARRANT COUNTY, TEXAS

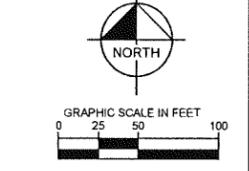
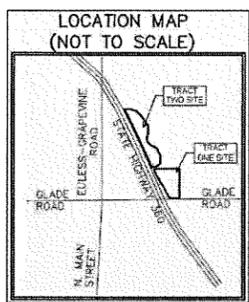
**TRACT ONE**  
SITE PLAN  
SHEET NUMBER  
1



ZONE CHANGE REQUEST Z15-04 IS A REQUEST TO REZONE 14.136 ACRES FROM 'L1' LIGHT INDUSTRIAL DISTRICT AND S3.421 ACRES FROM 'P20' PLANNED COMMERCE DEVELOPMENT DISTRICT TO 'R-MF' MULTI-FAMILY DISTRICT FOR THE DEVELOPMENT OF A TWO-PHASE 714 TOTAL UNIT MULTI-FAMILY DEVELOPMENT. CONDITIONAL USE REQUEST CU15-22 IS A REQUEST TO EXCEED THE HEIGHT REQUIREMENTS FOR THE 'R-MF' MULTI-FAMILY DISTRICT.

- DEFINITIONS:**
- BROWNSTONE: THREE STORY TOWNHOME WITH ATTACHED GARAGES AND GUEST PARKING.
  - URBAN FLATS: URBAN APARTMENT FLATS WITH TUCK UNDER CORRIDOR ACCESS GARAGE PARKING AND PEDESTRIAN ACCESS FROM BOTH SIDES.
  - BREEZEWAY FLATS: TRADITIONAL SURFACE PARKED APARTMENT WITH STAIRS AND UNITS ACCESSED FROM A COVERED BREEZEWAY WITH SELECT COVERED PARKING SPACES.
  - EFFICIENCY UNITS: ONE BEDROOM UNITS WITH NET RENTABLE AREA RANGING FROM 700 TO 950 SQ. FT.
  - NET SQ. FT.: REPRESENTS CONDITIONED SPACE.
  - GROSS SQ. FT.: REPRESENTS CONDITIONED SPACE AND UNCONDITIONED SPACE (BALCONY, EXTERIOR STORAGE CLOSET).

- NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
  - ALL RADII ARE 2' UNLESS NOTED OTHERWISE.
  - ALL FIRE HYDRANTS ARE TO BE LOCATED IN AN WATER EASEMENT.
  - HANDICAP MARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS FOR ALL LOTS.
  - ALL GATES MUST COMPLY WITH APPLICABLE FIRE CODE.
  - REFERENCE LANDSCAPE PLANS FOR INTERNAL SIDEWALK LOCATIONS AND SIZES, LANDSCAPING AREAS AND OPEN SPACE.
  - ALL BUILDING SEPARATIONS PER R-MF: FACEBACK TO FACEBACK SEPARATION IS 50' MIN AND END TO END OR FACEBACK TO END SEPARATION IS THE GREATER OF 30' MIN OR BUILDING HEIGHT.
  - REFERENCE ATTACHED GRADING PLANS FOR EXISTING AND PROPOSED TOPOGRAPHIC CONDITIONS.
  - ALL REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.
  - ALL ON-SITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.



CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 1 OF 47  
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

MEERS + PARTNERS		GREYSTAR DEVELOPMENT GROUP, LP										
UNIT TYPE	DESCRIPTION	NET	GROSS	BLDG. NO.	BLDG. TYPE	NO. OF UNITS	NET SQ. FT. PER UNIT TYPE	GROSS SQ. FT. PER UNIT TYPE	TOTAL UNITS	%	REQ. SPACES	PARKING REQ.
A1	Efficiency 1 Bdr/1 Bath	705	786	15		15	10,575	11,790				
A1a	Efficiency 1 Bdr/1 Bath	705	786	15		15	10,575	11,790				
A2	Efficiency 1 Bdr/1 Bath	710	771	4		4	2,840	3,084				
A2a	Efficiency 1 Bdr/1 Bath	710	771	4		4	2,840	3,084				
A2b	Efficiency 1 Bdr/1 Bath	710	771	4		4	2,840	3,084				
A2c	Efficiency 1 Bdr/1 Bath	710	771	4		4	2,840	3,084				
A3	1 Bdr/1 Bath	751	810	26		26	19,526	21,060	256	64%	512	1 BEDRM 2 SPACES PER UNIT
A3a	1 Bdr/1 Bath	751	810	14		14	10,514	11,340				
A3b	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3c	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3d	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3e	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3f	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3g	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3h	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3i	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3j	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3k	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3l	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3m	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3n	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3o	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3p	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3q	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3r	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3s	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3t	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3u	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3v	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3w	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3x	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3y	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
A3z	1 Bdr/1 Bath	751	810	26		26	19,526	21,060				
B1	2 Bdr/2 Bath	1,092	1,164	20		20	32,560	34,520	102	26%	204	2 BEDRM 2 SPACES PER UNIT
B2	2 Bdr/2 Bath	1,125	1,192	40		40	45,160	47,680				
B2C	2 Bdr/2 Bath	1,131	1,192	2		2	2,262	2,384				
B3	2 Bdr/2.5 Bath	1,268	1,384	30		30	38,040	41,520				
C1	3 Bdr/2.5 Bath	1,393	1,441	20		20	27,860	28,820	20	5%	40	
TH1	1 Bdr/1.5 Bath/Garage	1,310	1,520	3		3	3,930	5,760				
TH2	2 Bdr/1.5 Bath/Garage	1,486	2,142	6		6	8,916	12,852				
TH3	3 Bdr/1.5 Bath/Garage	1,486	2,142	6		6	8,916	12,852	21	5%	42	3 BEDRM 2 SPACES PER UNIT
TH3	3 Bdr/1.5 Bath/Garage	1,747	2,620	6		6	10,482	15,720				
TOTAL						399	382,930	422,974	399	100%	798	

**APPROXIMATE BUILDING HEIGHTS**  
(REFER TO ARCH PLANS FOR BLDG MATERIALS)

CLUBHOUSE	25'-0"	1 STORIES
3	38'-0"	3 STORIES
2	38'-0"	3 STORIES
4	38'-0"	3 STORIES
5	38'-0"	3 STORIES
6	38'-0"	3 STORIES
7	38'-0"	3 STORIES
8	38'-0"	3 STORIES
9	38'-10"	3 STORIES
10	38'-10"	3 STORIES
11	38'-10"	3 STORIES
12	38'-10"	3 STORIES
13	38'-10"	3 STORIES
14	40'-2"	3 STORIES
15	40'-2"	3 STORIES
16	38'-0"	3 STORIES
17	38'-0"	3 STORIES
18	38'-0"	3 STORIES
19	38'-0"	3 STORIES

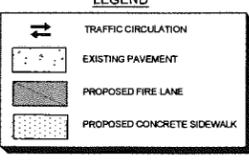
**SITE DATA SUMMARY**

CURRENT ZONING	U
PROPOSED ZONING	R-MF
TOTAL TRACT ONE AREA (TOTAL BUILDING AREA (MAX 75%)	(888,945 S.F.) 20.41 AC.
TOTAL BUILDING AREA (TOTAL BUILDING AREA (MAX 75%)	(178,372 S.F.) 4.09 AC.
FLOOR AREA RATIO (TOTAL BUILDING AREA/TOTAL LOT AREA + MAX 50%)	20%
TOTAL IMPERVIOUS AREA (MAX 75%)	(477,216 S.F.) 10.96 AC.
TOTAL OPEN SPACE (MIN 20%)	(328,868 S.F.) 7.55 AC.
TOTAL BUILDING AND PAVED AREAS	(388,171 S.F.) 8.9 AC.
TOTAL NUMBER OF UNITS	399 UNITS
TOTAL NUMBER OF BEDROOMS	568 BEDRMS

**PARKING DATA SUMMARY**

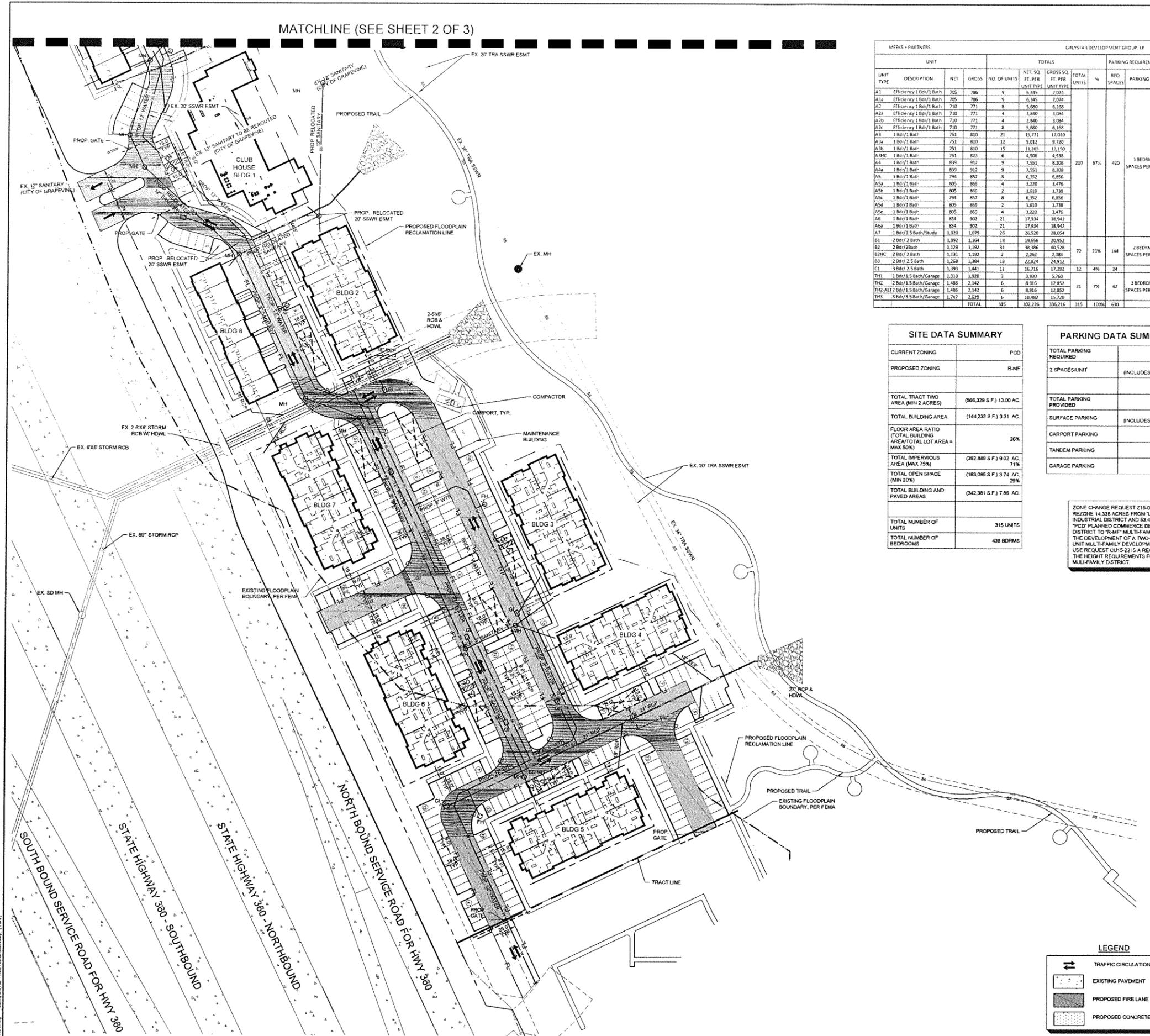
TOTAL PARKING REQUIRED	798
2 SPACES/UNIT (INCLUDES 16 HC SPOTS)	798
TOTAL PARKING PROVIDED	798
SURFACE PARKING (INCLUDES 12 HC SPOTS)	430
CARPPOOL PARKING (INCLUDES 4 HC SPOTS)	88
TANDEM PARKING	140
GARAGE PARKING	140

- LEGEND**
- ACCESSIBLE PARKING SYMBOL
  - NUMBER OF PARKING SPACES
  - PROPOSED FIRE HYDRANT
  - SANITARY SEWER INLET
  - TYP. SIDEWALK
  - CI CURB INLET
  - WM WATER METER
  - MH MANHOLE
  - IRIGATION METER
  - WE WATER EASEMENT
  - ROW RIGHT OF WAY
  - CI CURB INLET
  - GI PROP. GRATE INLET
  - MH PROP. MANHOLE





MATCHLINE (SEE SHEET 2 OF 3)



UNIT		TOTALS				PARKING REQUIREMENTS		
UNIT TYPE	DESCRIPTION	NET	GROSS	NO. OF UNITS	NET SQ. FT. PER UNIT TYPE	GROSS SQ. FT. PER UNIT TYPE	REQ. SPACES	PARKING REQ.
A1	Efficiency 1 Bdr/1 Bath	705	786	9	6,345	7,074		
A2	Efficiency 1 Bdr/1 Bath	710	771	8	5,680	6,168		
A2a	Efficiency 1 Bdr/1 Bath	710	771	4	2,840	3,084		
A2b	Efficiency 1 Bdr/1 Bath	710	771	4	2,840	3,084		
A3	Efficiency 1 Bdr/1 Bath	710	771	8	5,680	6,168		
A3	1 Bdr/1 Bath	751	810	21	15,771	17,010		
A3a	1 Bdr/1 Bath	751	810	12	9,012	9,720		
A3b	1 Bdr/1 Bath	751	810	15	11,285	12,150		
A3c	1 Bdr/1 Bath	751	810	6	4,506	4,938		
A4	1 Bdr/1 Bath	839	912	9	7,551	8,208	210	67%
A4a	1 Bdr/1 Bath	839	912	9	7,551	8,208		
A5	1 Bdr/1 Bath	794	857	8	6,352	6,856		
A5a	1 Bdr/1 Bath	805	869	4	3,220	3,476		
A5b	1 Bdr/1 Bath	805	869	2	1,610	1,738		
A5c	1 Bdr/1 Bath	794	857	8	6,352	6,856		
A5d	1 Bdr/1 Bath	805	869	2	1,610	1,738		
A5e	1 Bdr/1 Bath	805	869	4	3,220	3,476		
A6	1 Bdr/1 Bath	854	902	21	17,934	18,942		
A6a	1 Bdr/1 Bath	854	902	21	17,934	18,942		
A7	1 Bdr/1.5 Bath/Study	1,020	1,079	26	26,520	28,054		
B1	2 Bdr/2 Bath	1,192	1,164	18	19,656	20,952		
B2	2 Bdr/2 Bath	1,129	1,192	34	38,386	40,528		
B2c	2 Bdr/2 Bath	1,131	1,192	2	2,262	2,384		
B3	2 Bdr/2.5 Bath	1,268	1,384	18	22,824	24,912		
C1	3 Bdr/2.5 Bath	1,393	1,441	12	16,716	17,292	12	4%
TH1	1 Bdr/1.5 Bath/Garage	1,310	1,920	3	3,930	5,760		
TH2	2 Bdr/1.5 Bath/Garage	1,486	2,142	6	8,916	12,852		
TH2	ALL 7 Bdr/1.5 Bath/Garage	1,486	2,142	6	8,916	12,852	21	7%
TH3	3 Bdr/3.5 Bath/Garage	1,747	2,620	6	10,482	15,720		
TOTAL				315	303,226	336,216	315	100%

**APPROXIMATE BUILDING HEIGHTS**  
(REFER TO ARCH PLANS FOR BLDG MATERIALS AND ELEVATIONS)

CLUBHOUSE	28'-0"	1 STORIES
2	40'-2"	3 STORIES
3	40'-2"	3 STORIES
4	40'-2"	3 STORIES
5	39'-10"	3 STORIES
6	39'-10"	3 STORIES
7	39'-10"	3 STORIES
8	38'-0"	3 STORIES
9	38'-0"	3 STORIES
10	36'-0"	3 STORIES
11	36'-0"	3 STORIES
12	36'-0"	3 STORIES
13	36'-0"	3 STORIES
14	38'-0"	3 STORIES
15	38'-0"	3 STORIES

**SITE DATA SUMMARY**

CURRENT ZONING	PCD
PROPOSED ZONING	R-MF
TOTAL TRACT TWO AREA (MIN 2 ACRES)	(566,329 S.F.) 13.00 AC.
TOTAL BUILDING AREA	(144,232 S.F.) 3.31 AC.
FLOOR AREA RATIO (TOTAL BUILDING AREA/TOTAL LOT AREA = MAX 50%)	26%
TOTAL IMPERVIOUS AREA (MAX 75%)	(392,889 S.F.) 9.02 AC.
TOTAL OPEN SPACE (MIN 20%)	(163,095 S.F.) 3.74 AC.
TOTAL BUILDING AND PAVED AREAS	(342,381 S.F.) 7.88 AC.
TOTAL NUMBER OF UNITS	315 UNITS
TOTAL NUMBER OF BEDROOMS	430 BDRMS

**PARKING DATA SUMMARY**

TOTAL PARKING REQUIRED	630
2 SPACES/UNIT (INCLUDES 13 HC SPOTS)	630
TOTAL PARKING PROVIDED	631
SURFACE PARKING (INCLUDES 14 HC SPOTS)	329
CARPORIT PARKING	78
TANDEM PARKING	112
GARAGE PARKING	112

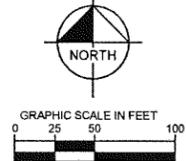
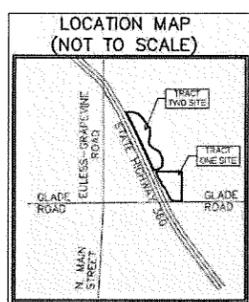
ZONE CHANGE REQUEST Z15-04 IS A REQUEST TO REZONE 14.338 ACRES FROM "U" LIGHT INDUSTRIAL DISTRICT AND 53.421 ACRES FROM "PCD" PLANNED COMMERCE DEVELOPMENT DISTRICT TO "R-MF" MULTI-FAMILY DISTRICT FOR THE DEVELOPMENT OF A TWO-PHASE 714 TOTAL UNIT MULTI-FAMILY DEVELOPMENT. CONDITIONAL USE REQUEST CU15-22 IS A REQUEST TO EXCEED THE HEIGHT REQUIREMENTS FOR THE "R-MF" MULTI-FAMILY DISTRICT.

- DEFINITIONS:**
- BROWNSTONE: THREE STORY TOWNHOME WITH ATTACHED GARAGES AND GUEST PARKING
  - URBAN FLATS: URBAN APARTMENT FLATS WITH TUCK UNDER CORRIDOR ACCESS GARAGE PARKING AND PEDESTRIAN ACCESS FROM BOTH SIDES
  - BREEZEWAY FLATS: TRADITIONAL SURFACE PARKED APARTMENT WITH STAIRS AND UNITS ACCESSED FROM A COVERED BREEZEWAY WITH AVAILABLE COVERED PARKING SPACES
  - EFFICIENCY UNITS: ONE BEDROOM UNITS WITH NET RENTABLE AREA RANGING FROM 700-750 SQ. FT.
  - NET SQ. FT.: REPRESENTS CONDITIONED SPACE
  - GROSS SQ. FT.: REPRESENTS CONDITIONED SPACE AND UNCONDITIONED SPACE (BALCONY, EXTERIOR STORAGE CLOSET)

**LEGEND**

♿	ACCESSIBLE PARKING SYMBOL
⊙	NUMBER OF PARKING SPACES
⊕	PROPOSED FIRE HYDRANT
SS	SANITARY SEWER PIPE
TYP.	TYPICAL
SW	SIDEWALK
CI	CURB INLET
WM	WATER METER
MH	MANHOLE
IM	IRRIGATION METER
WE	WATER EASEMENT
ROW	RIGHT OF WAY
CI	PROP. CURB INLET
GI	PROP. GRATE INLET
MH	PROP. MANHOLE

- NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
  - ALL RADI ARE 2' UNLESS NOTED OTHERWISE.
  - ALL FIRE HYDRANTS ARE TO BE LOCATED IN AN WATER EASEMENT.
  - HANDICAP MARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS FOR ALL LOTS.
  - ALL GATES MUST COMPLY WITH APPLICABLE FIRE CODE.
  - REFERENCE LANDSCAPE PLANS FOR INTERNAL SIDEWALK LOCATIONS AND SIZES, LANDSCAPING AREAS AND OPEN SPACE.
  - ALL BUILDING SEPARATIONS PER R-MF FACE/BACK TO FACE/BACK SEPARATION IS 50' MIN AND END TO END OR FACE/BACK TO END SEPARATION IS THE GREATER OF 30' MIN OR BUILDING HEIGHT.
  - REFERENCE ATTACHED GRADING PLANS FOR EXISTING AND PROPOSED TOPOGRAPHIC CONDITIONS.
  - ALL REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.
  - ALL ON-SITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.



**LEGEND**

↑	TRAFFIC CIRCULATION
▨	EXISTING PAVEMENT
▩	PROPOSED FIRE LANE
▧	PROPOSED CONCRETE SIDEWALK



CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_  
SHEET: 3 OF 47

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES DEPARTMENT OF DEVELOPMENT SERVICES

**Kimley»Horn**  
© 2015 KIMLEY-HORN AND ASSOCIATES, INC.  
12750 MERIT DRIVE, SUITE 1000, DALLAS, TX 75251  
PHONE: 972-770-1300 FAX: 972-239-3620  
WWW.KIMLEY-HORN.COM TX F-928

**GREYSTAR - THE PRESERVE**  
CITY OF GRAPEVINE  
TARRANT COUNTY, TEXAS

**TRACT TWO SITE PLAN**

SHEET NUMBER  
**3**

KHA PROJECT	08771829	DATE	07/23/2015	SCALE	AS SHOWN	DESIGNED BY		DRAWN BY		CHECKED BY	
NO.		REVISIONS									

DATE: 07/23/2015 10:58 AM  
DRAWN BY: J. HORN  
CHECKED BY: J. HORN  
SCALE: AS SHOWN  
PROJECT: GREYSTAR - THE PRESERVE  
SHEET: TRACT TWO SITE PLAN  
DATE: 07/23/2015 10:58 AM  
DRAWN BY: J. HORN  
CHECKED BY: J. HORN  
SCALE: AS SHOWN  
PROJECT: GREYSTAR - THE PRESERVE  
SHEET: TRACT TWO SITE PLAN



ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15

NO.	REVISIONS	DATE	BY

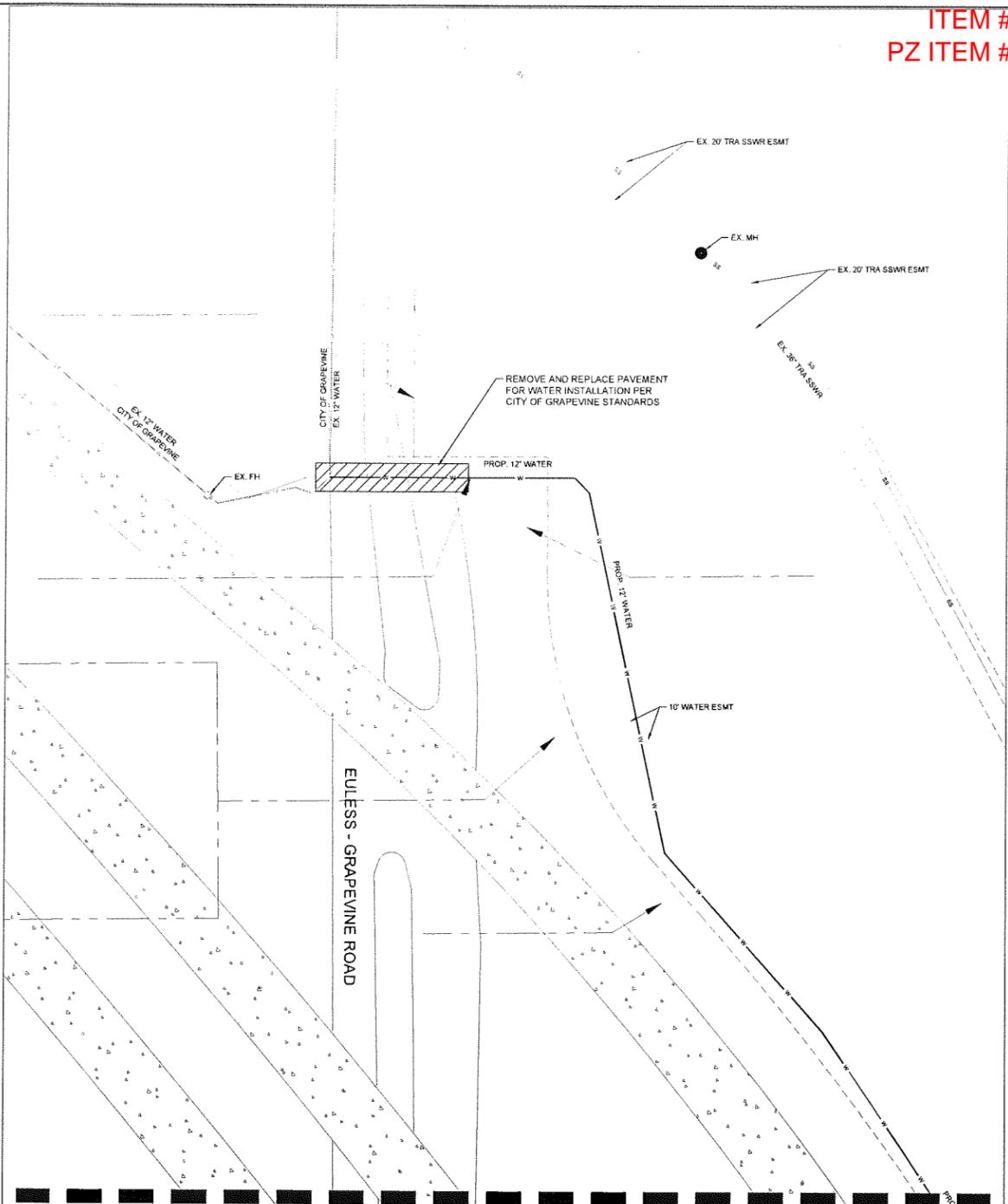
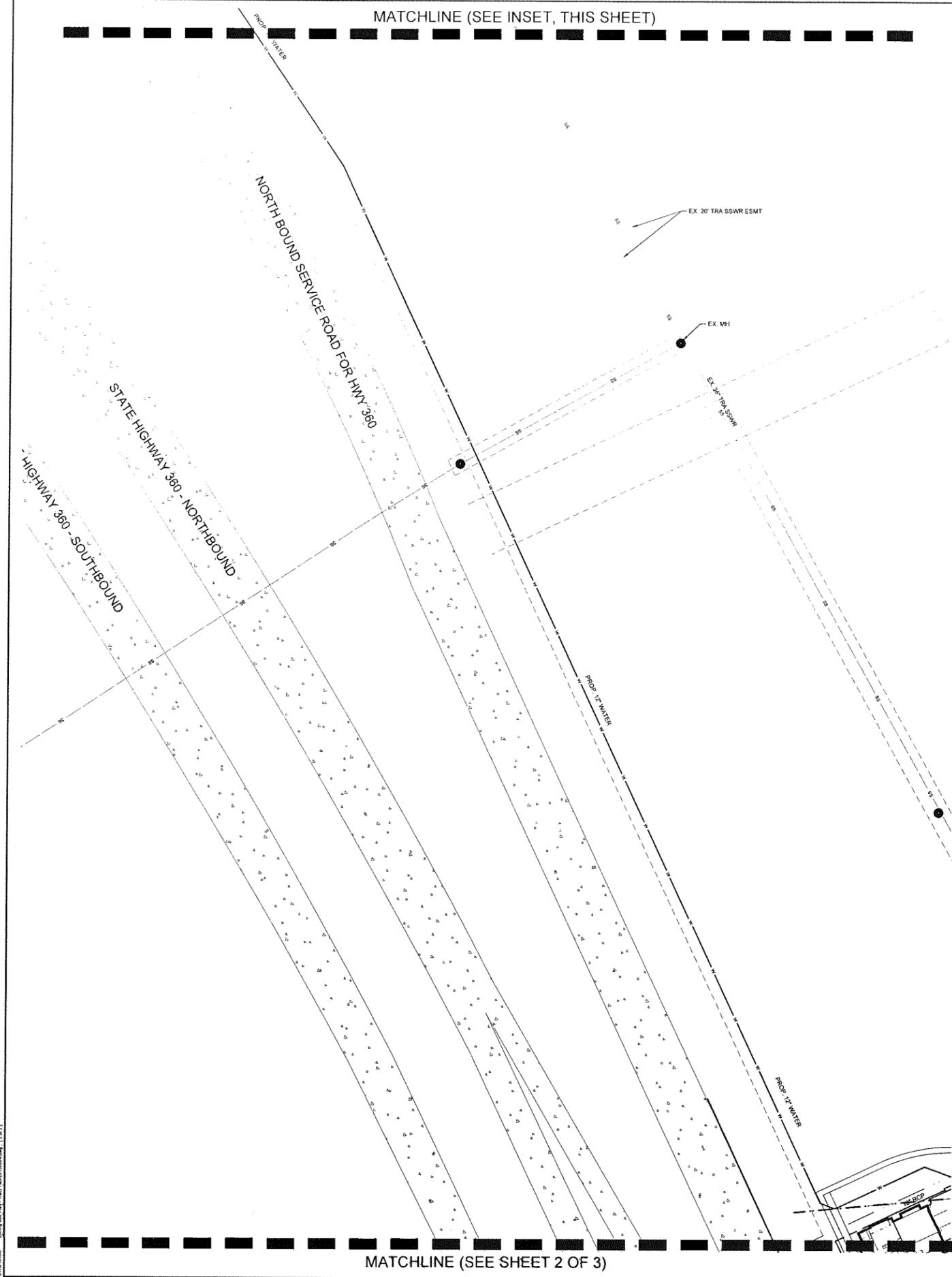
**Kimley»Horn**  
© 2015 KIMLEY-HORN AND ASSOCIATES, INC.  
12750 MERIT DRIVE, SUITE 1000, DALLAS, TX 75251  
PHONE: 972-770-1300 FAX: 972-238-3820  
WWW.KIMLEY-HORN.COM TX F-928

KHA PROJECT	067771629
DATE	07/22/2015
SCALE	AS SHOWN
DESIGNED BY	
DRAWN BY	
CHECKED BY	

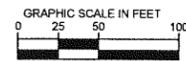
**GREYSTAR - THE PRESERVE**  
CITY OF GRAPEVINE  
TARRANT COUNTY, TEXAS

**TRACT TWO**  
**SITE PLAN**

SHEET NUMBER  
**5**



MATCHLINE (THIS SHEET)



**LEGEND**

⊕	ACCESSIBLE PARKING SYMBOL
⊙	NUMBER OF PARKING SPACES
⊙	PROPOSED FIRE HYDRANT
SS	SANITARY SEWER PIPE
TYP.	TYPICAL
SW	SIDEWALK
CI	CURB INLET
WM	WATER METER
MH	MANHOLE
IM	IRRIGATION METER
WE	WATER EASEMENT
ROW	RIGHT OF WAY
CI	PROP. CURB INLET
GI	PROP. GRATE INLET
MH	PROP. MANHOLE

**LEGEND**

↔	TRAFFIC CIRCULATION
▨	EXISTING PAVEMENT
▨	PROPOSED FIRE LANE
▨	PROPOSED CONCRETE SIDEWALK

**NOTES**

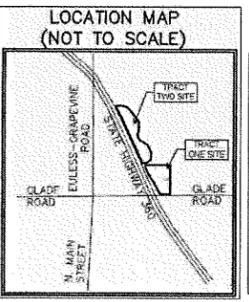
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
2. ALL RADI ARE 2' UNLESS NOTED OTHERWISE.
3. ALL FIRE HYDRANTS ARE TO BE LOCATED IN AN WATER EASEMENT.
4. HANDICAP MARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS FOR ALL LOTS.
5. ALL GATES MUST COMPLY WITH APPLICABLE FIRE CODE.
6. REFERENCE LANDSCAPE PLANS FOR INTERNAL SIDEWALK LOCATIONS AND SIZES, LANDSCAPING AREAS AND OPEN SPACE.
7. ALL BUILDING SEPARATIONS PER R-MF: FACEBACK TO FACE/BACK SEPARATION IS 20' MIN AND END TO END OR FACEBACK TO END SEPARATION IS THE GREATER OF 30' MIN OR BUILDING HEIGHT.
8. REFERENCE ATTACHED GRADING PLANS FOR EXISTING AND PROPOSED TOPOGRAPHIC CONDITIONS.
9. ALL REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.
10. ALL ON-SITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.

CASE NAME: THE PRESERVE  
CASE NUMBER: 215-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_  
SHEET: 5 OF 47

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.  
DEPARTMENT OF DEVELOPMENT SERVICES

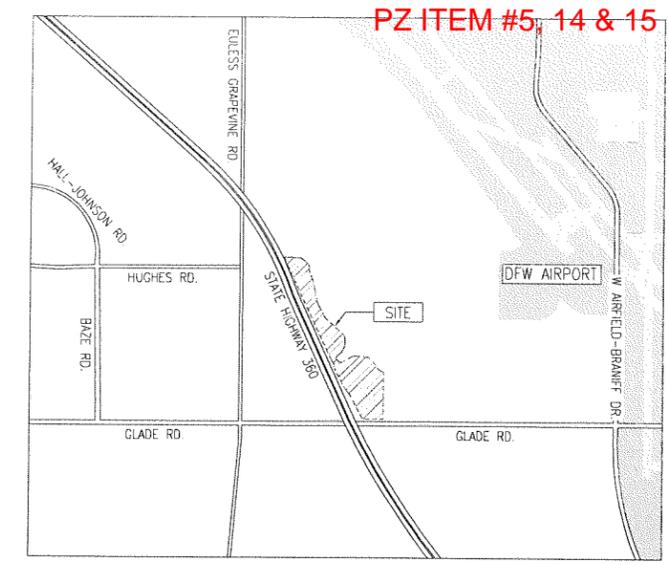


MATCHLINE (SEE SHEET 2 OF 3)

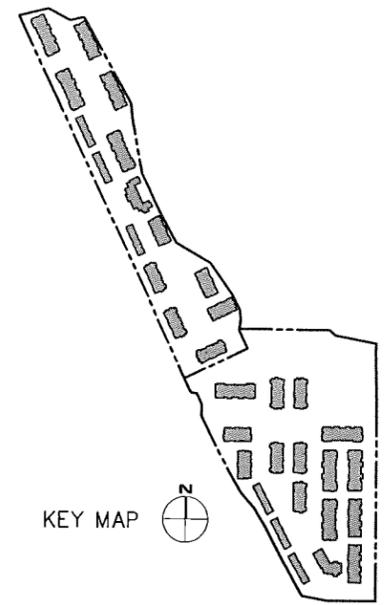
MATCHLINE (SEE INSET, THIS SHEET)

UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.  
 ALL RADI ARE 2' UNLESS NOTED OTHERWISE.  
 ALL FIRE HYDRANTS ARE TO BE LOCATED IN AN WATER EASEMENT.  
 HANDICAP MARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS FOR ALL LOTS.  
 ALL GATES MUST COMPLY WITH APPLICABLE FIRE CODE.  
 REFERENCE LANDSCAPE PLANS FOR INTERNAL SIDEWALK LOCATIONS AND SIZES, LANDSCAPING AREAS AND OPEN SPACE.  
 ALL BUILDING SEPARATIONS PER R-MF: FACEBACK TO FACE/BACK SEPARATION IS 20' MIN AND END TO END OR FACEBACK TO END SEPARATION IS THE GREATER OF 30' MIN OR BUILDING HEIGHT.  
 REFERENCE ATTACHED GRADING PLANS FOR EXISTING AND PROPOSED TOPOGRAPHIC CONDITIONS.  
 ALL REQUIREMENTS OF THE GRAPEVINE SOIL EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.  
 ALL ON-SITE ELECTRICAL CONDUCTORS ASSOCIATED WITH NEW CONSTRUCTION SHALL BE LOCATED UNDERGROUND.

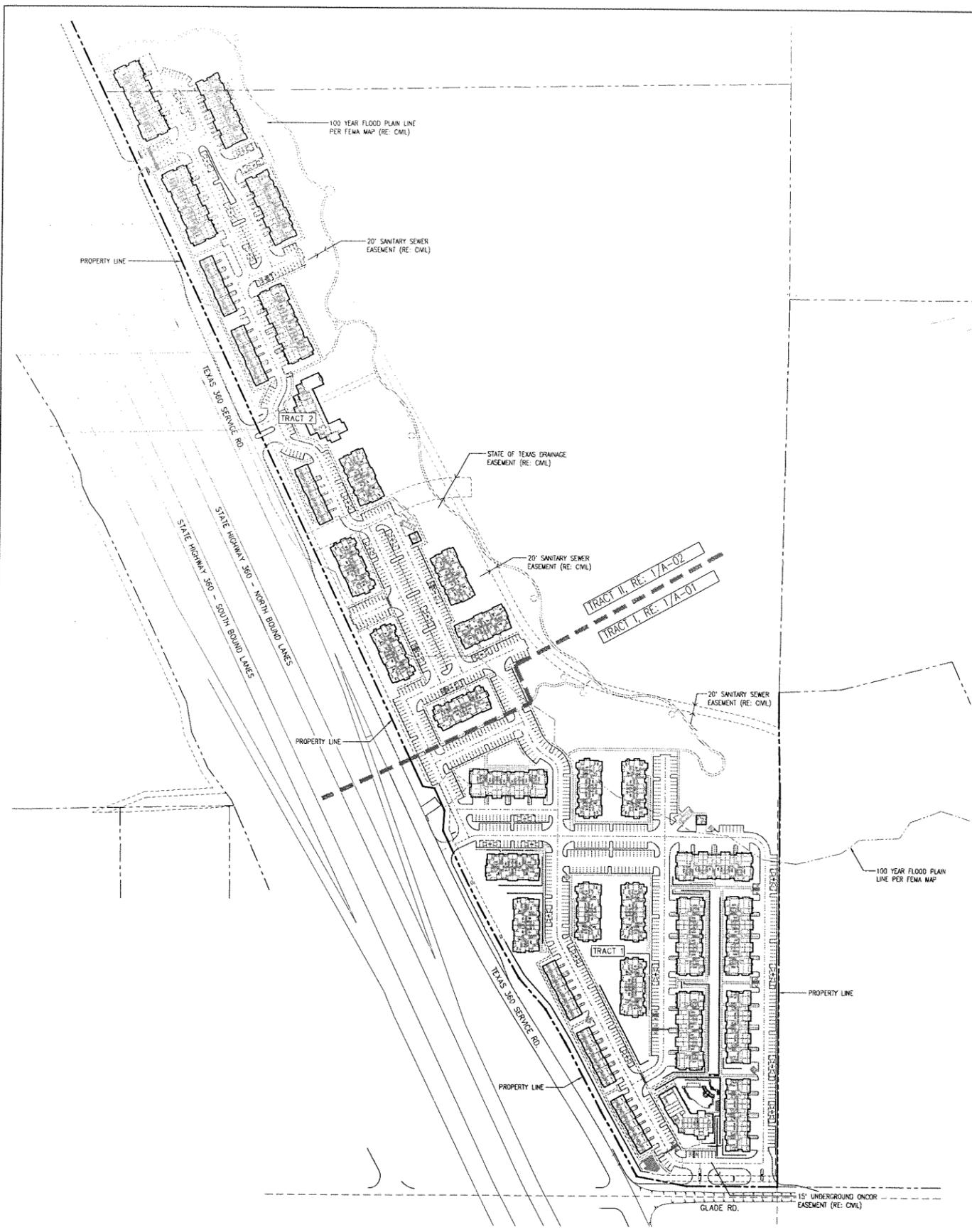
ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15



VICINITY MAP



KEY MAP



1 OVERALL ARCHITECTURAL SITE PLAN  
N.T.S.

OVERALL SITE PLAN - THE PRESERVE  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GRAPEVINE ADDITION

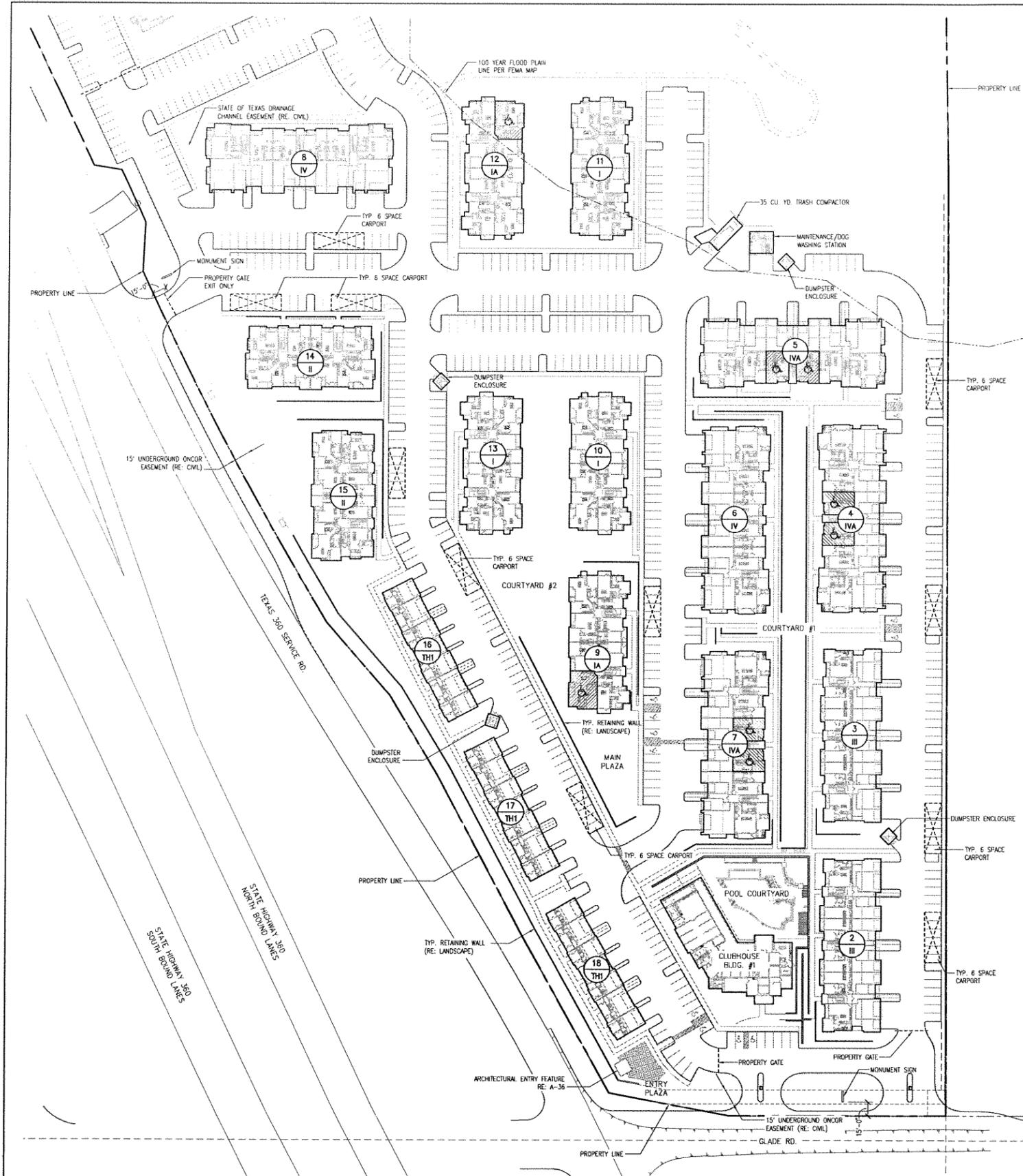
MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 6 OF 47

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

These are preliminary and are subject to change. The user of these drawings shall be responsible for the accuracy of the information shown hereon. The user shall verify the accuracy of the information shown hereon. The user shall verify the accuracy of the information shown hereon. The user shall verify the accuracy of the information shown hereon. The user shall verify the accuracy of the information shown hereon.



APARTMENTS - PARTIALS		GRAPEVINE PRESERVE - TRACT ONE															TOTAL		TOTAL																
UNIT TYPE	DESCRIPTION	NFT	GROSS	URBAN FLATS										BREEZEWAY FLATS					BROWNSTONE		BLDG NO.	NO. OF UNITS	NET SQ. FT. PER UNIT	GROSS SQ. FT. PER UNIT	TOTAL UNITS	AVG	REQ. SPACES	PARKING EFFCY							
				1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21											
A1	Efficiency 1 Bed/1 Bath	255	286	0	0	0	0	0	0	0	0	0	0	1	1	1	1	0	0	0	0	0	0	1	15	10,575	11,770								
A1a	Efficiency 1 Bed/1 Bath	205	286	0	0	0	0	0	0	0	0	0	0	3	3	3	3	0	0	0	0	0	0	1	15	10,575	11,770								
A2	Efficiency 1 Bed/1 Bath	210	271	4	4	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	8	8	5,680	6,168								
A2a	Efficiency 1 Bed/1 Bath	210	271	7	7	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	2	2,840	3,084								
A2b	Efficiency 1 Bed/1 Bath	210	271	2	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	2	2,840	3,084								
A3	1 Bed/1 Bath	251	810	0	0	0	4	4	4	4	4	0	0	0	0	0	0	0	0	0	0	0	0	25	25	19,526	21,050								
A3a	1 Bed/1 Bath	251	810	0	0	0	2	2	2	2	4	0	0	0	0	0	0	0	0	0	0	0	0	14	14	10,514	11,340								
A3b	1 Bed/1 Bath	251	810	0	0	0	4	4	4	4	4	0	0	0	0	0	0	0	0	0	0	0	0	26	26	19,526	21,050								
A3HC	1 Bed/1 Bath	251	823	0	0	0	2	2	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	6	6	4,506	4,938								
A4	1 Bed/1 Bath	839	912	0	0	0	0	0	0	0	0	0	0	3	3	3	3	0	0	0	0	0	0	15	15	17,585	13,680								
A4a	1 Bed/1 Bath	839	912	0	0	0	0	0	0	0	0	0	0	3	3	3	3	0	0	0	0	0	0	15	15	22,549	13,620								
A5	1 Bed/1 Bath	794	857	4	4	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	8	8	6,352	6,856								
A5a	1 Bed/1 Bath	805	869	2	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	4	4	3,220	3,479								
A5b	1 Bed/1 Bath	805	869	1	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	2	1,610	1,738								
A5c	1 Bed/1 Bath	794	857	4	4	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	8	8	6,352	6,856								
A5d	1 Bed/1 Bath	805	869	1	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	2	1,610	1,738								
A5e	1 Bed/1 Bath	805	869	2	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	4	4	3,220	3,479								
A6	1 Bed/1 Bath	854	902	0	0	0	4	4	4	4	4	0	0	0	0	0	0	0	0	0	0	0	0	26	26	22,204	23,452								
A6a	1 Bed/1 Bath	854	902	0	0	0	4	4	4	4	4	0	0	0	0	0	0	0	0	0	0	0	0	26	26	22,204	23,452								
A7	1 Bed/1.5 Bath/Storage	1,020	1,079	4	4	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	20	20	20,400	21,580								
B1	2 Bed/2 Bath	1,092	1,161	0	0	0	0	0	0	0	0	0	0	6	6	6	6	0	0	0	0	0	0	30	30	32,760	34,920								
B2	2 Bed/2 Bath	1,139	1,197	0	0	0	0	0	0	0	0	0	0	5	6	6	6	6	6	0	0	0	0	40	40	45,160	47,680								
B2HC	2 Bed/2 Bath	1,131	1,197	0	0	0	0	0	0	0	0	0	0	1	0	0	0	0	0	0	0	0	0	2	2	2,262	2,384								
B3	2 Bed/2.5 Bath	1,248	1,384	0	0	0	0	0	0	0	0	0	0	6	6	6	6	0	0	0	0	0	0	30	30	36,600	41,320								
C1	3 Bed/2.5 Bath	1,393	1,441	0	0	0	4	4	4	4	4	0	0	0	0	0	0	0	0	0	0	0	0	20	20	27,860	28,820								
H11	1 Bed/1.5 Bath/Garage	1,310	1,920	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	3	3	3,930	5,760								
TH2	2 Bed/1.5 Bath/Garage	1,486	2,142	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	6	6	8,916	12,852								
TH2-AL	2 Bed/1.5 Bath/Garage	1,486	2,142	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	6	6	8,916	12,852								
TH3	3 Bed/2.5 Bath/Garage	1,747	2,620	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	6	6	10,482	15,720								
	TOTAL			36	30	30	30	30	30	30	30	30	30	24	24	24	24	24	24	24	24	24	24	399	399	382,930	422,874	399	100%	798					

**BROWNSTONE:** THREE STORY TOWNHOME WITH ATTACHED GARAGES AND GUEST PARKING.

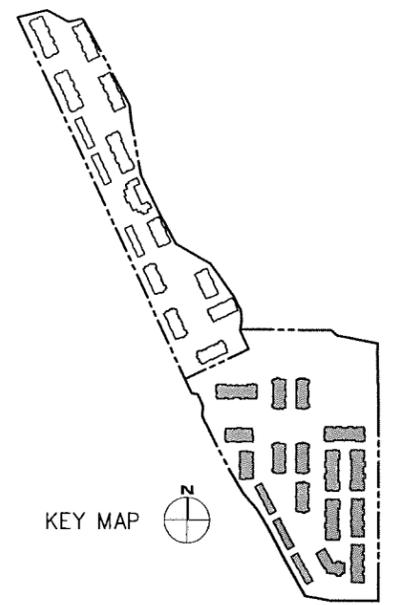
**URBAN FLATS:** URBAN APARTMENT FLATS WITH TUCK UNDER CORRIDOR ACCESS GARAGE PARKING AND PEDESTRIAN ACCESS FROM BOTH SIDES.

**BREEZEWAY FLATS:** TRADITIONAL SURFACE PARKED APARTMENT WITH STAIRS AND UNITS ACCESSED FROM A COVERED BREEZEWAY WITH AVAILABLE COVERED PARKING SPACES.

**EFFICIENCY UNITS:** ONE BEDROOM UNITS WITH NET RENTABLE AREA RANGING FROM 700-750 SQ. FT. TRACT 1: 54 TOTAL EFFICIENCY UNITS AVERAGE: 707 SQ. FT. 54 OF 399 UNITS = 13% OF TOTAL UNITS (15% ALLOWED)

\*NET SQ. FT. REPRESENTS CONDITIONED SPACE.

\*GROSS SQ. FT. REPRESENTS CONDITIONED SPACE + UNCONDITIONED SPACE (BALCONY, EXTERIOR STORAGE CLOSET).



**1 ARCHITECTURAL SITE PLAN- TRACT 1**  
1"=60'-0"

CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GLADE/360 ADDITION

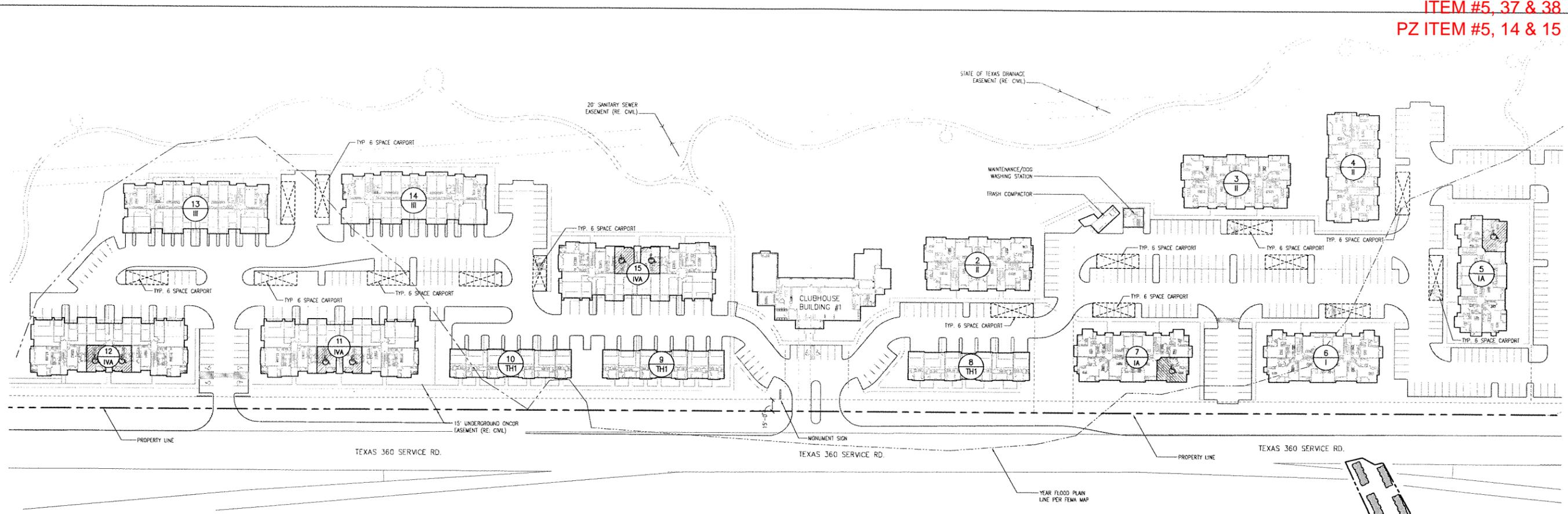
MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 7 OF 47

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

**SITE PLAN - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP



1 ARCHITECTURAL SITE PLAN- TRACT 2  
1"=60'-0"

MECKS + PARTNERS		GRAPEVINE PRESERVE - TRACT TWO															GREYSTAR DEVELOPMENT GROUP, LP								
UNIT		BREEZEWAY FLATS															TOTALS					PARKING REQUIREMENTS			
UNIT TYPE	DESCRIPTION	NET	GROSS	2	3	4	5	6	7	8	9	10	11	12	13	14	15	BLDG. NO.	NO. OF UNITS	NET SQ. FT. PER UNIT	GROSS SQ. FT. PER UNIT	TOTAL UNITS	%	REQ. SPACES	PARKING REQ.
A1	Efficiency 1 Bdr/1 Bath	705	786	0	0	0	0	0	0	0	0	0	0	0	0	0	0	9	9	6,345	7,074	210	67%	420	1 BEDRM 2 SPACES PER UNIT
A1a	Efficiency 1 Bdr/1 Bath	705	786	0	0	0	0	0	0	0	0	0	0	0	0	0	0	9	9	6,345	7,074				
A2	Efficiency 1 Bdr/1 Bath	710	771	0	0	0	0	0	0	0	0	0	0	0	0	0	0	8	8	5,680	6,168				
A2a	Efficiency 1 Bdr/1 Bath	710	771	0	0	0	0	0	0	0	0	0	0	0	0	0	0	4	4	2,840	3,084				
A2b	Efficiency 1 Bdr/1 Bath	710	771	0	0	0	0	0	0	0	0	0	0	0	0	0	0	4	4	2,840	3,084				
A2c	Efficiency 1 Bdr/1 Bath	710	771	0	0	0	0	0	0	0	0	0	0	0	0	0	0	8	8	5,680	6,168				
A3	1 Bdr/1 Bath	751	810	3	3	3	3	3	3	3	3	3	3	3	3	3	3	21	21	15,771	17,010				
A3a	1 Bdr/1 Bath	751	810	0	0	0	0	0	0	0	0	0	0	0	0	0	0	12	12	9,612	9,720				
A3b	1 Bdr/1 Bath	751	810	3	3	3	3	3	3	3	3	3	3	3	3	3	3	15	15	11,259	12,150				
A3HC	1 Bdr/1 Bath	751	823	0	0	0	0	0	0	0	0	0	0	0	0	0	0	6	6	4,506	4,938				
A4	1 Bdr/1 Bath	839	912	0	0	0	0	0	0	0	0	0	0	0	0	0	0	9	9	7,551	8,208				
A4a	1 Bdr/1 Bath	839	912	0	0	0	0	0	0	0	0	0	0	0	0	0	0	9	9	7,551	8,208				
A5	1 Bdr/1 Bath	794	857	0	0	0	0	0	0	0	0	0	0	0	0	0	0	8	8	6,352	6,856				
A5a	1 Bdr/1 Bath	805	869	0	0	0	0	0	0	0	0	0	0	0	0	0	0	4	4	3,220	3,476				
A5b	1 Bdr/1 Bath	805	869	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	2	1,610	1,738				
A5c	1 Bdr/1 Bath	794	857	0	0	0	0	0	0	0	0	0	0	0	0	0	0	8	8	6,352	6,856				
A5d	1 Bdr/1 Bath	805	869	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	2	1,610	1,738				
A5e	1 Bdr/1 Bath	805	869	0	0	0	0	0	0	0	0	0	0	0	0	0	0	4	4	3,220	3,476				
A6	1 Bdr/1 Bath	854	902	3	3	3	3	3	3	3	3	3	3	3	3	3	3	21	21	17,934	18,942				
A6a	1 Bdr/1 Bath	854	902	3	3	3	3	3	3	3	3	3	3	3	3	3	3	21	21	17,934	18,942				
A7	1 Bdr/1.5 Bath/Study	1,020	1,079	6	6	6	6	6	6	6	6	6	6	6	6	6	6	26	26	25,520	28,054				
B1	2 Bdr/2 Bath	1,092	1,164	0	0	0	0	0	0	0	0	0	0	0	0	0	0	18	18	19,656	20,952				
B2	2 Bdr/2 Bath	1,129	1,192	6	6	6	6	6	6	6	6	6	6	6	6	6	6	34	34	38,386	40,528				
B2HC	2 Bdr/2 Bath	1,131	1,192	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	2	2,262	2,384				
B3	2 Bdr/2.5 Bath	1,268	1,384	0	0	0	0	0	0	0	0	0	0	0	0	0	0	18	18	22,824	24,912				
C1	3 Bdr/2.5 Bath	1,393	1,441	0	0	0	0	0	0	0	0	0	0	0	0	0	0	12	12	16,716	17,292				
TH1	1 Bdr/1.5 Bath/Garage	1,310	1,920	0	0	0	0	0	0	0	0	0	0	0	0	0	0	3	3	3,930	5,760				
TH2	2 Bdr/1.5 Bath/Garage	1,486	2,142	0	0	0	0	0	0	0	0	0	0	0	0	0	0	6	6	8,916	12,852				
TH2-AL	2 Bdr/1.5 Bath/Garage	1,486	2,142	0	0	0	0	0	0	0	0	0	0	0	0	0	0	6	6	8,916	12,852				
TH3	3 Bdr/3.5 Bath/Garage	1,747	2,620	0	0	0	0	0	0	0	0	0	0	0	0	0	0	6	6	10,482	15,720				
TOTAL		24	24	24	24	24	24	24	24	24	24	24	24	24	24	24	24	315	302,226	336,216	315	100%	630		
TOTAL =		144															21					150		Avg S.F. (Net) 959	
																	PARKING PROVIDED								
																	SURFACE PARKING					URBAN FLAT GARAGE			
																	TANDEM PARKING (FLATS)					1 CAR DIRECT ACCESS			
																	GARAGE SPACES (FLATS)					1 CAR CORRIDOR ACCESS			
																	GARAGE SPACES (T.H.)					2 CAR DIRECT ACCESS			
																	TANDEM PARKING (T.H.)					2 CAR CORRIDOR ACCESS			
																	TOTAL PARKING					TOTAL			

BROWNSTONE: THREE STORY TOWNHOME WITH ATTACHED GARAGES AND GUEST PARKING.

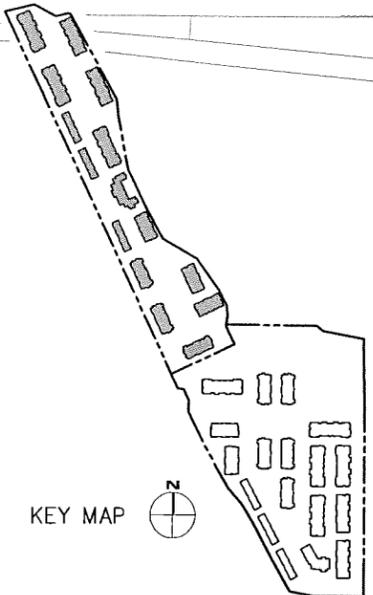
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BREEZEWAY FLATS: TRADITIONAL SURFACE PARKED APARTMENT WITH STAIRS AND UNITS ACCESSED FROM A COVERED BREEZEWAY WITH AVAILABLE COVERED PARKING SPACES.

EFFICIENCY UNITS: ONE BEDROOM UNITS WITH NET RENTABLE AREA RANGING FROM 700-750 SQ. FT. TRACT 2: 42 TOTAL EFFICIENCY UNITS AVERAGE: 708 SQ. FT. 42 OF 315 UNITS = 13% OF TOTAL UNITS (15% ALLOWED)

\*NET SQ. FT. REPRESENTS CONDITIONED SPACE.

\*GROSS SQ. FT. REPRESENTS CONDITIONED SPACE + UNCONDITIONED SPACE (BALCONY, EXTERIOR STORAGE CLOSET).



CASE NAME: THE PRESERVE  
CASE NUMBER: 215-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GRADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_

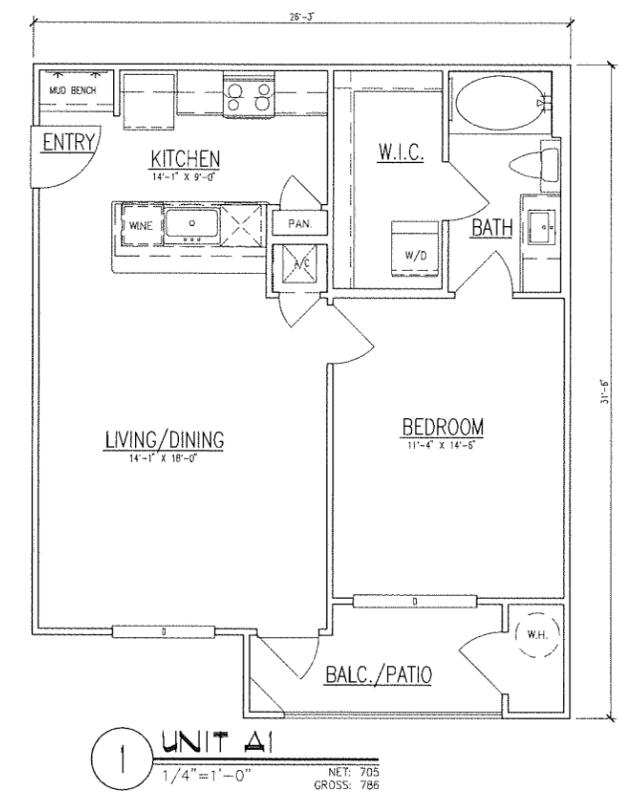
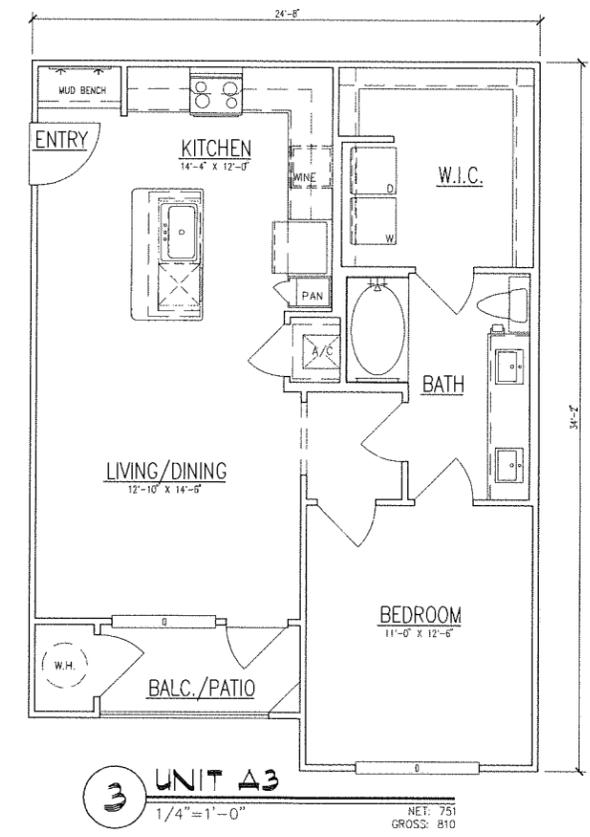
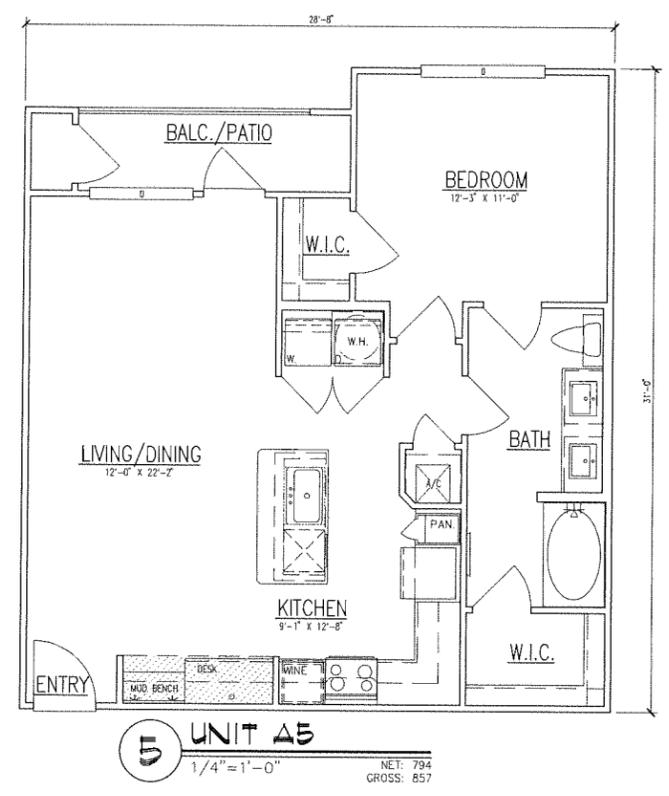
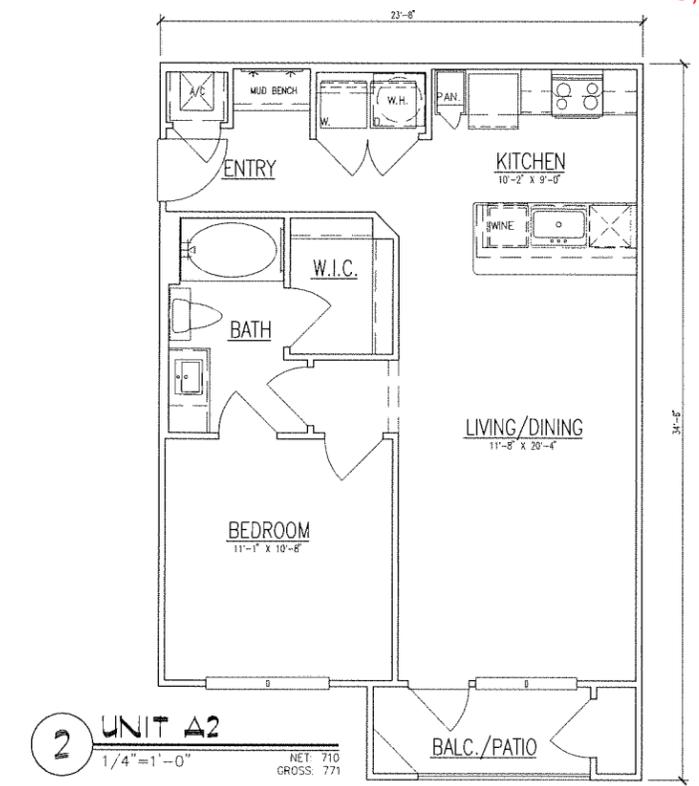
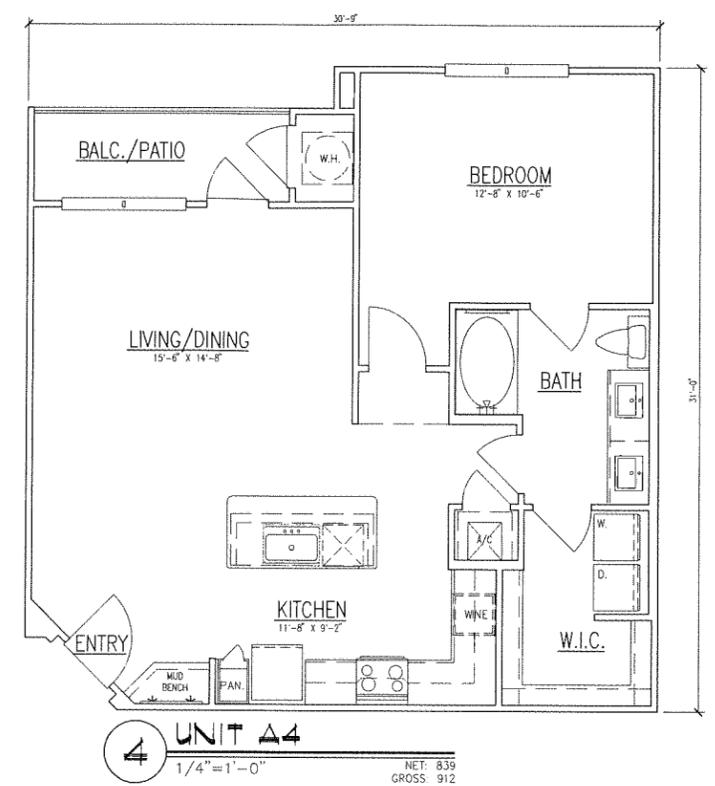
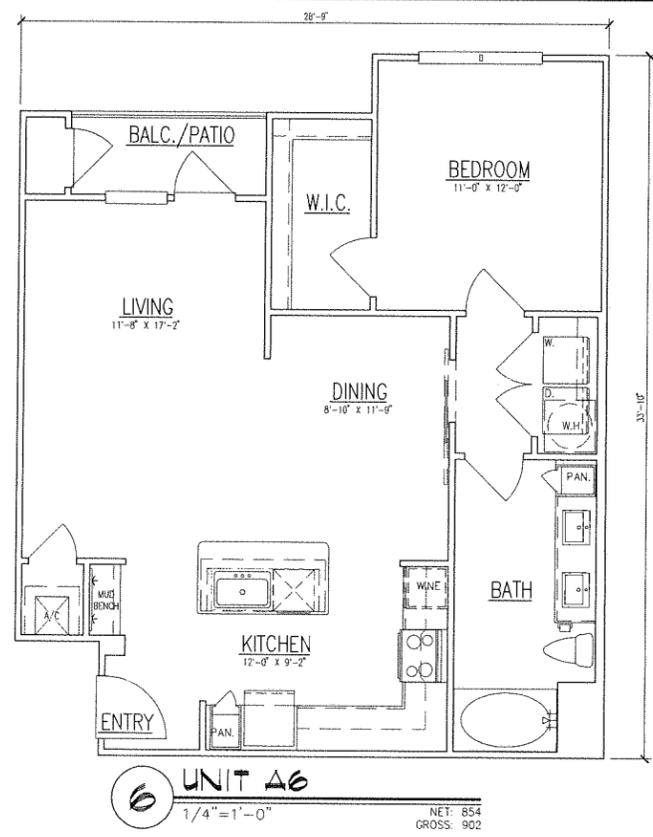
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 8 OF 47

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

SITE PLAN - THE PRESERVE  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15



CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CJ15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2,  
BLOCK A, GRADE/860 ADDITION

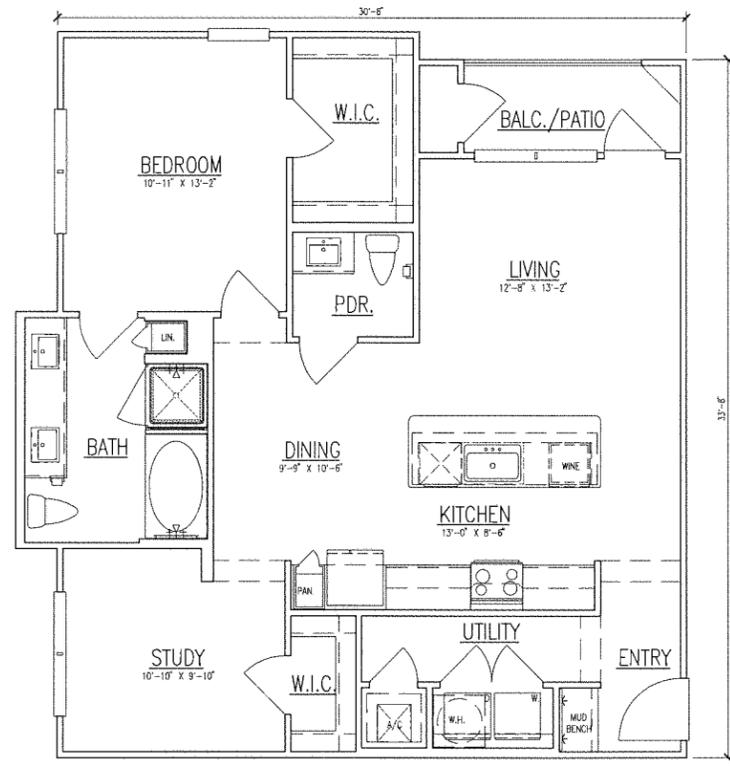
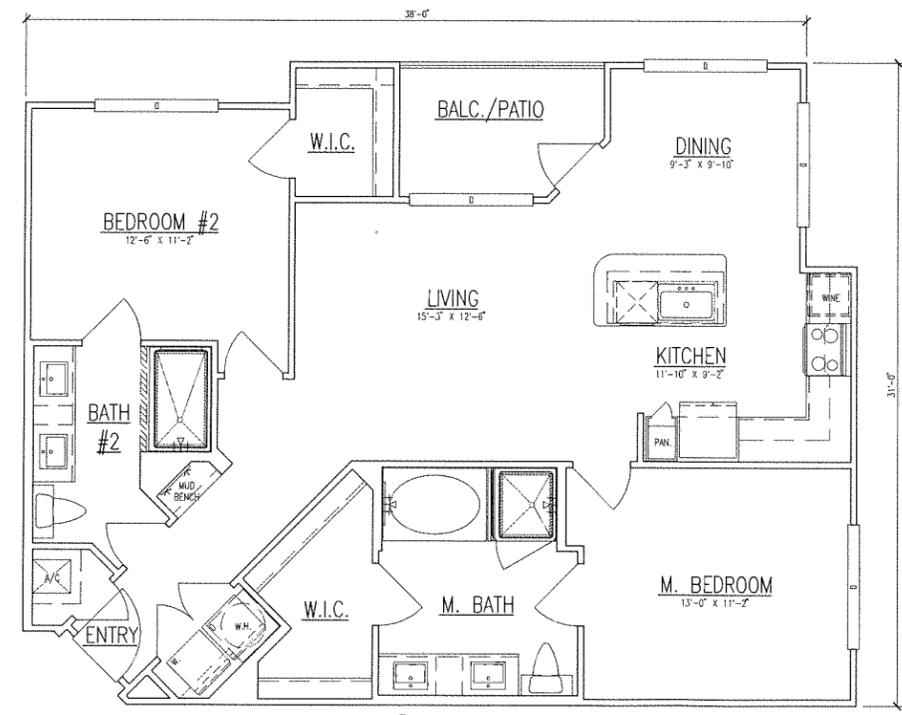
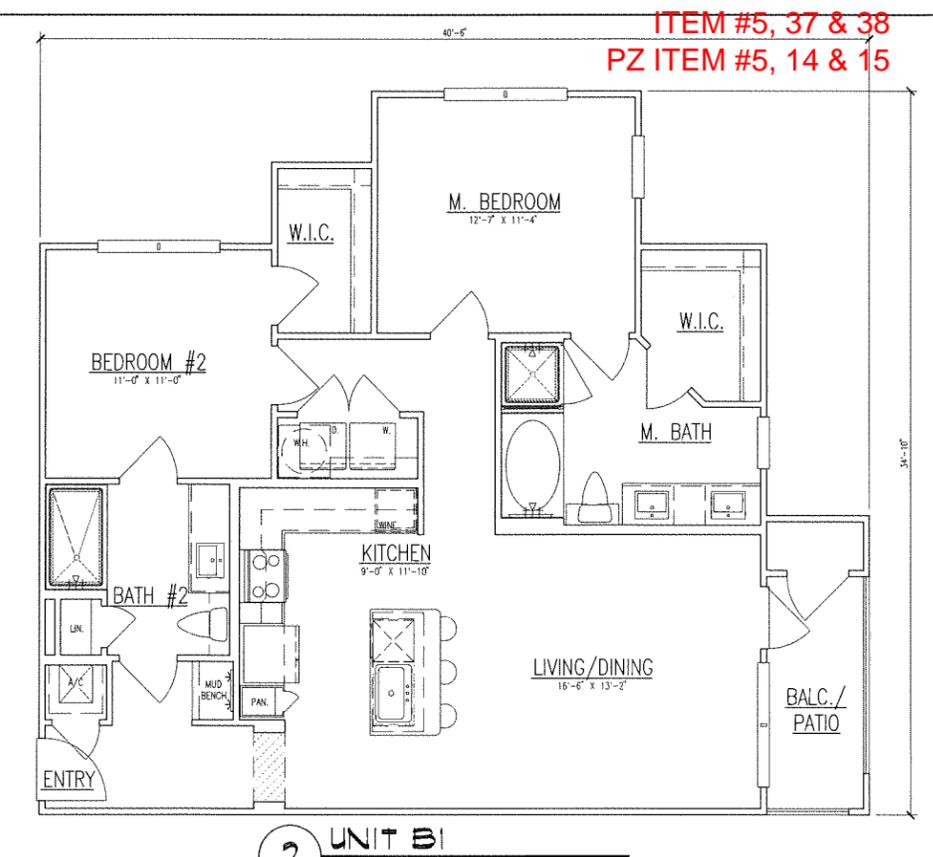
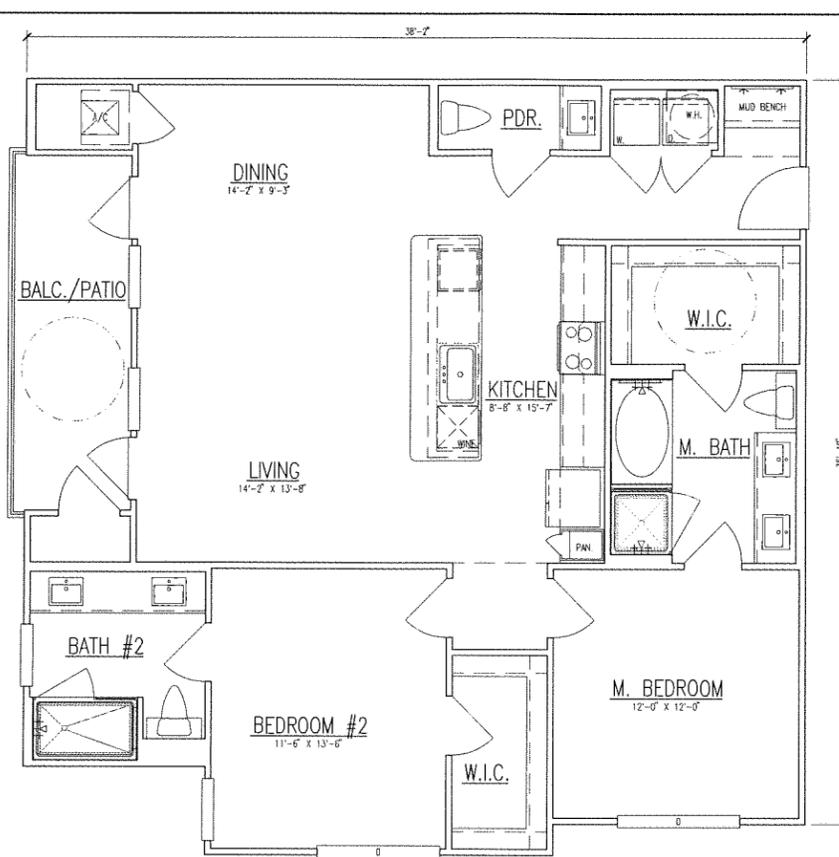
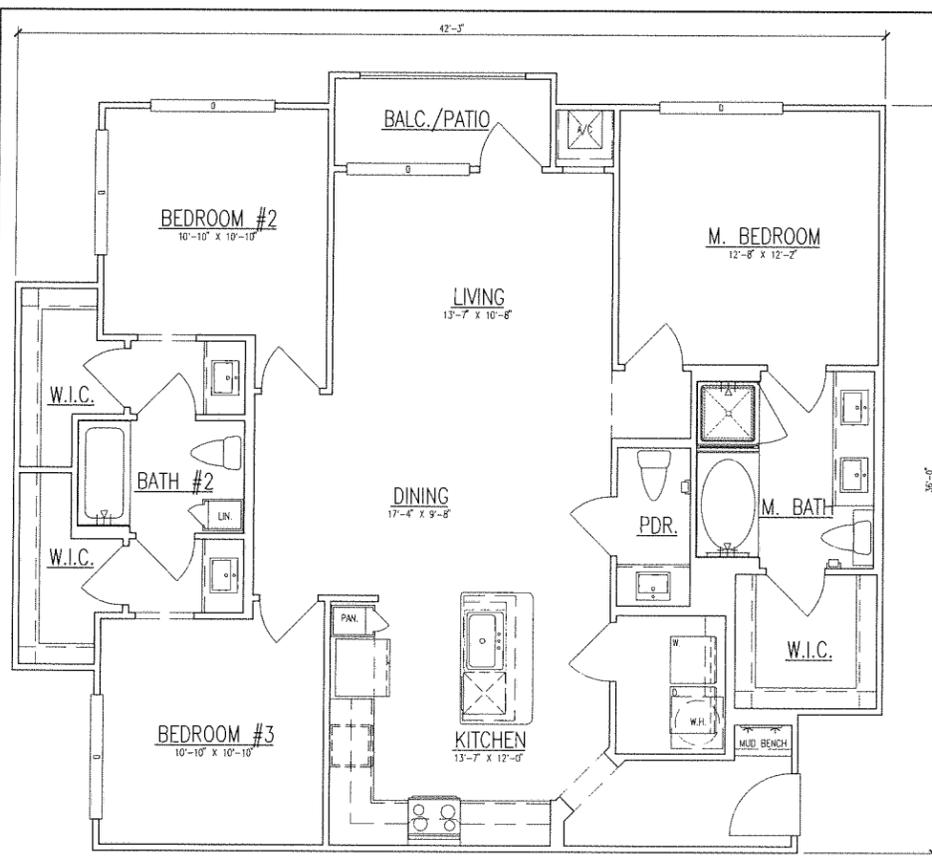
MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 9 OF 47

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

**UNIT PLAN - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15



CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GLADE/360 ADDITION

MAYOR: \_\_\_\_\_ SECRETARY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN: \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 10 OF 47

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

**UNIT PLAN - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

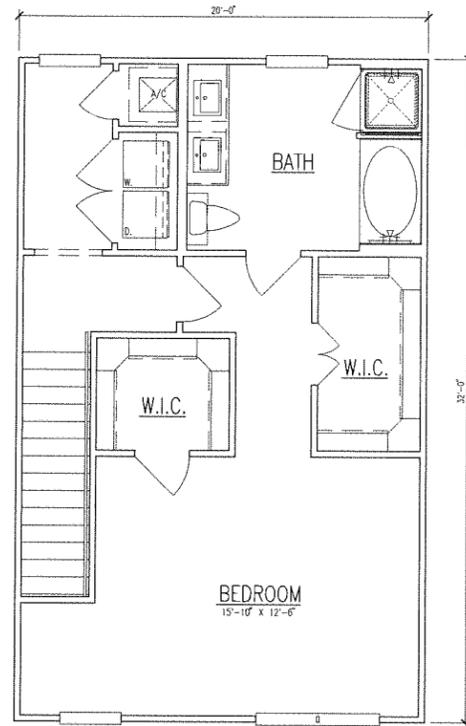
**Meeks + Partners**  
ARCHITECTURE  
LAND PLANNING

1000 MEMORIAL DRIVE SUITE #100 - HOUSTON, TX 77079  
281-558-8787 - 281-558-5337 - www.meekspartners.com  
CONCEPTUAL DESIGN

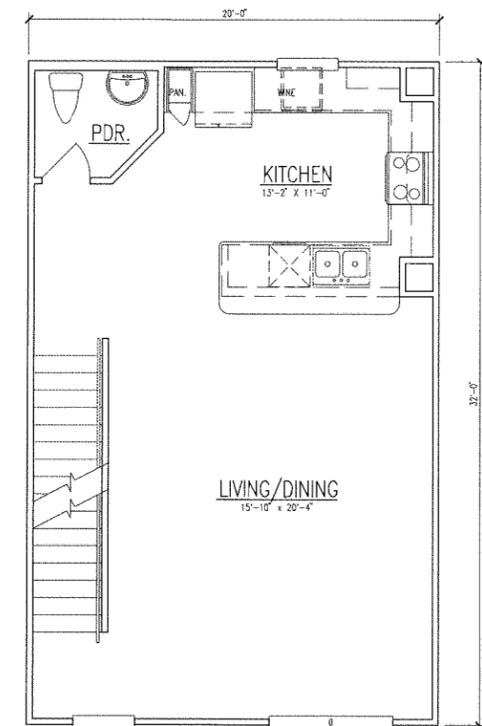
**M P**

10  
JOB NO. 14033

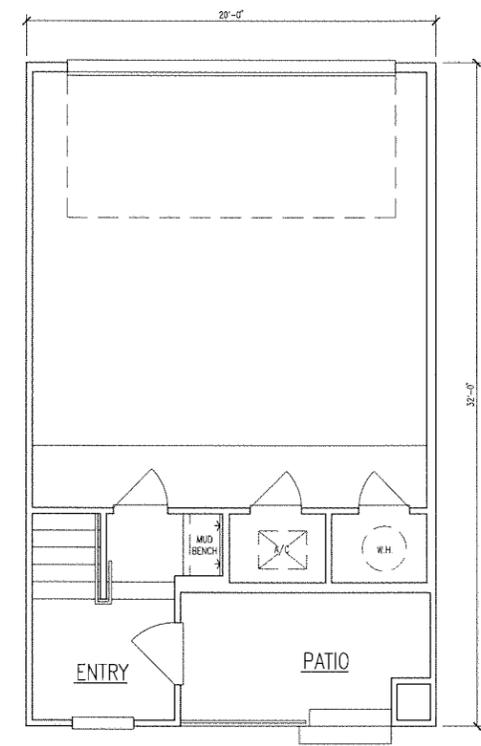
2015 09 15



**3 UNIT TH1 - 3RD FLOOR**  
1/4" = 1'-0"



**2 UNIT TH1 - 2ND FLOOR**  
1/4" = 1'-0"



**1 UNIT TH1 - 1ST FLOOR**  
1/4" = 1'-0"

NET: 1,310  
GROSS: 1,920

CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 11 OF 47

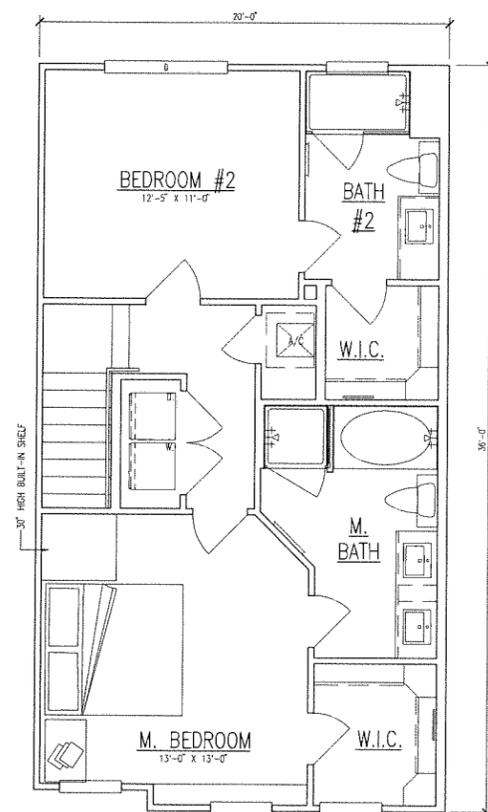
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

**UNIT PLAN - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

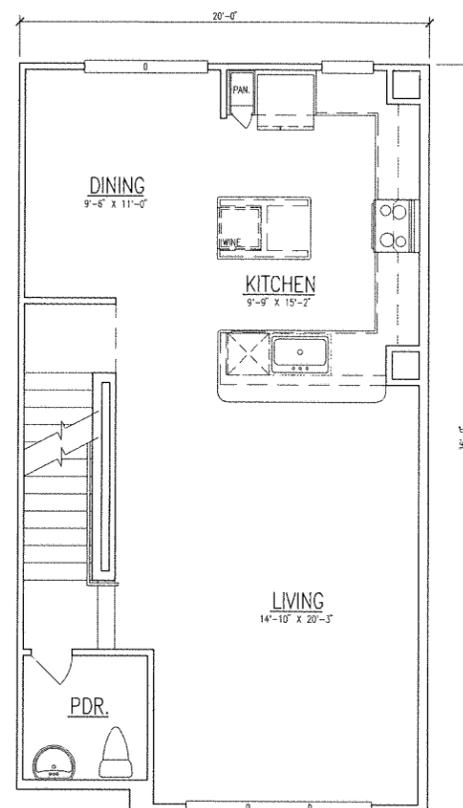
**Meeks + Partners**  
ARCHITECTURE  
LAND PLANNING  
18000 MEMORIAL DRIVE SUITE #100 - HOUSTON, TX 77075  
281-558-8787 - 281-558-5307 - www.meekspartners.com  
CONCEPTUAL DESIGN



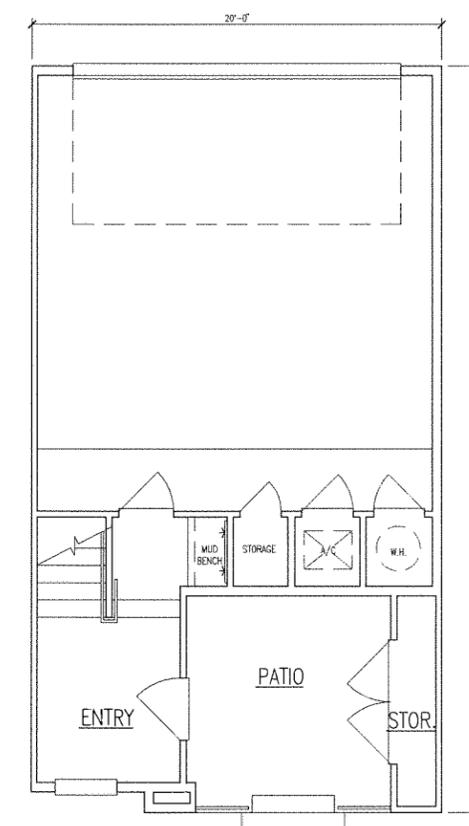
These are preliminary and are subject to change without notice. All dimensions are in feet and inches. The information herein is for informational purposes only and does not constitute an offer of any financial product. The information herein is not intended to be used in any way to determine the suitability of any financial product. The information herein is not intended to be used in any way to determine the suitability of any financial product. The information herein is not intended to be used in any way to determine the suitability of any financial product.



**3** UNIT TH2 - 3RD FLOOR  
1/4" = 1'-0"



**2** UNIT TH2 - 2ND FLOOR  
1/4" = 1'-0"



**1** UNIT TH2 - 1ST FLOOR  
1/4" = 1'-0"  
NET: 1,456  
GROSS: 2,142

CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2,  
BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 12 OF 47

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

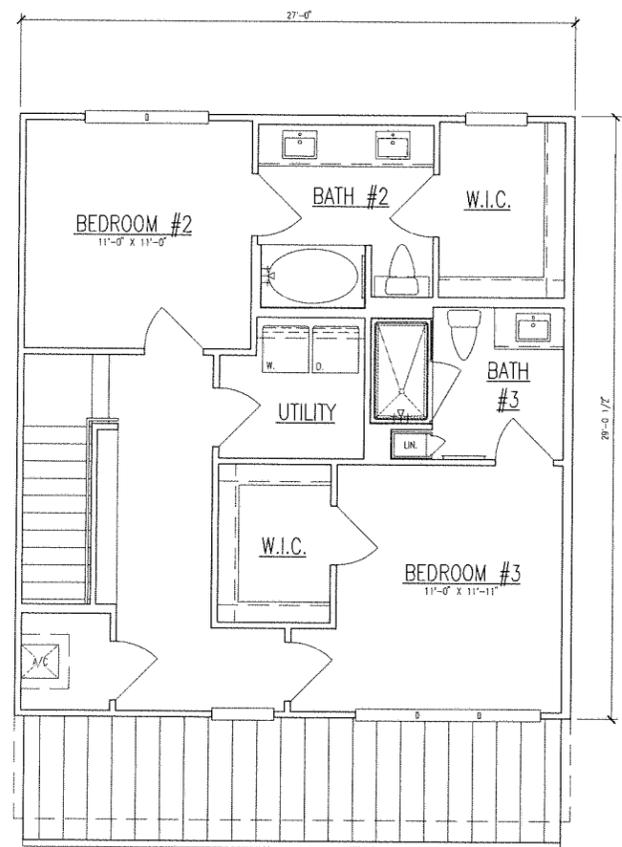
**UNIT PLAN - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

**Meeks + Partners**  
ARCHITECTURE  
LAND PLANNING  
18000 MEMORIAL DRIVE SUITE #100 - HOUSTON, TX 77079  
281-558-8787 - 281-558-3337 - www.meekspartners.com  
CONCEPTUAL DESIGN

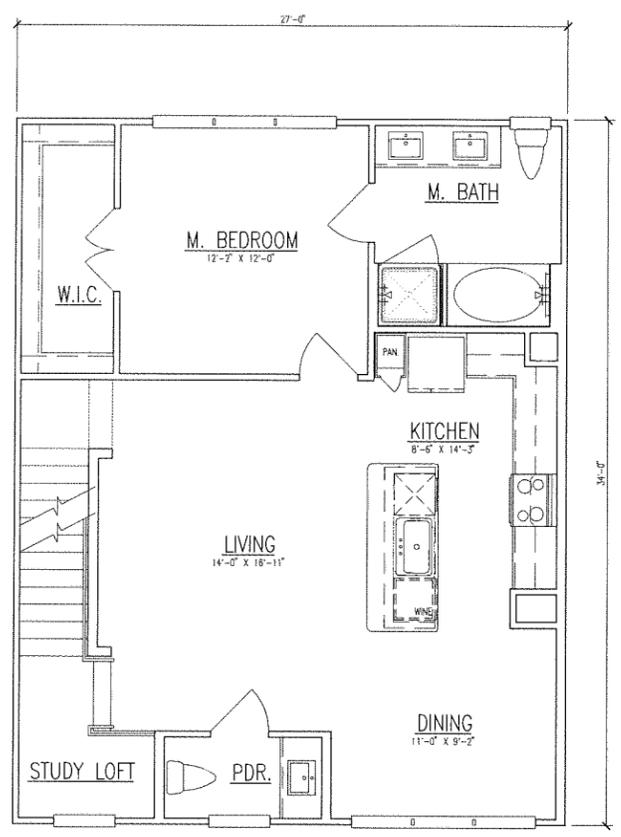


These are conceptual and are subject to change without notice. All dimensions are approximate and are not to scale. The information herein is for informational purposes only and does not constitute an offer of any financial product. The information herein is for informational purposes only and does not constitute an offer of any financial product. The information herein is for informational purposes only and does not constitute an offer of any financial product.

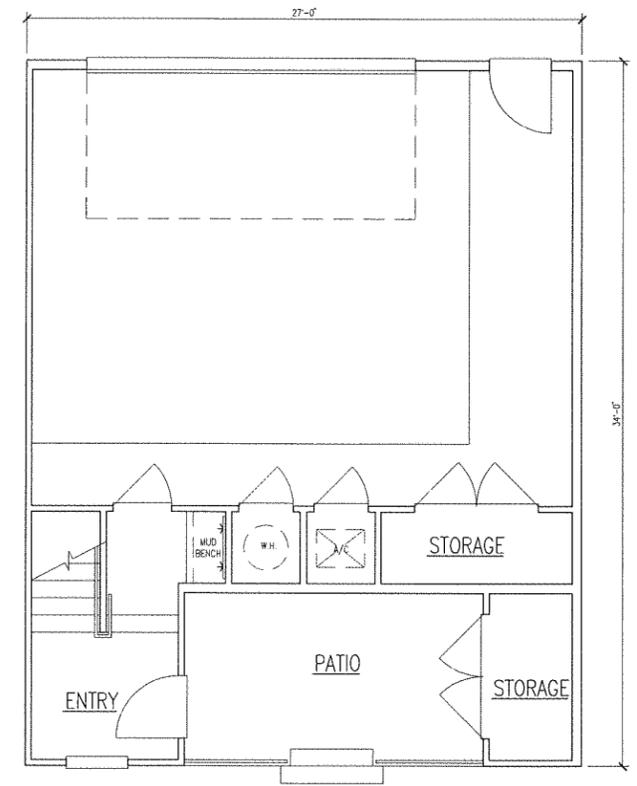




3 UNIT TH3 - 3RD FLOOR  
1/4" = 1'-0"



2 UNIT TH3 - 2ND FLOOR  
1/4" = 1'-0"



1 UNIT TH3 - 1ST FLOOR  
1/4" = 1'-0"  
NET: 1,747  
GROSS: 2,620

CASE NAME: THE PRESERVE  
CASE NUMBER: 215-54 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GLADE/360 ADDITION

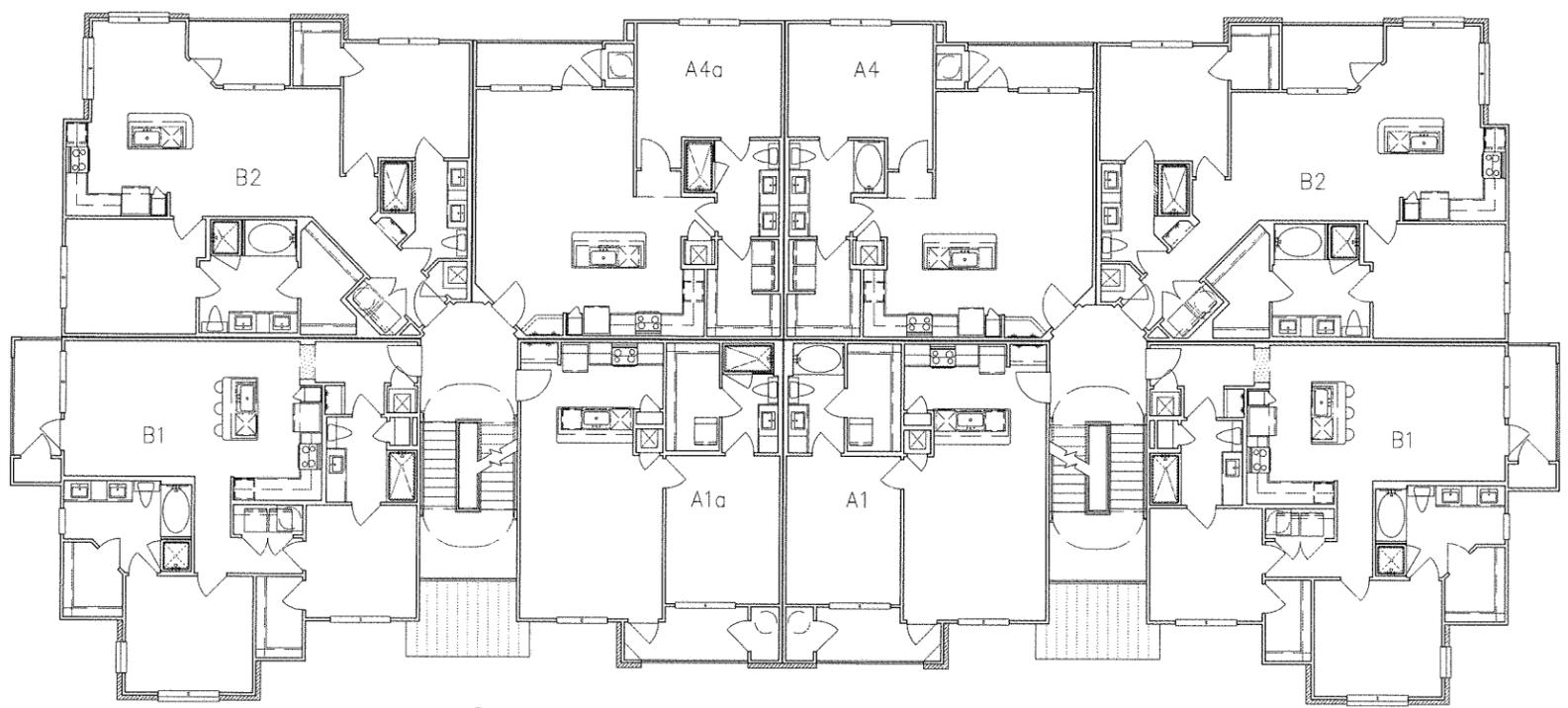
MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 14 OF 47

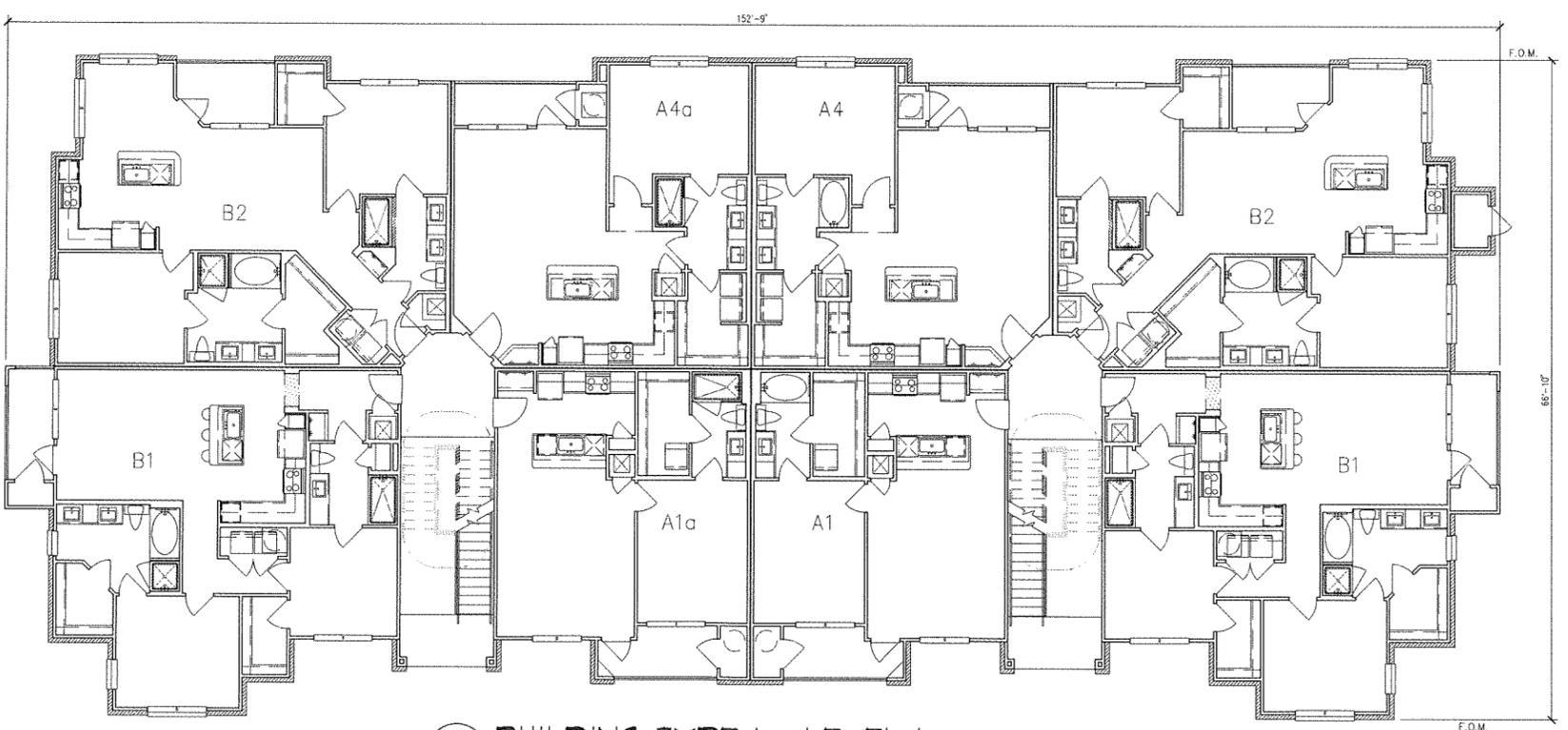
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

UNIT PLAN - THE PRESERVE  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

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**2** BUILDING TYPE I - LEVEL 2  
1/8" = 1'-0"



**1** BUILDING TYPE I - LEVEL 1  
1/8" = 1'-0"

CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2,  
BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

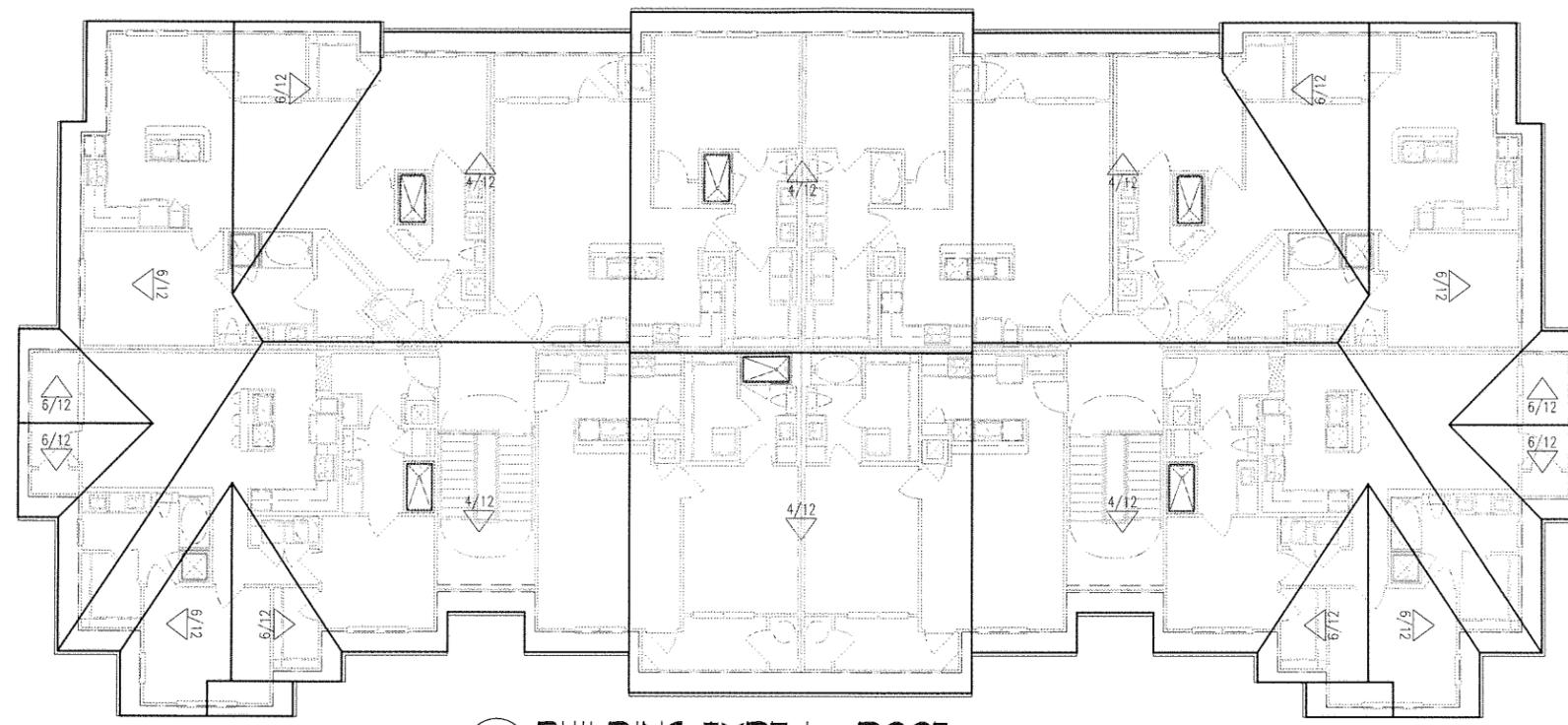
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 15 OF 47

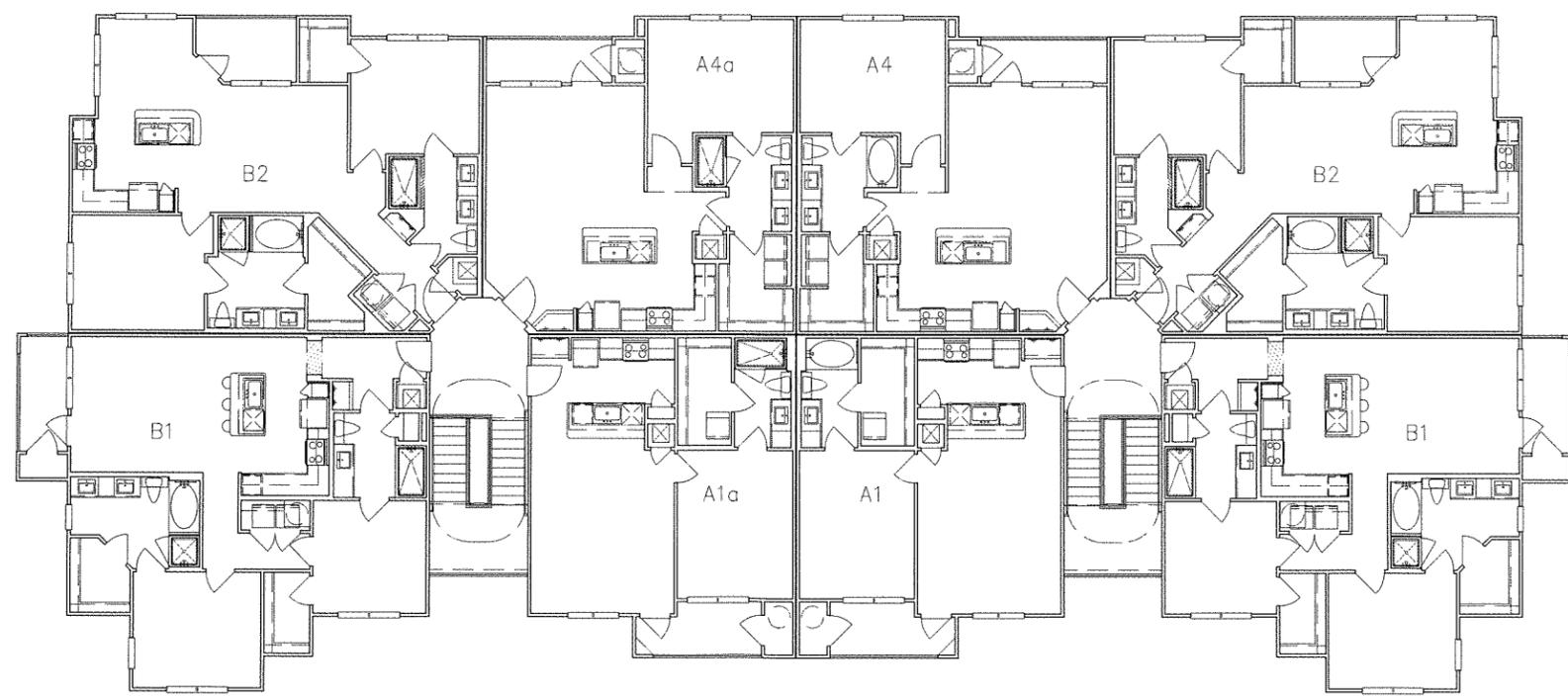
APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

**BUILDING PLAN - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

These are preliminary and are subject to change without notice. The architect's liability is limited to the contract sum. The architect is not responsible for the construction of any structure or building. The architect's liability is limited to the contract sum. The architect is not responsible for the construction of any structure or building.



**2** BUILDING TYPE I - ROOF  
1/8"=1'-0"



**1** BUILDING TYPE I - LEVEL 3  
1/8"=1'-0"

CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4901 STATE HIGHWAY 360, LOTS 1 & 2,  
BLOCK A, GRADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 16 OF 47

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

**BUILDING PLAN - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

These are conceptual and are subject to approval by the Planning and Zoning Commission. The information shown here is for informational purposes only and does not constitute a contract. The information shown here is for informational purposes only and does not constitute a contract. The information shown here is for informational purposes only and does not constitute a contract.

**ITEM #5, 37 & 38**  
**KEYNOTE LEGEND:**  
**PZ ITEM #5, 14 & 15**

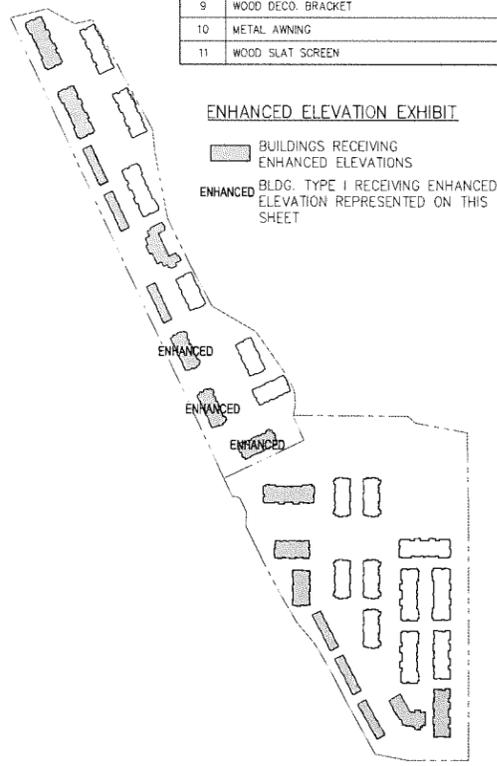
1A	TYPICAL BRICK VENEER (BRICK TYPE 1)
1B	TYPICAL BRICK VENEER (BRICK TYPE 2)
1C	MASONRY CONTROL JOINT (RE: X/AX,XX)
1D	BRICK SOLDIER COURSE
1E	BRICK ROWLOCK COURSE
2A	FIBER CEMENT LAP SIDING
2B	SMOOTH FINISH FIBER CEMENT PANEL
2C	SMOOTH FINISH FIBER CEMENT TRIM
2D	FINISH FIBER CEMENT SHAKE SIDING
3A	EXTERIOR STUCCO SYSTEM
3B	STUCCO COVERED FOAM TRIM
3C	STUCCO CONTROL JOINT (RE: X/AX,XX)
4A	BURNISH BLOCK VENEER
4B	CAST STONE CAP
5A	CAST STONE BAND
5B	CAST STONE HEADER
5C	CAST STONE SILL
6	TYPICAL METAL GUARDRAIL
7	STANDING SEAM METAL ROOF
8	COMPOSITION SHINGLES
9	WOOD DECO. BRACKET
10	METAL AWNING
11	WOOD SLAT SCREEN



**2 BUILDING TYPE I & IA - FRONT ELEVATION**  
 1/8"=1'-0"



**1 BUILDING TYPE I & IA - ENHANCED REAR ELEVATION**  
 1/8"=1'-0"



**ENHANCED ELEVATION EXHIBIT**  
 BUILDINGS RECEIVING ENHANCED ELEVATIONS  
 ENHANCED BLDG. TYPE I RECEIVING ENHANCED ELEVATION REPRESENTED ON THIS SHEET

**ENHANCED ELEVATION KEY MAP**

CASE NAME: THE PRESERVE  
 CASE NUMBER: Z15-04 AND CU15 22  
 LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 17 OF 47  
 APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES

**ENHANCED ELEVATION:**  
 ELEVATIONS TO RECEIVE HIGHER PERCENTAGE OF MASONRY THAN TYPICAL ELEVATION BECAUSE OF ITS PROXIMITY TO THE ADJACENT PUBLIC RIGHT-OF-WAY. REFER TO THE KEY MAP ON THIS SHEET FOR EXACT LOCATION.

**BUILDING ELEVATIONS - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

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**ITEM #5, 37 & 38**  
KEYNOTE LEGEND:  
**PZ ITEM #5, 14 & 15**

1A	TYPICAL BRICK VENEER (BRICK TYPE 1)
1B	TYPICAL BRICK VENEER (BRICK TYPE 2)
1C	MASONRY CONTROL JOINT (RE: X/AX.XX)
1D	BRICK SOLDIER COURSE
1E	BRICK ROWLOCK COURSE
2A	FIBER CEMENT LAP SIDING
2B	SMOOTH FINISH FIBER CEMENT PANEL
2C	SMOOTH FINISH FIBER CEMENT TRIM
2D	FINISH FIBER CEMENT SHAKE SIDING
3A	EXTERIOR STUCCO SYSTEM
3B	STUCCO COVERED FOAM TRIM
3C	STUCCO CONTROL JOINT (RE: X/AX.XX)
4A	BURNISH BLOCK VENEER
4B	CAST STONE CAP
5A	CAST STONE BAND
5B	CAST STONE HEADER
5C	CAST STONE SILL
6	TYPICAL METAL GUARDRAIL
7	STANDING SEAM METAL ROOF
8	COMPOSITION SHINGLES
9	WOOD DECO. BRACKET
10	METAL AWNING
11	WOOD SLAT SCREEN



**2 BUILDING TYPE I & IA - SIDE ELEVATION**  
1/8" = 1'-0"



**1 BUILDING TYPE I & IA - REAR ELEVATION**  
1/8" = 1'-0"

CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GLADE/360 ADDITION

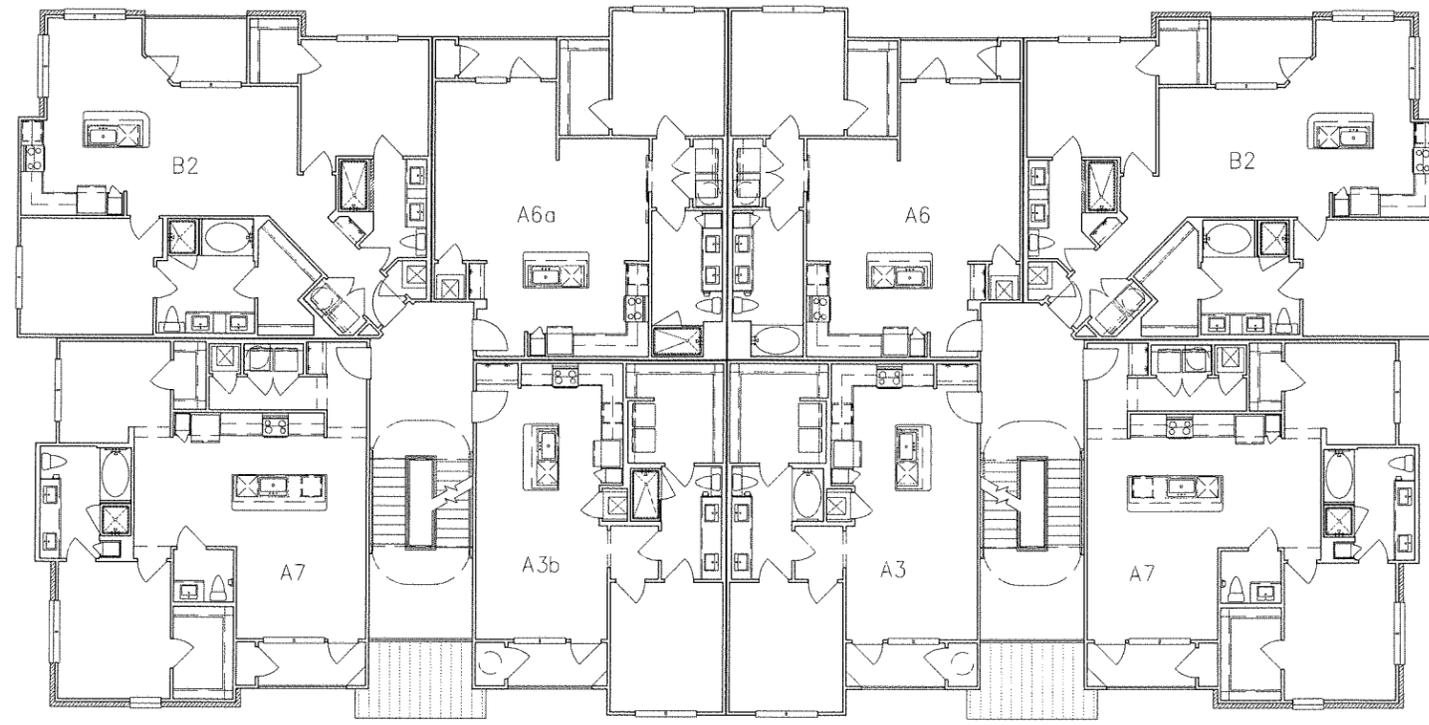
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PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 18 OF 47

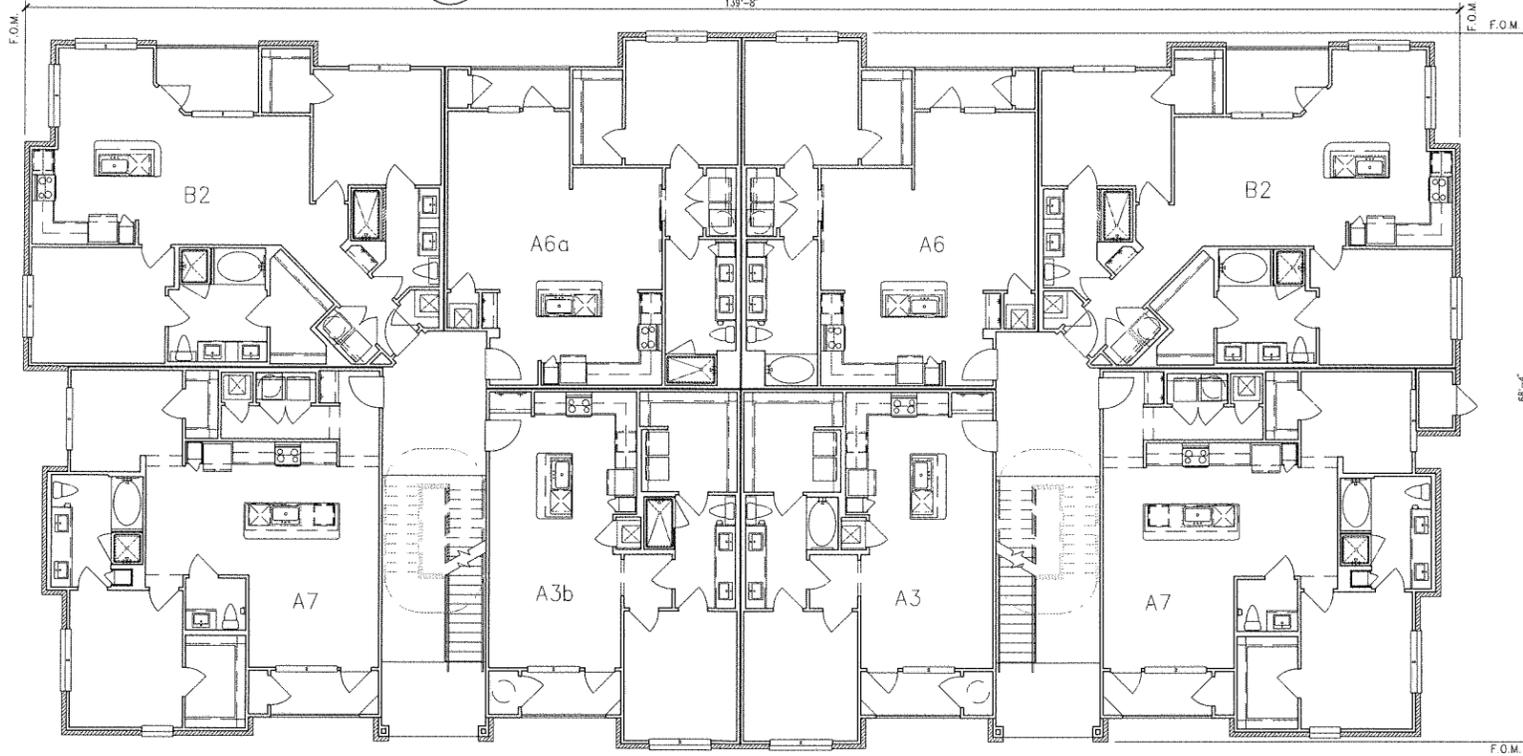
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

**BUILDING ELEVATIONS - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15



**2** BUILDING TYPE II - LEVEL 2  
1/8" = 1'-0"



**1** BUILDING TYPE II - LEVEL 1  
1/8" = 1'-0"

CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2,  
BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 19 OF 47

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
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DEPARTMENT OF DEVELOPMENT SERVICES

**BUILDING PLAN - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

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18000 MEMORIAL DRIVE SUITE #101 - HOUSTON, TX 77078  
281-558-8787 - 281-558-3327 - www.meekspartners.com  
CONCEPTUAL DESIGN

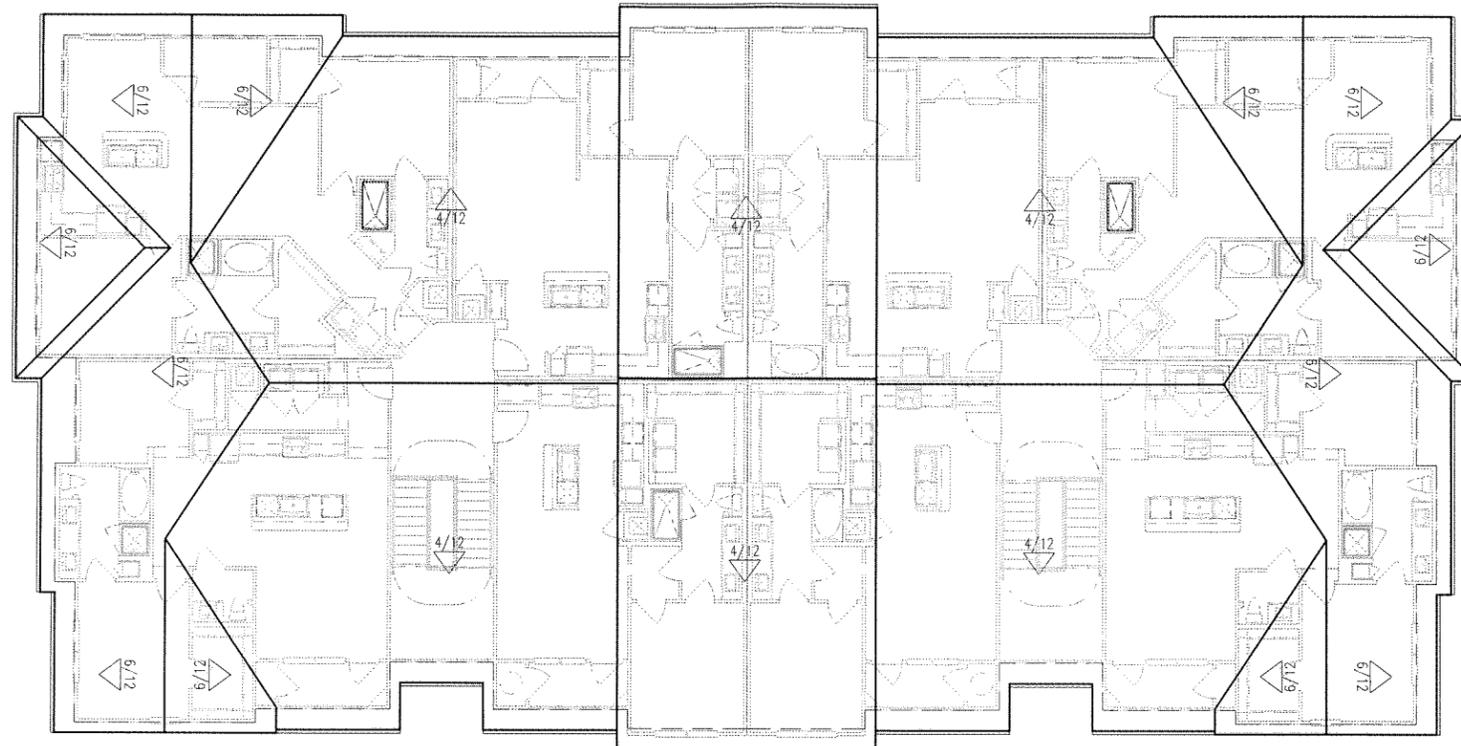
2015 09 15

**M P** 19

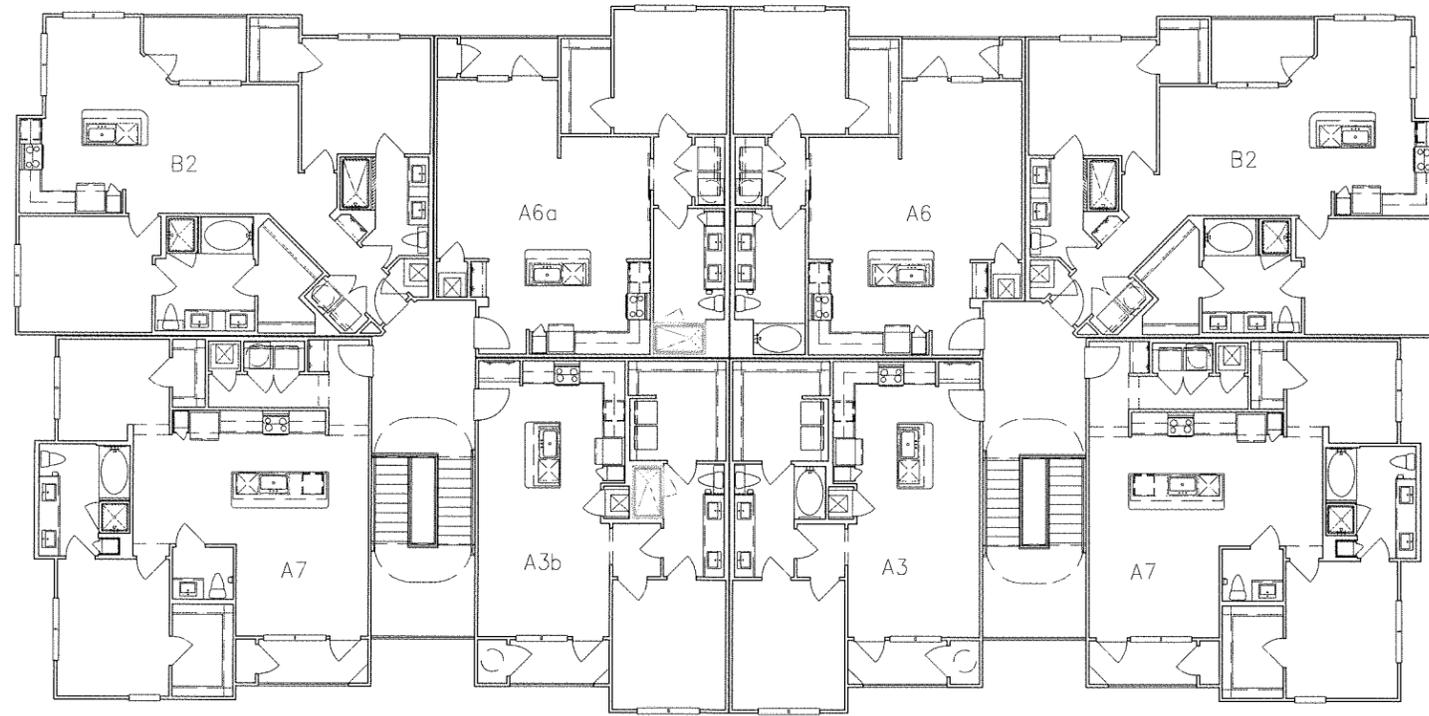
JOB NO. 14033

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ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15



**2 BUILDING TYPE II - ROOF**  
1/8"=1'-0"



**1 BUILDING TYPE II - LEVEL 3**  
1/8"=1'-0"

CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2,  
BLOCK A, GRADE/560 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 20 OF 47

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

2015 09 15

**BUILDING PLAN - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

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CONCEPTUAL DESIGN

**M P** 20  
JOS NO. 14033

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**ITEM #5, 37 & 38**  
**KEYNOTE LEGEND:**  
**PZ ITEM #5, 14 & 15**

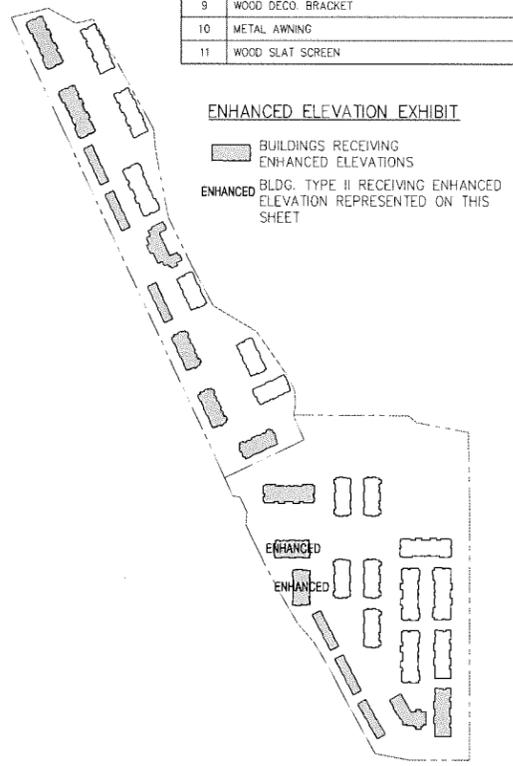
1A	TYPICAL BRICK VENEER (BRICK TYPE 1)
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7	STANDING SEAM METAL ROOF
8	COMPOSITION SHINGLES
9	WOOD DECO. BRACKET
10	METAL AWNING
11	WOOD SLAT SCREEN



**2 BUILDING TYPE II - FRONT ELEVATION**  
 1/8"=1'-0"



**1 BUILDING TYPE II - ENHANCED REAR ELEVATION**  
 1/8"=1'-0"



**ENHANCED ELEVATION EXHIBIT**  
 BUILDINGS RECEIVING ENHANCED ELEVATIONS  
 ENHANCED BLDG. TYPE II RECEIVING ENHANCED ELEVATION REPRESENTED ON THIS SHEET

**ENHANCED ELEVATION:**  
 ELEVATIONS TO RECEIVE HIGHER PERCENTAGE OF MASONRY THAN TYPICAL ELEVATION BECAUSE OF ITS PROXIMITY TO THE ADJACENT PUBLIC RIGHT-OF-WAY. REFER TO THE KEY MAP ON THIS SHEET FOR EXACT LOCATION.

CASE NAME: THE PRESERVE  
 CASE NUMBER: Z15-04 AND QJ15-22  
 LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

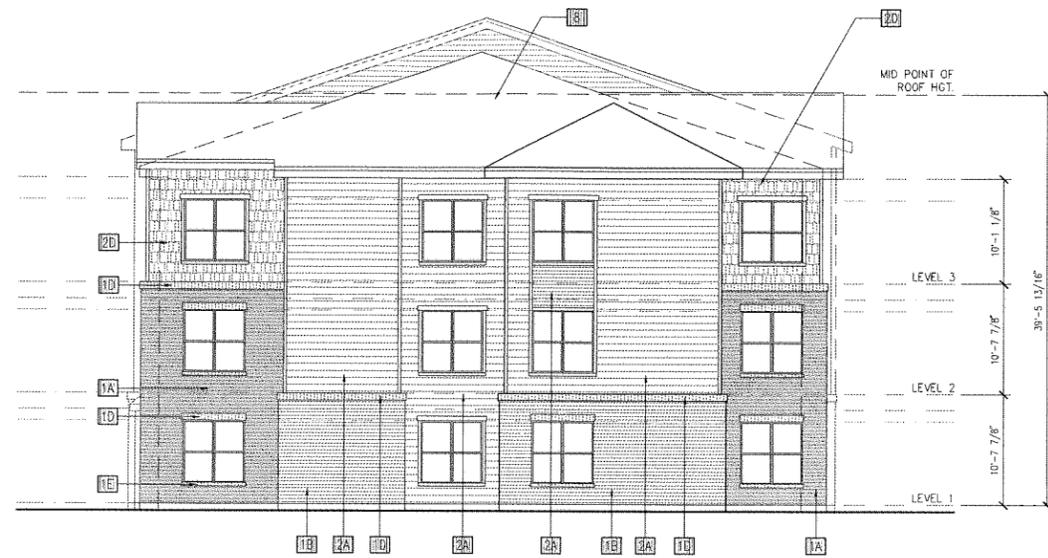
SHEET: 21 OF 47

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES

**BUILDING ELEVATIONS - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

**ITEM #5, 37 & 38**  
**KEYNOTE LEGEND:**  
**PZ ITEM #5, 14 & 15**

1A	TYPICAL BRICK VENEER (BRICK TYPE 1)
1B	TYPICAL BRICK VENEER (BRICK TYPE 2)
1C	MASONRY CONTROL JOINT (RE: X/AX.XX)
1D	BRICK SOLDIER COURSE
1E	BRICK ROWLOCK COURSE
2A	FIBER CEMENT LAP SIDING
2B	SMOOTH FINISH FIBER CEMENT PANEL
2C	SMOOTH FINISH FIBER CEMENT TRIM
2D	FINISH FIBER CEMENT SHAKE SIDING
3A	EXTERIOR STUCCO SYSTEM
3B	STUCCO COVERED FOAM TRIM
3C	STUCCO CONTROL JOINT (RE: X/AX.XX)
4A	BURNISH BLOCK VENEER
4B	CAST STONE CAP
5A	CAST STONE BAND
5B	CAST STONE HEADER
5C	CAST STONE SILL
6	TYPICAL METAL GUARDRAIL
7	STANDING SEAM METAL ROOF
8	COMPOSITION SHINGLES
9	WOOD DECOR. BRACKET
10	METAL AWNING
11	WOOD SLAT SCREEN



**2 BUILDING TYPE II - SIDE ELEVATION**  
 1/8" = 1'-0"



**1 BUILDING TYPE II - REAR ELEVATION**  
 1/8" = 1'-0"

CASE NAME: THE PRESERVE  
 CASE NUMBER: Z15-04 AND CU15-22  
 LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GLADE/360 ADDITION

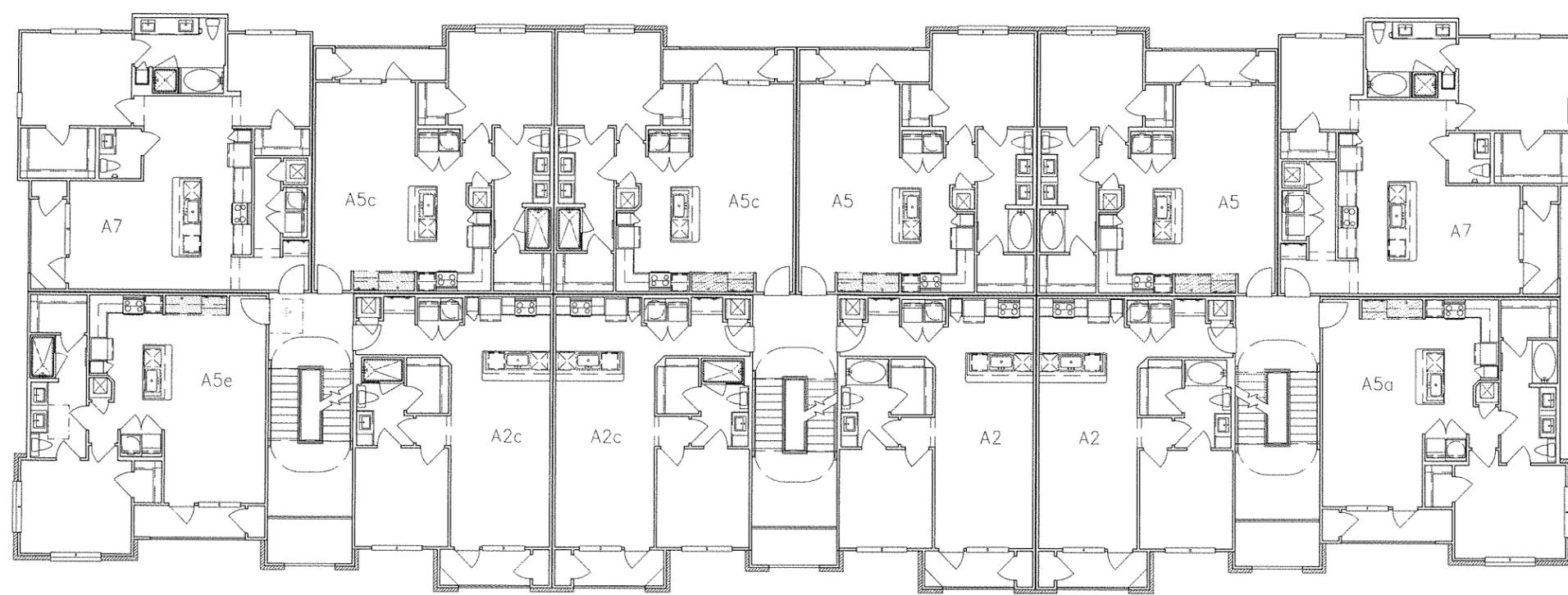
MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 22 OF 47

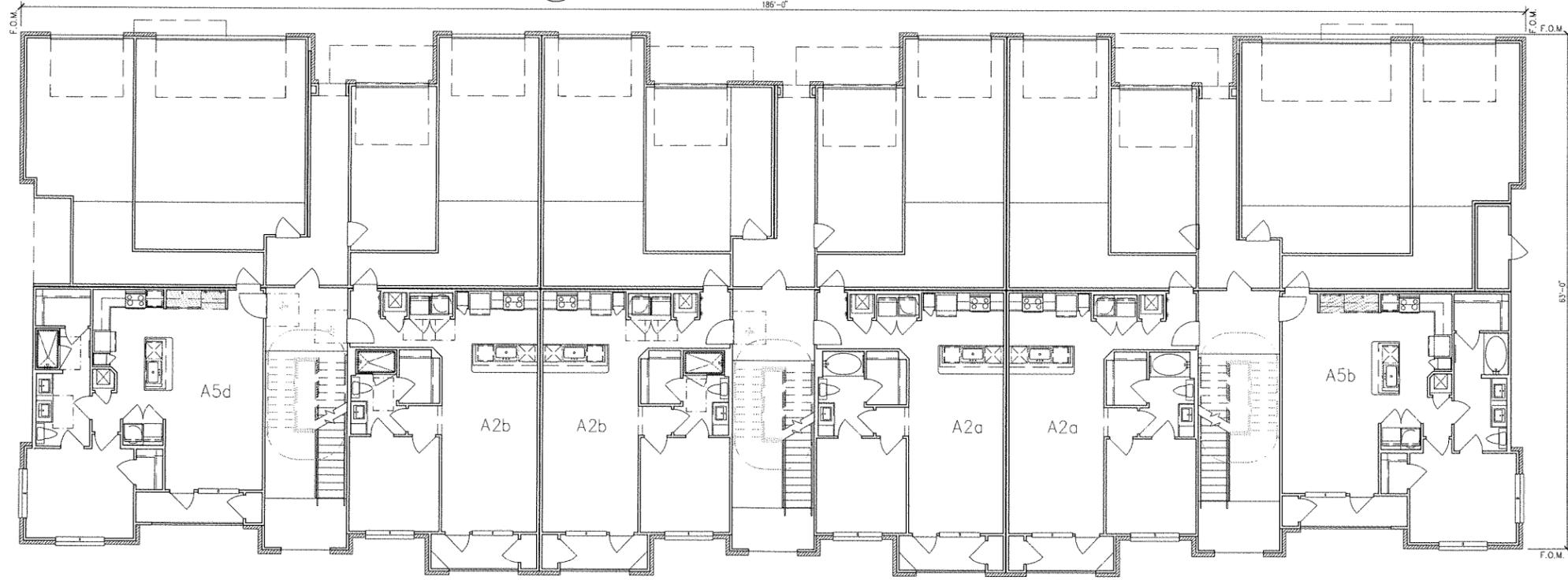
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES

**BUILDING ELEVATIONS - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15



2 BUILDING TYPE III - LEVEL 2  
1/8" = 1'-0"



1 BUILDING TYPE III - LEVEL 1  
1/8" = 1'-0"

CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2,  
BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 23 OF 47

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
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2015 09 15

**BUILDING PLAN - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

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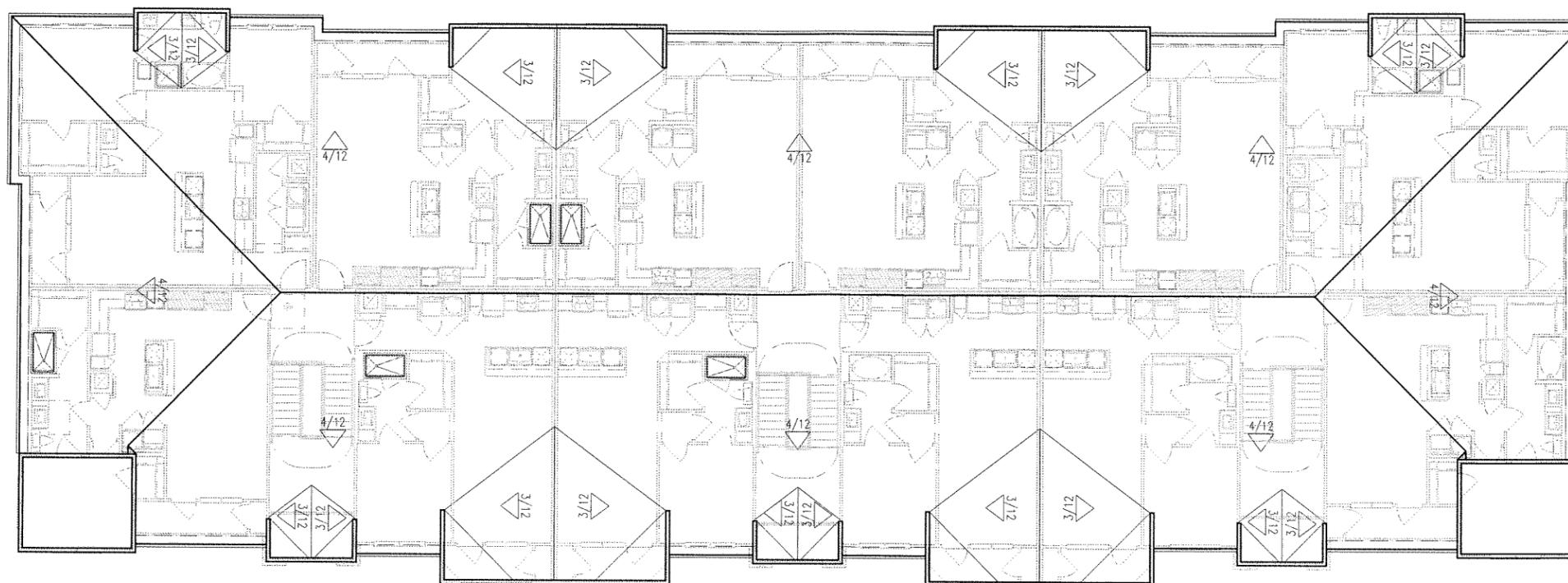


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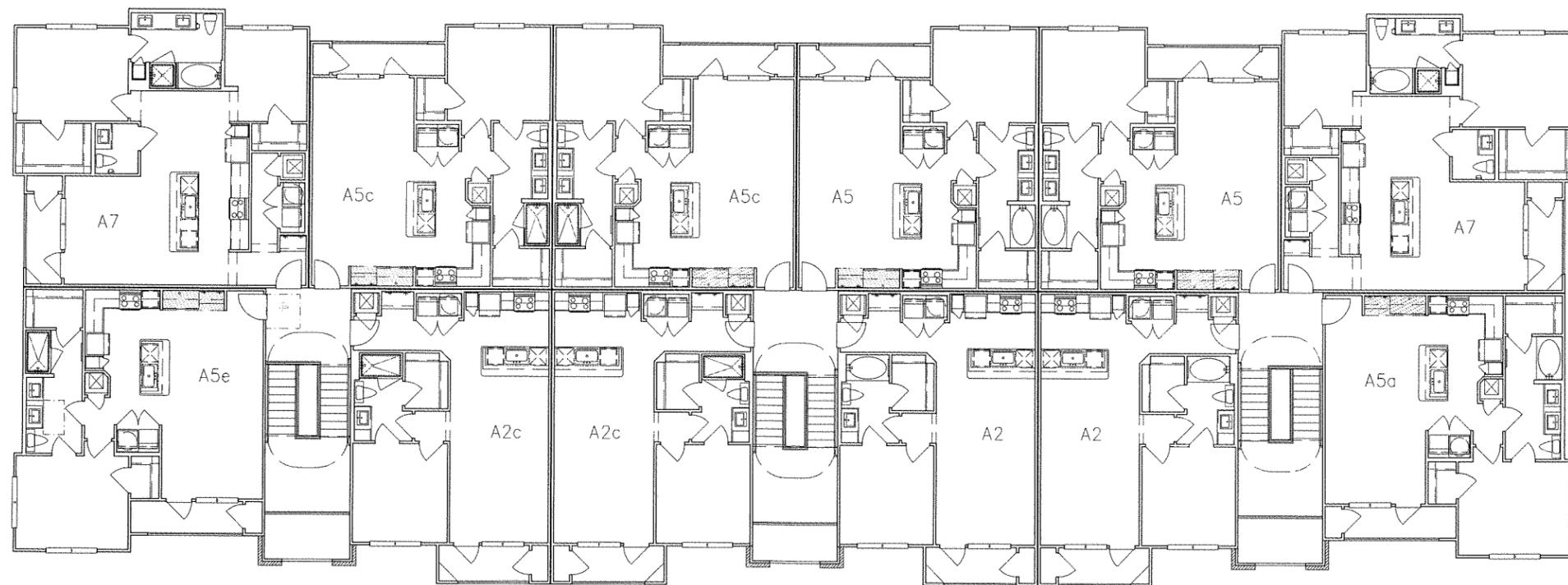
JOB NO. 14033

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ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15



**2 BUILDING TYPE III - ROOF**  
1/8"=1'-0"



**1 BUILDING TYPE III - LEVEL 3**  
1/8"=1'-0"

CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2,  
BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 24 OF 47

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DEPARTMENT OF DEVELOPMENT SERVICES

**BUILDING PLAN - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

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**24**

JOB NO: 14033

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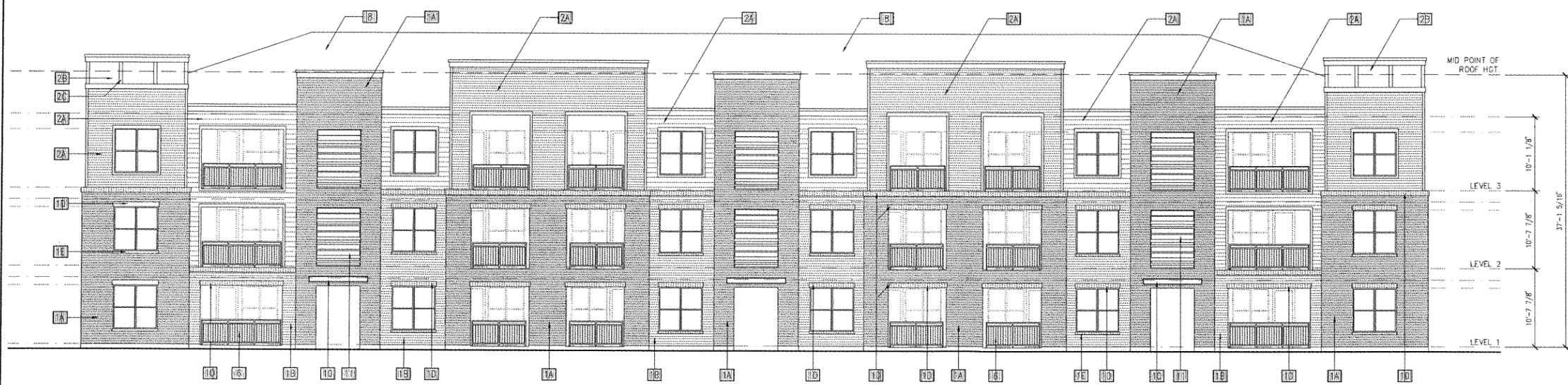
**ITEM #5, 37 & 38**  
**PZ ITEM #5, 14 & 15**

KEYNOTE LEGEND:

1A	TYPICAL BRICK VENEER (BRICK TYPE 1)
1B	TYPICAL BRICK VENEER (BRICK TYPE 2)
1C	MASONRY CONTROL JOINT (RE: X/AX,XX)
1D	BRICK SOLDIER COURSE
1E	BRICK ROWLOCK COURSE
2A	FIBER CEMENT LAP SIDING
2B	SMOOTH FINISH FIBER CEMENT PANEL
2C	SMOOTH FINISH FIBER CEMENT TRIM
2D	FINISH FIBER CEMENT SHAKE SIDING
3A	EXTERIOR STUCCO SYSTEM
3B	STUCCO COVERED FOAM TRIM
3C	STUCCO CONTROL JOINT (RE: X/AX,XX)
4A	BURNISH BLOCK VENEER
4B	CAST STONE CAP
5A	CAST STONE BAND
5B	CAST STONE HEADER
5C	CAST STONE SILL
6	TYPICAL METAL GUARDRAIL
7	STANDING SEAM METAL ROOF
8	COMPOSITION SHINGLES
9	WOOD DECO. BRACKET
10	METAL AWNING
11	WOOD SLAT SCREEN

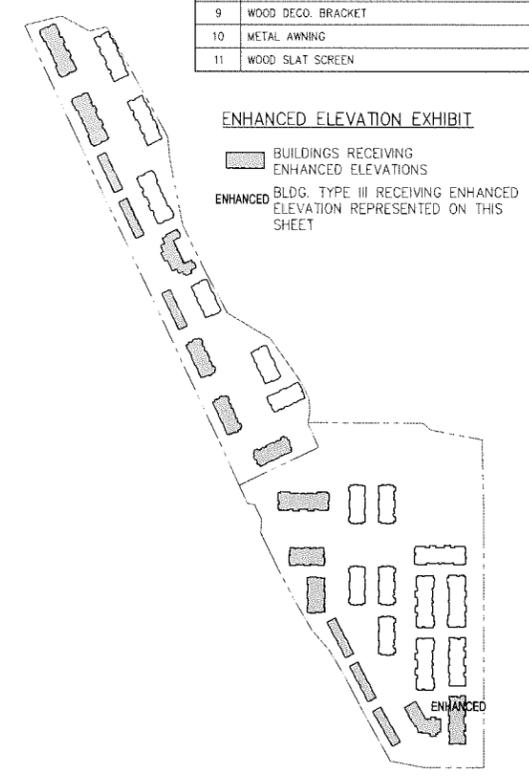


**2 BUILDING TYPE III - FRONT ELEVATION**  
 1/8" = 1'-0"



**1 BUILDING TYPE III - ENHANCED FRONT ELEVATION**  
 1/8" = 1'-0"

ENHANCED ELEVATION:  
 ELEVATIONS TO RECEIVE HIGHER PERCENTAGE OF MASONRY THAN TYPICAL ELEVATION BECAUSE OF ITS PROXIMITY TO THE ADJACENT PUBLIC RIGHT-OF-WAY. REFER TO THE KEY MAP ON THIS SHEET FOR EXACT LOCATION.



**ENHANCED ELEVATION EXHIBIT**  
 BUILDINGS RECEIVING ENHANCED ELEVATIONS  
 ENHANCED BLDG. TYPE III RECEIVING ENHANCED ELEVATION REPRESENTED ON THIS SHEET

**ENHANCED ELEVATION KEY MAP**

CASE NAME: THE PRESERVE  
 CASE NUMBER: Z15-04 AND CU15-22  
 LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

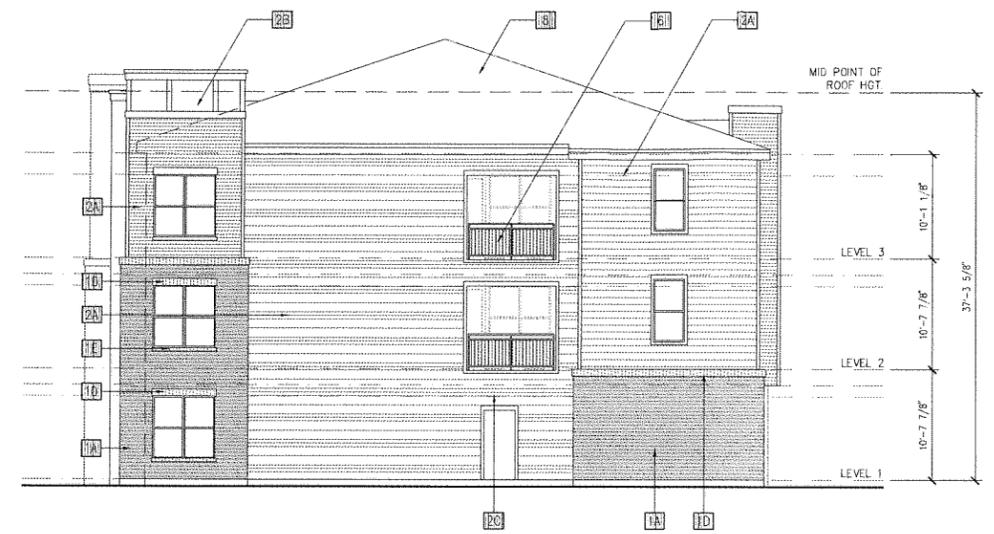
SHEET: 25 OF 47

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 DEPARTMENT OF DEVELOPMENT SERVICES

**BUILDING ELEVATIONS - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

**ITEM #5, 37 & 38**  
**KEYNOTE LEGEND:**  
**PZ ITEM #5, 14 & 15**

1A	TYPICAL BRICK VENEER (BRICK TYPE 1)
1B	TYPICAL BRICK VENEER (BRICK TYPE 2)
1C	MASONRY CONTROL JOINT (RE: X/AX,XX)
1D	BRICK SOLDIER COURSE
1E	BRICK ROWLOCK COURSE
2A	FIBER CEMENT LAP SIDING
2B	SMOOTH FINISH FIBER CEMENT PANEL
2C	SMOOTH FINISH FIBER CEMENT TRIM
2D	FINISH FIBER CEMENT SHAKE SIDING
3A	EXTERIOR STUCCO SYSTEM
3B	STUCCO COVERED FOAM TRIM
3C	STUCCO CONTROL JOINT (RE: X/AX,XX)
4A	BURNISH BLOCK VENEER
4B	CAST STONE CAP
5A	CAST STONE BAND
5B	CAST STONE HEADER
5C	CAST STONE SILL
6	TYPICAL METAL GUARDRAIL
7	STANDING SEAM METAL ROOF
8	COMPOSITION SHINGLES
9	WOOD DECO. BRACKET
10	METAL AWNING
11	WOOD SLAT SCREEN



**2 BUILDING TYPE III - SIDE ELEVATION**  
 1/8"=1'-0"



**1 BUILDING TYPE III - REAR ELEVATION**  
 1/8"=1'-0"

CASE NAME: THE PRESERVE  
 CASE NUMBER: Z15-04 AND CU15-22  
 LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GLADE/560 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 26 OF 47

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES

**BUILDING ELEVATIONS - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

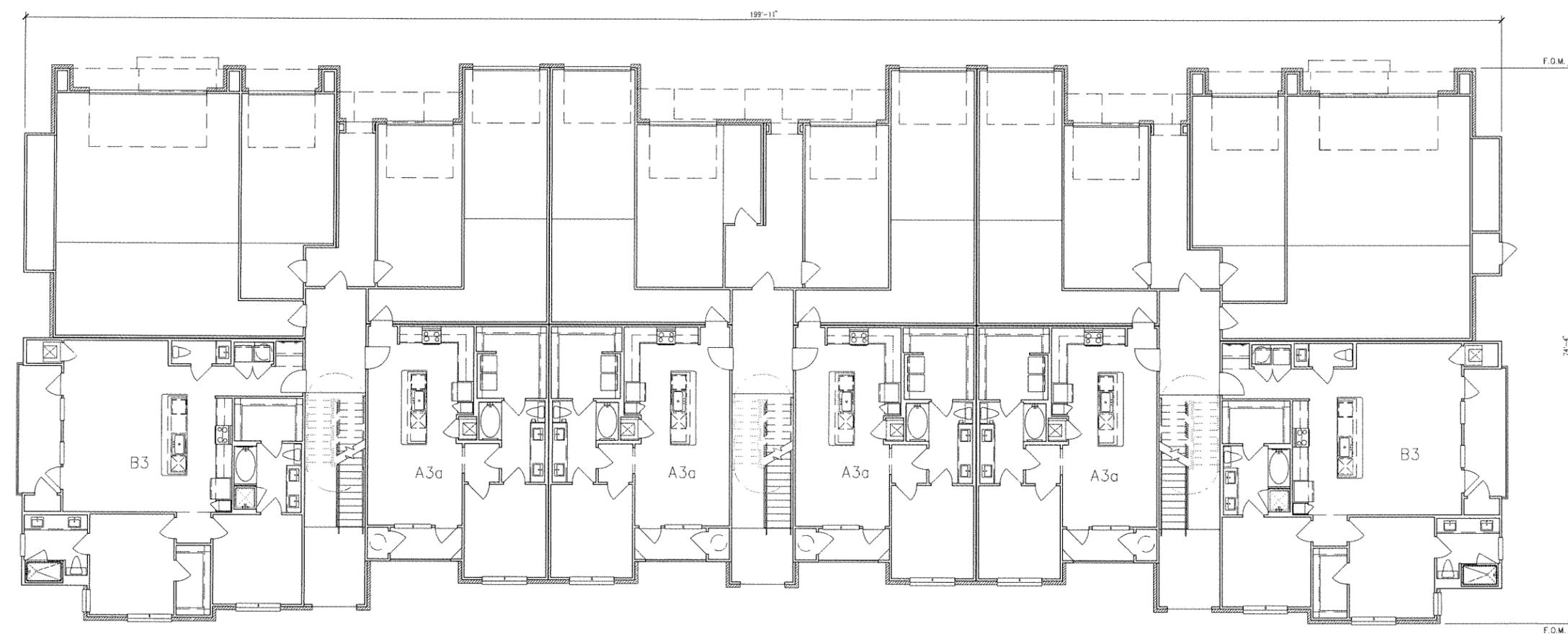
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**M P**

26  
 JOB NO. 14033

2015 09 15

ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15



1 BUILDING TYPE IV - LEVEL 1  
1/8"=1'-0"

CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2,  
BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 27 OF 47

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CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

2015 09 15

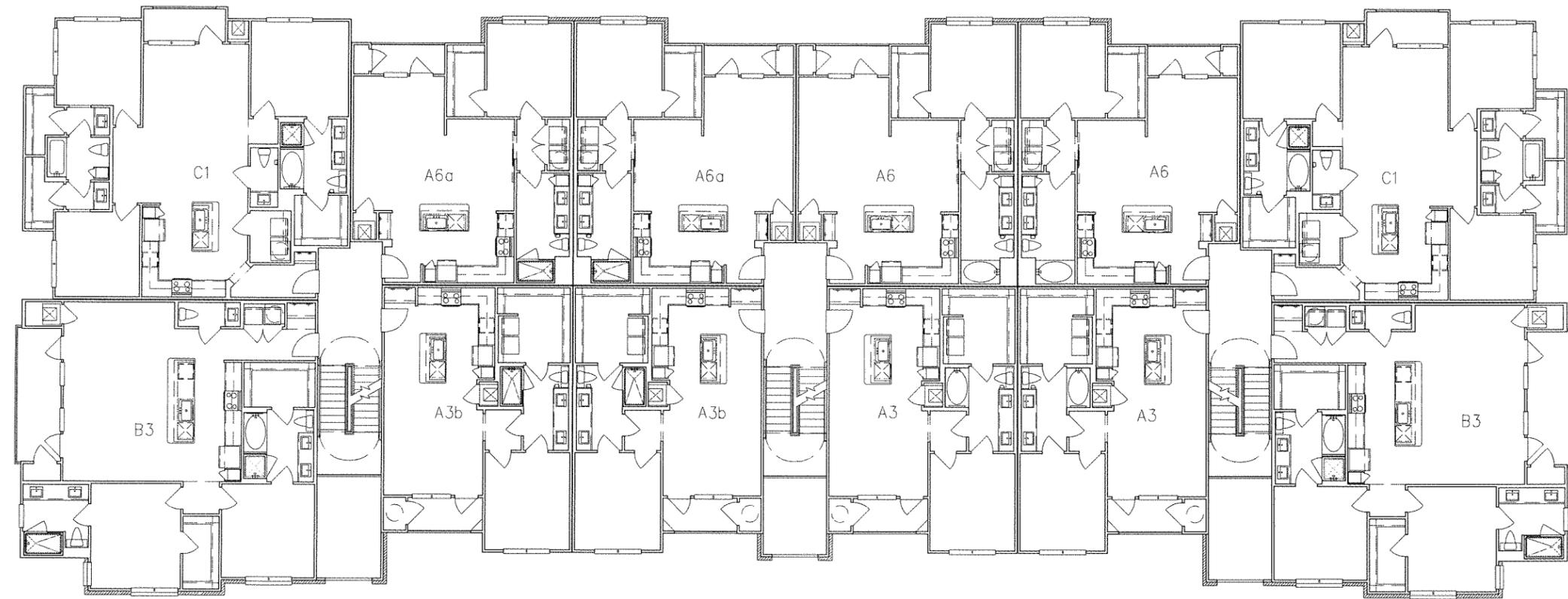
**BUILDING PLAN - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

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**M P** 27  
JCR NO. 14033

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ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15



1 BUILDING TYPE IV - LEVEL 2  
1/8" = 1'-0"

CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4561 STATE HIGHWAY 360, LOTS 1 & 2,  
BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

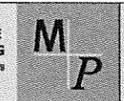
SHEET: 28 OF 47

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2015 09 15

**BUILDING PLAN - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

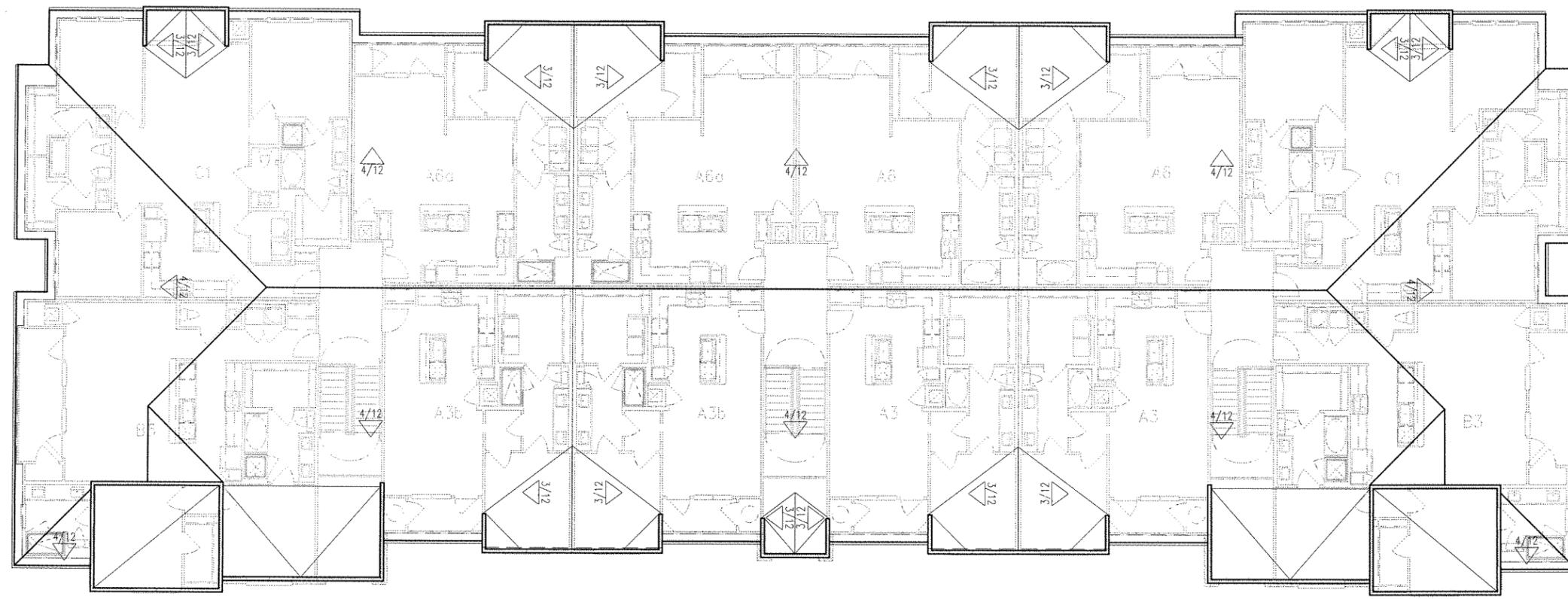
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28  
JOB NO. 14033

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1 BUILDING TYPE IV - ROOF  
1/8" = 1'-0"

CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2,  
BLOCK A, GLADE/960 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 30 OF 47

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**ITEM #5, 37 & 38**  
**KEYNOTE LEGEND:**  
**PZ ITEM #5, 14 & 15**

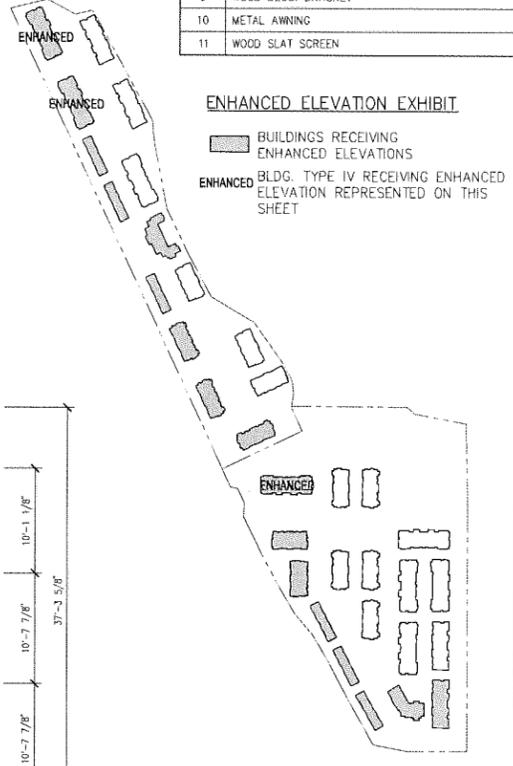
1A	TYPICAL BRICK VENEER (BRICK TYPE 1)
1B	TYPICAL BRICK VENEER (BRICK TYPE 2)
1C	MASONRY CONTROL JOINT (RE: X/AX.XX)
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5B	CAST STONE HEADER
5C	CAST STONE SILL
6	TYPICAL METAL GUARDRAIL
7	STANDING SEAM METAL ROOF
8	COMPOSITION SHINGLES
9	WOOD DECO. BRACKET
10	METAL AWNING
11	WOOD SLAT SCREEN



**2 BUILDING TYPE IV - FRONT ELEVATION**  
 1/8"=1'-0"



**1 BUILDING TYPE IV - ENHANCED FRONT ELEVATION**  
 1/8"=1'-0"



**ENHANCED ELEVATION EXHIBIT**  
 BUILDINGS RECEIVING ENHANCED ELEVATIONS  
 ENHANCED BLDG. TYPE IV RECEIVING ENHANCED ELEVATION REPRESENTED ON THIS SHEET

**ENHANCED ELEVATION KEY MAP**

CASE NAME: THE PRESERVE  
 CASE NUMBER: Z15-04 AND CU15-22  
 LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 31 OF 47  
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 DEPARTMENT OF DEVELOPMENT SERVICES

ENHANCED ELEVATION:  
 ELEVATIONS TO RECEIVE HIGHER PERCENTAGE OF MASONRY THAN TYPICAL ELEVATION BECAUSE OF ITS PROXIMITY TO THE ADJACENT PUBLIC RIGHT-OF-WAY. REFER TO THE KEY MAP ON THIS SHEET FOR EXACT LOCATION.

**BUILDING ELEVATIONS - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

**ITEM #5, 37 & 38**  
**KEYNOTE LEGEND:**  
**PZ ITEM #5, 14 & 15**

1A	TYPICAL BRICK VENEER (BRICK TYPE 1)
1B	TYPICAL BRICK VENEER (BRICK TYPE 2)
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8	COMPOSITION SHINGLES
9	WOOD DECO. BRACKET
10	METAL AWNING
11	WOOD SLAT SCREEN



**3 BUILDING TYPE IV - ENHANCED SIDE ELEVATION**  
 1/8"=1'-0"



**2 BUILDING TYPE IV - SIDE ELEVATION**  
 1/8"=1'-0"



**1 BUILDING TYPE IV - REAR ELEVATION**  
 1/8"=1'-0"

CASE NAME: THE PRESERVE  
 CASE NUMBER: Z15-04 AND CU15-22  
 LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GRADE/560 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 32 OF 47

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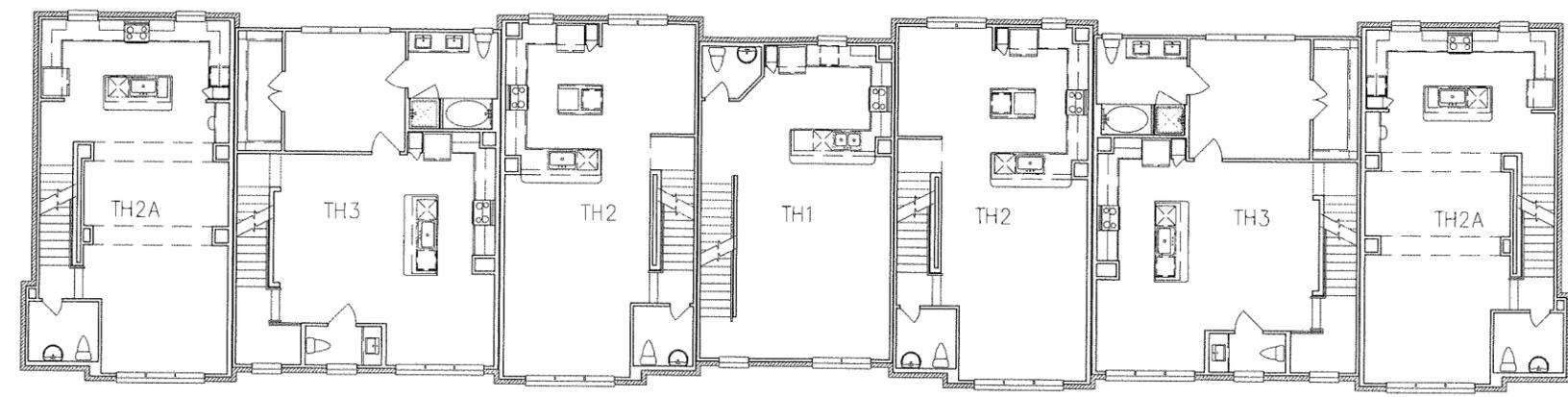
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**BUILDING ELEVATIONS**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

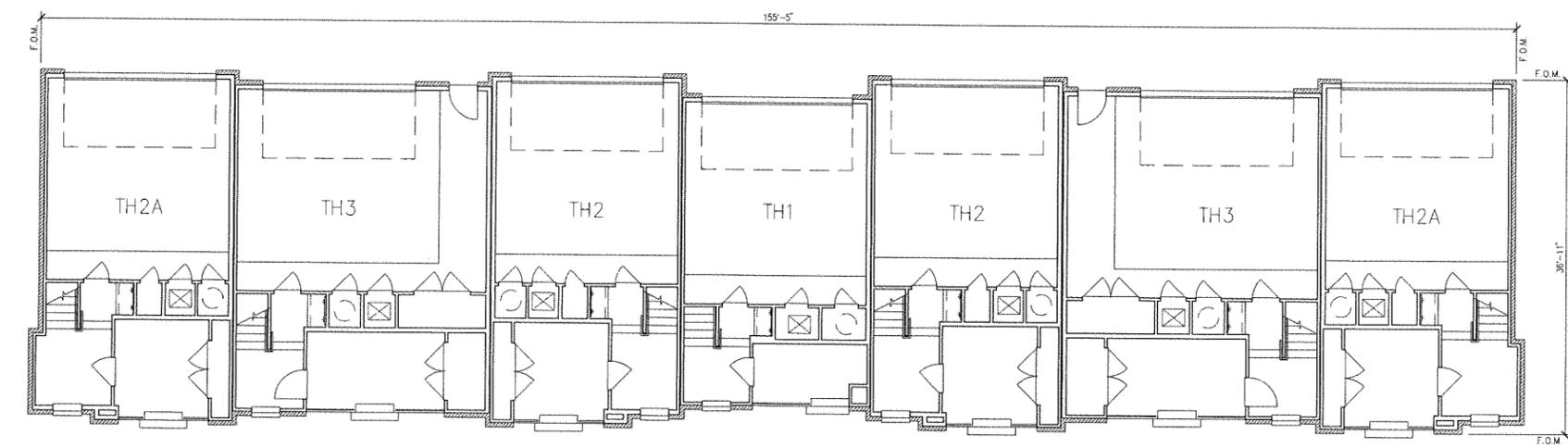
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 CONCEPTUAL DESIGN

**M P** **32**  
 JOB NO. 14033

ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15



2 BLDG. TYPE TH1 - LEVEL 2  
1/8"=1'-0"



1 BLDG. TYPE TH1 - LEVEL 1  
1/8"=1'-0"

CASE NAME: THE PRESERVE  
CASE NUMBER: Z1504 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2,  
BLOCK A, GLADE/960 ADDITION

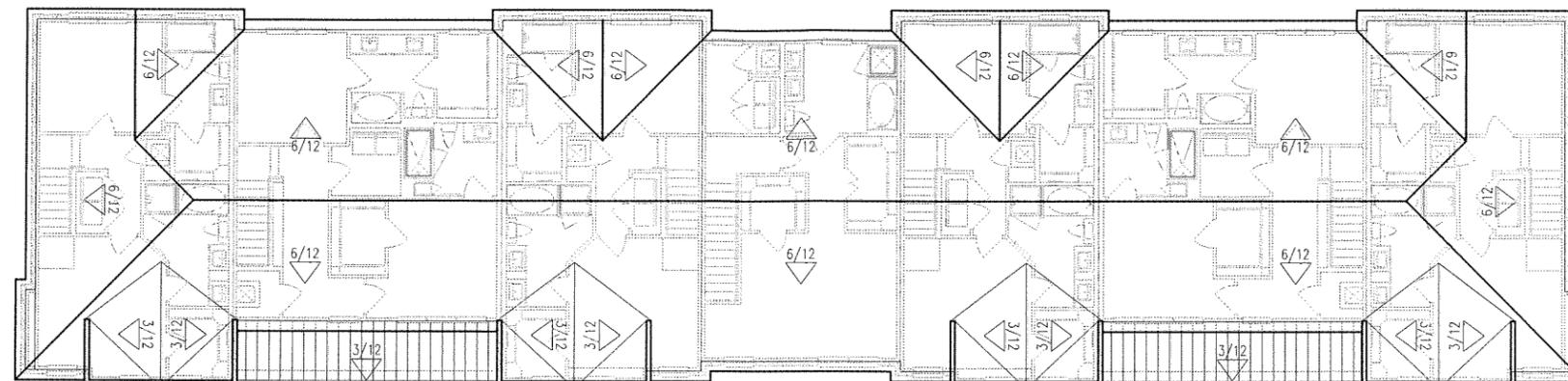
MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
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PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 33 OF 47

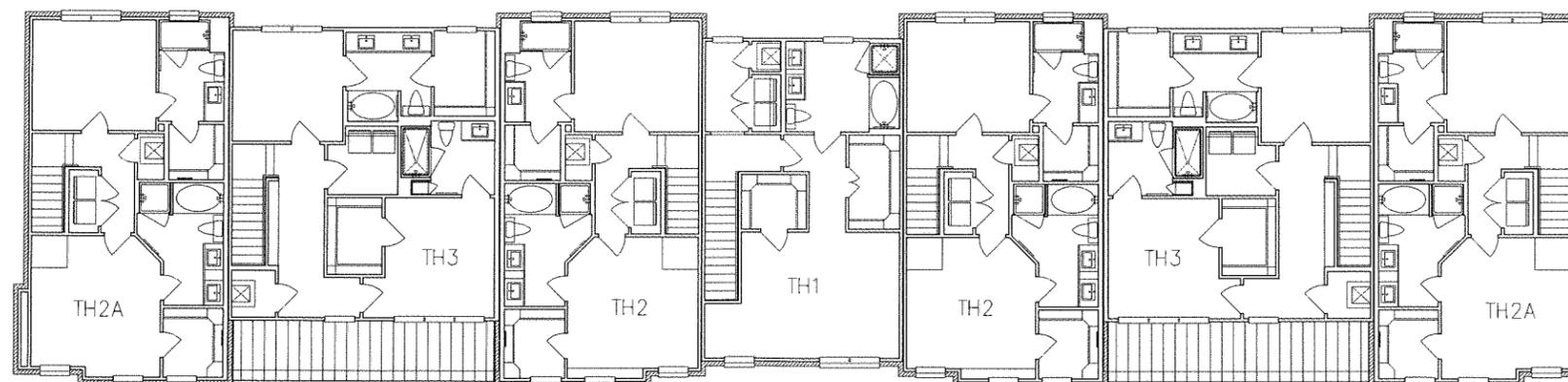
APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

**BUILDING PLAN - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

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2 BLDG. TYPE TH1 - ROOF  
1/8" = 1'-0"



1 BLDG. TYPE TH1 - LEVEL 3  
1/8" = 1'-0"

CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2,  
BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 34 OF 47

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

2015 09 15

**BUILDING PLAN - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

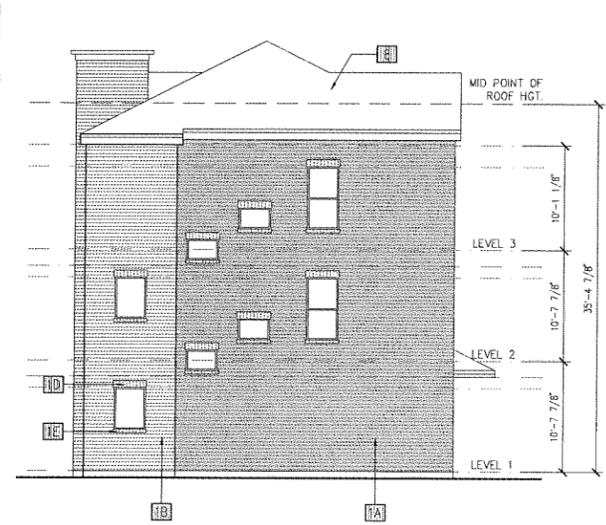
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**M P** 34  
JOB NO. 14053

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**ITEM #5, 37 & 38**  
**KEYNOTE LEGEND:**  
**PZ ITEM #5, 14 & 15**

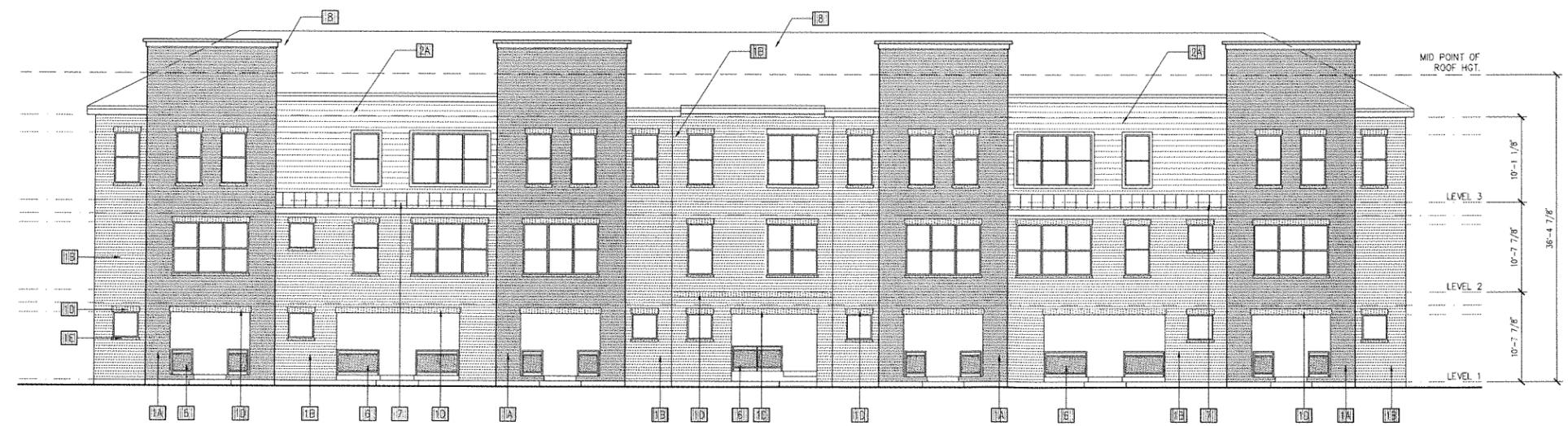
1A	TYPICAL BRICK VENEER (BRICK TYPE 1)
1B	TYPICAL BRICK VENEER (BRICK TYPE 2)
1C	MASONRY CONTROL JOINT (RE: X/AX,XX)
1D	BRICK SOLDIER COURSE
1E	BRICK ROWLOCK COURSE
2A	FIBER CEMENT LAP SIDING
2B	SMOOTH FINISH FIBER CEMENT PANEL
2C	SMOOTH FINISH FIBER CEMENT TRIM
2D	FINISH FIBER CEMENT SHAKE SIDING
3A	EXTERIOR STUCCO SYSTEM
3B	STUCCO COVERED FOAM TRIM
3C	STUCCO CONTROL JOINT (RE: X/AX,XX)
4A	BURNISH BLOCK VENEER
4B	CAST STONE CAP
5A	CAST STONE BAND
10	CAST STONE HEADER
5C	CAST STONE SILL
6	TYPICAL METAL GUARDRAIL
7	STANDING SEAM METAL ROOF
8	COMPOSITION SHINGLES
9	WOOD DECO. BRACKET
10	METAL AWNING
11	WOOD SLAT SCREEN



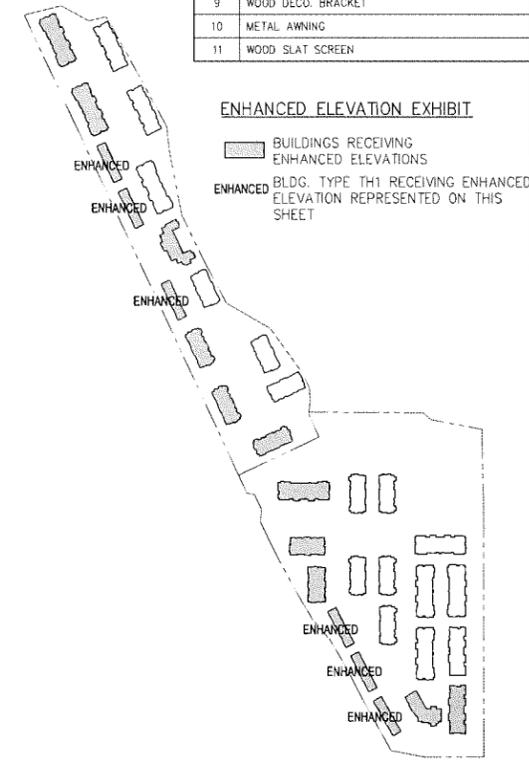
**3 BLDG. TYPE TH1 - SIDE ELEVATION**  
 1/8" = 1'-0"



**2 BLDG. TYPE TH1 - REAR ELEVATION**  
 1/8" = 1'-0"



**1 BLDG. TYPE TH1 - ENHANCED FRONT ELEVATION**  
 1/8" = 1'-0"



**ENHANCED ELEVATION EXHIBIT**  
 BUILDINGS RECEIVING ENHANCED ELEVATIONS  
 ENHANCED BLDG. TYPE TH1 RECEIVING ENHANCED ELEVATION REPRESENTED ON THIS SHEET

**ENHANCED ELEVATION KEY MAP**

CASE NAME: THE PRESERVE  
 CASE NUMBER: 215-04 AND CUI5-22  
 LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 35 OF 47

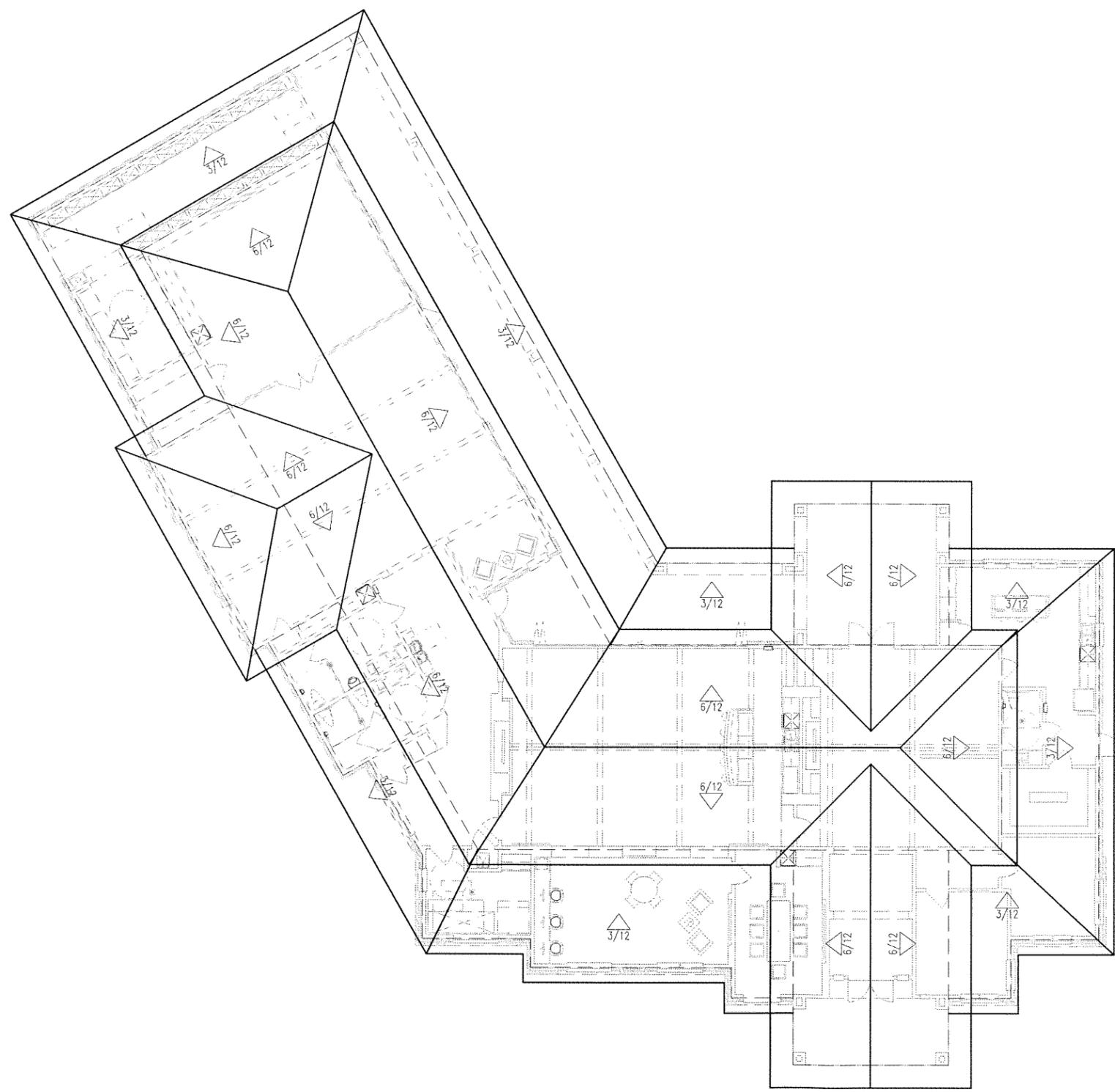
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.  
 DEPARTMENT OF DEVELOPMENT SERVICES

**ENHANCED ELEVATION:**  
 ELEVATIONS TO RECEIVE HIGHER PERCENTAGE OF MASONRY THAN TYPICAL ELEVATION BECAUSE OF ITS PROXIMITY TO THE ADJACENT PUBLIC RIGHT-OF-WAY. REFER TO THE KEY MAP ON THIS SHEET FOR EXACT LOCATION.

**BUILDING ELEVATIONS - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP



ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15



1 CLUBHOUSE - ROOF PLAN  
1/8"=1'-0"

CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2,  
BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 37 OF 47

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2015 09 15

CLUBHOUSE TRACT 1 - THE PRESERVE  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

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CONCEPTUAL DESIGN

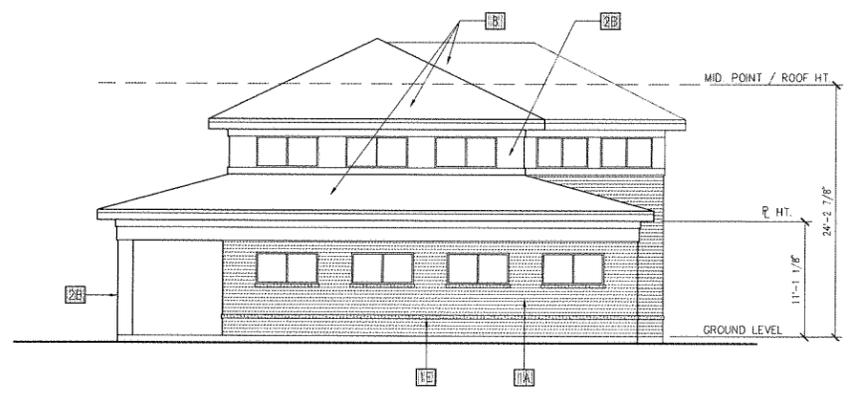
**M P** 37  
JOB NO. 14033

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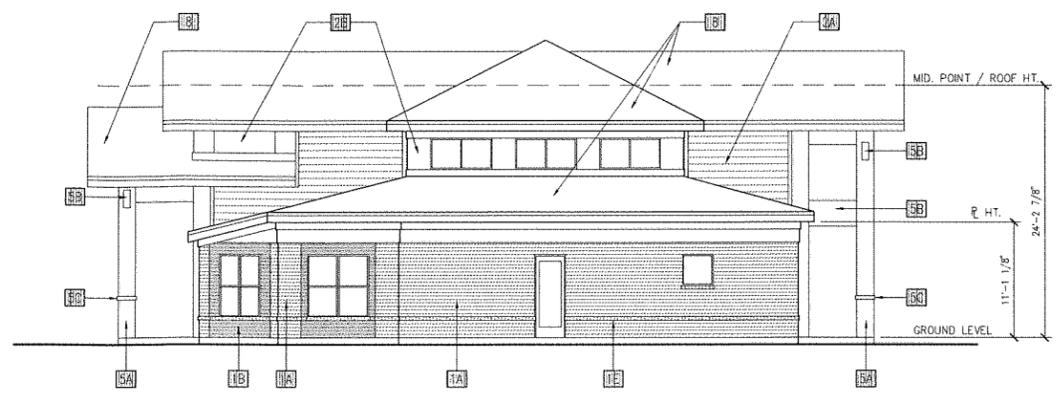
**ITEM #5, 37 & 38**  
**PZ ITEM #5, 14 & 15**

KEYNOTE LEGEND:

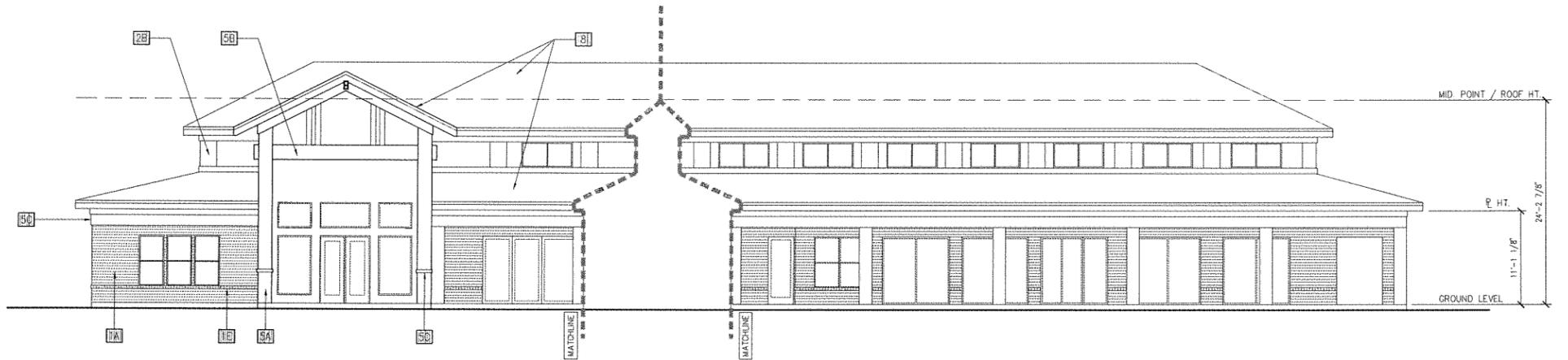
1B	TYPICAL BRICK VENEER (BRICK TYPE 2)
1C	MASONRY CONTROL JOINT (RE: X/AX.XX)
1D	BRICK SOLDIER COURSE
1E	BRICK ROWLOCK COURSE
2A	FIBER CEMENT LAP SIDING
2B	SMOOTH FINISH FIBER CEMENT PANEL
2C	SMOOTH FINISH FIBER CEMENT TRIM
2D	NOT USED
3A	NOT USED
3B	NOT USED
3C	NOT USED
4A	NOT USED
4B	NOT USED
5A	WOOD COLUMN
5B	WOOD BEAM
5C	WOOD TRIM
6	NOT USED
7	NOT USED
8	COMPOSITION SHINGLES
9	NOT USED
10	METAL AWNING
11	NOT USED



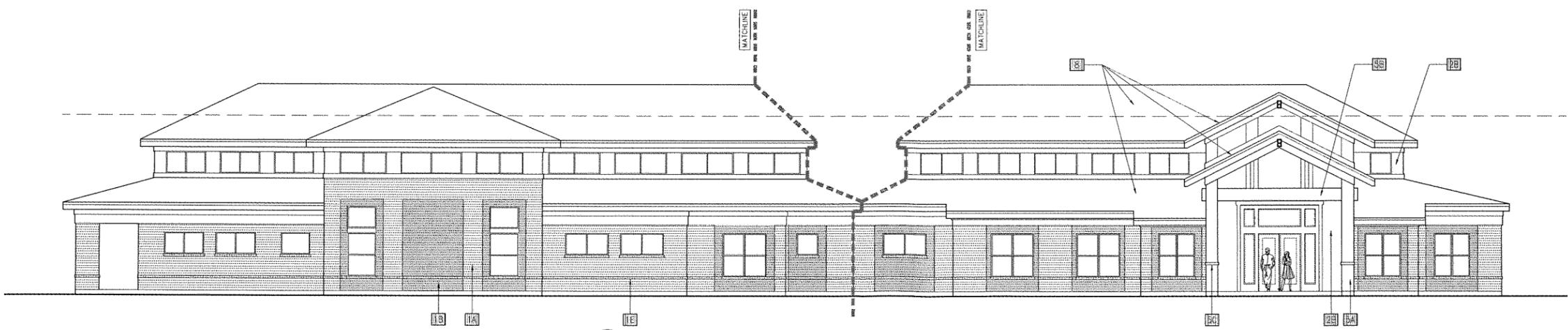
**4 CLUBHOUSE - NORTHWEST ELEVATION**  
 1/8"=1'-0"



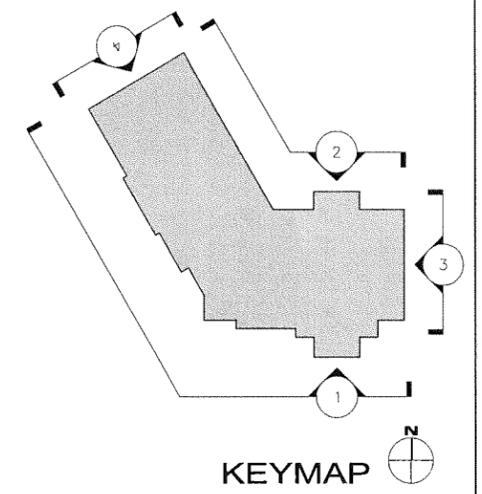
**3 CLUBHOUSE - EAST ELEVATION**  
 1/8"=1'-0"



**2 CLUBHOUSE - REAR ELEVATION**  
 1/8"=1'-0"



**1 CLUBHOUSE - FRONT ELEVATION**  
 1/8"=1'-0"



**KEYMAP**

CASE NAME: THE PRESERVE  
 CASE NUMBER: Z15-04 AND CU15-22  
 LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PLANNING AND ZONING COMMISSION  
 CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 38 OF 47

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
 DEPARTMENT OF DEVELOPMENT SERVICES

**CLUBHOUSE TRACT 1 - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

2015 09 15

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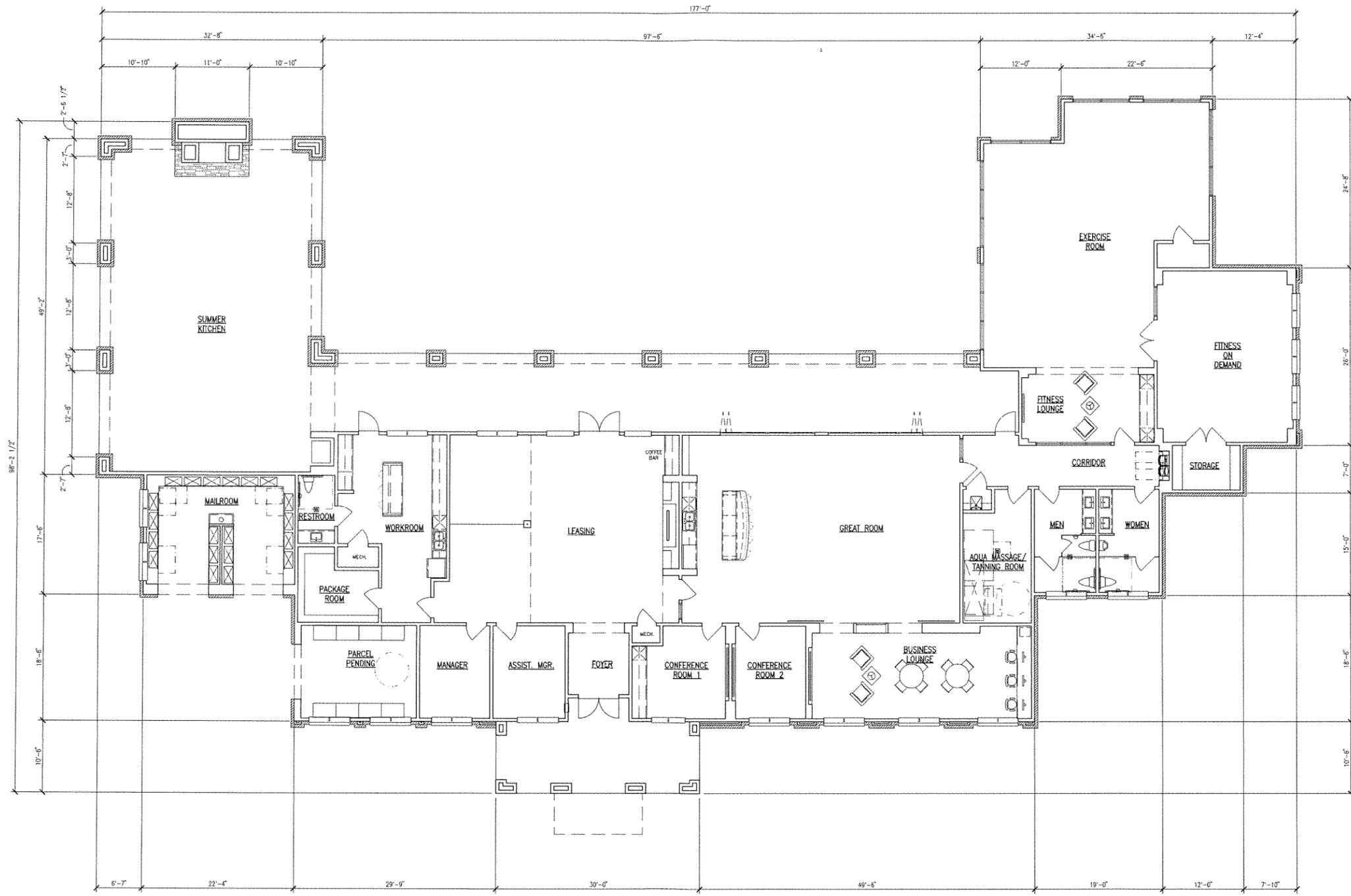
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**M P**

**38**

CONCEPTUAL DESIGN

ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15



**1 CLUBHOUSE FLOOR PLAN**  
1/8" = 1'-0"  
NET: 6,749 SQ. FT.  
GROSS: 10,554 SQ. FT.

CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2,  
BLOCK A, GLADE/350 ADDITION

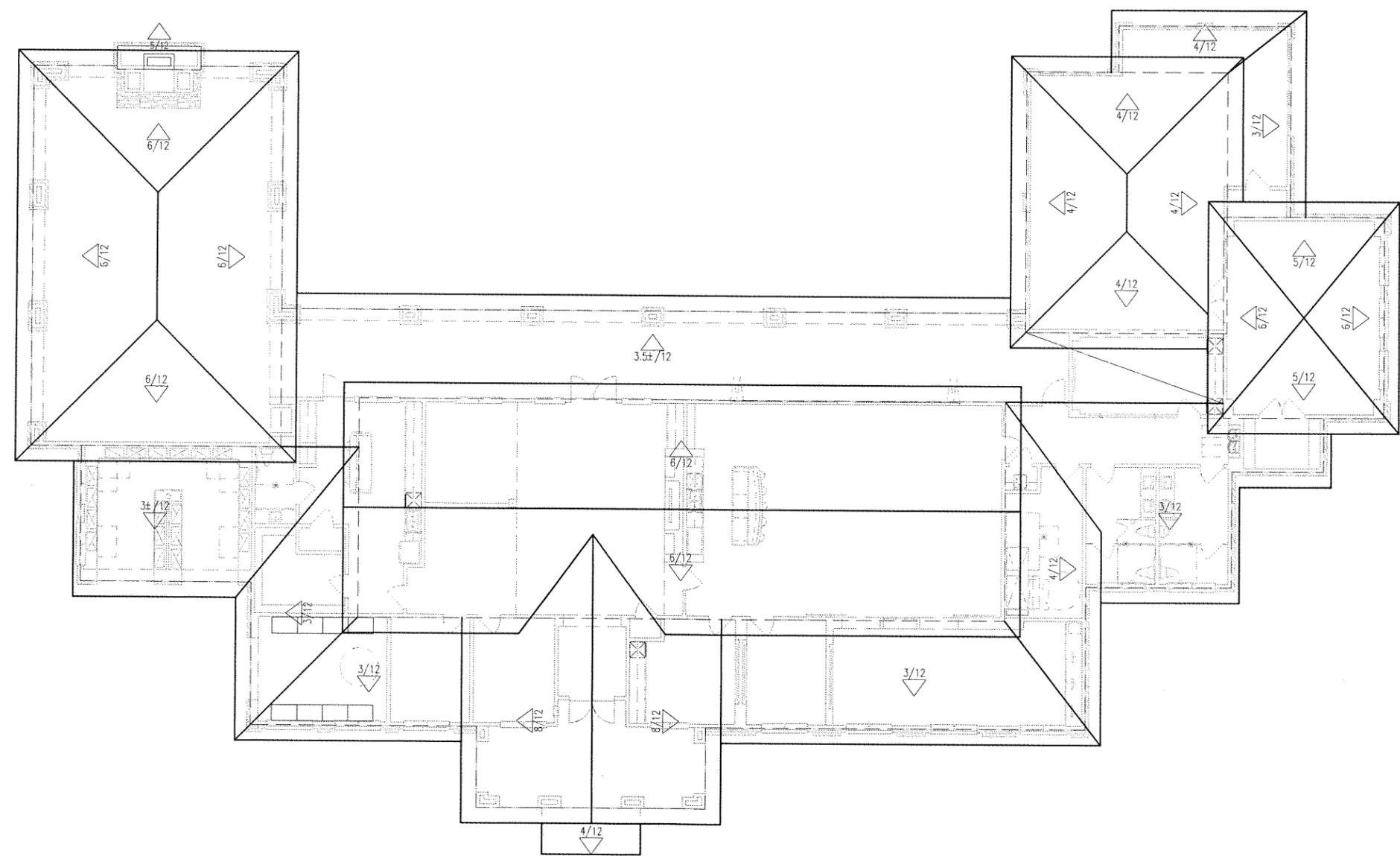
MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 39 OF 47

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
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DEPARTMENT OF DEVELOPMENT SERVICES

**CLUBHOUSE TRACT 2 - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

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1 CLUBHOUSE - ROOF PLAN  
1/8"=1'-0"

CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2,  
BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_  
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 40 OF 47

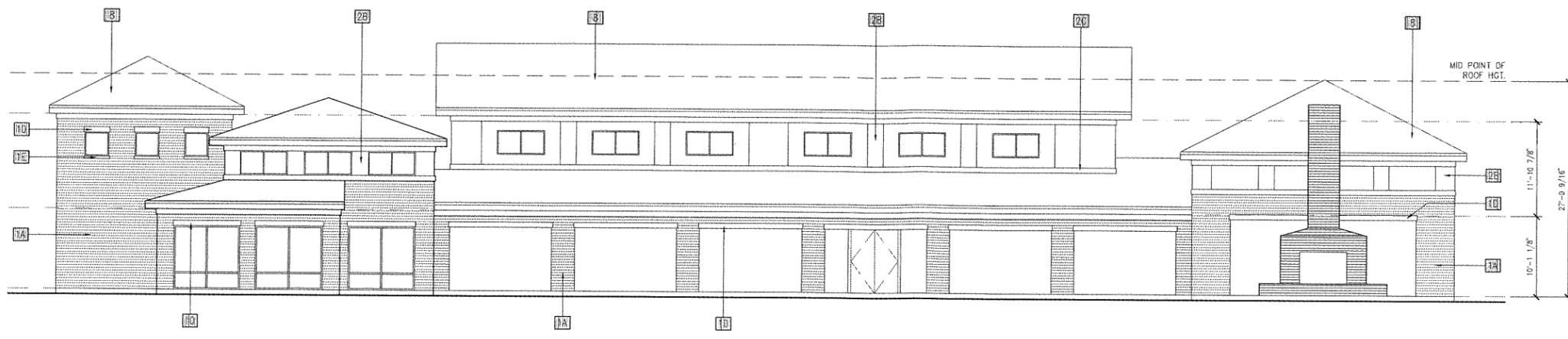
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DEPARTMENT OF DEVELOPMENT SERVICES

CLUBHOUSE TRACT 2 - THE PRESERVE  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

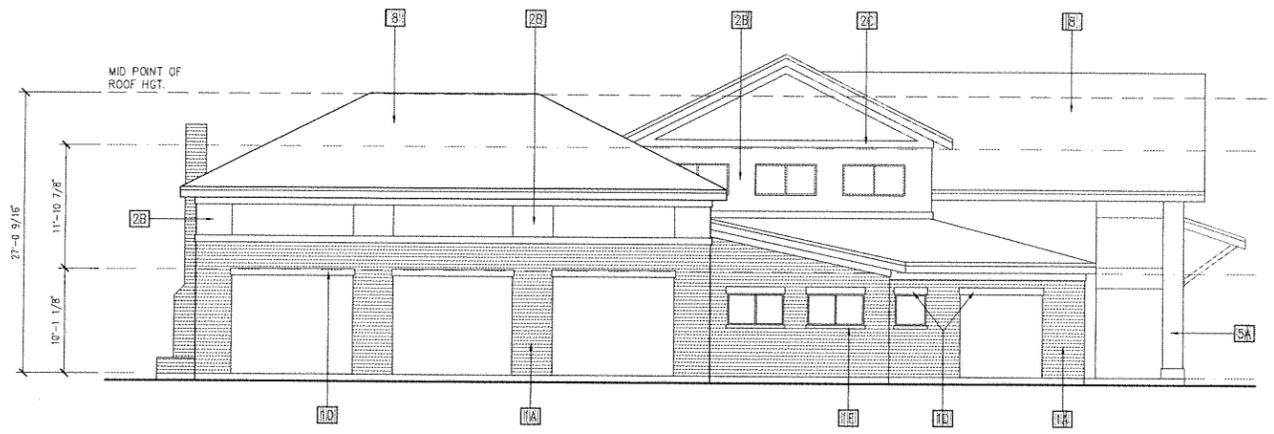
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**ITEM #5, 37 & 38**  
**KEYNOTE LEGEND:**  
**PZ ITEM #5, 14 & 15**

1A	TYPICAL BRICK VENEER (BRICK TYPE 1)
1B	TYPICAL BRICK VENEER (BRICK TYPE 2)
1C	MASONRY CONTROL JOINT (RE: X/AX.XX)
1D	BRICK SOLDIER COURSE
1E	BRICK ROWLOCK COURSE
2A	FIBER CEMENT LAP SIDING
2B	SMOOTH FINISH FIBER CEMENT PANEL
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3A	EXTERIOR STUCCO SYSTEM
3B	STUCCO COVERED FOAM TRIM
3C	STUCCO CONTROL JOINT (RE: X/AX.XX)
4A	BURNISH BLOCK VENEER
4B	CAST STONE CAP
5A	WOOD BEAM
6	TYPICAL METAL GUARDRAIL
7	STANDING SEAM METAL ROOF
8	COMPOSITION SHINGLES
9	WOOD DECO. BRACKET
10	METAL AWNING
11	WOOD SLAT SCREEN



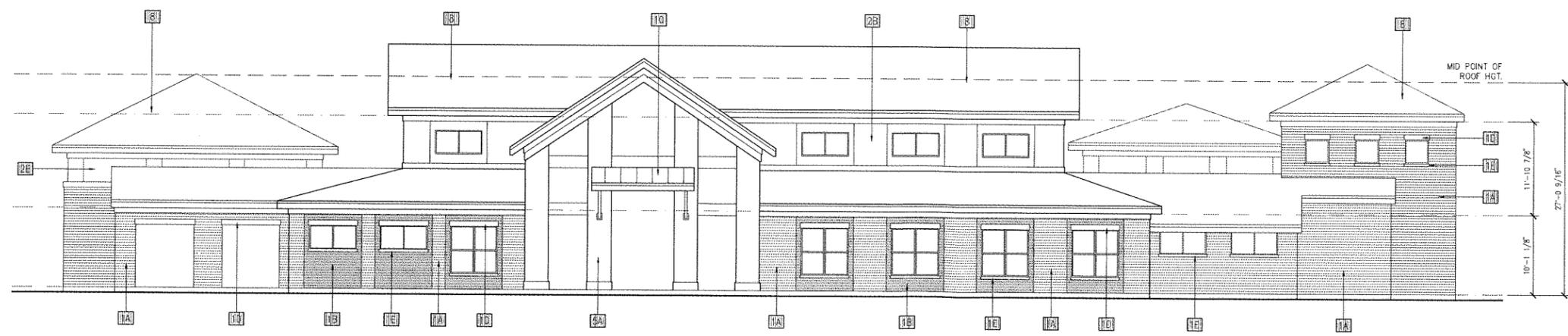
**4 CLUBHOUSE - REAR ELEVATION**  
 1/8" = 1'-0"



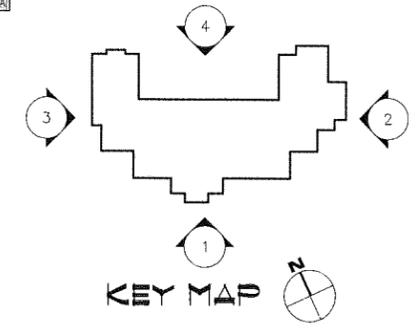
**3 CLUBHOUSE - LEFT ELEVATION**  
 1/8" = 1'-0"



**2 CLUBHOUSE - RIGHT ELEVATION**  
 1/8" = 1'-0"



**1 CLUBHOUSE - FRONT ELEVATION**  
 1/8" = 1'-0"



CASE NAME: THE PRESERVE  
 CASE NUMBER: Z15-04 AND CU15-22  
 LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

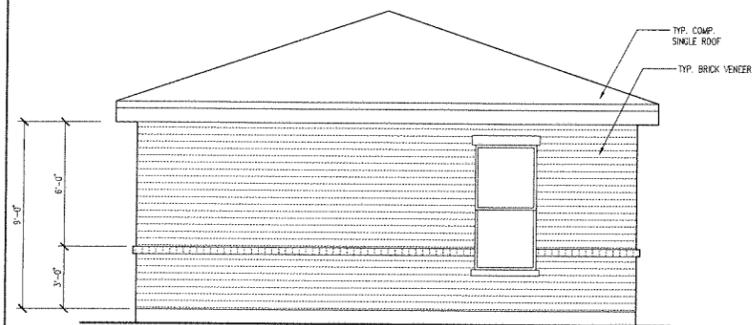
CHAIRMAN \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET: 41 OF 47

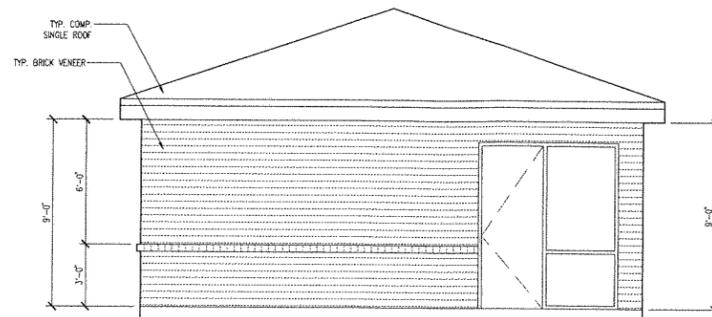
APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
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**CLUBHOUSE TRACT 2 - THE PRESERVE**  
 GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

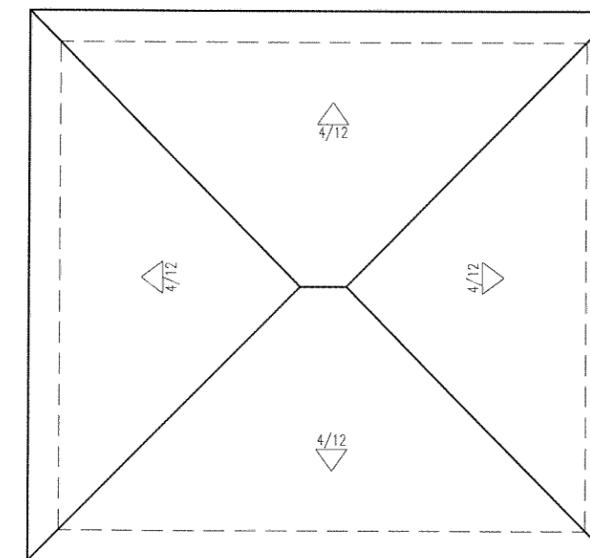
ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15



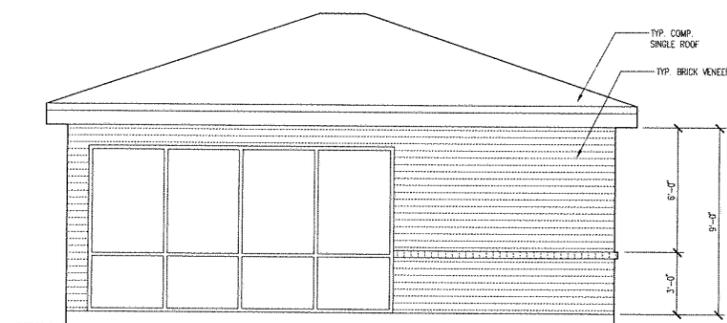
**6 MAINTENANCE BLDG. - LEFT ELEVATION**  
1/4" = 1'-0"



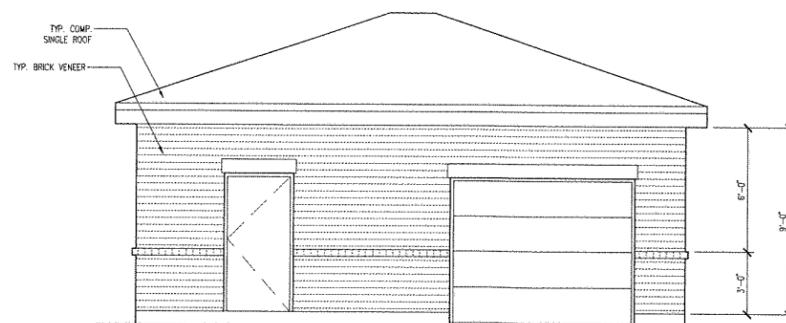
**4 MAINTENANCE BLDG. - RIGHT ELEVATION**  
1/4" = 1'-0"



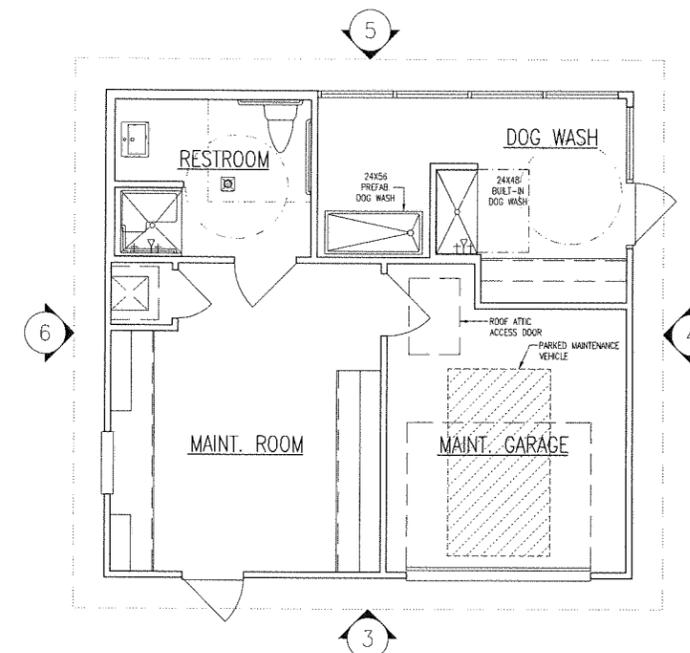
**2 MAINTENANCE BLDG. - ROOF PLAN**  
1/4" = 1'-0"



**5 MAINTENANCE BLDG. - REAR ELEVATION**  
1/4" = 1'-0"



**3 MAINTENANCE BLDG. - FRONT ELEVATION**  
1/4" = 1'-0"



**1 MAINTENANCE BLDG. - FLOOR PLAN**  
1/4" = 1'-0"

NET: 440 SQ. FT.  
GROSS: 605 SQ. FT.

CASE NAME: THE PRESERVE  
CASE NUMBER: 215-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2,  
BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: 42 OF 47

APPROVAL DOES NOT AUTHORIZE ANY WORK IN  
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DEPARTMENT OF DEVELOPMENT SERVICES

**MAINTENANCE / DOG WASH - THE PRESERVE**  
GRAPEVINE, TX - GREYSTAR DEVELOPMENT GROUP

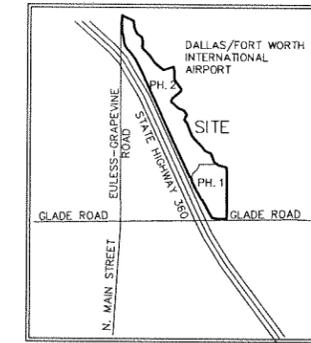
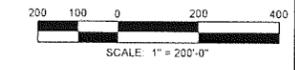
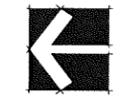
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CONCEPTUAL DESIGN

**M P** 42  
JOB NO. 14033

2015 09 15

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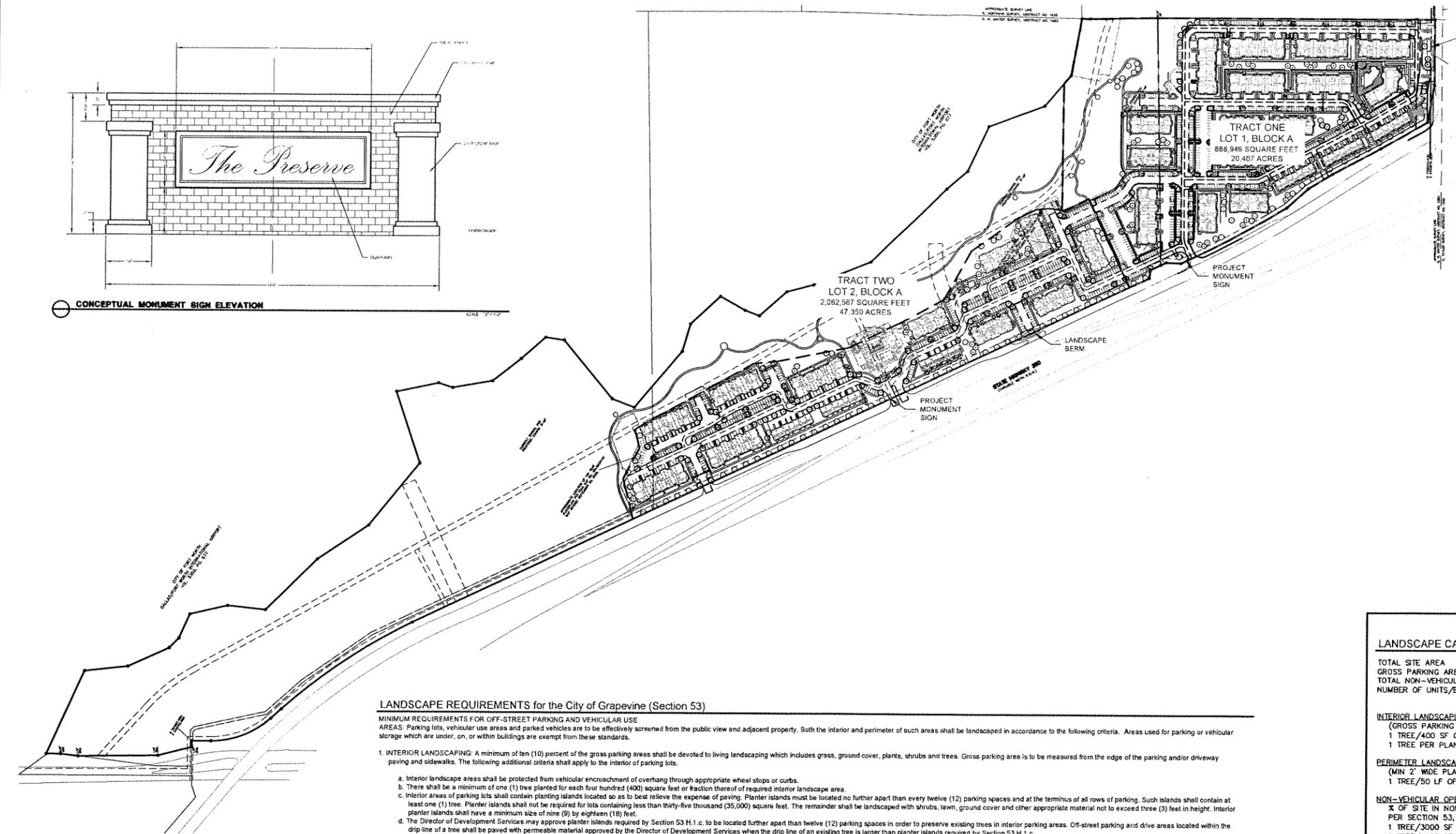




LOCATION MAP  
(NOT TO SCALE)



CONCEPTUAL MONUMENT SIGN ELEVATION  
SCALE: 1/4" = 1'-0"



**LANDSCAPE REQUIREMENTS for the City of Grapevine (Section 53)**

**MINIMUM REQUIREMENTS FOR OFF-STREET PARKING AND VEHICULAR USE AREAS:** Parking lots, vehicular use areas and parked vehicles are to be effectively screened from the public view and adjacent property. Both the interior and perimeter of such areas shall be landscaped in accordance to the following criteria. Areas used for parking or vehicular storage which are under, on, or within buildings are exempt from these standards.

1. **INTERIOR LANDSCAPING:** A minimum of ten (10) percent of the gross parking areas shall be devoted to living landscaping which includes grass, ground cover, plants, shrubs and trees. Gross parking area is to be measured from the edge of the parking and/or driveway paving and sidewalks. The following additional criteria shall apply to the interior of parking lots.
  - a. Interior landscape areas shall be protected from vehicular encroachment of overhang through appropriate wheel stops or curbs.
  - b. There shall be a minimum of one (1) tree planted for each four hundred (400) square feet or fraction thereof of required interior landscape area.
  - c. Interior areas of parking lots shall contain planting islands located so as to best relieve the expense of paving. Planter islands must be located no further apart than every twelve (12) parking spaces and at the terminus of all rows of parking. Such islands shall contain at least one (1) tree. Planter islands shall not be required for lots containing less than thirty-five thousand (35,000) square feet. The remainder shall be landscaped with shrubs, lawn, ground cover and other appropriate material not to exceed three (3) feet in height. Interior planter islands shall have a minimum size of nine (9) by eighteen (18) feet.
  - d. The Director of Development Services may approve planter islands required by Section 53.H.1.c. to be located further apart than twelve (12) parking spaces in order to preserve existing trees in interior parking areas. Off-street parking and drive areas located within the drip line of a tree shall be paved with permeable material approved by the Director of Development Services when the drip line of an existing tree is larger than planter islands required by Section 53.H.1.c.
2. **PERIMETER LANDSCAPING:** All parking lots and vehicular use areas shall be screened from all abutting properties and/or public rights-of-way with a wall, fence, hedge, berm or other durable landscape barrier. Any living barrier shall be established in a two (2) feet minimum width planting strip. Plants and materials used in living barriers shall be at least thirty (30) inches high at the time of planting and shall be of a type and species that will attain a minimum height of three (3) feet one (1) year after planting. Any landscape barrier not containing live plants or trees, shall be a minimum of three (3) feet high at time of installation. Perimeter landscaping shall be designed to screen off-street parking lots and other vehicular use areas from public rights-of-way and adjacent properties.
  - a. Whenever an off-street parking or vehicular use area abuts a public right-of-way, except a public alley, a perimeter landscape area of at least fifteen (15) feet in depth shall be maintained between the abutting right-of-way and the off-street parking or vehicular use area. An appropriate landscape screen or barrier shall be installed in this area and the remaining area shall be landscaped with at least grass or other ground cover. Necessary accessways from the public right-of-way shall be permitted through all such landscaping. The maximum width for accessways shall be: fifty (50) feet for non-residential two-way movements, thirty (30) feet for non-residential one-way movements.
  - b. Whenever an off-street parking or vehicular use area abuts an adjacent property line, a perimeter landscape area of at least ten (10) feet in width shall be maintained between the edge of the parking area and the adjacent property line. Accessways between lots may be permitted through all perimeter landscape areas. Maximum width for accessways shall be twenty-five (25) feet. Landscaping shall be designed to visually screen the parking area. Whenever such property is zoned or used for residential purposes, the landscape buffer shall include a wall, hedge, or berm not greater than eight (8) feet in height nor less than three (3) feet in height.
  - c. Perimeter landscape areas shall contain at least one (1) tree for each fifty (50) lineal feet or fraction thereof of perimeter area.
3. **LANDSCAPING REQUIREMENTS FOR NON-VEHICULAR OPEN SPACE.** In addition to the landscaping of off-street parking and vehicular use areas, all remaining open spaces on any developed lot or parcel shall conform to the following minimum requirements:
  1. Grass, ground cover, shrubs, and other landscape materials shall be used to cover all open ground within twenty (20) feet of any building or paving or other use such as storage.
  2. All structures shall be treated with landscaping so as to enhance the appearance of the structure and to screen any detractive or unsightly appearance.
  3. Landscaping shall be provided on each developed lot in accordance with the following standards:
    - a. In all residential zoning districts (except R-20, R-12.5, and R-7.5), a minimum of fifteen (15) percent of the landscaping shall be located in the required front yard.
    - b. In all non-residential zoning districts, a minimum of fifteen (15) percent of the total site area shall be devoted to feature landscaping with not less than fifty (50) percent of the landscaping being located in the required front yard.
  4. Trees shall be planted in non-vehicular open space to meet the following requirements. Existing trees that are preserved on a developed site may be credited to the following requirements:
 

Percentage of Site in Non-Vehicular Open Space	Tree Ratio per vehicular Open Space
Less than 30	1 tree/2500 sq. ft.
30-49	1 tree/3000 sq. ft.
Over 50	1 tree/4000 sq. ft.
5. Landscaping in excess of the required minimum open space that is located in the rear yard of the site shall not be used to meet the minimum open space requirements for the site.
4. **SIGHT DISTANCE AND VISIBILITY:** Rigid compliance with these landscaping requirements shall not be such as to cause visibility obstructions and/or blind corners at intersections. Whenever an accessway intersects a public right-of-way or when the subject property abuts the intersection of two (2) or more public rights-of-way, a triangular visibility area, as described below, shall be created. Landscaping within the triangular visibility area shall be designed to provide unobstructed cross-visibility at a level between three (3) and six (6) feet. Trees may be permitted in this area provided they are trimmed in such a manner that no limbs or foliage extend into the cross-visibility area. The triangular areas are:
  1. The areas of property on both sides of the intersection of an accessway and a public right-of-way shall have a triangular visibility area with two (2) sides of each triangle being ten (10) feet in length from the point of the intersection and the third side being a line connecting the ends of the other two (2) sides.
  2. The areas of property located at a corner formed by the intersection of two (2) or more public rights-of-way shall have a triangular visibility area with two (2) sides of each triangle being twenty (20) feet in length from the point of the intersection and the third side being a line connecting the ends of the other two (2) sides.

Landscaping, except required grass and low ground covers, shall not be located closer than three (3) feet from the edge of any accessway pavement.  
In the event other visibility obstructions are apparent in the proposed Landscape Plan, as determined by the Director, the requirements set forth herein may be reduced to the extent to remove the conflict.

LANDSCAPE CALCULATIONS	LOT 1, BLOCK A 888,946 SQUARE FEET 20.407 ACRES		LOT 2, BLOCK A 2,062,567 SQUARE FEET 47.350 ACRES	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
<b>TOTAL SITE AREA</b>	888,946 SF	(20.407 acres)	2,062,567 SF	(47.35 acres)
<b>GROSS PARKING AREA</b>	249,619 SF	28.08% OF SITE	199,507 SF	9.67% OF SITE
<b>TOTAL NON-VEHICULAR OPEN SPACE AREA</b>	423,013 SF	47.59% OF SITE	1,691,077 SF	81.99% OF SITE
<b>NUMBER OF UNITS/BLDG. SF</b>	399/178,372 SF	20.07% OF SITE	315/144,232 SF	7.00% OF SITE
<b>INTERIOR LANDSCAPING</b>				
(GROSS PARKING SQUARE FOOTAGE x 0.10)	24,962 SF	37,942 SF	19,951 SF	27,751 SF
1 TREE/400 SF OF RECD. INTERIOR LANDSCAPE	63 TREES	93 TREES	50 TREES	79 TREES
1 TREE PER PLANTER ISLAND AND TERMINUS	YES	YES	YES	YES
<b>PERIMETER LANDSCAPING</b>				
(MIN 2' WIDE PLANTING AREA/30" MIN HEIGHT)	YES	YES	YES	YES
1 TREE/50 LF OF PERIMETER AREA	YES	YES	YES	YES
<b>NON-VEHICULAR OPEN SPACE LANDSCAPING</b>				
% OF SITE IN NON-VEHICULAR OPEN SPACE				
PER SECTION 53, SECTION I (4), TABLE INSET				
1 TREE/3000 SF OF NON-VEHICULAR OPEN SPACE	141	157	423	138
1 TREE/4000 SF OF NON-VEHICULAR OPEN SPACE PLUS EXISTING TREES IN FLOOD PLAIN AREA		YES		YES
<b>USABLE OPEN SPACE</b>				
PER SECTION 22, SECTION F (3)				
250 SF/ UNIT	99,750	133,642	78,750	80,131

CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND OUI5-22  
LOCATION: 4501 STATE HIGHWAY 380, LOTS 1 & 2, BLOCK A, GRAPEVINE ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: 44 OF 47

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	REVISIONS DURING PLAN REVIEW	BY	DATE

DESIGNED BY: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_

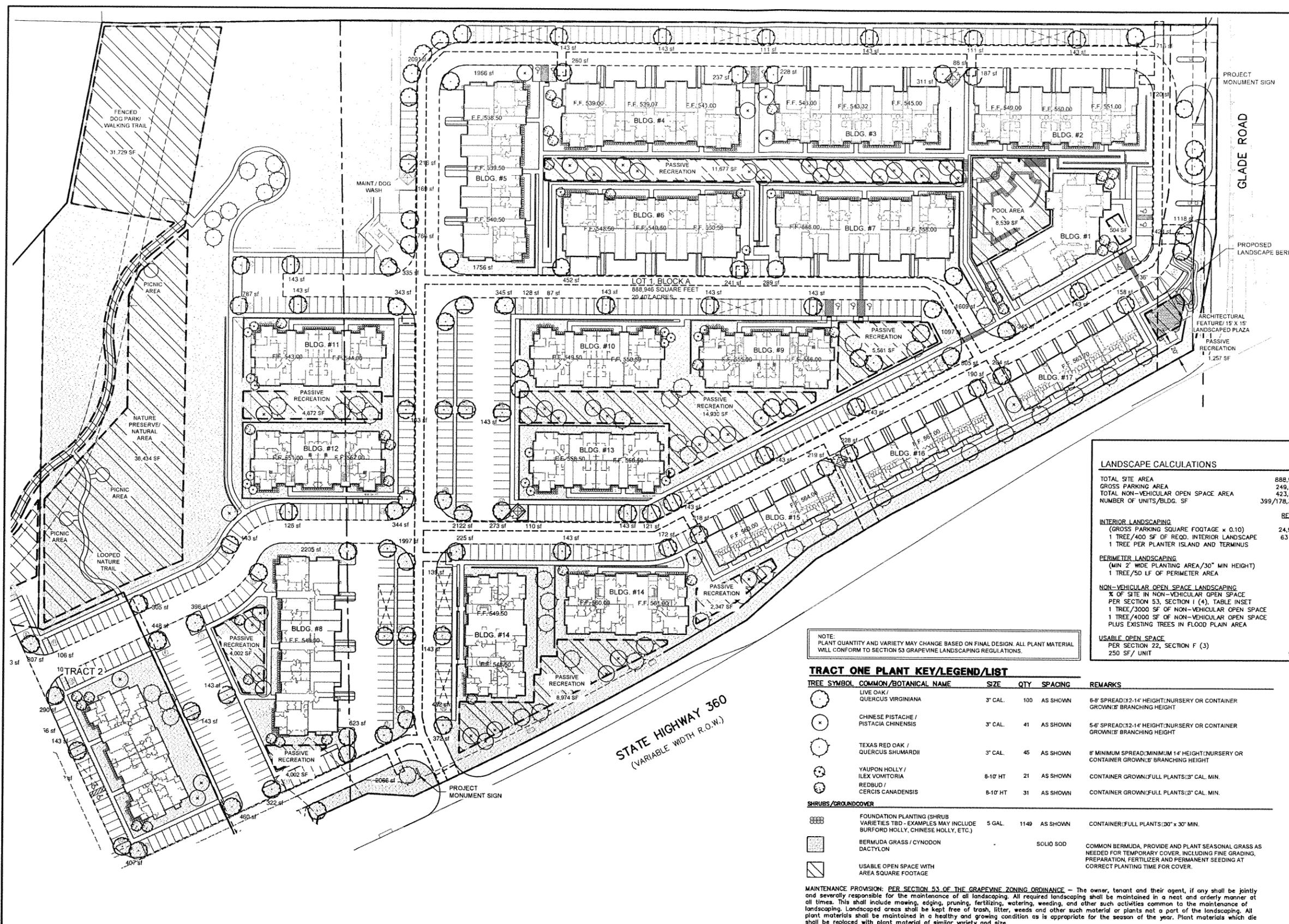
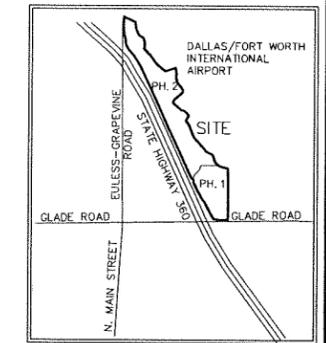


16301 Quorum Drive  
Suite 200 B  
Addicks, Texas 75240  
Main 972.248.7676  
Fax 972.248.1414  
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LANDSCAPE PLAN - OVERALL  
TRACTS ONE AND TWO  
THE PRESERVE AT GRAPEVINE  
Grapevine, Tarrant County, Texas

PROJECT NO.  
GRS001  
SHEET NO.  
44

ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15



LANDSCAPE CALCULATIONS	LOT 1, BLOCK A 888,946 SQUARE FEET 20.407 ACRES		LOT 2, BLOCK A 2,062,567 SQUARE FEET 47.350 ACRES	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
TOTAL SITE AREA	888,946 SF	(20.407 acres)	2,062,567 SF	(47.35 acres)
GROSS PARKING AREA	249,619 SF	28.08% OF SITE	199,507 SF	9.67% OF SITE
TOTAL NON-VEHICULAR OPEN SPACE AREA	423,013 SF	47.59% OF SITE	1,891,077 SF	81.99% OF SITE
NUMBER OF UNITS/BLDG. SF	399/178,372 SF	20.07% OF SITE	315/144,232 SF	7.00% OF SITE
<b>INTERIOR LANDSCAPING</b> (GROSS PARKING SQUARE FOOTAGE x 0.10)				
1 TREE/400 SF OF RECD. INTERIOR LANDSCAPE	24,962 SF	37,942 SF	19,951 SF	27,751 SF
1 TREE PER PLANTER ISLAND AND TERMINUS	63 TREES	93 TREES	50 TREES	79 TREES
<b>PERIMETER LANDSCAPING</b> (MIN 2" WIDE PLANTING AREA/30" MIN HEIGHT)				
1 TREE/50 LF OF PERIMETER AREA	YES	YES	YES	YES
<b>NON-VEHICULAR OPEN SPACE LANDSCAPING</b> % OF SITE IN NON-VEHICULAR OPEN SPACE PER SECTION 53, SECTION I (4), TABLE INSET				
1 TREE/3000 SF OF NON-VEHICULAR OPEN SPACE	141	157	423	138
1 TREE/4000 SF OF NON-VEHICULAR OPEN SPACE PLUS EXISTING TREES IN FLOOD PLAIN AREA	YES	YES	YES	YES
<b>USABLE OPEN SPACE</b> PER SECTION 22, SECTION F (3)				
250 SF/ UNIT	99,750	133,642	78,750	80,131

NOTE: PLANT QUANTITY AND VARIETY MAY CHANGE BASED ON FINAL DESIGN. ALL PLANT MATERIAL WILL CONFORM TO SECTION 53 GRAPEVINE LANDSCAPING REGULATIONS.

**TRACT ONE PLANT KEY/LEGEND/LIST**

TREE SYMBOL	COMMON/BOTANICAL NAME	SIZE	QTY	SPACING	REMARKS
(Symbol)	LIVE OAK / QUERCUS VIRGINIANA	3" CAL.	100	AS SHOWN	6'-8" SPREAD/12-14' HEIGHT/NURSERY OR CONTAINER GROWN/8' BRANCHING HEIGHT
(Symbol)	CHINESE PISTACHE / PISTACIA CHINENSIS	3" CAL.	41	AS SHOWN	5'-6" SPREAD/12-14' HEIGHT/NURSERY OR CONTAINER GROWN/8' BRANCHING HEIGHT
(Symbol)	TEXAS RED OAK / QUERCUS SHUMARDII	3" CAL.	45	AS SHOWN	8' MINIMUM SPREAD/MINIMUM 14' HEIGHT/NURSERY OR CONTAINER GROWN/8' BRANCHING HEIGHT
(Symbol)	YAUPON HOLLY / ILEX VOMITORIA	8-10" HT	21	AS SHOWN	CONTAINER GROWN/FULL PLANTS/13" CAL. MIN.
(Symbol)	REDBUD / CERCIS CANADENSIS	8-10" HT	31	AS SHOWN	CONTAINER GROWN/FULL PLANTS/13" CAL. MIN.
<b>SHRUBS/GROUND COVER</b>					
(Symbol)	FOUNDATION PLANTING (SHRUB VARIETIES TBD - EXAMPLES MAY INCLUDE BURFORD HOLLY, CHINESE HOLLY, ETC.)	5 GAL.	1149	AS SHOWN	CONTAINER/FULL PLANTS/30" x 30" MIN.
(Symbol)	BERMUDA GRASS / CYNODON DACTYLON			SOLID SOD	COMMON BERMUDA, PROVIDE AND PLANT SEASONAL GRASS AS NEEDED FOR TEMPORARY COVER, INCLUDING FINE GRADING, PREPARATION, FERTILIZER AND PERMANENT SEEDING AT CORRECT PLANTING TIME FOR COVER.
(Symbol)	USABLE OPEN SPACE WITH AREA SQUARE FOOTAGE				

**MAINTENANCE PROVISION: PER SECTION 53 OF THE GRAPEVINE ZONING ORDINANCE** - The owner, tenant and their agent, if any shall be jointly and severally responsible for the maintenance of all landscaping. All required landscaping shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding, and other such activities common to the maintenance of landscaping. Landscaped areas shall be kept free of trash, litter, weeds and other such material or plants not a part of the landscaping. All plant materials shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant materials which die shall be replaced with plant material of similar variety and size.

CASE NAME: THE PRESERVE  
CASE NUMBER: 215-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GRAPEVINE ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 45 OF 47

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	REVISIONS DURING PLAN REVIEW	BY	DATE

DESIGNED BY: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_



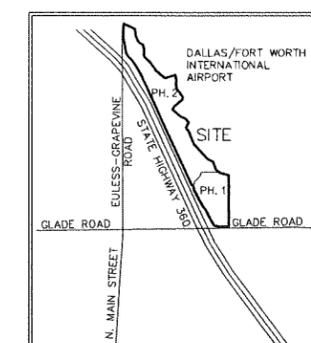
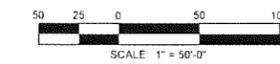
16301 Quorum Drive  
Suite 200 B  
Addicks, Texas 75240  
Main 972.248.7676  
Fax 972.248.1414  
www.jbipartners.com

LANDSCAPE PLANTING PLAN  
TRACT ONE  
THE PRESERVE AT GRAPEVINE  
Grapevine, Tarrant County, Texas

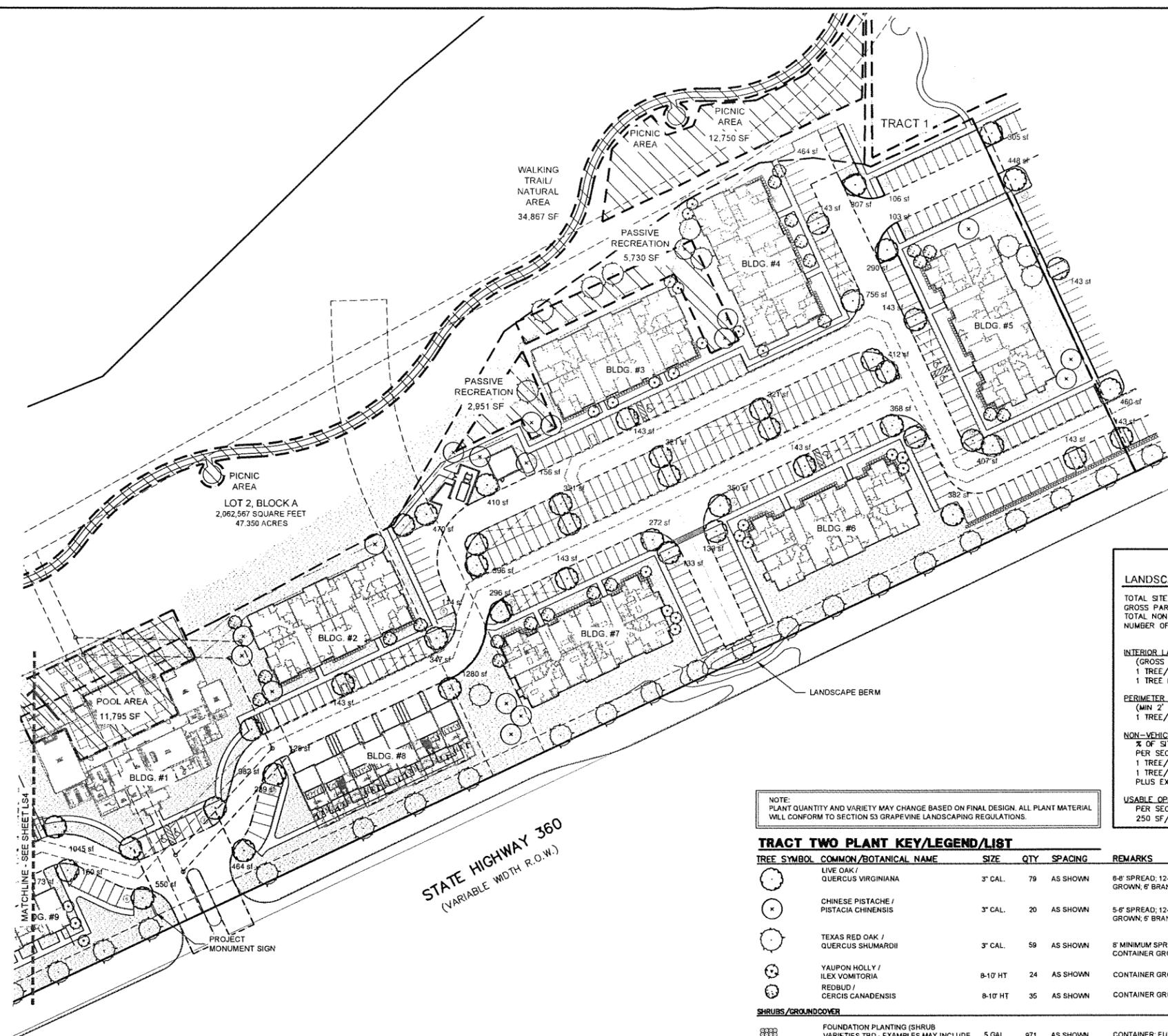
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SHEET NO. 45

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ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15



LOCATION MAP  
(NOT TO SCALE)



LANDSCAPE CALCULATIONS	LOT 1, BLOCK A 888,946 SQUARE FEET 20.407 ACRES		LOT 2, BLOCK A 2,062,567 SQUARE FEET 47.350 ACRES	
	TOTAL SITE AREA	888,946 SF (20.407 acres)	2,062,567 SF (47.35 acres)	
GROSS PARKING AREA	249,619 SF 28.08% OF SITE	199,507 SF 9.67% OF SITE		
TOTAL NON-VEHICULAR OPEN SPACE AREA	423,013 SF 47.59% OF SITE	1,681,077 SF 81.99% OF SITE		
NUMBER OF UNITS/BLDG. SF	399/178,372 SF 20.07% OF SITE	315/144,232 SF 7.00% OF SITE		
<b>INTERIOR LANDSCAPING</b> (GROSS PARKING SQUARE FOOTAGE x 0.10)				
1 TREE/400 SF OF REQ. INTERIOR LANDSCAPE	24,962 SF	37,942 SF	19,951 SF	27,751 SF
1 TREE PER PLANTER ISLAND AND TERMINUS	63 TREES	93 TREES	50 TREES	79 TREES
<b>PERIMETER LANDSCAPING</b> (MIN 2' WIDE PLANTING AREA/30" MIN HEIGHT)				
1 TREE/50 LF OF PERIMETER AREA	YES	YES	YES	YES
<b>NON-VEHICULAR OPEN SPACE LANDSCAPING</b> % OF SITE IN NON-VEHICULAR OPEN SPACE PER SECTION 53, SECTION I (4), TABLE INSET				
1 TREE/3000 SF OF NON-VEHICULAR OPEN SPACE	141	157	423	138
1 TREE/4000 SF OF NON-VEHICULAR OPEN SPACE PLUS EXISTING TREES IN FLOOD PLAIN AREA		YES		YES
<b>USABLE OPEN SPACE</b> PER SECTION 22, SECTION F (3)				
250 SF / UNIT	99,750	133,642	78,750	80,131

NOTE:  
PLANT QUANTITY AND VARIETY MAY CHANGE BASED ON FINAL DESIGN. ALL PLANT MATERIAL WILL CONFORM TO SECTION 53 GRAPEVINE LANDSCAPING REGULATIONS.

**TRACT TWO PLANT KEY/LEGEND/LIST**

TREE SYMBOL	COMMON / BOTANICAL NAME	SIZE	QTY	SPACING	REMARKS
(Symbol)	LIVE OAK / QUERCUS VIRGINIANA	3" CAL.	79	AS SHOWN	6'-8" SPREAD; 12-14' HEIGHT; NURSERY OR CONTAINER GROWN; 6' BRANCHING HEIGHT
(Symbol)	CHINESE PISTACHE / PISTACIA CHINENSIS	3" CAL.	20	AS SHOWN	5'-6" SPREAD; 12-14' HEIGHT; NURSERY OR CONTAINER GROWN; 6' BRANCHING HEIGHT
(Symbol)	TEXAS RED OAK / QUERCUS SHUMARDII	3" CAL.	59	AS SHOWN	8" MINIMUM SPREAD; MINIMUM 14' HEIGHT; NURSERY OR CONTAINER GROWN; 6' BRANCHING HEIGHT
(Symbol)	YAUPOH HOLLY / ILEX VOMITORIA	8-10' HT	24	AS SHOWN	CONTAINER GROWN; FULL PLANTS; 3" CAL. MIN.
(Symbol)	REDBUD / CERCIS CANADENSIS	8-10' HT	35	AS SHOWN	CONTAINER GROWN; FULL PLANTS; 3" CAL. MIN.
<b>SHRUBS/GROUND COVER</b>					
(Symbol)	FOUNDATION PLANTING (SHRUB VARIETIES TBD - EXAMPLES MAY INCLUDE BURFORD HOLLY, CHINESE HOLLY, ETC.)	5 GAL.	971	AS SHOWN	CONTAINER; FULL PLANTS; 30" x 30" MIN.
(Symbol)	BERMUDA GRASS / CYNODON DACTYLON			SOLID SOO	COMMON BERMUDA, PROVIDE AND PLANT SEASONAL GRASS AS NEEDED FOR TEMPORARY COVER INCLUDING FINE GRADING, PREPARATION, FERTILIZER AND PERMANENT SEEDING AT CORRECT PLANTING TIME FOR COVER.
(Symbol)	USABLE OPEN SPACE WITH AREA SQUARE FOOTAGE				

**MAINTENANCE PROVISION: PER SECTION 53 OF THE GRAPEVINE ZONING ORDINANCE** - The owner, tenant and their agent, if any shall be jointly and severally responsible for the maintenance of all landscaping. All required landscaping shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding, and other such activities common to the maintenance of landscaping. Landscaped areas shall be kept free of trash, litter, weeds and other such material or plants not a part of the landscaping. All plant materials shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant materials which die shall be replaced with plant material of similar variety and size.

CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GRADE/90 ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 46 OF 47

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	REVISIONS DURING PLAN REVIEW	BY	DATE

DESIGNED BY:  
DRAWN BY:  
CHECKED BY:



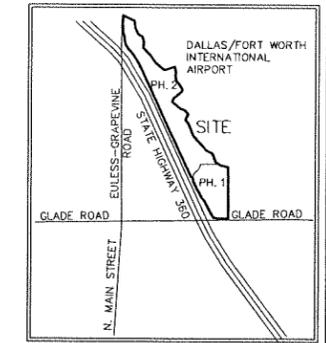
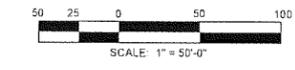
16301 Quorum Drive  
Suite 200 B  
Addicks, Texas 75240  
Main 972.248.7676  
Fax 972.248.1414  
www.jbipartners.com

**LANDSCAPE PLANTING PLAN**  
**TRACT TWO - SHEET 1**  
**THE PRESERVE AT GRAPEVINE**  
Grapevine, Tarrant County, Texas

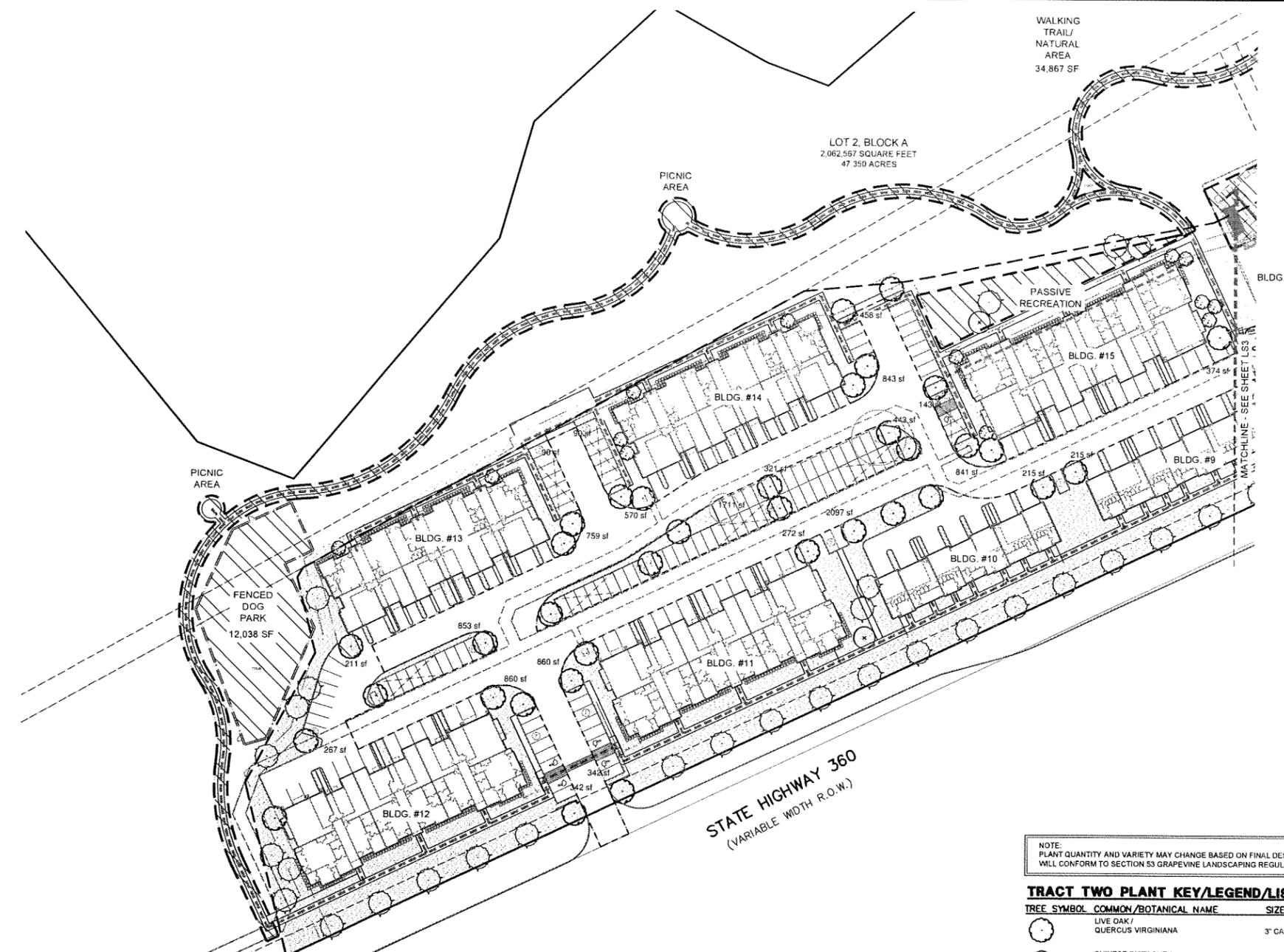
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SHEET NO. 46

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ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15



LOCATION MAP  
(NOT TO SCALE)



LANDSCAPE CALCULATIONS	LOT 1, BLOCK A 888,946 SQUARE FEET 20.407 ACRES		LOT 2, BLOCK A 2,062,567 SQUARE FEET 47.350 ACRES	
	TOTAL SITE AREA	888,946 SF	(20.407 acres)	2,062,567 SF
GROSS PARKING AREA	249,619 SF	28.08% OF SITE	199,507 SF	9.67% OF SITE
TOTAL NON-VEHICULAR OPEN SPACE AREA	423,013 SF	47.59% OF SITE	1,831,077 SF	81.99% OF SITE
NUMBER OF UNITS/BLOG. SF	399/178,372 SF	20.07% OF SITE	315/144,232 SF	7.00% OF SITE
<b>INTERIOR LANDSCAPING</b>				
(GROSS PARKING SQUARE FOOTAGE x 0.10)	24,962 SF	37,942 SF	19,951 SF	27,751 SF
1 TREE/400 SF OF REQD. INTERIOR LANDSCAPE	63 TREES	93 TREES	50 TREES	79 TREES
1 TREE PER PLANTER ISLAND AND TERMINUS	YES	YES	YES	YES
<b>PERIMETER LANDSCAPING</b>				
(MIN 2' WIDE PLANTING AREA/30" MIN HEIGHT)	YES	YES	YES	YES
1 TREE/50 LF OF PERIMETER AREA	YES	YES	YES	YES
<b>NON-VEHICULAR OPEN SPACE LANDSCAPING</b>				
% OF SITE IN NON-VEHICULAR OPEN SPACE				
PER SECTION 53, SECTION 1 (4), TABLE INSET				
1 TREE/3000 SF OF NON-VEHICULAR OPEN SPACE	141	157		
1 TREE/4000 SF OF NON-VEHICULAR OPEN SPACE			423	138
PLUS EXISTING TREES IN FLOOD PLAIN AREA		YES		YES
<b>USABLE OPEN SPACE</b>				
PER SECTION 22, SECTION F (3)				
250 SF/ UNIT	99,750	133,642	78,750	80,131

NOTE:  
PLANT QUANTITY AND VARIETY MAY CHANGE BASED ON FINAL DESIGN. ALL PLANT MATERIAL WILL CONFORM TO SECTION 53 GRAPEVINE LANDSCAPING REGULATIONS.

**TRACT TWO PLANT KEY/LEGEND/LIST**

TREE SYMBOL	COMMON/BOTANICAL NAME	SIZE	QTY	SPACING	REMARKS
	LIVE OAK / QUERCUS VIRGINIANA	3" CAL.	79	AS SHOWN	6'-8" SPREAD; 12-14' HEIGHT; NURSERY OR CONTAINER GROWN; 6" BRANCHING HEIGHT
	CHINESE PISTACHE / PISTACIA CHINENSIS	3" CAL.	20	AS SHOWN	5'-6" SPREAD; 12-14' HEIGHT; NURSERY OR CONTAINER GROWN; 6" BRANCHING HEIGHT
	TEXAS RED OAK / QUERCUS SHUMARDII	3" CAL.	59	AS SHOWN	8" MINIMUM SPREAD; MINIMUM 14' HEIGHT; NURSERY OR CONTAINER GROWN; 6" BRANCHING HEIGHT
	YAUPON HOLLY / ILEX VOMITORIA	6-10" HT	24	AS SHOWN	CONTAINER GROWN; FULL PLANTS; 3" CAL. MIN.
	REDBUD / CERCIS CANADENSIS	6-10" HT	35	AS SHOWN	CONTAINER GROWN; FULL PLANTS; 3" CAL. MIN.
<b>SHRUBS/GROUND COVER</b>					
	FOUNDATION PLANTING (SHRUB VARIETIES TBD - EXAMPLES MAY INCLUDE BURFORD HOLLY, CHINESE HOLLY, ETC.)	5 GAL.	971	AS SHOWN	CONTAINER; FULL PLANTS; 30" x 30" MIN.
	BERMUDA GRASS / CYNODON DACTYLON			SOLID SOD	COMMON BERMUDA, PROVIDE AND PLANT SEASONAL GRASS AS NEEDED FOR TEMPORARY COVER, INCLUDING FINE GRADING, PREPARATION, FERTILIZER AND PERMANENT SEEDING AT CORRECT PLANTING TIME FOR COVER.
	USABLE OPEN SPACE WITH AREA SQUARE FOOTAGE				

**MAINTENANCE PROVISION: PER SECTION 53 OF THE GRAPEVINE ZONING ORDINANCE** - The owner, tenant and their agent, if any shall be jointly and severally responsible for the maintenance of all landscaping. All required landscaping shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding, and other such activities common to the maintenance of landscaping. Landscaped areas shall be kept free of trash, litter, weeds and other such material or plants not a part of the landscaping. All plant materials shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant materials which die shall be replaced with plant material of similar variety and size.

CASE NAME: THE PRESERVE  
CASE NUMBER: 215-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GRAPEVINE ADDITION

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_  
DATE: \_\_\_\_\_

SHEET: 47 OF 47

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

NO.	REVISIONS DURING CONSTRUCTION	BY	DATE	NO.	REVISIONS DURING PLAN REVIEW	BY	DATE

DESIGNED BY:  
DRAWN BY:  
CHECKED BY:

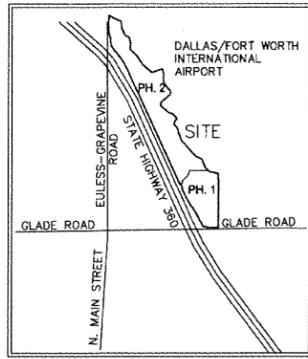


16301 Quorum Drive  
Suite 200 B  
Addison, Texas 75240  
Main 972.248.7676  
Fax 972.248.1414  
www.jbipartners.com

LANDSCAPE PLANTING PLAN  
TRACT TWO - SHEET 2  
THE PRESERVE AT GRAPEVINE  
Grapevine, Tarrant County, Texas

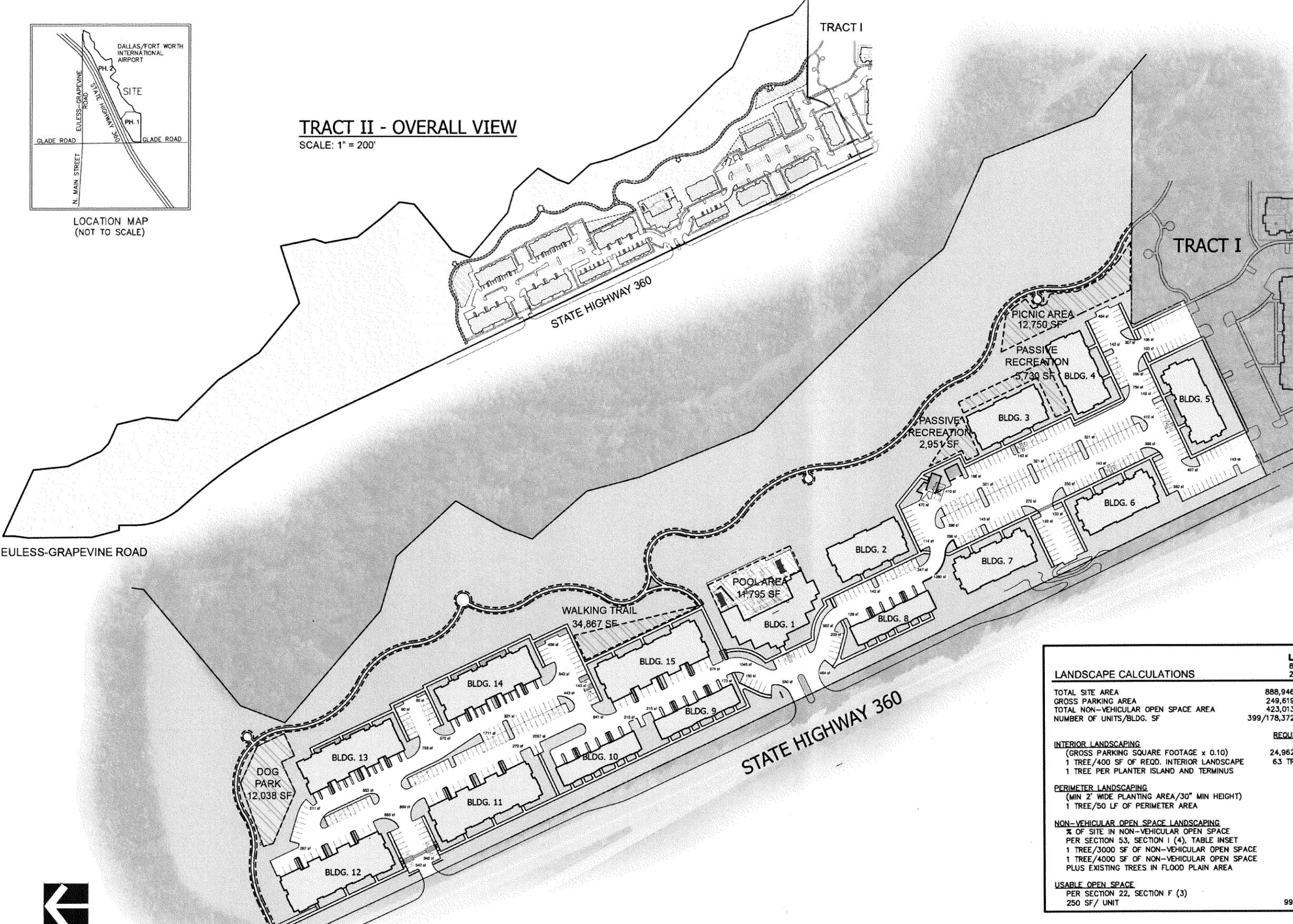
PROJECT NO.  
GRS001  
SHEET NO.  
47

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LOCATION MAP  
(NOT TO SCALE)

**TRACT II - OVERALL VIEW**  
SCALE: 1" = 200'



ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15

- SITE OPEN SPACE GROSS AREA)
- USABLE OPEN SPACE
- VEHICULAR OPEN SPACE (SQUARE FOOTAGE)

LANDSCAPE CALCULATIONS	LOT 1, BLOCK A 888,946 SQUARE FEET 20.407 ACRES		LOT 2, BLOCK A 2,062,567 SQUARE FEET 47.350 ACRES	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
TOTAL SITE AREA	888,946 SF	(20.407 acres)	2,062,567 SF	(47.35 acres)
GROSS PARKING AREA	249,619 SF	28.08% OF SITE	199,507 SF	9.67% OF SITE
TOTAL NON-VEHICULAR OPEN SPACE AREA	423,013 SF	47.59% OF SITE	1,691,077 SF	81.99% OF SITE
NUMBER OF UNITS/BLDG. SF	399/178,372 SF	20.07% OF SITE	315/144,232 SF	7.00% OF SITE
<b>INTERIOR LANDSCAPING</b>				
(GROSS PARKING SQUARE FOOTAGE x 0.10)	24,962 SF	37,942 SF	19,951 SF	27,751 SF
1 TREE/400 SF OF REQD. INTERIOR LANDSCAPE	63 TREES	93 TREES	50 TREES	79 TREES
1 TREE PER PLANTER ISLAND AND TERMINUS	YES	YES	YES	YES
<b>PERIMETER LANDSCAPING</b>				
(MIN 2' WIDE PLANTING AREA/30" MIN HEIGHT)	YES	YES	YES	YES
1 TREE/50 LF OF PERIMETER AREA	YES	YES	YES	YES
<b>NON-VEHICULAR OPEN SPACE LANDSCAPING</b>				
% OF SITE IN NON-VEHICULAR OPEN SPACE				
PER SECTION 53, SECTION I (4), TABLE INSET				
1 TREE/3000 SF OF NON-VEHICULAR OPEN SPACE	141	157		
1 TREE/4000 SF OF NON-VEHICULAR OPEN SPACE PLUS EXISTING TREES IN FLOOD PLAIN AREA		YES	423	138
<b>USABLE OPEN SPACE</b>				
PER SECTION 22, SECTION F (3)				
250 SF/ UNIT	99,750	133,642	78,750	80,131

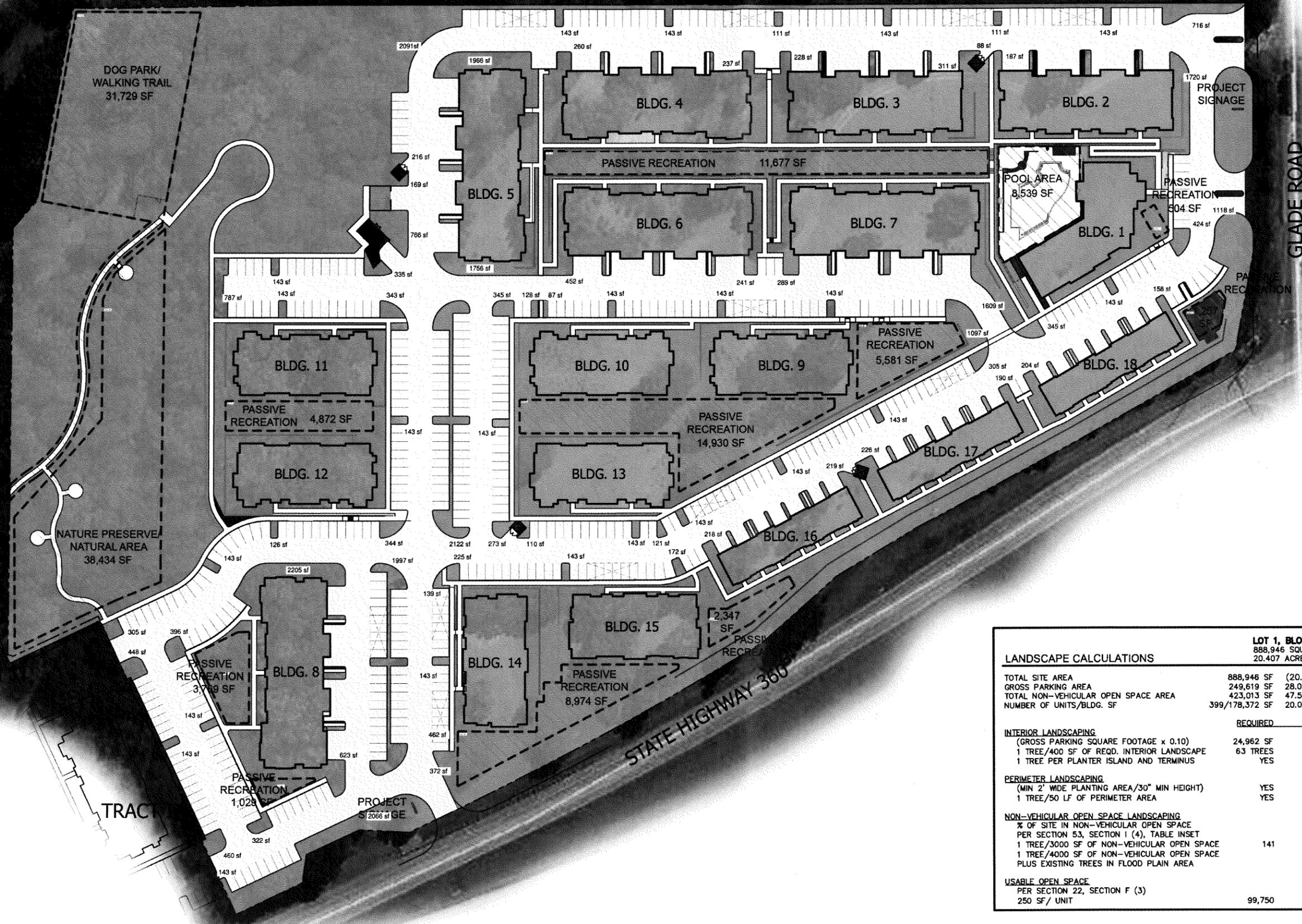
**TRACT 2 - OPEN SPACE EXHIBIT 2**

**GREYSTAR - THE PRESERVE GRAPEVINE, TEXAS**

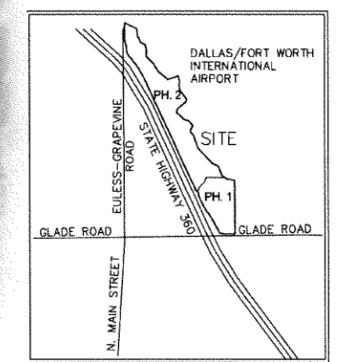
SEPTEMBER 4, 2015  
GRS001

ENGINEERING, PLANNING, AND LANDSCAPE ARCHITECTURE  
FOR REAL ESTATE DEVELOPMENT

ITEM #5, 37 & 38  
PZ ITEM #5, 14 & 15



- SITE OPEN SPACE (GROSS AREA)
- USABLE OPEN SPACE
- VEHICULAR OPEN SPACE (SQUARE FOOTAGE)

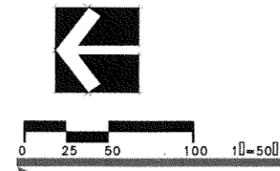


LOCATION MAP (NOT TO SCALE)

LANDSCAPE CALCULATIONS	LOT 1, BLOCK A 888,946 SQUARE FEET 20.407 ACRES		LOT 2, BLOCK A 2,062,567 SQUARE FEET 47.350 ACRES	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
TOTAL SITE AREA	888,946 SF	(20.407 acres)	2,062,567 SF	(47.35 acres)
GROSS PARKING AREA	249,619 SF	28.08% OF SITE	199,507 SF	9.67% OF SITE
TOTAL NON-VEHICULAR OPEN SPACE AREA	423,013 SF	47.59% OF SITE	1,691,077 SF	81.99% OF SITE
NUMBER OF UNITS/BLDG. SF	399/178,372 SF	20.07% OF SITE	315/144,232 SF	7.00% OF SITE
<b>INTERIOR LANDSCAPING</b>				
(GROSS PARKING SQUARE FOOTAGE x 0.10)	24,962 SF	37,942 SF	19,951 SF	27,751 SF
1 TREE/400 SF OF REQD. INTERIOR LANDSCAPE	63 TREES	93 TREES	50 TREES	79 TREES
1 TREE PER PLANTER ISLAND AND TERMINUS	YES	YES	YES	YES
<b>PERIMETER LANDSCAPING</b>				
(MIN 2' WIDE PLANTING AREA/30" MIN HEIGHT)	YES	YES	YES	YES
1 TREE/50 LF OF PERIMETER AREA	YES	YES	YES	YES
<b>NON-VEHICULAR OPEN SPACE LANDSCAPING</b>				
% OF SITE IN NON-VEHICULAR OPEN SPACE				
PER SECTION 53, SECTION I (4), TABLE INSET				
1 TREE/3000 SF OF NON-VEHICULAR OPEN SPACE	141	157		
1 TREE/4000 SF OF NON-VEHICULAR OPEN SPACE PLUS EXISTING TREES IN FLOOD PLAIN AREA		YES	423	138
<b>USABLE OPEN SPACE</b>				
PER SECTION 22, SECTION F (3)				
250 SF/ UNIT	99,750	133,642	78,750	80,131

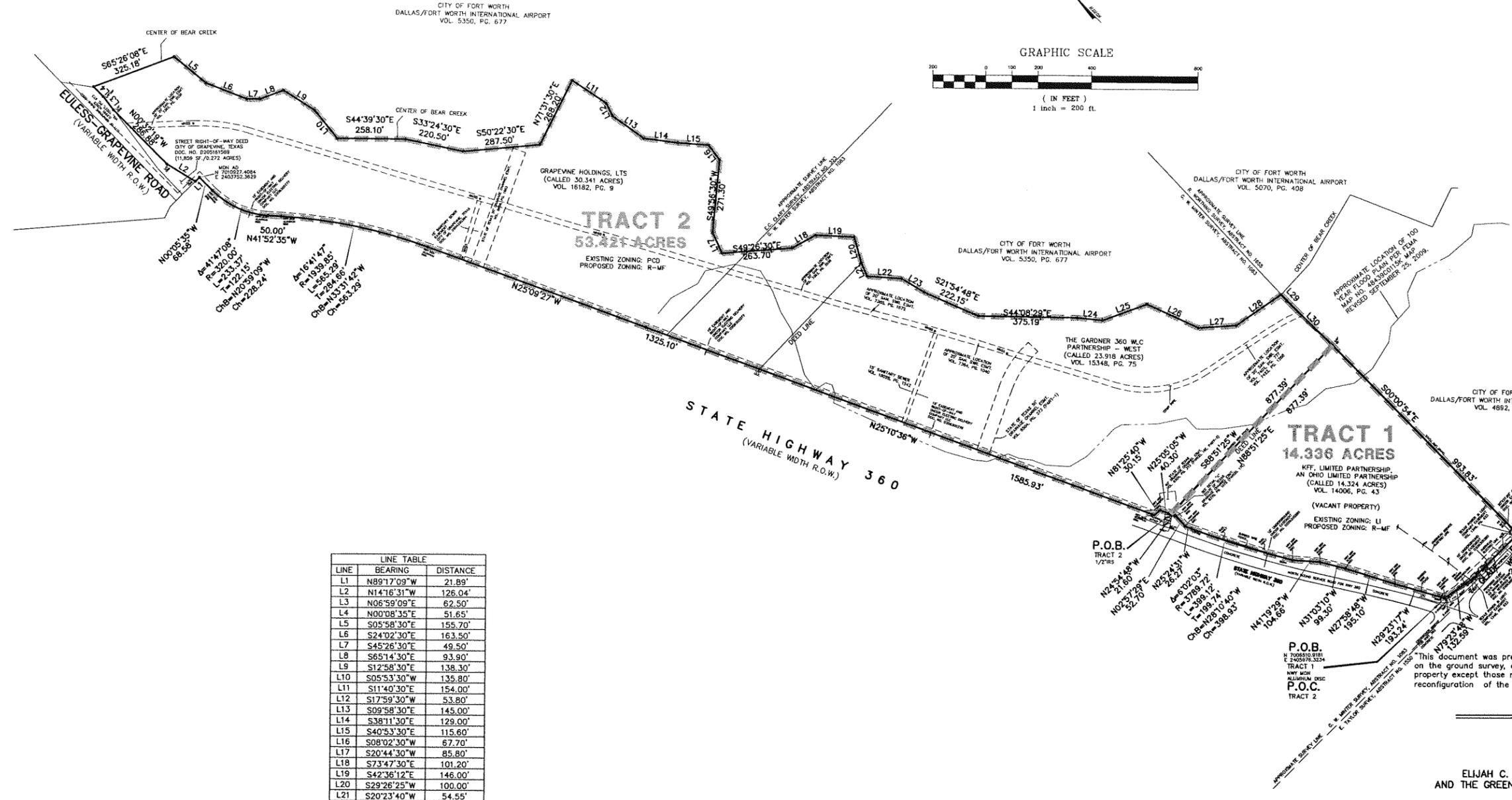
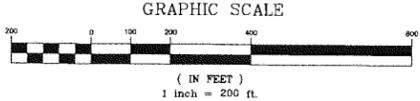
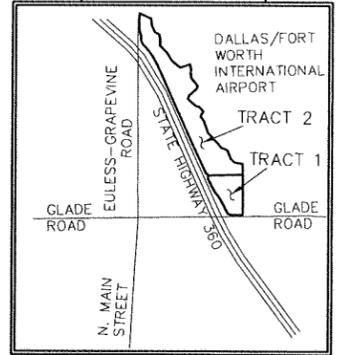
# TRACT I - OPEN SPACE EXHIBIT 1

# GREYSTAR - THE PRESERVE GRAPEVINE, TEXAS



SEPTEMBER 4, 2015  
GR5001

LOCATION MAP  
(NOT TO SCALE)



- LEGEND**
- POC POINT OF COMMENCING
  - POB POINT OF BEGINNING
  - IRF IRON ROD FOUND
  - IRS IRON ROD SET
  - MON MONUMENT
  - ROW RIGHT-OF-WAY
  - HWY HIGHWAY
  - ESMT EASEMENT
  - ELEC ELECTRIC
  - PP POWER POLE
  - UGL UNDERGROUND LINE
  - TV TRAFFIC VAULT
  - TSP TRAFFIC SIGNAL POLE
  - TSB TRAFFIC SIGNAL BOX
  - LP LIGHT POLE
  - CONC CONCRETE
  - MHST MANHOLE STORM

LINE TABLE

LINE	BEARING	DISTANCE
L1	N89°17'09"W	21.89'
L2	N14°16'31"W	126.04'
L3	N06°59'09"E	62.50'
L4	N00°08'35"E	51.65'
L5	S05°58'30"E	155.70'
L6	S24°02'30"E	163.50'
L7	S45°26'30"E	49.50'
L8	S65°14'30"E	93.90'
L9	S12°58'30"E	138.30'
L10	S05°53'30"W	135.80'
L11	S11°40'30"E	154.00'
L12	S17°59'30"W	53.80'
L13	S09°58'30"E	145.00'
L14	S38°11'30"E	129.00'
L15	S40°53'30"E	115.60'
L16	S08°02'30"W	67.70'
L17	S20°44'30"W	85.80'
L18	S73°47'30"E	101.20'
L19	S42°36'12"E	146.00'
L20	S29°26'25"W	100.00'
L21	S20°23'40"W	54.55'
L22	S40°58'41"E	130.10'
L23	S14°34'30"E	99.40'
L24	S39°37'45"E	95.97'
L25	S65°07'45"E	176.46'
L26	S20°43'45"E	212.81'
L27	S48°50'35"E	144.20'
L28	S79°25'45"E	205.58'
L29	S01°20'13"W	30.64'
L30	S01°06'45"E	239.36'

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**ZONING EXHIBIT**

**THE PRESERVE**

67.757 ACRES OUT OF THE  
ELIJAH C. CLARY SURVEY, ABSTRACT NUMBER 323,  
AND THE GREEN W. MINTER SURVEY, ABSTRACT NUMBER 1083  
CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS

**GRAPEVINE HOLDINGS, LTD** **OWNER**  
15303 Dallas Parkway, Suite 480 (972) 669-9955  
Addison, Texas 75001

**THE GARDNER 360 WLC PARTNERSHIP--WEST** **OWNER**  
15303 Dallas Parkway, Suite 480 (972) 669-9955  
Addison, Texas 75001

**KFF, LIMITED PARTNERSHIP  
AN OHIO LIMITED PARTNERSHIP** **OWNER**  
1810 Arlingdale Lane  
Columbus, Ohio 43228

**JB PARTNERS, INC.** **SURVEYOR/ENGINEER**  
16301 Quorum Drive, Suite 200 B (972) 248-7676  
Addison, Texas 75001  
Contact: Chuck McKinney  
TBPE No. F-438 TBPLS No. 10076000

CASE NAME: THE PRESERVE  
CASE NUMBER: Z15-04 AND CU15-22  
LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2  
BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_ SHEET: 1 OF 2

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES  
DEPARTMENT OF DEVELOPMENT SERVICES

Plotted by: cmckinney Plot Date: 9/4/2015 10:14 AM  
Drawing: H:\Projects\GR5001\DWG\ZONING EXHIBIT.dwg Saved By: mharp Save Time: 9/4/2015 7:12 AM

LEGAL DESCRIPTION  
(TRACT 1)

Being a parcel of land located in the City of Grapevine, Tarrant County, Texas a part of the Green W. Minter Survey, Abstract Number 1083, and being all of that called 14.324 acre tract of land described in deed to KFF Limited Partnership, an Ohio limited partnership as recorded in Volume 14006, Page 43, Tarrant County Deed Records, and being further described as follows:

BEGINNING at a highway monument with an aluminum disc found at southwest corner of said 14.324 acre tract, said point also being at the intersection of the north right-of-way of Glade Road (a variable width right-of-way) with the east right-of-way of State Highway 360 (a variable width right-of-way);

THENCE along the east right-of-way line of State Highway 360 as follows:  
 North 29 degrees 23 minutes 17 seconds West, 193.24 feet to a highway monument with an aluminum disc found for corner;  
 North 27 degrees 58 minutes 48 seconds West, 195.10 feet to a highway monument with an aluminum disc found for corner;  
 North 31 degrees 03 minutes 10 seconds West, 99.30 feet to a highway monument with an aluminum disc found for corner;  
 North 41 degrees 19 minutes 29 seconds West, 104.66 feet to a highway monument with an aluminum disc found for corner;  
 Northwesterly, 399.12 feet along a curve to the right having a central angle of 06 degrees 02 minutes 03 seconds, a radius of 3789.72 feet, a tangent of 199.74 feet, and whose chord bears North 28 degrees 10 minutes 40 seconds West, 398.93 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;  
 North 25 degrees 24 minutes 31 seconds West, 26.27 feet to a highway monument with an aluminum disc found for corner;  
 North 02 degrees 57 minutes 29 seconds East, 52.70 feet to a highway monument with an aluminum disc found for corner;  
 North 24 degrees 54 minutes 48 seconds West, 21.60 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner, said point being the northwest corner of said 14.324 acre tract, said point also being the POINT OF BEGINNING of this tract of land;

THENCE North 88 degrees 51 minutes 25 seconds East, 877.39 feet to a five-eighths inch iron rod found for corner, said point being the northeast corner of said 14.324 acre tract, said point also being in the west line of the Dallas/Fort Worth International Airport;

THENCE South 00 degrees 00 minutes 54 seconds East, 993.83 feet along the west line of the Dallas/Fort Worth International Airport to a monument with brass disc found for corner, said point being the southeast corner of said 14.324 acre tract, said point also being in the north right-of-way line of Glade Road;

THENCE along the north right-of-way line of Glade Road as follows:  
 West, 234.43 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;  
 North 79 degrees 23 minutes 48 seconds West, 132.59 feet to the POINT OF BEGINNING and containing 624,491 square feet or 14.336 acres of land.

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LEGAL DESCRIPTION  
(TRACT 2)

Being a parcel of land located in the City of Grapevine, Tarrant County, Texas a part of the Elijah C. Clary Survey, Abstract Number 323, and being a part of the Green W. Minter Survey, Abstract 1083, and being all of that called 23.918 acre tract of land described in deed to The Gardner 360 WLC Partnership-West as recorded in Volume 15348, Page 75, Tarrant County Deed Records, and also being all of that called 30.341 acre tract of land described in deed to Grapevine Holdings Ltd as recorded in Volume 16182, Page 9, Tarrant County Deed Records, and being further described as follows:

COMMENCING at a highway monument with an aluminum disc found at the southwest corner of that called 14.324 acre tract of land described in deed to KFF Limited Partnership, an Ohio limited partnership as recorded in Volume 14006, Page 43, Tarrant County Deed Records, said point also being at the intersection of the north right-of-way of Glade Road (a variable width right-of-way) with the east right-of-way of State Highway 360 (a variable width right-of-way);

THENCE along the east right-of-way line of State Highway 360 as follows:  
 North 29 degrees 23 minutes 17 seconds West, 193.24 feet to a highway monument with an aluminum disc found for corner;  
 North 27 degrees 58 minutes 48 seconds West, 195.10 feet to a highway monument with an aluminum disc found for corner;  
 North 31 degrees 03 minutes 10 seconds West, 99.30 feet to a highway monument with an aluminum disc found for corner;  
 North 41 degrees 19 minutes 29 seconds West, 104.66 feet to a highway monument with an aluminum disc found for corner;  
 Northwesterly, 399.12 feet along a curve to the right having a central angle of 06 degrees 02 minutes 03 seconds, a radius of 3789.72 feet, a tangent of 199.74 feet, and whose chord bears North 28 degrees 10 minutes 40 seconds West, 398.93 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;  
 North 25 degrees 24 minutes 31 seconds West, 26.27 feet to a highway monument with an aluminum disc found for corner;  
 North 02 degrees 57 minutes 29 seconds East, 52.70 feet to a highway monument with an aluminum disc found for corner;  
 North 24 degrees 54 minutes 48 seconds West, 21.60 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner, said point being the northwest corner of said 14.324 acre tract, said point also being the POINT OF BEGINNING of this tract of land;

THENCE continuing along the east right-of-way line of State Highway 360 as follows:  
 North 25 degrees 05 minutes 05 seconds West, 40.30 feet to a highway monument with an aluminum disc found for corner;  
 North 81 degrees 25 minutes 40 seconds West, 30.15 feet to a highway monument with an aluminum disc found for corner;  
 North 25 degrees 10 minutes 36 seconds West, 1585.93 feet to a one-half inch iron rod found for corner, said point being the northwest corner of said 23.918 acre tract, said point also being the southwest corner of said 30.341 acre tract;  
 North 25 degrees 09 minutes 27 seconds West, 1325.10 feet to a highway monument with an aluminum disc found for corner;  
 Northwesterly, 565.29 feet along a curve to the left having a central angle of 16 degrees 41 minutes 47 seconds, a radius of 1939.85 feet, a tangent of 284.66 feet, and whose chord bears North 33 degrees 31 minutes 42 seconds West, 563.29 feet to a highway monument with an aluminum disc found for corner;  
 North 41 degrees 52 minutes 35 seconds West, 50.00 feet to a highway monument with an aluminum disc found for corner;  
 Northwesterly, 233.37 feet along a curve to the right having a central angle of 41 degrees 47 minutes 08 seconds, a radius of 320.00 feet, a tangent of 122.15 feet, and whose chord bears North 20 degrees 59 minutes 09 seconds West, 228.24 feet to a highway monument with an aluminum disc found for corner;  
 North 00 degrees 05 minutes 35 seconds West, 68.58 feet to a highway monument with an aluminum disc found for corner;  
 North 89 degrees 17 minutes 09 seconds West, 21.89 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner in the east right-of-way line of Euless-Grapevine Road per a street right-of-way deed to the City of Grapevine as recorded in Document Number D205161589, Tarrant County Deed Records;

THENCE along the east right-of-way line of Euless-Grapevine Road as follows:  
 North 14 degrees 16 minutes 31 seconds West, 126.04 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;  
 North 00 degrees 32 minutes 19 seconds West, 286.88 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;  
 North 06 degrees 59 minutes 09 seconds East, 62.50 feet to a five-eighths inch iron rod with yellow cap stamped "SURVCON INC." found for corner;  
 North 00 degrees 08 minutes 35 seconds East, 51.65 feet to a point for corner in the centerline of Bear Creek, said point also being in the west line of the Dallas/Fort Worth International Airport;

THENCE along the centerline of Bear Creek and the east line of said 30.341 acre tract and the west line of the Dallas/Fort Worth International Airport as follows:  
 South 65 degrees 26 minutes 08 seconds East, 325.18 feet to a point for corner;  
 South 05 degrees 58 minutes 30 seconds East, 155.70 feet to a point for corner;  
 South 24 degrees 02 minutes 30 seconds East, 163.50 feet to a point for corner;  
 South 45 degrees 26 minutes 30 seconds East, 49.50 feet to a point for corner;  
 South 65 degrees 14 minutes 30 seconds East, 93.90 feet to a point for corner;  
 South 12 degrees 58 minutes 30 seconds East, 138.30 feet to a point for corner;  
 South 05 degrees 53 minutes 30 seconds West, 135.80 feet to a point for corner;  
 South 44 degrees 39 minutes 30 seconds East, 258.10 feet to a point for corner;  
 South 33 degrees 24 minutes 30 seconds East, 220.50 feet to a point for corner;  
 South 50 degrees 22 minutes 30 seconds East, 287.50 feet to a point for corner;  
 North 71 degrees 31 minutes 30 seconds East, 268.20 feet to a point for corner;  
 South 11 degrees 40 minutes 30 seconds East, 154.00 feet to a point for corner;  
 South 17 degrees 59 minutes 30 seconds West, 53.80 feet to a point for corner;  
 South 09 degrees 58 minutes 30 seconds East, 145.00 feet to a point for corner;  
 South 38 degrees 11 minutes 30 seconds East, 129.00 feet to a point for corner;  
 South 40 degrees 53 minutes 30 seconds East, 115.60 feet to a point for corner;  
 South 08 degrees 02 minutes 30 seconds West, 67.70 feet to a point for corner;  
 South 49 degrees 56 minutes 30 seconds West, 271.30 feet to a point for corner;  
 South 20 degrees 44 minutes 30 seconds West, 85.80 feet to a point for corner;  
 South 49 degrees 26 minutes 30 seconds East, 263.70 feet to a point for corner;  
 South 73 degrees 47 minutes 30 seconds East, 101.20 feet to a point for corner;  
 South 42 degrees 36 minutes 12 seconds East, 146.00 feet to a point for corner;  
 South 29 degrees 26 minutes 25 seconds West, 100.00 feet to the northeast corner of said 23.918 acre tract of land;

THENCE continuing along the centerline of Bear Creek and the east line of said 23.918 acre tract and the west line of the Dallas/Fort Worth International Airport as follows:  
 South 20 degrees 23 minutes 40 seconds West, 54.55 feet to a point for corner;  
 South 40 degrees 58 minutes 41 seconds East, 130.10 feet to a point for corner;  
 South 14 degrees 34 minutes 30 seconds East, 99.40 feet to a point for corner;  
 South 21 degrees 54 minutes 48 seconds East, 222.15 feet to a point for corner;  
 South 44 degrees 08 minutes 29 seconds East, 375.19 feet to a point for corner;  
 South 39 degrees 37 minutes 45 seconds East, 95.97 feet to a point for corner;  
 South 65 degrees 07 minutes 45 seconds East, 176.46 feet to a point for corner;  
 South 20 degrees 43 minutes 45 seconds East, 212.81 feet to a point for corner;  
 South 48 degrees 50 minutes 35 seconds East, 144.20 feet to a point for corner;  
 South 79 degrees 25 minutes 45 seconds East, 205.58 feet to a point for corner;

THENCE continuing along the east line of said 23.918 acre tract and the west line of the Dallas/Fort Worth International Airport as follows:  
 South 01 degrees 20 minutes 13 second West, 30.64 feet to a point for corner;  
 South 01 degrees 06 minutes 45 seconds East, 239.36 feet to a five-eighths inch iron rod found at the southeast corner of said 23.918 acre tract, said point also being the northeast corner of said 14.324 acre tract;

THENCE South 88 degrees 51 minutes 25 seconds West, 877.39 feet to the POINT OF BEGINNING and containing 2,327,023 square feet or 53.421 acres of land.  
 "This document was prepared under 22 TAC 663.23, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared."

CASE NAME: THE PRESERVE  
 CASE NUMBER: Z15-04 AND CU15-22  
 LOCATION: 4501 STATE HIGHWAY 360, LOTS 1 & 2, BLOCK A, GLADE/360 ADDITION

MAYOR \_\_\_\_\_

PLANNING AND ZONING COMMISSION

CHAIRMAN \_\_\_\_\_

DATE: \_\_\_\_\_

SHEET: 2 OF 2

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES

DEPARTMENT OF DEVELOPMENT SERVICES

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**ZONING EXHIBIT**

**THE PRESERVE**

67.757 ACRES OUT OF THE  
 ELIJAH C. CLARY SURVEY, ABSTRACT NUMBER 323,  
 AND THE GREEN W. MINTER SURVEY, ABSTRACT NUMBER 1083

CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS

<b>GRAPEVINE HOLDINGS, LTD</b>	<b>OWNER</b>
15303 Dallas Parkway, Suite 480 Addison, Texas 75001	(972) 669-9955
<b>THE GARDNER 360 WLC PARTNERSHIP-WEST</b>	<b>OWNER</b>
Addison, Texas 75001 15303 Dallas Parkway, Suite 480	(972) 669-9955
<b>KFF, LIMITED PARTNERSHIP AN OHIO LIMITED PARTNERSHIP</b>	<b>OWNER</b>
1810 Arlington Lane Columbus, Ohio 43228	
<b>JBI PARTNERS, INC.</b>	<b>SURVEYOR/ENGINEER</b>
16301 Quorum Drive, Suite 200 B Addison, Texas 75001 Contact: Chuck McKinney TBPE No. F-438 TBPLS No. 10076000	(972) 248-7676

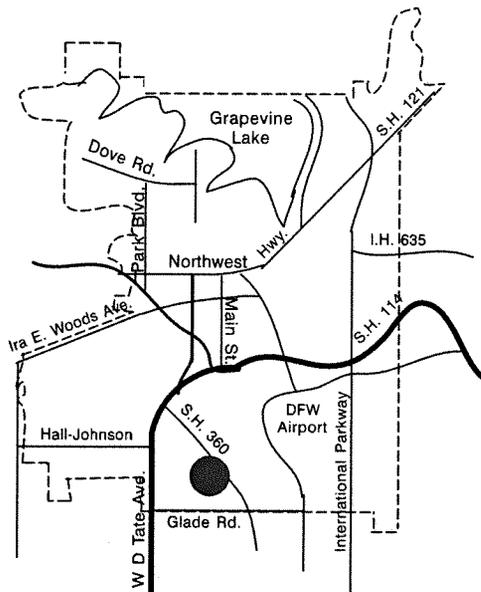
Drawing: H:\Projects\GRS001\Drawings\ZONING EXHIBIT.dwg Saved By: mharp Date: 9/4/2015 7:12 AM Plotted by: cmckinney Plot Date: 9/4/2015 10:14 AM

TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS AND THE  
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: SEPTEMBER 15, 2015

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF PLANNED  
DEVELOPMENT OVERLAY PD15-04 STONE BRIDGE OAKS



APPLICANT: Ann Yelkin

PROPERTY LOCATION AND SIZE:

The subject property is located at 4632 Trevor Trail and is platted as Stone Bridge Oaks II. The subject property comprises 19.17 acres and has approximately 1,540 feet of frontage along Grapevine-Eules Road and 236 feet of frontage along the south State Highway 360 service road.

REQUESTED PLANNED DEVELOPMENT OVERLAY AND COMMENTS:

The applicant is requesting a planned development overlay to amend the previously approved site plan of PD10-04 (Ord. 2010-33), specifically to allow an emergency only access gate on the southbound State Highway 360/Trevor Trail frontage road.

The applicant intends to construct a six-foot metal, emergency access gate across the Trevor Trail entrance to the subject site to help address concerns about safety, liability, property damage, theft and cut-thru traffic within Stone Bridge Oaks. The subject site is accessed by three private drives including Carly Drive and Noble Oak Drive which are located on the west side of the subdivision and which intersect with Eules-Grapevine Road and Trevor Trail which is located on the northeast side of the subject site and which intersects with the southbound State Highway 360 frontage road.

At the request of property owners of the subject site, the City of Grapevine conducted traffic studies in 2011 and 2014. The traffic study included traffic counts from the three

entrances to the subject site. The average 24-hour traffic counts for the Trevor Trail entrance for 2011 and 2014 respectively were 180 vehicles and 215 vehicles, an increase of 35 vehicles which could indicate the possibility of cut-thru traffic within the subject site. See the attached parking studies.

#### PRESENT ZONING AND USE:

The property is currently zoned "R-TH" Townhouse District and "R-5.0" Zero Lot Line District with a planned development overlay and is partially developed.

#### HISTORY OF TRACT AND SURROUNDING AREA:

The northern two-thirds of the subject property as well as the property to the north were rezoned in the 1984 City Rezoning from "I-1" Light Industrial District to "PCD", Planned Commerce Development District. The southern third of the subject site and the property to the south were rezoned from "C-2" Community Business District to "PCD" Planned Commerce Development District at that time. The property to the north remains undeveloped. The property to the south was rezoned from "PCD" Planned Commerce Development District to "CN" Neighborhood Commercial District in March 2000 (Z00-05, Ord. No. 00-37). A conditional use permit for a retirement community was approved at that time as well. The site plan for the retirement community has been amended several times since the original approval.

The property to the west was zoned "R-7.5" Single Family District and "C-2" Community Business District prior to the 1984 City rezoning, at which time the area zoned for community business was rezoned "R-7.5" Single Family District. The site was subsequently developed with the Glade Woods subdivision.

A zone change (Z02-06) was approved on the subject tract at Council's September 17, 2006 meeting rezoning the property from "PCD" Planned Commerce Development District to "R-MF-1" Multifamily District for a 124-unit condominium project that was deed restricted to no more than six units per acre. The project never moved beyond the initial planning stages. At Council's May 16, 2006 meeting a zone change (Z06-03) and a planned development overlay (PD06-06) was approved on the subject property to allow for the development of 138 townhomes on 23.58 acres that had been previously zoned "R-MF-1" Multifamily District. A subsequent modification to the planned development overlay (PD07-01) was approved by the Site Plan Review Committee at their March 28, 2007 meeting which allowed for the slight adjustment of the location of lots near the southeast corner of the site to preserve trees. The City Council considered at their April 20, 2010 meeting Planned Development Overlay PD10-02 on the subject property whereby the applicant proposed redeveloping the property to allow for 66 single family lots; the applicant later withdrew the request during the Commission's deliberation. The City Council at the July 20, 2010 meeting approved Z10-02 (Ord. 2010-32) to rezone a portion of the subject site from "R-TH" Townhouse District to "R-5.0" Zero Lot Line District and PD10-04 (Ord. 2010-33) to allow deviation from the front, rear and side yard setback requirements and the

building and impervious coverage requirements within the "R-5.0" Zero Lot Line District standards.

**SURROUNDING ZONING AND EXISTING LAND USE:**

- NORTH: "PCD" Planned Commerce Development District – Southern Baptist Convention office building
- SOUTH: "CN" Neighborhood Commercial District and "PCD" Planned Commerce Development District – Glade Corner Retirement Community and vacant property
- EAST: "PCD" Planned Commerce Development District – vacant property
- WEST: "R-7.5" Single Family District – Glade Woods subdivision

**AIRPORT IMPACT:**

The subject tract is not located within any of the noise zones as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map.

**MASTER PLAN APPLICATION:**

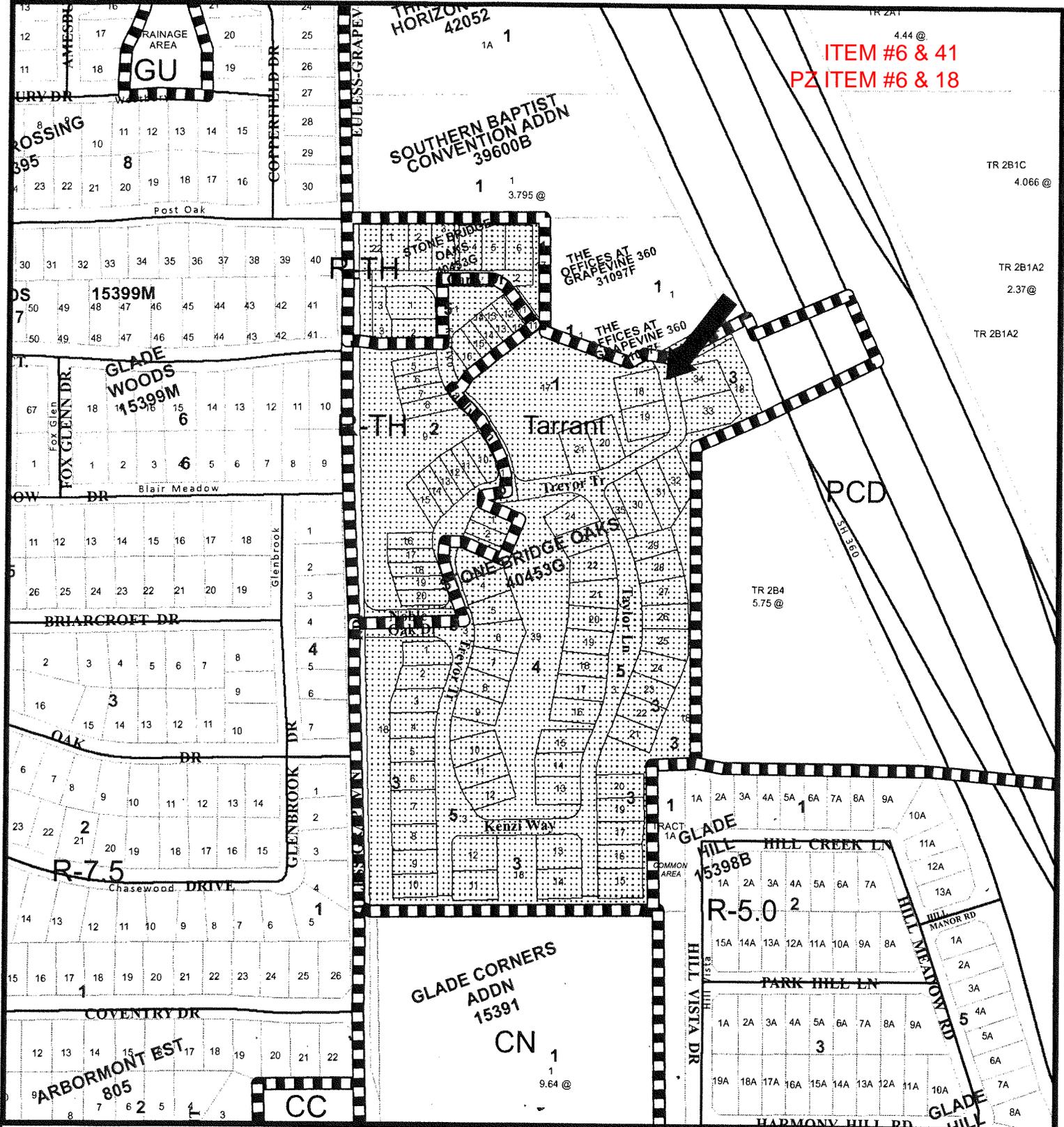
The Master Plan designates the subject property as a Residential High Density land use. The proposed zone change does not comply with this designation.

**THOROUGHFARE PLAN APPLICATION:**

The Thoroughfare Plan designates Euless-Grapevine Road as a Type D Minor Arterial with a minimum 75-foot right-of-way developed as four lanes.

/at

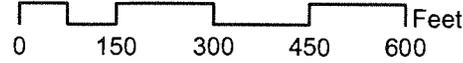
ITEM #6 & 41  
PZ ITEM #6 & 18



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TR 2B1A2  
2.37 @  
TR 2B1A2

TR 2B4  
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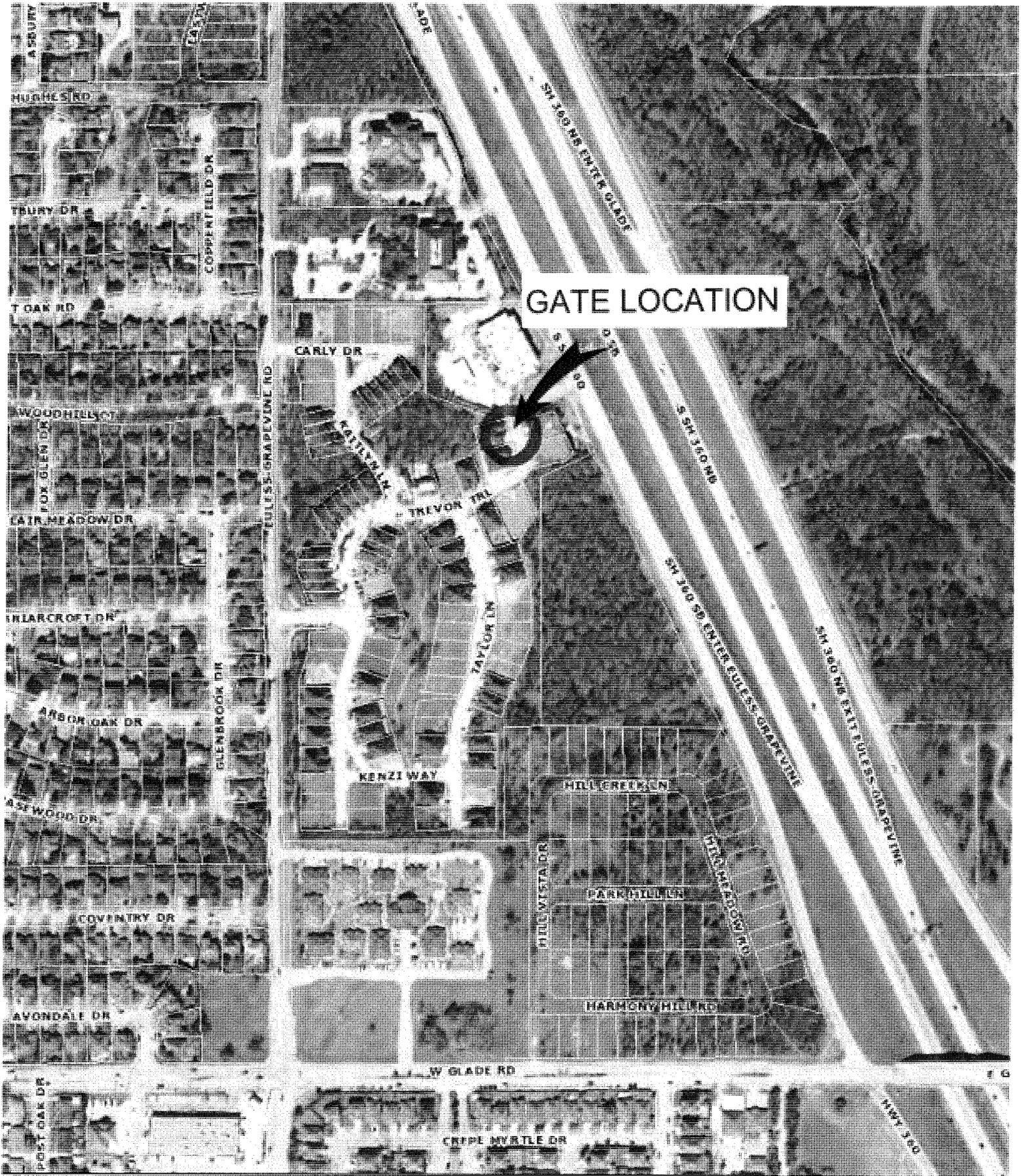
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# PD15-44 Stone Bridge Oaks

Date Prepared: 9/1/2015

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.





# CITY OF GRAPEVINE PLANNED DEVELOPMENT OVERLAY APPLICATION

### PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact  
**Anne Velken**

Street address of applicant / agent:  
**4633 Trevor Trl**

City / State / Zip Code of applicant / agent:  
**Grapevine, TX 76051**

Telephone number of applicant / agent:  
**817-706-2107**

Fax number of applicant / agent:  
**817-545-6265**

Email address of applicant / agent  
**anneyelken@me.com**

Mobile phone number of applicant / agent

Applicant's interest in subject property:  
**HOA Board Member**

### PART 2. PROPERTY INFORMATION

Street address of subject property  
**4632 Trevor Trl, Grapevine**

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)  
**Lot Block Addition G.W. Minter Survey, Abst. #1083 (Stone Bridge Oaks) Addition**

Size of subject property  
**23.577 Acres**

Present zoning classification:  
**R-TH**

Proposed use of the property:  
**Townhomes & Single Family Homes**

Minimum / maximum district size for request:

Zoning ordinance provision requesting deviation from:

### PART 3. PROPERTY OWNER INFORMATION

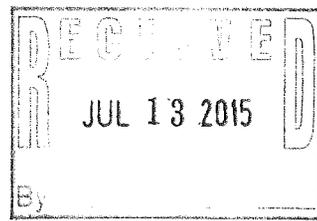
Name of current property owner:  
**Lifestyle Grapevine 360, LP**

Street address of property owner:  
**9603 Whiterock Trail Ste. 204**

City / State / Zip Code of property owner:  
**Dallas, TX 75238**

Telephone number of property owner:  
**214-794-5366**

Fax number of property owner:  
**469-675-6372**



- Submit a letter describing the proposed Planned Development and note the request on the site plan document.
- Describe any special requirements or conditions that require deviation of the zoning district regulations.
- Describe whether the proposed overlay will, or will not cause substantial harm to the value, use or enjoyment of other property in the neighborhood.
- Describe how the proposed planned development will add to the value, use or enjoyment of other property in the neighborhood.
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All planned development overlay applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a planned development overlay can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for planned development overlay and acknowledge that all requirements of this application have been met at the time of submittal.

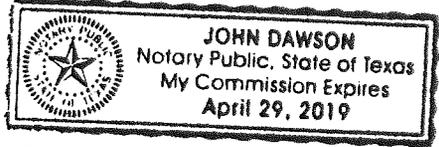
**PART 4. SIGNATURE TO AUTHORIZE PLANNED DEVELOPMENT OVERLAY REQUEST AND PLACE A PLANNED DEVELOPMENT OVERLAY REQUEST SIGN ON THE SUBJECT PROPERTY**

Print Applicant's Name: Anne Yelken Applicant's Signature: Anne Yelken

The State Of Texas  
County Of Tarrant  
Before Me John Dawson (notary) on this day personally appeared Anne Yelken (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 11th day of July, A.D. 2015.



John Dawson  
Notary In And For State Of Texas

Print Property Owners Name: ANTHONY NATALE (President of G.P) Property Owner's Signature: [Signature]

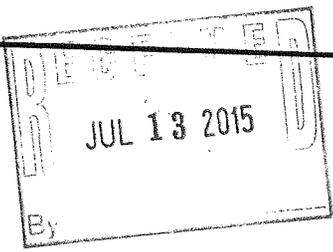
The State Of Texas  
County Of DALLAS  
Before Me Jill Rommel (notary) on this day personally appeared Anthony Natalie (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 6 day of July, A.D. 2015.



Jill Rommel  
Notary In And For State Of Texas



ACKNOWLEDGEMENT

All Planned Development Overlay Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.

All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.

Any changes to a site plan (no matter how minor or major) approved with a planned development overlay can only be approved by city council through the public hearing process.

Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.

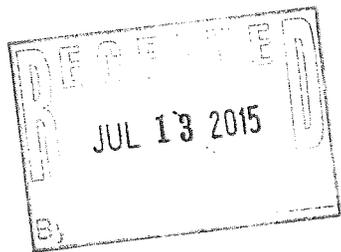
I have read and understand all of the requirements as set forth by the application for planned development overlay and acknowledge that all requirements of this application have been met at the time of submittal.

Signature of Applicant Annaljecken

Date: July 11, 2015

Signature of Owner [Signature]

Date: July 6, 2015



# Stone Bridge Oaks Homeowners Association

## Proposal to Grapevine City Council For An Emergency Only Gate at Hwy. 360 & Trevor Trail

Stone Bridge Oaks is a townhome and garden home development in Grapevine just north of Glade Road and just west of Highway 360. The property has been under slow development since 2006 under several ownerships.

The subject of this proposal to the city is to ask for consideration by the council for approval of a closed/emergency-only gate at the Trevor Trail entrance off of Hwy 360. The Stone Bridge Oaks Homeowners Association believes that numerous factors related to safety, liability, property damage and theft contribute to the need of such controlled access.

The following presentation will detail the rational and detail of the request for a closed gate.



### Property History...

The development was originally planned as an all townhome development starting in 2006. After bankruptcy by the original developer in 2009, Grenadier Homes took ownership of the development and rezoned the remaining lots for Patio Homes. As of today, the development is now 90% built out with the remaining nine lots under construction.

JUL 6 2015

## Traffic Study Results

There have been two traffic studies completed on the property. The original study was completed prior to 50% build-out and showed excessive traffic in and out of the neighborhood. There was concern by the city that a lot of the traffic was due to construction; therefore, another study was conducted when the neighborhood was at almost 90% build-out.

The results were that traffic is significantly more than expected for the number of resident in the community. This demonstrates that cut-through traffic is excessive and related to non-resident traffic.

Many people from other neighborhoods use Trevor Trail as a cut through to Hwy. 360 and the neighboring office building. This has been confirmed by one of our neighbors taking a poll for several days during morning traffic hours. In addition to the extra traffic, many were traveling at excessive speeds as witnessed by many residents.

The results of the traffic study are as follows:

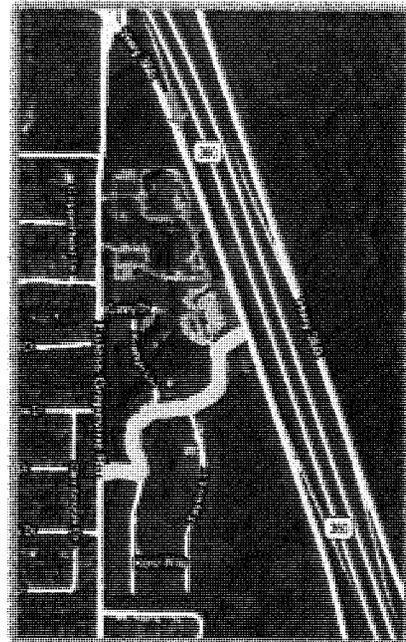
Actual	Expected	% over
829	562	147%
75	44	170%
95	57	166%

## Large amount of pass through traffic

Stone Bridge Oaks is used by non-residents to create a short cut from surrounding residential neighborhoods to bypass traffic lights at 360 & Glade Road and 360 & Euless-Grapevine Road.

In addition, there is an office park building facing 360 just outside the Stone Bridge Oaks property. Daily there are approximately 30 plus autos in their parking lot. Many get to that parking lot by cutting through Stone Bridge Oaks property causing excessive wear on our private roads.

Easy access to Hwy 360 makes it an easy target for criminals. We have had several break-ins and thefts.

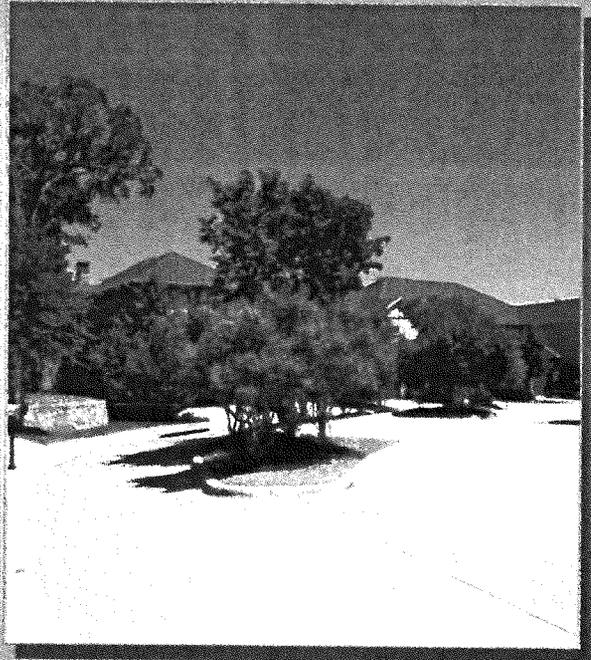


## Uncontrolled Intersections through property

As traffic cuts through Stone Bridge Oaks, there are no controlled intersections. Traffic cutting through the neighborhood is excessive at estimated speeds of 30-40mph. Since these are private streets, Grapevine Police have indicated that they cannot make traffic stops to control speed.

## Privately Constructed Streets

Stone Bridge Oaks streets were designed and approved by City Council as private roads. These streets do not meet code for width, load, or curbing and will not withstand public traffic without constant repair in the near future. There are islands on the property that create confusion and have caused several mailboxes to be hit by cars. Our roads are getting excessive non-neighborhood traffic, causing damage to the roads. This cost will be the responsibility of the HOA.



## Poor Lighting and Nighttime Parking

Street lighting was installed by the property developer but has not proven to be sufficient lighting of the property. Because the lighting is inadequate we frequently have cars that enter into Stone Bridge Oaks at night and park and turn off their lights. Sometimes a second car pulls up and turns off their lights. By the time police arrive they are gone.



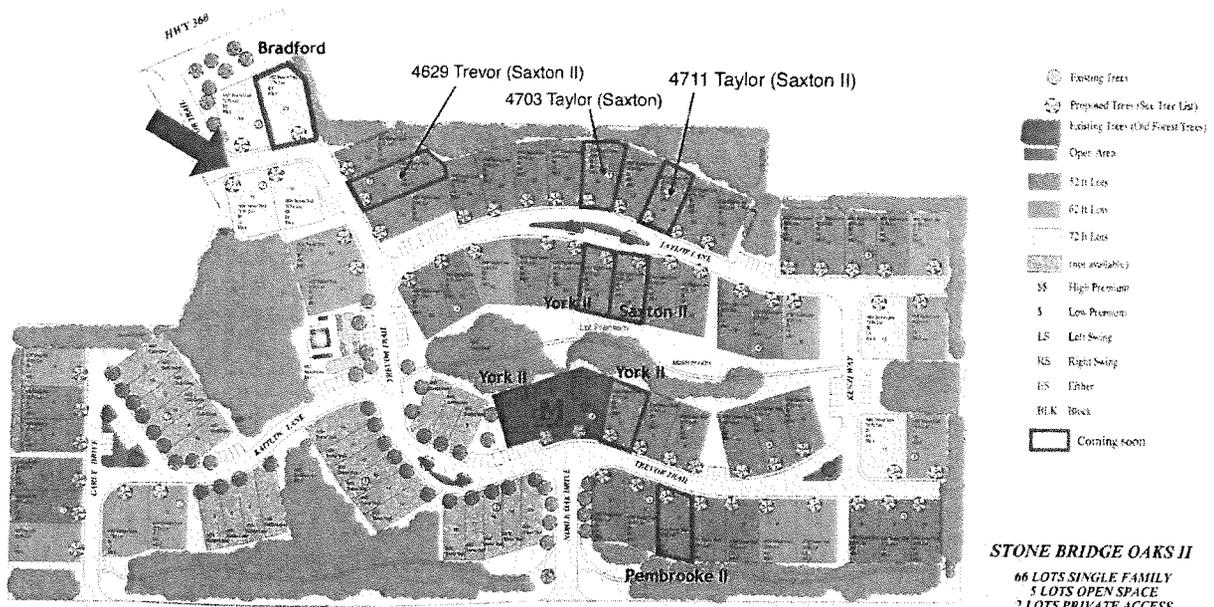
## What we have tried

- The HOA has placed signs at the entrance to the property.
- We have asked neighbors to leave porch lights on at night.
- We have approached skateboarders and let them know they are on private property.
- We have notified individuals using walking paths that the paths are private property.
- We have asked neighbors to alert police to any unusual activity.
- Nothing has worked to control the vehicle and foot traffic.

# Current representation of occupied dwellings

*The Last Few Homes*

## STONE BRIDGE OAKS II



*Prices, products and specifications subject to change without notice.*

As of July 3, 2015, 81 of the 90 lots are occupied with the remaining lots under construction.

# Requested Gate Location



## What We Are Requesting

The request for an emergency-only gate at the Hwy. 360 and Trevor Trail entrance to the private property of Stone Bridge Oaks has the majority support of the homeowners of the property. A petition was circulated at an HOA meeting and signatures were recorded according to address. Remaining signatures were obtained by door to door visits to the homeowners. A true and correct copy of the petition and signatures are attached to this proposal and request. The homeowners voted at an HOA meeting in favor of installing a closed gate at Hwy. 360, and the vote was unanimous for a CLOSED/EMERGENCY gate at 360.

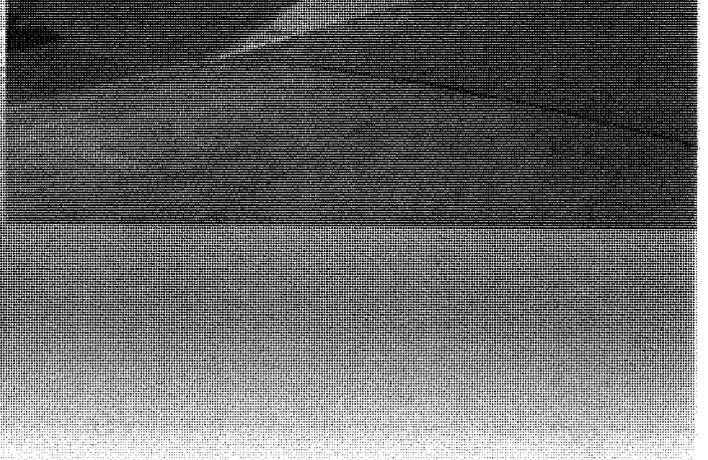
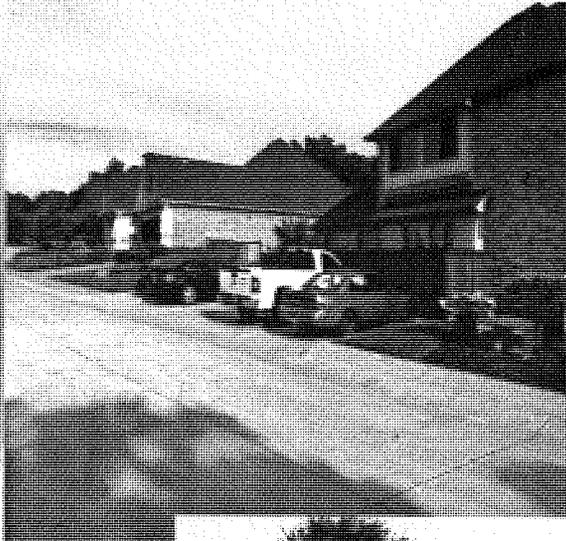
The homeowners of Stone Bridge Oaks respectfully submit that of 15 apartment complexes inside the City of Grapevine that have similar community amenities and private roadways, nine of those apartment complexes have controlled access gates for their residents. Stone Bridge Oaks is not a typical public street community, but rather a townhome/garden home property much like an apartment complex property with many similarities. We are simply requesting one gate in order to reduce the traffic and destruction to our roads rather than all three entrances that would completely block traffic.

The Stone Bridge Oaks HOA hopes that the City Council will consider and approve this very important request based on the objective information submitted in this document.

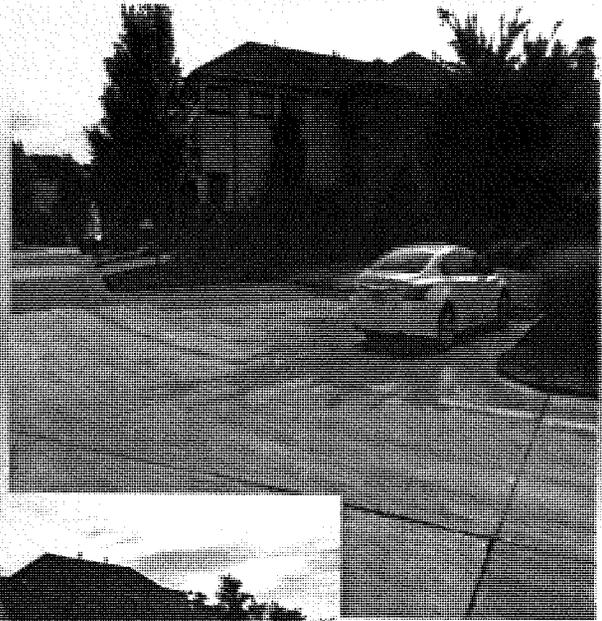
Regards,  
Members of the Stone Bridge Oaks HOA

# 88 parking spaces available to residents & guests

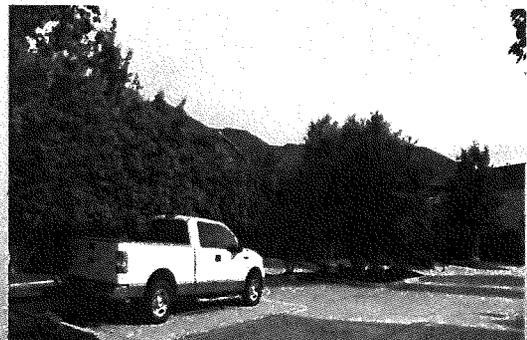
The spaces provided in our subdivision have been very sufficient for our neighborhood.



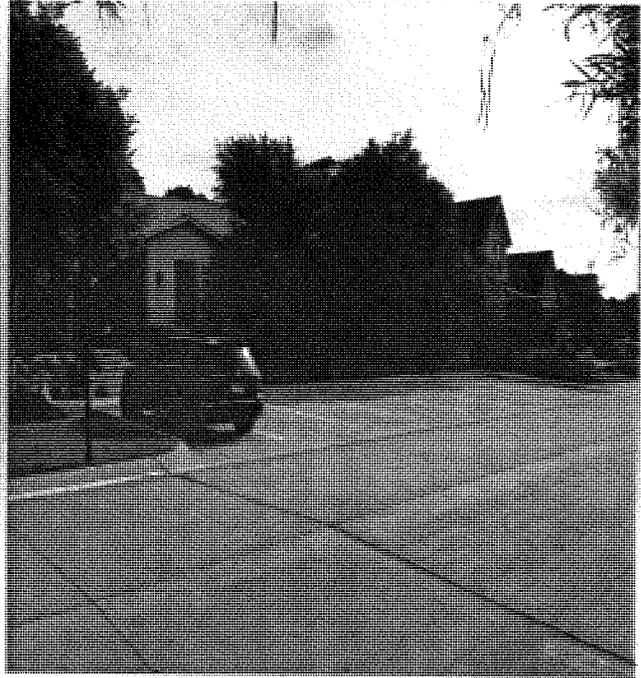
# 88 parking spaces available to residents & guests (cont.)



# 88 parking spaces available to residents & guests (cont.)



# 88 parking spaces available to residents & guests (cont.)



# Thank You

Stone Bridge Oaks Gate Committee  
and Homeowners

**Stone Bridge Oaks  
Gate Petition  
Submitted August 2015**



**Grapevine City Council/Planning & Zoning**

- 90 Town Homes/Single Family Patio Homes (at build out)
- 9 Not owner occupied yet
- 81 Occupied (90%)

At our Annual meeting on May 26, 2015 there was an unanimous vote taken by the quorum of members present for a Closed/Emergency gate for the location at Hwy 360 and Trevor Trail due to a current traffic study that was done by the City. Since our original petition was over a year old, it was recommended to us to have a new petition submitted. All signatures were obtained between July 2015 and August 2015.

**New Petition Results**

- 75 total households voted
- 62 - voted for a Closed/Emergency Gate (83%)
- 10 - voted for an Operational Gate
- 3 - voted for no gate at all
- 1 - household had a split vote
- 6 - after multiple attempts to reach them, did not sign the petition

Therefore, most of the residents of Stone Bridge Oaks feel that we have a clear mandate for us to ask the City of Grapevine for a Closed/Emergency gate at Hwy 360 and Trevor Trail.

PD15-04  
ITEM #6 & 41  
PZ ITEM #6 & 18

**REPORT TO GATE COMMITTEE**

**Prepared by:** Bill Behrens, 4702 Trevor Trail

**Date:** August 11, 2015

**Subject:** Meeting with Randie Frisinger, Deputy Chief Fire Marshal, Grapevine TX  
to review options and concerns for gate at 360 entrance/exit to Stonebridge Oaks

**Meeting Held:** 8:00AM August 11, 2015 Proposed gate location off 360 access road

**Attendees:** Randie Frisinger, Deputy Chief Fire Marshal, Grapevine, TX  
Gerald Jones, Resident, 4723 Taylor Lane  
Bill Behrens, Resident, 4702 Trevor Trail  
Linda Broom, Gate Committee, 4721 Trevor Trail (joined discussion later due to  
previous morning commitment)

**Background:** Gerald had requested a meeting with Randie to review plans for the proposed gate at  
the 360 access road entrance. I attended the meeting at Linda's request.

Randie, Gerald, and I met at 8:00AM to go over the plans for the proposed gate and discuss the  
concerns and recommendations of the Fire Department regarding our application.

In addition to the actual gate to be installed a number of ancillary issues were discussed as follows:

1. Fire Lane clearance - the red lines indicate the boundaries of the fire lane and any gate has to be behind those lines. All (3) types of gates originally proposed meet this criteria.
2. Drive Arounds -- Randie indicated based on his experience that we would need to insure that no one was able to "drive around" the gates through a homeowner's yard. This can be accommodated.
3. Truck Access if Permanent fixed gate is installed -- Gerald indicated that he had contacted the waste management company and that they did not have a problem with their trucks backing up the street during trash collection as they now do for the other two dead end streets in Stonebridge Oaks.  
  
If a permanent gate is installed it will also be necessary for FEDEX, UPS, etc., trucks to turn around in a drive or back up the street. This should not be a problem.
4. If powered gates are installed two types of locks will need to be installed that the Fire Department can open. A Knox lock and an Opticon keyswitch were mentioned by Randie. He can provide full information on these. If a manual, fixed gate is installed just the Knox lock would be required.
5. Randie was asked what type of gate he preferred for Fire Dept. use and in order he said:
  - a. Electrical Sliding Gate
  - b. Electrical Swinging Gate
  - c. Manual Locked Swinging Gate

He also emphasized that any of the (3) gates were totally acceptable to the Fire Department as long as they met the regulations and that it was up to us to determine which option to install.

6. Additionally it was pointed out that each of the gates had their strengths and weaknesses. Electrical powered gates require considerable maintenance and upkeep while the fixed gate is the lowest cost option but may require monitoring to insure that the gate doesn't sag and drag in the middle.

At the end of the meeting I told Randie that I would email him and asked that he send me a copy of the rules and regulations which I would then send on to Linda and Gerald although the Committee appears to have the most current version.

**CONCLUSIONS:**

As I am not a member of the Committee I can only offer my perspective as a homeowner:

1. All (3) gates originally considered meet Fire Department code and regulations if installed properly.
2. Maintenance costs of the (2) moving, electrical gates is much higher than the maintenance of a fixed manual gate.
3. As it is apparent that our HOA dues will increase in January; and that future increases will be needed to cover operating and reserve costs, I personally feel that the manual gate is the best, most cost effective option at this time. I have signed the petition to support this.
4. Grenadier is not going to be here forever. They hope to have the remaining units sold by year end and to complete the transition soon after. As they are willing to pay for the installation of the gate (but not the ongoing maintenance) we need to continue to press forward to get City Council approval and get a gate installed as soon as possible.

The sooner the gate is installed, the sooner the "excess traffic" is eliminated reducing wear and tear on our streets, and increasing security by eliminating access to 360.

Respectfully Submitted:

William H. Behrens  
August 11, 2015

Stone Bridge Oaks Owners' Association, Inc.  
August 2015

HD15-04

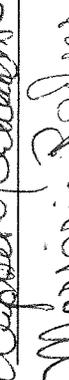
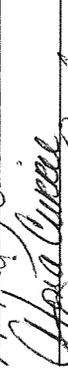
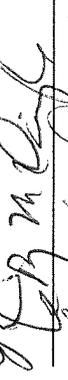
ITEM #6 & 41  
PZ ITEM #6 & 18

<u>Address</u>	<u>Owner</u>	<u>Signature</u> A closed/emergency gate @ Hwy 360 & Trevor Trl. Paid for by the Declarant	<u>Signature</u> An operational/sliding gate @ Hwy. 360 and Trevor Trl. with the knowledge that SBO Owners' Association will be responsible for annual operating costs	<u>Signature</u> No gate at Hwy. 360 & Trevor Trl.
400 Carly Drive	Frederick Vance			
404 Carly Drive	Carol Vance			
408 Carly Drive	Deborah L Venable			
	Jasim Fazal			
	Sharmila Fazal			
412 Carly Drive	David Epps			
	Donna Epps			
416 Carly Drive	Charmaine Fenstermacher			
	Stephen Fenstermacher			
420 Carly Drive	Tania C Castanon Family Trust			
	Tania C Castanon, Trustee			
4601 Kaitlyn Lane	Nicholas Leber			
	Lynette Leber			
4602 Kaitlyn Lane	Kathryn Penny			
4605 Kaitlyn Lane	Nicholas Lorenzo			
	Anne Lorenzo			

Stone Bridge Oaks Owners' Association, Inc.

August 2015

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ITEM #6 & 41  
PZ ITEM #6 & 18

A closed/emergency gate @ Hwy 360 & Trevor Trl. Paid for by the Declarant	An operational/sliding gate @ Hwy. 360 and Trevor Trl. with the knowledge that SBO Owners' Association will be responsible for annual operating costs	No gate at Hwy. 360 & Trevor Trl.
<u>Signature</u>	<u>Signature</u>	<u>Signature</u>
		
		
		
		
		
		
		
		
		
		
		
		
		
		
		
		
		

Address                      Owner

4606 Kaitlyn Lane    Lisa W Reiter

Gary W Reiter

\* 4609 Kaitlyn Lane    Steve Blackburn

4613 Kaitlyn Lane    Betty Claussen Holland

4617 Kaitlyn Lane    Thomas L Harrison

Sandra Harrison

4618 Kaitlyn Lane    Daniel Provast

4621 Kaitlyn Lane    Diann Litsch

Timothy Litsch

4622 Kaitlyn Lane    Elizabeth A Richardson

4626 Kaitlyn Lane    Marjorie Rodgers

R Rodgers

4630 Kaitlyn Lane    Michael J Currie

Gloria Currie

4660 Taylor Lane    Leroy M Dingle

Carole A Dingle

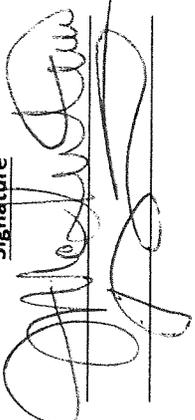
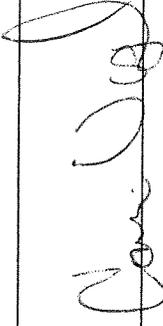
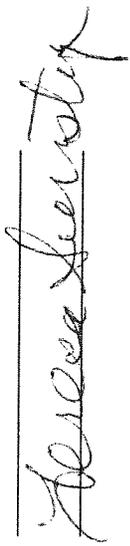
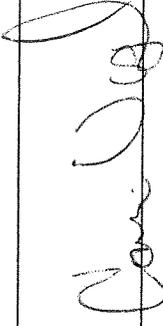
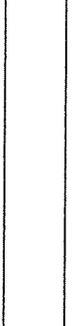
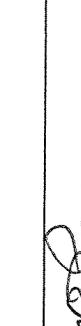
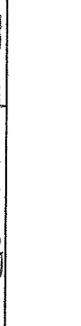
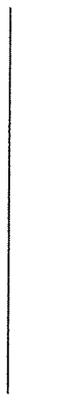
4664 Taylor Lane    Cherri R Forgash

\* 4609 Kaitlyn Cheryl Genko



Stone Bridge Oaks Owners' Association, Inc.  
August 2015

ITEM #6 & 41  
PZ ITEM #6 & 18

A closed/emergency gate @ Hwy 360 & Trevor Trl. Paid for by the Declarant	An operational/sliding gate @ Hwy. 360 and Trevor Trl. with the knowledge that SBO Owners' Association will be responsible for annual operating costs	No gate at Hwy. 360 & Trevor Trl.
<u>Signature</u>	<u>Signature</u>	<u>Signature</u>
		
/		
/		
		
		
		
		
		
		
		
		
		
		
		

Address                      Owner

4707 Taylor Lane    David McIntire

   June M McIntire

4708 Taylor Lane    Lifestyle Grapevine 360 LP

4711 Taylor Lane    Lifestyle Grapevine 360 LP

4712 Taylor Lane    John Wang

4715 Taylor Lane    Teresa Svenstrup

4716 Taylor Lane    Cammi Vigil Living Trust

   Cammi Vigil, Trustee

4719 Taylor Lane    William Oliver

   Patricia Oliver

4720 Taylor Lane    Steve Hensel

   Patty Hensel

4723 Taylor Lane    Gerald R Jones

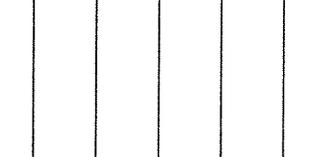
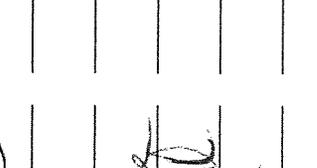
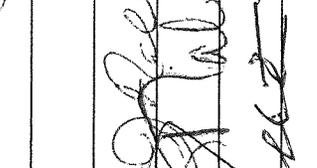
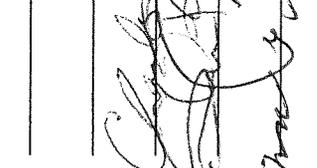
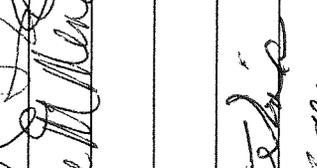
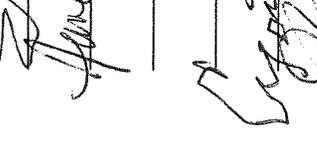
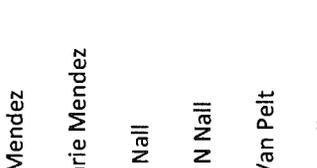
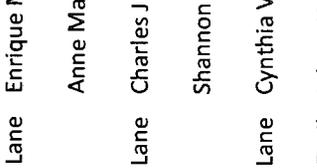
4724 Taylor Lane    Garry Pearson

   Susan Pearson

Stone Bridge Oaks Owners' Association, Inc.

August 2015

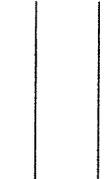
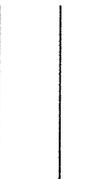
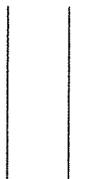
DD15-04  
ITEM #6 & 41  
PZ ITEM #6 & 18

<u>Address</u>	<u>Owner</u>	<u>Signature</u>	<u>Signature</u>	<u>Signature</u>
4727 Taylor Lane	Jonathan D Rice		An operational/sliding gate @ Hwy. 360 and Trevor Trl. with the knowledge that SBO Owners' Association will be responsible for annual operating costs	No gate at Hwy. 360 & Trevor Trl.
4728 Taylor Lane	Sandra Rice			
4803 Taylor Lane	Shehzad Dhanani			
4804 Taylor Lane	Janet Yount			
4807 Taylor Lane	Katherine Yount			
4808 Taylor Lane	Michael B Frazier			
4811 Taylor Lane	Kelli T Frazier			
4616 Trevor Trail	Enrique Mendez			
4617 Trevor Trail	Anne Marie Mendez			
4620 Trevor Trail	Charles J Nail			
	Shannon N Nail			
	Cynthia Van Pelt			
	John R Yowell			
	Kimberly L Yowell			
	Kamran Punjwani			
	Noureen Punjwani			
	Peggy A White			
	Leonard White			

Stone Bridge Oaks Owners' Association, Inc.

August 2015

PD15-04  
ITEM #6 & 41  
PZ ITEM #6 & 18

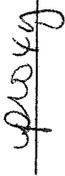
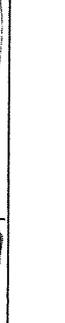
Address	Owner	Signature	Signature	Signature
4621 Trevor Trail	Lifestyle Grapevine 360 LP			No gate at Hwy. 360 & Trevor Trl.
4624 Trevor Trail	John B Terry III			
4625 Trevor Trail	Douglas E Hancock			
4628 Trevor Trail	Kim Mote		Kim G Mote	
4629 Trevor Trail	Marie Mote		Marie L. Mote	
4632 Trevor Trail	Community Center			
4633 Trevor Trail	David Yelken			
4634 Trevor Trail	Anne Yelken			
4637 Trevor Trail	Jade Rodysill			
4638 Trevor Trail	Patricia W Allan	no one lives here		corporate owned

Stone Bridge Oaks Owners' Association, Inc.

August 2015

ITEM #6 & 41  
PZ ITEM #6 & 18

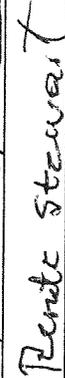
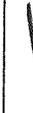
PD15-04

<u>Address</u>	<u>Owner</u>	<u>Signature</u>	<u>Signature</u>	<u>Signature</u>
4641 Trevor Trail	Delores Ann Johnson		An operational/sliding gate @ Hwy. 360 and Trevor Trl. with the knowledge that SBO Owners' Association will be responsible for annual operating costs	No gate at Hwy. 360 & Trevor Trl.
4642 Trevor Trail	Sungtaek Jun			
4645 Trevor Trail	John Munaretto			
	Kristine Munaretto			
4646 Trevor Trail	Randall Mucha			
	Ellen Mucha			
4650 Trevor Trail	Kelly Roberts			
4654 Trevor Trail	Lawrence Van Ingen			
	Lauri Van Ingen			
4658 Trevor Trail	Timothy C Smith			
	Fannie M Smith			
4662 Trevor Trail	Dan Eskelsen & Janna Eskelsen Living Trust			
	Dan Eskelsen, Trustee			
	Janna Eskelsen, Trustee			
4666 Trevor Trail	Renee Del Diudice			
4670 Trevor Trail	<del>Kent</del> Stacey Murthy			
	Stacey Murthy			

Stone Bridge Oaks Owners' Association, Inc.

August 2015

PD15-04  
ITEM #6 & 41  
PZ ITEM #6 & 18

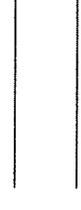
<u>Address</u>	<u>Owner</u>	<u>Signature</u>	A closed/emergency gate @ Hwy 360 & Trevor Trl. Paid for by the Declarant	An operational/sliding gate @ Hwy. 360 and Trevor Trl. with the knowledge that SBO Owners' Association will be responsible for annual operating costs	<u>Signature</u>	No gate at Hwy. 360 & Trevor Trl.
4674 Trevor Trail	Richard Register					
4675 Trevor Trail	Lifestyle Grapevine 360 LP					
4679 Trevor Trail	Henry Living Trust (Model Home)					
	Henry Living Trust Trustee					
4683 Trevor Trail	Fareeha Mir					
4701 Trevor Trail	Lifestyle Grapevine 360 LP					
4702 Trevor Trail	Pamela M Behrens					
	William H Behrens					
4705 Trevor Trail	Sable Group LP, Renee Stewart					
4706 Trevor Trail	Peggy Ann Shewmaker					
4709 Trevor Trail	William R Kruse					
	Deborah L Kruse					
4710 Trevor Trail	Lifestyle Grapevine 360 LP					



Stone Bridge Oaks Owners' Association, Inc.

August 2015

PD15-04  
ITEM #6 & 41  
PZ ITEM #6 & 18

<u>Address</u>	<u>Owner</u>	A closed/emergency gate @ Hwy 360 & Trevor Trl. Paid for by the Declarant	<u>Signature</u>	An operational/sliding gate @ Hwy. 360 and Trevor Trl. with the knowledge that SBO Owners' Association will be responsible for annual operating costs	<u>Signature</u>	No gate at Hwy. 360 & Trevor Trl.
4806 Trevor Trail	Anthony Miccio					
	Lacie Miccio					
4809 Trevor Trail	Jeff Mercer					
4810 Trevor Trail	Patrick Russell					
	Renee Russell					

August 10, 2015

Grapevine City Council  
Planning and Zoning  
Grapevine, TX 76051

**RE: STONE BRIDGE OAKS HOA GATE PETITION**

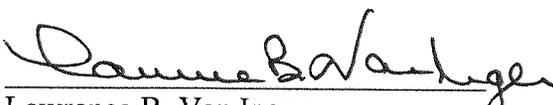
Planning and Zoning:

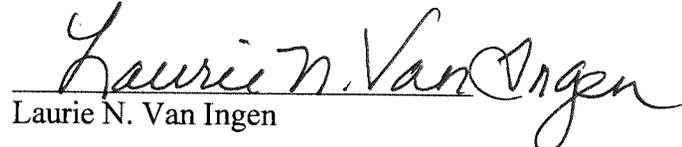
We are out of town until October so please use this as our proxy for the petition for Stone Bridge Oaks HOA Gate petition.

The undersigned prefer a closed/emergency gate at 360 and Trevor Trail.

Thank you.

Lawrence B. Van Ingen  
Laurie N. Van Ingen  
4654 Trevor Trail  
Grapevine, 76051

  
Lawrence B. Van Ingen

  
Laurie N. Van Ingen

ORDINANCE NO. \_\_\_\_\_

*Stone Bridge Oaks*

AN ORDINANCE ISSUING A PLANNED DEVELOPMENT OVERLAY IN ACCORDANCE WITH SECTION 41 OF ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE, BY GRANTING PLANNED DEVELOPMENT OVERLAY PD15-04 TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF PD10-04 (ORDINANCE NO. 2010-33) TO ALLOW AN EMERGENCY ONLY ACCESS GATE ON THE SOUTHBOUND STATE HIGHWAY 360 FRONTAGE ROAD ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS PLANNED DEVELOPMENT OVERLAY PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED UPON EACH DAY DURING OR ON WHICH A VIOLATION OCCURS; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a planned development overlay by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested planned development overlay should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control

and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested planned development overlay should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 41 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this planned development overlay, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the planned development overlay lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this planned development overlay and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this planned development overlay for the particular piece of property is needed, is called for, and is in the best interest of the

public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a planned development overlay in accordance with Section 41 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Planned Development Overlay PD15-04 to amend the previously approved site plan of Planned Development Overlay PD10-04 (Ordinance No. 2010-33) to allow an emergency only access gate on the southbound State Highway 360 frontage road within the following described property: Stone Bridge Oaks Addition (4632 Trevor Trail) all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein planned development overlay.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of September, 2015.

APPROVED:

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ATTEST:

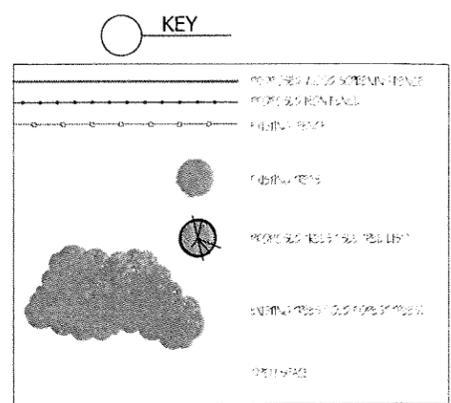
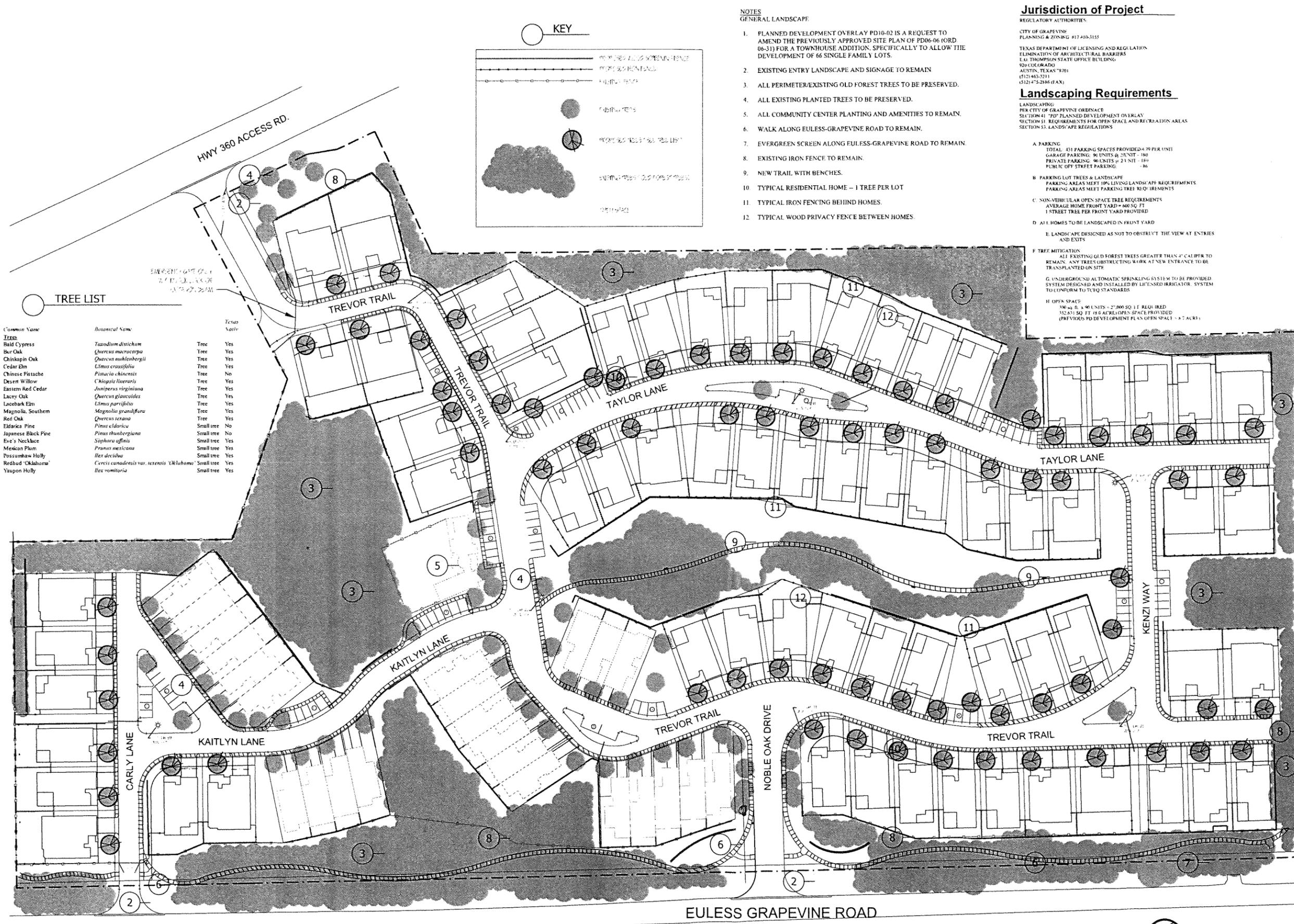
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APPROVED AS TO FORM:

ITEM #6 & 41  
PZ ITEM #6 & 18

---

ORD. NO. \_\_\_\_\_



- NOTES**  
GENERAL LANDSCAPE
1. PLANNED DEVELOPMENT OVERLAY PD10-02 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF PD06-06 (ORD. 06-31) FOR A TOWNHOUSE ADDITION, SPECIFICALLY TO ALLOW THE DEVELOPMENT OF 66 SINGLE FAMILY LOTS.
  2. EXISTING ENTRY LANDSCAPE AND SIGNAGE TO REMAIN.
  3. ALL PERIMETER/EXISTING OLD FOREST TREES TO BE PRESERVED.
  4. ALL EXISTING PLANTED TREES TO BE PRESERVED.
  5. ALL COMMUNITY CENTER PLANTING AND AMENITIES TO REMAIN.
  6. WALK ALONG EULESS-GRAPEVINE ROAD TO REMAIN.
  7. EVERGREEN SCREEN ALONG EULESS-GRAPEVINE ROAD TO REMAIN.
  8. EXISTING IRON FENCE TO REMAIN.
  9. NEW TRAIL WITH BENCHES.
  10. TYPICAL RESIDENTIAL HOME - 1 TREE PER LOT
  11. TYPICAL IRON FENCING BEHIND HOMES.
  12. TYPICAL WOOD PRIVACY FENCE BETWEEN HOMES.

**Jurisdiction of Project**  
REGULATORY AUTHORITIES:

CITY OF GRAPEVINE  
PLANNING & ZONING 817.410.3135

TEXAS DEPARTMENT OF LICENSING AND REGULATION  
ELIMINATION OF ARCHITECTURAL BARRIERS  
E.G. THOMPSON STATE OFFICE BUILDING  
920 LORADO  
AUSTIN, TEXAS 78701  
(512) 463-3211  
(512) 473-2886 (FAX)

**Landscaping Requirements**

LANDSCAPING PER CITY OF GRAPEVINE ORDINANCE SECTION 41 "PD" PLANNED DEVELOPMENT OVERLAY SECTION 51. REQUIREMENTS FOR OPEN SPACE AND RECREATION AREAS SECTION 53. LANDSCAPE REGULATIONS

- A. PARKING**  
TOTAL: 431 PARKING SPACES PROVIDED (4.79 PER UNIT)  
GARAGE PARKING: 96 UNITS @ 27% = 180  
PRIVATE PARKING: 96 UNITS @ 21% = 189  
PUBLIC OFF-STREET PARKING: 86
- B. PARKING LOT TREES & LANDSCAPE**  
PARKING AREAS MEET 10% LIVING LANDSCAPE REQUIREMENTS  
PARKING AREAS MEET PARKING TREE REQUIREMENTS
- C. NON-VEHICULAR OPEN SPACE TREE REQUIREMENTS**  
AVERAGE HOME FRONT YARD = 600 SQ. FT.  
1 STREET TREE PER FRONT YARD PROVIDED
- D. ALL HOMES TO BE LANDSCAPED IN FRONT YARD**
- E. LANDSCAPE DESIGNED AS NOT TO OBSTRUCT THE VIEW AT ENTRIES AND EXITS**
- F. TREE MITIGATION**  
ALL EXISTING GOOD FOREST TREES GREATER THAN 7" CALIPER TO REMAIN. ANY TREES OBSTRUCTING WORK AT NEW ENTRANCE TO BE TRANSPLANTED ON SITE.
- G. UNDERGROUND AUTOMATIC SPRINKLING SYSTEM TO BE PROVIDED**  
SYSTEM DESIGNED AND INSTALLED BY LICENSED IRRIGATOR. SYSTEM TO CONFORM TO TCEQ STANDARDS
- H. OPEN SPACE**  
100 sq. ft. x 90 UNITS = 2,700 SQ. FT. REQ. IREQ.  
132,451 SQ. FT. @ 4 ACRES/OPEN SPACE PROVIDED  
(PREVIOUS PD DEVELOPMENT PLAN OPEN SPACE = 3.7 ACRES)

**TREE LIST**

Common Name	Botanical Name	Texas Native
Ironwood	<i>Quercus laevis</i>	Yes
Bald Cypress	<i>Taxodium distichum</i>	Yes
Bur Oak	<i>Quercus macrocarpa</i>	Yes
Chinkapin Oak	<i>Quercus muhlenbergii</i>	Yes
Cedar Elm	<i>Ulmus crassifolia</i>	Yes
Chinese Pistache	<i>Pistacia chinensis</i>	No
Desert Willow	<i>Chiosia linearis</i>	Yes
Eastern Red Cedar	<i>Juniperus virginiana</i>	Yes
Lacey Oak	<i>Quercus glaucooides</i>	Yes
Lacinate Elm	<i>Ulmus parvifolia</i>	Yes
Magnolia, Southern	<i>Magnolia grandiflora</i>	Yes
Red Oak	<i>Quercus texana</i>	Yes
Eldarica Pine	<i>Pinus eldarica</i>	No
Japanese Black Pine	<i>Pinus thunbergiana</i>	No
Eve's Necklace	<i>Sophora affinis</i>	Yes
Mexican Plum	<i>Prunus mexicana</i>	Yes
Possunhaw Holly	<i>Ilex decidua</i>	Yes
Redbud 'Oklahoma'	<i>Cercis canadensis var. texensis 'Oklahoma'</i>	Yes
Yaupon Holly	<i>Ilex vomitoria</i>	Yes

FELDMAN DESIGN STUDIOS  
P.O. Box 452240 Richardson, Texas 75085  
Phone: 972-980-1790 Fax: 972-980-1790

NO.	ITEM DESCRIPTION	DATE
1.	site plan	2.25.10
2.	Revisions	4.29.10
3.	ADDED PARKING	6.21.10
4.	STREET NAME CHANGE - 86 PARKING SPACES	6.22.10
5.	ADDED EMERGENCY GATE AT 360	7.06.15
6.	ADDED NEW CASE NUMBER	9.4.15

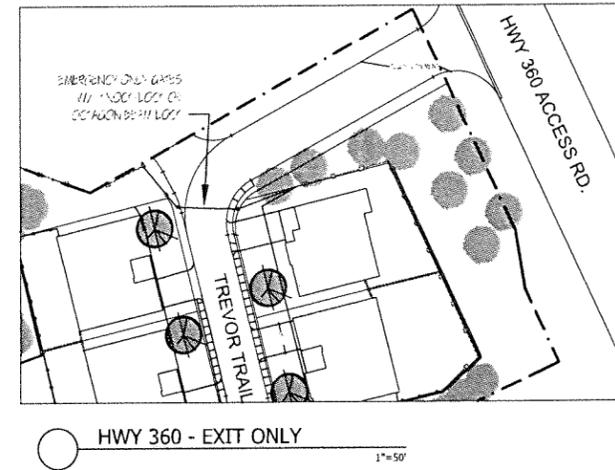
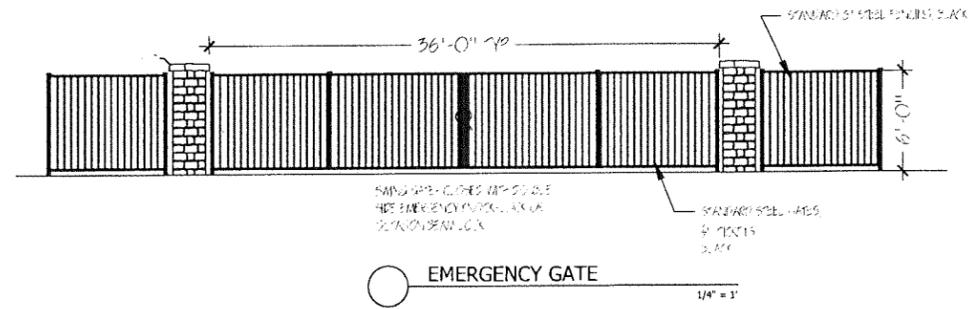


**SITE LANDSCAPE PLAN**  
**STONE BRIDGE OAKS II**  
4632 TREVOR TRAIL  
GRAPEVINE, TEXAS

PLANNED DEVELOPMENT OVERLAY PD15-04 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF PD10-04 (ORD. 10-33) SPECIFICALLY TO ALLOW AN EMERGENCY ONLY ACCESS GATE ON THE SOUTHBOUND STATE HIGHWAY 360 FRONTAGE ROAD.

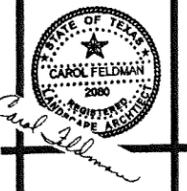
**L1.01**  
CASE NUMBER PD15-04

ITEM #6 & 41  
PZ ITEM #6 & 18



FELDMAN DESIGN STUDIOS  
P.O. Box 224077 Dallas, TX 75222-4077  
2020 Hillcrest Blvd., Suite 200 Dallas, TX 75205  
Phone: 972.380.1750 Fax: 972.250.1740

NO.	ITEM DESCRIPTION	DATE
1.	Revisions	4.29.10
2.	Parking spaces increased	6.21.10
3.	ENTRY GATES	4.19.12
4.	ENTRY GATE REVISIONS	10.4.12
5.	EXIT GATE REVISIONS	7.8.15
6.	ADDED NEW CASE NUMBER	8.4.15



**SITE LANDSCAPE PLAN**  
**STONE BRIDGE OAKS II**  
4632 TREVOR TRAIL  
GRAPEVINE, TEXAS

**L1.02**  
FILE NUMBER  
PD15-04

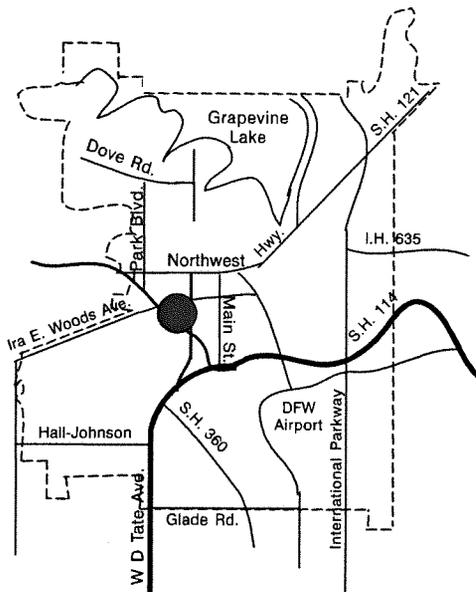
PLANNED DEVELOPMENT OVERLAY PD15-04 IS A REQUEST TO AMEND THE PREVIOUSLY APPROVED SITE PLAN OF PD10-04 (ORD. 10-33) SPECIFICALLY TO ALLOW AN EMERGENCY ONLY ACCESS GATE ON THE SOUTHBOUND STATE HIGHWAY 360 FRONTAGE ROAD.

- TO: HONORABLE MAYOR, CITY COUNCIL MEMBERS, AND THE  
PLANNING AND ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>B12</sup>  
SCOTT WILLIAMS, DEVELOPMENT SERVICES DIRECTOR

MEETING DATE: SEPTEMBER 15, 2015

SUBJECT: DEVELOPMENT SERVICES TECHNICAL REPORT OF  
CONDITIONAL USE APPLICATION CU15-37 FERRARI'S



APPLICANT: Accent Graphics

PROPERTY LOCATION AND SIZE:

The subject property is located at 1200 William D. Tate Avenue and is platted as Lot 3R, Block 1, Towne Center Addition No. 2. The addition contains 2.3 acres and has approximately 230 feet of frontage along William D. Tate Avenue.

REQUESTED CONDITIONAL USE AND COMMENTS:

The applicant is requesting a conditional use permit to amend the previously approved site plan of CU06-32 (Ord. 06-56) for a planned commercial center with the possession, storage, retail sale and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages) in conjunction with a restaurant, specifically to allow for a 20-foot pole sign.

At the August 18, 2015 public hearing, owners Francesco and Jane Secchi asked to table the request and the City Council voted to table the request to the September 15, 2015 public hearing.

Originally approved in August 2006, converting a former 10,564 square foot Golden Corral restaurant into a 393 seat Ferrari's Italian-style restaurant, it is the applicant's intent to remove the existing monument sign along William D. Tate Avenue and replace it with a pole sign, 20-feet in height and 100 square feet in size. The applicant feels this new sign

will improve both day and night-time visibility. Given the building's orientation to the street and its increased setback from the street, the applicant feels the increased height of the sign will allow patrons to see/locate the restaurant more readily than the 100 square foot monument sign currently in place. Virtually every lot on William D. Tate Avenue in the immediate vicinity of the subject site has a 20-foot pole/pylon sign, e.g. Taco Bell, Baja Grill, JoAnn's, Arby's, Jack-In-The-Box, Shell Station, Silver Fox, Chick-fil-A, etc.

#### PRESENT ZONING AND USE:

The property is currently zoned "CC" Community Commercial District and is currently used as a restaurant.

#### HISTORY OF TRACT AND SURROUNDING AREA:

The subject property was zoned "C-2" Community Business District prior to the 1984 City Rezoning. The tract was platted as the Towne Center Addition in 1986. The addition was replatted twice in 1989. Conditional Use Permit CU89-15 for a Planned Commercial Center to be developed as four lots with three restaurants (Lubys, Arby's and International House of Pancakes) and one retail center was approved in 1989. A one-year extension of CU99-15 was approved in December 1990. CU91-19 for both a Jack in the Box Restaurant and an amendment to the approved site plan of Luby's Cafeteria was approved in 1991. CU93-05, approved in 1993, again amended the approved site plan and sign for Luby's Cafeteria. CU95-02 (Ord. No. 95-10) was approved in February, 1995, allowing the possession, storage, retail sale and on-premise consumption of alcoholic beverages (beer and wine only) in conjunction with an existing restaurant for Jason's Deli.

The Towne Center Addition II which contains 62.47 acres, was rezoned in 1992 (Z92-09 and CU92-23) from "PCD" Planned Commerce Development District to "CC" Community Commercial District with a conditional use permit for a planned commercial center which brought forward the development of the Target store. In 1994, the site plan was amended to include Ross Dress for Less, Barnes and Noble, Famous Footwear, and Showcase Hallmark (CU94-31, Ord. No. 94-100). In 1995 the master site plan was amended again to allow for the development of Linens N' Things on Lot 4R-1 with Mattress Giant and Chesapeake Bagel on Lot 5 (CU95-16). In 1996, the site plan was modified to develop retail space for Barbecue's Galore and Coleman Spas on Lot 9 (CU96-20), Office Depot and Cost Plus on Lot 6R (CU96-29), and a 20,000 square foot retail building on Lot 7 that houses Chuck's Hamburgers, Haltom's Jewelers, and Busybody Home Fitness (CU96-36). CU99-06 allowed the development of a 6,581 square foot restaurant (Mimi's Café) with the possession, storage, retail sale, and on-premise consumption of alcoholic beverages (beer, wine, and mixed drinks) along with an attached 3,295 square foot retail building. CU99-63, approved in November 1999, allowed for the development of a Golden Corral restaurant. CU00-11 was approved in March 2000 allowing for a Bank One facility in the Planned Commercial Center. CU00-38 (Ord. No. 00-87) was approved in September 2000, specifically to add parking lot lighting to the former Golden Corral restaurant. At an August 2006, meeting, the Council approved a conditional use permit (CU06-32) to convert the

former Golden Corral restaurant to another restaurant concept (Ferraris Villa and Chop House) with on-premise alcohol beverage sales.

**SURROUNDING ZONING AND EXISTING LAND USE:**

- NORTH:** "CC" Community Commercial District, "R-3.5" Duplex, and "LI" Light Industrial District—Baylor Hospital, Grapevine Industrial Park, Clearview Park
- SOUTH:** "CC" Community Commercial District—Classic Chevrolet, Outback Steakhouse, California Pizza Kitchen, Freebirds, Pluckers, and Red Robin and other various restaurants
- EAST:** "CC" Community Commercial District, "CN" Neighborhood Commercial District, "GU" Governmental Use District, and "HC" Highway Commercial District—numerous retail stores and restaurants including: PetCo, Subway, Firestone, Taco Bell, Silver Fox, Chick-Fil-A, U.S. Post Office
- WEST:** "CC" Community Commercial District—Target shopping center along with other various retail stores

**AIRPORT IMPACT:**

The subject tract is located within "Zone A" zone of minimal effect as defined on the "Aircraft Sound Exposure: Dallas/Fort Worth Regional Airport Environs" map. In Zone A, few activities will be affected by aircraft sounds. The applicant's proposal is an appropriate use in this noise zone.

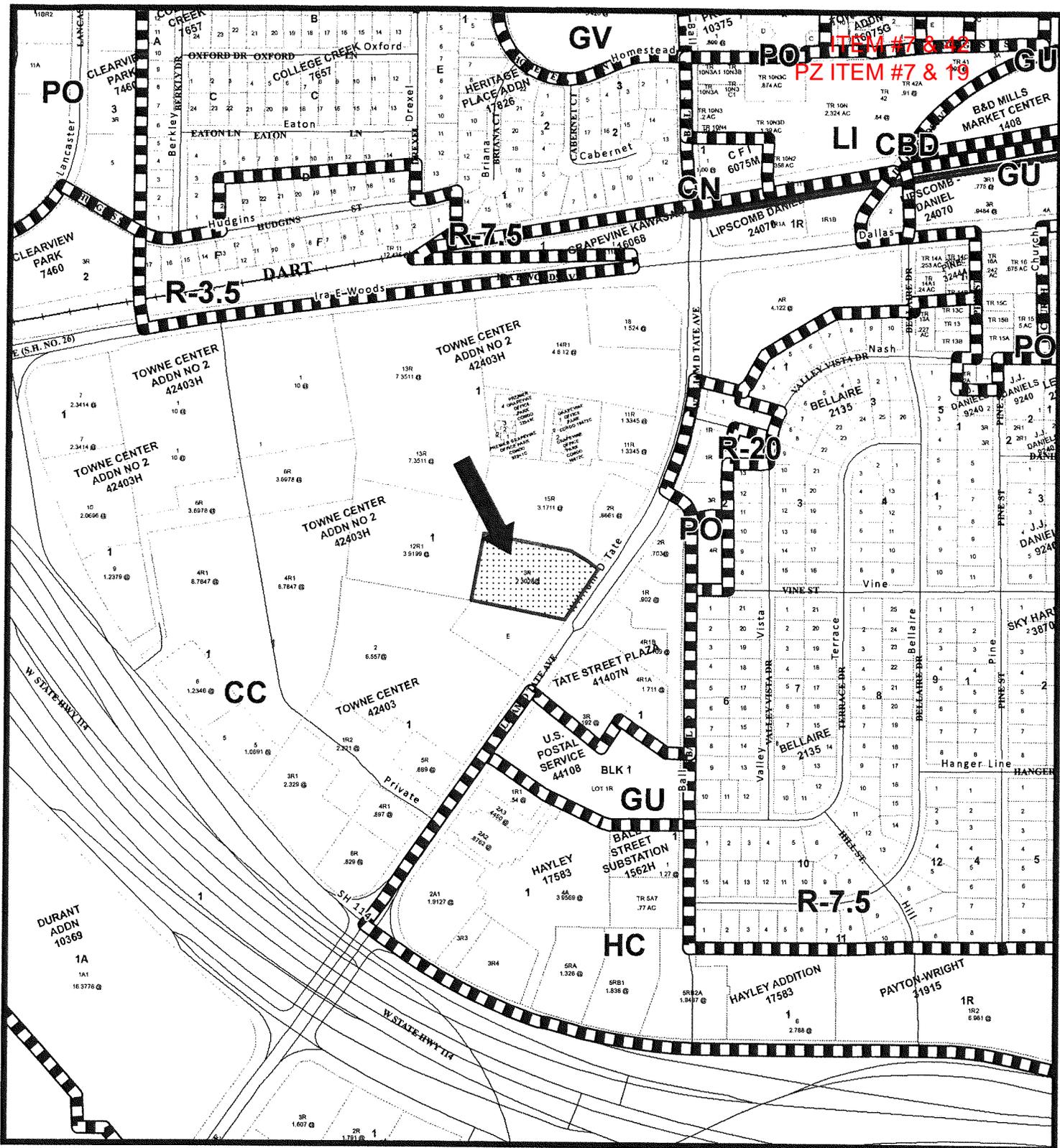
**MASTER PLAN APPLICATION:**

The Master Plan designates the subject property as a Commercial Land Use. The applicant's proposal is in compliance with the Master Plan.

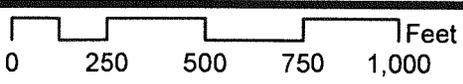
**THOROUGHFARE PLAN APPLICATION:**

The Thoroughfare Plan designates this portion of William D. Tate Avenue as a Type C Minor Arterial thoroughfare with a minimum 80-foot right-of-way developed as four lanes with a turn lane.

/at



PZ ITEM #7 & 19



# CU15-37 Ferrari's

Date Prepared: 7/20/2015

This data has been compiled by the City of Grapevine IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.

ITEM #7 & 42  
PZ ITEM #7 & 19  
cut 5 37



# CITY OF GRAPEVINE

## CONDITIONAL USE APPLICATION

Form "A"

### PART 1. APPLICANT INFORMATION

Name of applicant / agent/company/contact

Accent Graphics, Inc.

Street address of applicant / agent:

523 E. Rock Island Road

City / State / Zip Code of applicant / agent:

Grand Prairie, TX 75050

Telephone number of applicant / agent:

972-399-0333

Fax number of applicant/agent

972-986-4456

Email address of applicant/agent

a.teator@accentgraphicsinc.com

Mobile phone number of applicant/agent

817-217-2302

### PART 2. PROPERTY INFORMATION

Street address of subject property

1200 William D Tate Ave

Legal description of subject property (metes & bounds must be described on 8 1/2" x 11" sheet)

Lot 3R

Block 1, Towne Center Addition No. II

Size of subject property

2.3028

Acres

100,311

Square footage

Present zoning classification:

PCC

Proposed use of the property:

Restaurant

Circle yes or no, if applies to this application

Outdoor speakers Yes No

Minimum / maximum district size for conditional use request:

Zoning ordinance provision requiring a conditional use:

### PART 3. PROPERTY OWNER INFORMATION

Name of current property owner:

Jane Secchi

Street address of property owner:

4016 Dome Drive

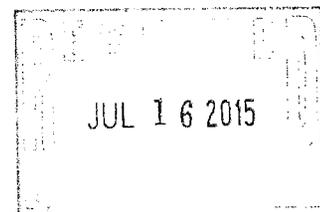
City / State / Zip Code of property owner:

Addison, TX 75001

Telephone number of property owner:

972-980-8231

Fax number of property owner:



- Submit a letter describing the proposed conditional use and note the request on the site plan document
- In the same letter, describe or show on the site plan, and conditional requirements or conditions imposed upon the particular conditional use by applicable district regulations (example: buffer yards, distance between users)
- In the same letter, describe whether the proposed conditional use will, or will not cause substantial harm to the value, use, or enjoyment of other property in the neighborhood. Also, describe how the proposed conditional use will add to the value, use or enjoyment of other property in the neighborhood.
- Application of site plan approval (Section 47, see attached Form "B").
- The site plan submission shall meet the requirements of Section 47, Site Plan Requirements.
- All conditional use and conditional use applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.
- All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.
- Any changes to a site plan (no matter how minor or major) approved with a conditional use or conditional use permit can only be approved by city council through the public hearing process.
- I have read and understand all the requirements as set forth by the application for conditional use or conditional use permit and acknowledge that all requirements of this application have been met at the time of submittal.

**PART 4. SIGNATURE TO AUTHORIZE CONDITIONAL USE REQUEST AND PLACE A CONDITIONAL USE REQUEST SIGN ON THE SUBJECT PROPERTY**

ALEX TEATOR  
Print Applicant's Name:

Alex Teator  
Applicant's Signature:

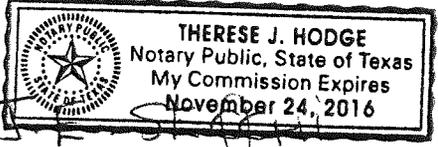
The State of TEXAS

County Of DALLAS

Before Me ~~Therese J. Hodge~~ on this day personally appeared ALEX TEATOR  
(notary) (applicant)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 16 day of July, A.D. 2015.



Therese J. Hodge  
Notary In And For State Of Texas

J. F. Secchi  
Print Property Owners Name:

J. F. Secchi  
Property Owner's Signature:

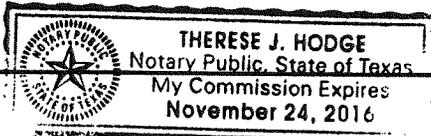
The State Of TX

County Of DALLAS

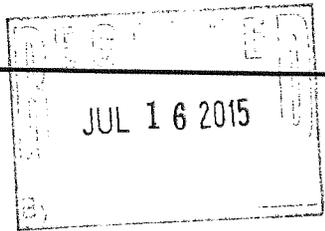
Before Me Therese J. Hodge on this day personally appeared JANE F. SECCHI  
(notary) (property owner)

known to me (or proved to me on the oath of card or other document) to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

(Seal) Given under my hand and seal of office this 16 day of July, A.D. 2015.



Therese J. Hodge  
Notary In And For State Of Texas



ACKNOWLEDGEMENT

*All Conditional Use and Special Use Applications are assumed to be complete when filed and will be placed on the agenda for public hearing at the discretion of the staff. Based on the size of the agenda, your application may be scheduled to a later date.*

*All public hearings will be opened and testimony given by applicants and interested citizenry. Public hearings may be continued to the next public hearing. Public hearings will not be tabled.*

*Any changes to a site plan (no matter how minor or major) approved with a conditional use or a special use permit can only be approved by city council through the public hearing process.*

*Any application for a change in zoning or for an amendment to the zoning ordinance shall have, from the date of submittal, a period of four months to request and be scheduled on an agenda before the Planning and Zoning Commission and City Council. If after said period of four months an application has not been scheduled before the Commission and Council said application shall be considered withdrawn, with forfeiture of all filing fees. The application, along with the required filing fee may be resubmitted any time thereafter for reconsideration. Delays in scheduling applications before the Planning and Zoning Commission and City Council created by city staff shall not be considered a part of the four month period.*

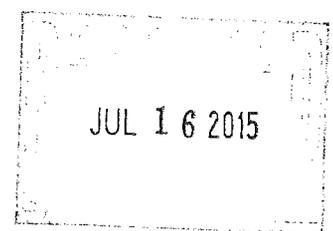
*I have read and understand all of the requirements as set forth by the application for conditional use or special use permit and acknowledge that all requirements of this application have been met at the time of submittal.*

Signature of Applicant Alex Testar

Date: 7/15/15

Signature of Owner J. F. Leachi

Date: July 15<sup>th</sup> 2015



To whom it may concern,

Secchi Sons, LP. {DBA: Ferraris Villa & Chop House} request a Conditional Use Permit to allow a twenty foot pole sign to replace the existing monument sign on the property in order to allow adequate economic opportunity.

We feel very strongly that the existing street sign is not adequately visibly either day or night. For the past eight years Ferraris Villa & Chop House has had countless inquiries regarding their locations whereabouts', with a number of those inquires calling from a neighboring business. The amount of lost revenue due to this visibility issue has been significant and is forcing ownership to invest in new signage.

In allowing Ferraris Villa & Chop House a Conditional Use Permit for a pole sign the cities streetscape will appear more uniformly, and a greater tax revenue will be generated for the city. Currently a high majority of the surrounding businesses have at least one existing pole sign causing Ferraris' street sign to appear inferior and dated.

Ferraris Villa is on a 2.3 acre lot set back roughly one hundred feet from William D. Tate Avenue removing the building from the line of sight of the passing traffic. This is why a good street sign is so important.

The applicant also request a waiver to the requirements imposed by section 47.E.2 as these requirements would be unreasonably burdensome and the project will have no substantial impact on the adjacent or surrounding area.

Thank you in advance for your time and consideration.

Sincerely,

Alex Teator  
Account Executive

Accent Graphics, Inc.  
Nationwide Custom Electric Sign Manufacturing and Installation  
523 E. Rock Island Rd.  
Grand Prairie, TX 75050  
972.399.0333, Fax 972.986.4456  
TOLL FREE- 800.810.3044  
[www.accentgraphicsinc.com](http://www.accentgraphicsinc.com)

JUL 9 2015

ORDINANCE NO. \_\_\_\_\_

*Ferrario*

AN ORDINANCE ISSUING A CONDITIONAL USE PERMIT IN ACCORDANCE WITH SECTION 48 OF ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE, BY GRANTING CONDITIONAL USE PERMIT CU15-37 TO AMEND THE SITE PLAN APPROVED BY ORDINANCE NO. 2006-56 FOR A PLANNED COMMERCIAL CENTER WITH THE POSSESSION, STORAGE, RETAIL SALES AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER, WINE AND MIXED BEVERAGES) IN CONJUNCTION WITH A RESTAURANT, SPECIFICALLY TO ALLOW FOR A 20-FOOT POLE SIGN IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT REGULATIONS ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED UPON EACH DAY DURING OR ON WHICH A VIOLATION OCCURS; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, an application was made requesting issuance of a conditional use permit by making applications for same with the Planning and Zoning Commission of the City of Grapevine, Texas, as required by State statutes and the zoning ordinance of the City of Grapevine, Texas, and all the legal requirements, conditions and prerequisites having been complied with, the case having come before the City Council of the City of Grapevine, Texas, after all legal notices requirements, conditions and prerequisites having been complied with; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied: safety of the motoring public and the pedestrians using the facilities in the area immediately surrounding the site; safety from fire hazards and measures for fire control; protection of adjacent

property from flood or water damages, noise producing elements, and glare of the vehicular and stationary lights and effect of such lights on established character of the neighborhood; location, lighting, and types of signs and relation of signs to traffic control and adjacent property; street size and adequacy of width for traffic reasonably expected to be generated by the proposed use around the site and in the immediate neighborhood; adequacy of parking as determined by requirements of this ordinance for off-street parking facilities; location of ingress and egress points for parking and off-street locating spaces, and protection of public health by surfacing on all parking areas to control dust; effect on the promotion of health and the general welfare; effect on light and air; the effect on the overcrowding of the land; the effect on the concentration of population; the effect on the transportation, water, sewerage, schools, parks and other facilities; and

WHEREAS, the City Council of the City of Grapevine, Texas, at a public hearing called by the City Council of the City of Grapevine, Texas, did consider the following factors in making a determination as to whether this requested conditional use permit should be granted or denied; effect on the congestion of the streets, the fire hazards, panics and other dangers possibly present in the securing of safety from same, the effect on the promotion of health and the general welfare, effect on adequate light and air, the effect on the overcrowding of the land, the effect on the concentration of population, the effect on the transportation, water, sewerage, schools, parks and other public facilities; and

WHEREAS, all of the requirements of Section 48 of Ordinance No. 82-73 have been satisfied by the submission of evidence at a public hearing; and

WHEREAS, the City Council further considered among other things the character of the existing zoning district and its peculiar suitability for particular uses and with the view to conserve the value of buildings and encourage the most appropriate use of land throughout this City; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that there is a public necessity for the granting of this conditional use permit, that the public demands it, that the public interest clearly requires the amendment, that the zoning changes do not unreasonably invade the rights of those who bought or improved property with reference to the classification which existed at the time their original investment was made; and

WHEREAS, the City Council of the City of Grapevine, Texas, does find that the conditional use permit lessens the congestion in the streets, helps secure safety from fire, panic and other dangers, prevents the overcrowding of land, avoids undue concentration of population, facilitates the adequate provisions of transportation, water, sewerage, schools, parks and other public requirements; and

WHEREAS, the City Council of the City of Grapevine, Texas, has determined that there is a necessity and need for this conditional use permit and has also found and determined that there has been a change in the conditions of the property surrounding and in close proximity to the property requested for a change since this property was originally classified and, therefore, feels that the issuance of this conditional use permit for the

particular piece of property is needed, is called for, and is in the best interest of the public at large, the citizens of the City of Grapevine, Texas, and helps promote the general health, safety and welfare of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the City does hereby issue a conditional use permit in accordance with Section 48 of Ordinance No. 82-73, the Comprehensive Zoning Ordinance of the City of Grapevine, Texas, same being also known as Appendix "D" of the City Code, by granting Conditional Use Permit CU15-37 to amend the site plan approved by Ordinance No. 2006-56 for a planned commercial center with the possession, storage, retail sales and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages) in conjunction with a restaurant, specifically to allow for a 20-foot pole sign, in a District zoned "CC" Community Commercial District Regulations within the following described property: Lot 3R, Block 1, Towne Center Addition (1200 William D. Tate Avenue), all in accordance with a site plan approved pursuant to Section 47 of Ordinance No. 82-73, attached hereto and made a part hereof as Exhibit "A", and all other conditions, restrictions, and safeguards imposed herein, including but not limited to the following: None.

Section 2. The City Manager is hereby directed to amend the official zoning map of the City of Grapevine, Texas, to reflect the herein conditional use permit.

Section 3. That in all other respects the use of the tract or tracts of land herein above described shall be subject to all the applicable regulations contained in said City of Grapevine zoning ordinance and all other applicable and pertinent ordinances of the City of Grapevine, Texas.

Section 4. That the zoning regulations and districts as herein established have been made in accordance with the comprehensive plan for the purpose of promoting health, safety, morals and the general welfare of the community. They have been designed with respect to both present conditions and the conditions reasonably anticipated to exist in the foreseeable future; to lessen congestion in the streets; to secure safety from fire, panic, flood and other dangers; provide adequate light and air; to prevent overcrowding of land, to avoid undue concentration of population; facilitate the adequate provisions of transportation, water, sewerage, drainage and surface water, parks and other public requirements, and to make adequate provisions for the normal business, commercial needs and development of the community. They have been made with reasonable consideration, among other things, of the character of the district, and its peculiar suitability for the particular uses and with a view of conserving the value of buildings and encouraging the most appropriate use of land throughout the community.

Section 5. This ordinance shall be cumulative of all other ordinances of the City of Grapevine, Texas, affecting zoning and shall not repeal any of the provisions of said

ordinances except in those instances where provisions of those ordinances which are in direct conflict with the provisions of this ordinance.

Section 6. That the terms and provisions of this ordinance shall be deemed to be severable and that if the validity of the zoning affecting any portion of the tract or tracts of land described herein shall be declared to be invalid, the same shall not affect the validity of the zoning of the balance of the tract or tracts of land described herein.

Section 7. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in a sum not to exceed Two Thousand Dollars (\$2,000.00) and a separate offense shall be deemed committed upon each day during or on which a violation occurs or continues.

Section 8. The fact that the present ordinances and regulations of the City of Grapevine, Texas, are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its final passage, and it is accordingly so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of September, 2015.

APPROVED:

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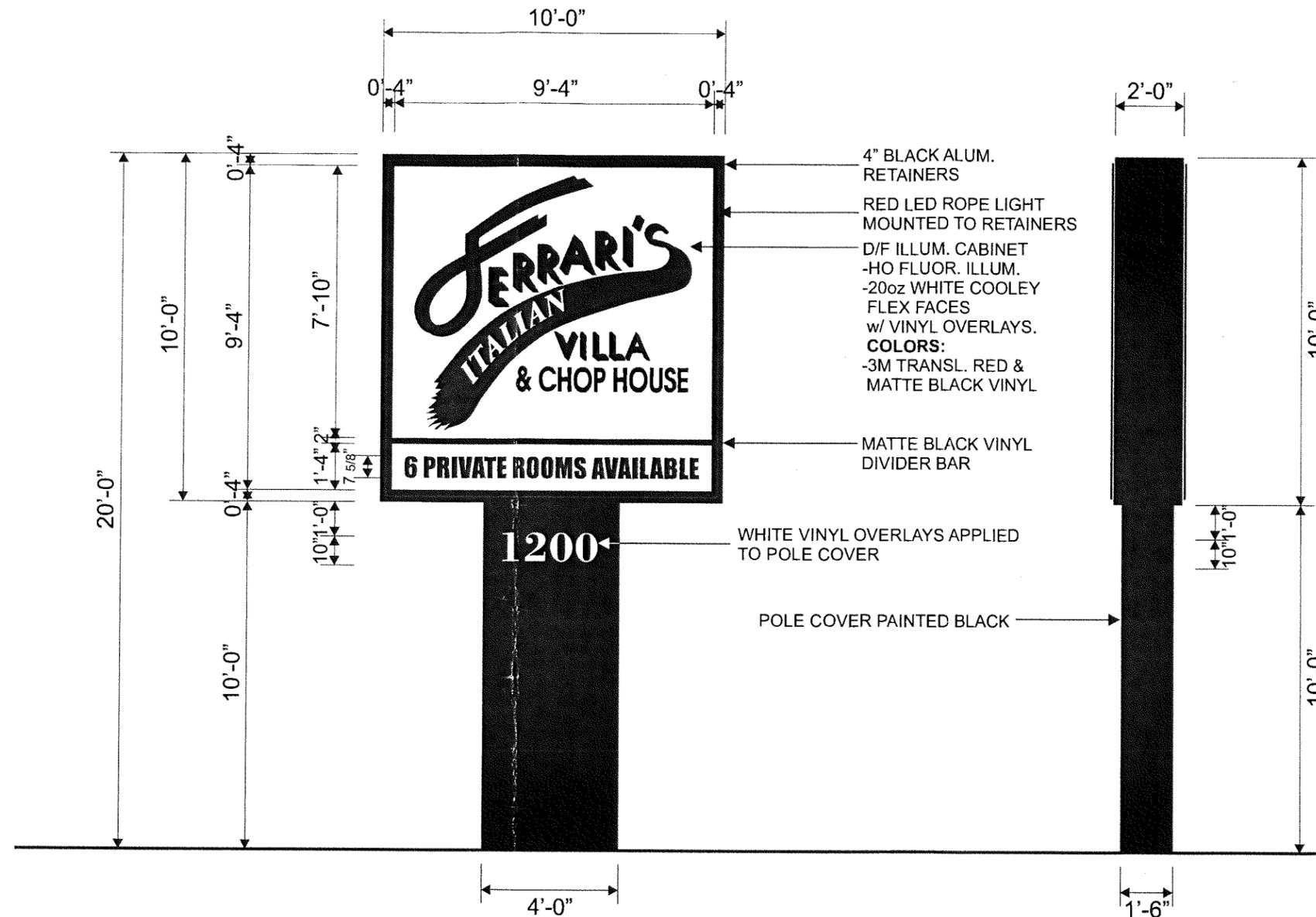
ATTEST:

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APPROVED AS TO FORM:

---

ORD. NO. \_\_\_\_\_



CONDITIONAL USE REQUEST CU 15-37  
 FERRARI'S  
 1200 WILLIAM D. TATE  
 LOT 3R, BLOCK 1,  
 TOWNE CENTER ADDITION NO. 2

\_\_\_\_\_  
 MAYOR                      SECRETARY

DATE: \_\_\_\_\_

PLANNING AND ZONING COMMISSION

\_\_\_\_\_  
 CHAIRMAN

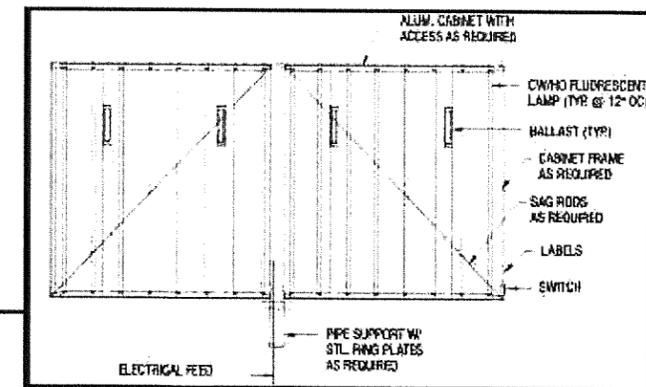
DATE: \_\_\_\_\_  
 SHEET 2 OF 2

APPROVAL DOES NOT AUTHORIZE ANY  
 WORK IN CONFLICT WITH ANY CODES  
 OR ORDINANCES.

DEPT. OF DEVELOPMENT SERVICES

a) Conditional use request CU15-37 is a request to amend the previously approved site plan of CU07-28 SPRC, CU06-32 (Ord.2006-56) for a planned commercial center with the possession, storage, retail sales and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages), specifically to allow a 20-foot pole sign in conjunction with a restaurant.

b) The sign may not be located within any utility easements.



D/F ILLUM. POLE SIGN

(1) SET REQUIRED

Scale: 1/4" = 1'-0"

**NOTE:**  
 ACCESS REQUIRED FOR  
 ELECTRICAL & INSTALLATION

DATE	REVISIONS	NAME	AUTHORIZATION
7/15/15	ADD SITE PLAN	AB	
7/29/15	UPDATE TEXT	AB	

AUTHORIZATION	
CLIENT	DATE
ACCOUNT EXECUTIVE	DATE
LANDLORD	DATE

ALL CHANGES MUST BE INITIALED BY CLIENT AND ACCOUNT EXECUTIVE ON FINAL APPROVED PRINT.

This drawing is the exclusive property of Accent Graphics, Inc. and is the result of the original work of its employees. The plans are provided to your company for the sole purpose of considering the purchase of a sign manufactured by Accent Graphics, Inc. based on these plans. QR the purchase of the plans and design concepts contained therein for manufacture elsewhere. Distribution or exhibition of the plans to anyone outside of your company or the use of the plans by others to manufacture or design a similar sign as displayed in the plans is expressly forbidden. In the event that such exhibition occurs, Accent Graphics will expect payment of a minimum \$2000 design fee in recompense for the time and effort entailed to produce the plans.

CLIENT FERRARI'S ITALIAN VILLA STORE # \_\_\_\_\_  
 INSTALLATION ADDRESS \_\_\_\_\_  
1200 William Tate Ave. Grapevine, TX 76051  
 DESIGNER AB ACCOUNT EXECUTIVE ALEX TEATOR  
 DATE 7/7/15 SHEET 2 OF 2 DESIGN # AB 7-7-15

**accent signs graphics**  
 COMPLETE SIGN SERVICE & FABRICATION

523 E. ROCK ISLAND  
 GRAND PRAIRIE, TX 75050

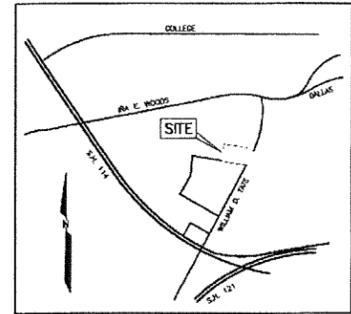
TOLL FREE (800) 810-3044  
 METRO (972) 399-0333  
 FAX (972) 986-4456  
 (800) 810-3045

EMAIL k.kendall@accentgraphicsinc.com  
 WEBSITE www.accentgraphicsinc.com

NOTES:

1. ALL REQUIREMENTS OF THE CITY OF GRAPEVINE EROSION CONTROL ORDINANCE SHALL BE MET DURING THE PERIOD OF CONSTRUCTION.
2. SITE LIGHTING SHALL CONFORM TO THE CITY OF GRAPEVINE ORDINANCE.
3. PARKING FOR DISABLED PERSONS SHOULD BE DESIGNATED ACCORDING TO CHAPTER 23, SECTION 23-64 THROUGH 23-69 OF THE CODE OF ORDINANCES.
4. ALL REFUSE STORAGE AREAS (DUMPSTER ENCLOSURES BEHIND BUILDINGS) SHALL BE SCREENED IN ACCORDANCE WITH SECTION 90.0.3.3. (SECTION 47.1.1.2-2).
5. ALL REQUIREMENTS OF SECTION 60, SIGN REGULATIONS, WILL BE MET.
6. THIS APPLICATION AMENDS CONDITIONAL USE APPLICATION CU 07-28.
7. ALL MECHANICAL AND ELECTRICAL EQUIPMENT SHALL BE DESIGNED, INSTALLED AND OPERATED TO MINIMIZE NOISE IMPACT ON SURROUNDING PROPERTY AND SHALL BE SCREENED FROM PUBLIC VIEW.
8. CONDITIONAL USE REQUEST CU06-32 IS A REQUEST TO REVISE THE APPROVED SITE PLAN OF CU00-38 (ORDINANCE 00-87) FOR A PLANNED COMMERCIAL CENTER SPECIFICALLY TO REDEVELOP A 10,564 SQUARE FOOT RESTAURANT.
9. CONDITIONAL USE REQUEST CU06-32 IS ALSO FOR THE POSSESSION, SALE, STORAGE, AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER, WINE, AND MIXED BEVERAGES) IN CONJUNCTION WITH A RESTAURANT. THE PREMISE IS THE ENTIRE SITE.
10. TYPICAL PARKING SPACE DIMENSION IS 6"X18'.
11. ALL REQUIREMENTS OF SECTION 25, "CC" COMMUNITY COMMERCIAL DISTRICT SHALL BE MET.
12. ALL REQUIREMENTS OF SECTION 53, LANDSCAPING REGULATIONS SHALL BE MET.
13. ALL REQUIREMENTS OF SECTION 56, OFF-STREET PARKING REQUIREMENTS SHALL BE MET.
14. THIS PROPERTY IS CURRENTLY ZONED "CC" COMMUNITY COMMERCIAL DISTRICT.
15. THE CURRENT LAND USE DESIGNATION AS CONTAINED IN THE COMPREHENSIVE MASTER PLAN IS COMMERCIAL 7.

LOT 3R SITE DATA	
LAND AREA	100,311 S.F.
BUILDING AREA	10,564 S.F.
OCCUPANCY LOAD	416
PARKING REQUIRED (REST: 3/OCC.)	139
HANDICAP PARKING	5
TOTAL PROVIDED	139
BUILDING COVERAGE	10.5 %
LANDSCAPE AREA (PERVIOUS SURFACE)	31,631 S.F.
IMPERVIOUS SURFACE	68,680 S.F.



VICINITY MAP  
N.T.S.

- NOTE: ① ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.  
② REF. ARCH FOR HANDICAP SIGNAGE & RAMP LOCATIONS

LEGEND

- EXISTING 7" CONCRETE
- EXISTING 5" CONCRETE

- a) Conditional use request CU15-37 is a request to amend the previously approved site plan of CU07-28 SPRC, CU06-32 (Ord.2006-56) for a planned commercial center with the possession, storage, retail sales and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages), specifically to allow a 20-foot pole sign in conjunction with a restaurant.
- b) The sign may not be located within any utility easements.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY LAWRENCE A. CATES, P.E. 41838 ON 07/18/15



CASE NO. CU-15-\_\_\_

LAWRENCE A. CATES & ASSOC. CONSULTING ENGINEERS DALLAS, TEXAS

CONDITIONAL USE REQUEST CU 15-37  
FERRARI'S  
1200 WILLIAM D. TATE  
LOT 3R, BLOCK 1  
TOWNE CENTER ADDITION NO. 2

MAYOR \_\_\_\_\_ SECRETARY \_\_\_\_\_  
DATE: \_\_\_\_\_

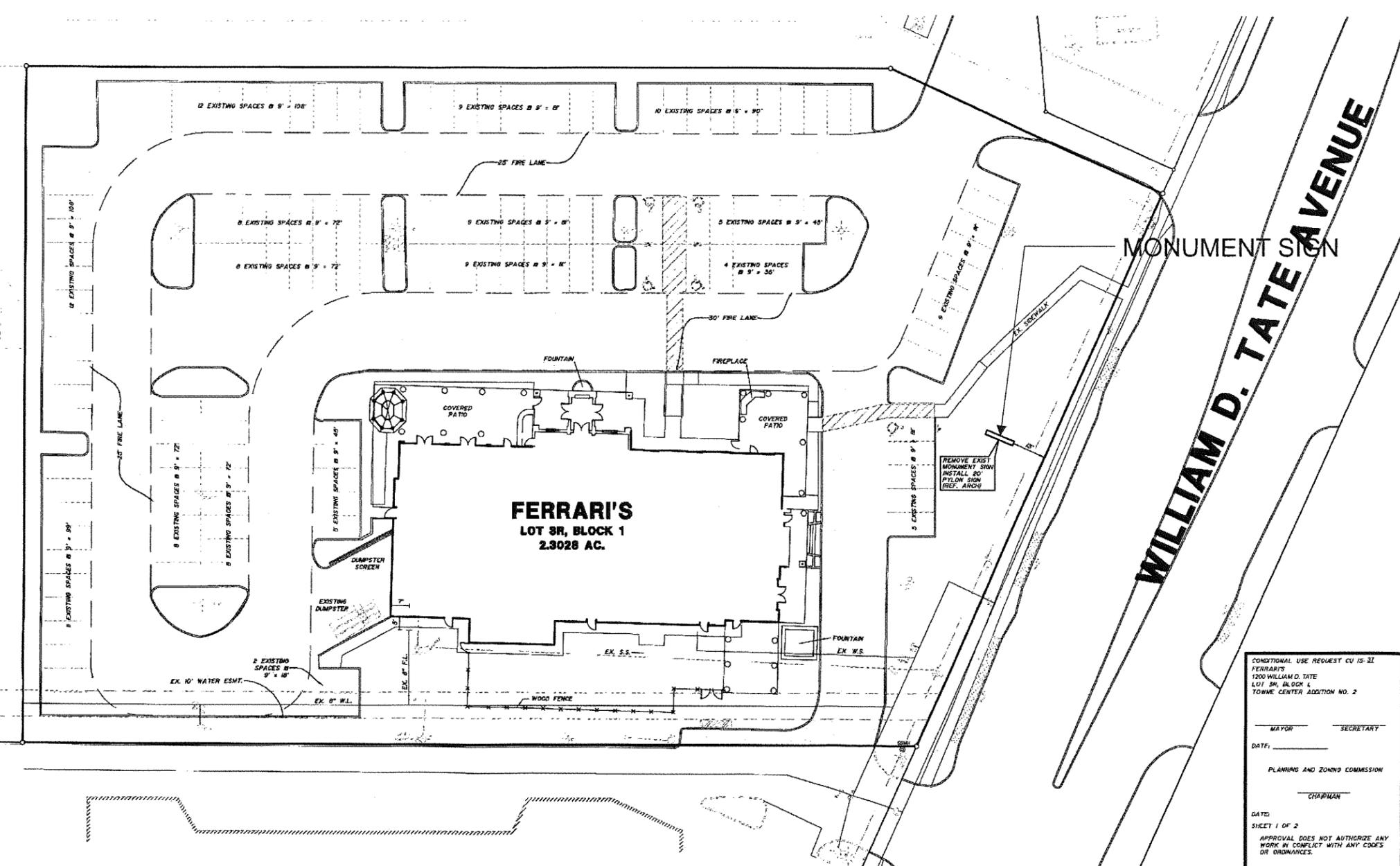
PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_

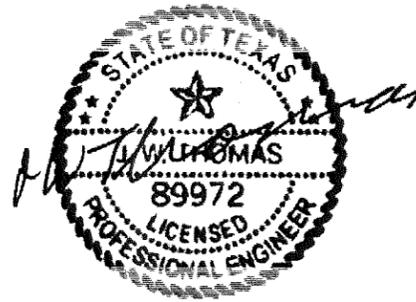
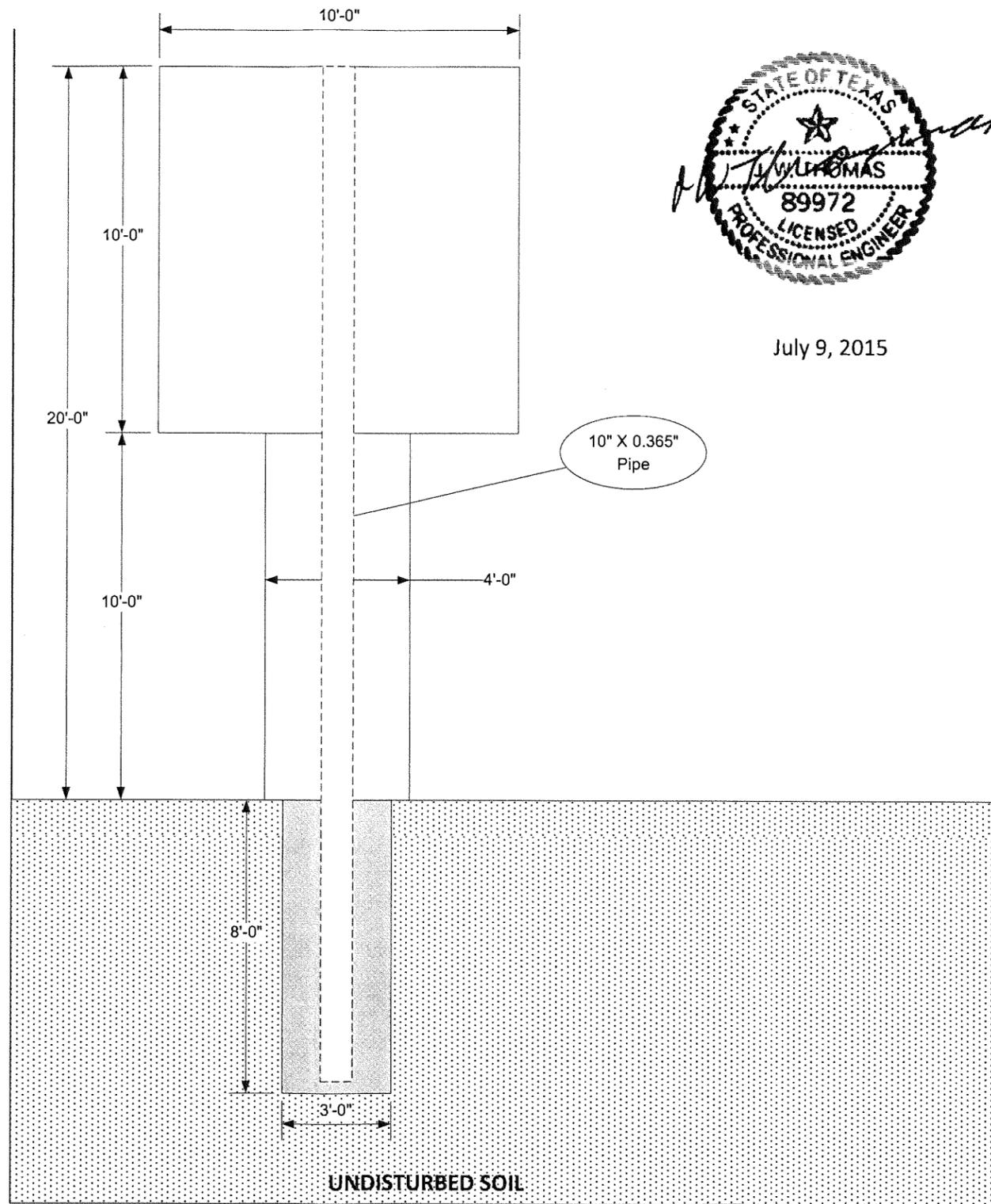
DATE: \_\_\_\_\_  
SHEET 1 OF 2

APPROVAL DOES NOT AUTHORIZE ANY WORK IN CONFLICT WITH ANY CODES OR ORDINANCES.

DEPT. OF DEVELOPMENT SERVICES

REV.	DATE	REMARKS				
<b>SITE PLAN FOR LOT 3R, BLK. 1</b>						
CONDITIONAL USE REQUEST CU15-___						
FERRARI'S						
WILLIAM D. TATE BLVD.						
LOT 3R, BLK 1, TOWNE CENTER ADDITION NO. 2						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
LAC	LAC	07.14.15	1"=20'	D.P.	28037	1 OF 2





July 9, 2015

Foundation:

$$A = \frac{2.344 \times 4592}{1147 \times 3} = 3.1281$$

$$D = \frac{3.1281}{2} \left( 1 + \sqrt{1 + \frac{4.36 \times 12.1429}{3.1281}} \right)$$

D = 8

Notes:

1. Design wind load = 90 mph, ASCE 7-05 Exposure category C
2. Pipe: ASTM A53 Grade B
3. Concrete: 3000 psi min
4. IBC 1997, 2009, 2012

Pole Sign for:

Ferrari's Italian villa  
11200 William Tate Ave  
Grapevine, Texas

Accent 0815

Erector:

**accent  graphics**  
COMPLETE SIGN SERVICE & FABRICATION  
523 E. ROCK ISLAND GRAND PRARIE, TX 75050 TOLL FREE (800) 810-3044  
METRO (972) 309-0333  
EMAIL k.kordal@accentgraphics.com FAX (972) 966-4456  
WEBSITE www.accentgraphics.com FAX (800) 810-3045

Date:  
7-9-15

Scale:  
1/4" = 1'

Sheet  
1 of 1

JWT Consulting Service  
Firm # 10975  
811 Blackchamp Rd  
Waxahachie, Tx 75167  
Phone/Fax 972 351 9808

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,  
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: SEPTEMBER 15, 2015

SUBJECT: FINAL PLAT APPLICATION  
LOTS 3R-1 AND 3R-2, BLOCK A, SHAMROCK VENTURES  
ADDITION  
(BEING A REPLAT OF LOT 3R, BLOCK A, SHAMROCK VENTURES  
ADDITION)

PLAT APPLICATION FILING DATE ..... September 8, 2015

APPLICANT ..... George Hill, Sempco Surveying, Inc.

REASON FOR APPLICATION ..... Subdivide lot into two(2)

PROPERTY LOCATION ..... Southeast corner of West Wall Street  
and Pebble Brook Drive

ACREAGE ..... 1.039

ZONING ..... R-7.5

NUMBER OF LOTS ..... 2

PREVIOUS PLATTING ..... 2013

CONCEPT PLAN ..... HPC #CA15-68

SITE PLAN ..... No

OPEN SPACE REQUIREMENT ..... Yes

AVIGATION RELEASE ..... Yes

PUBLIC HEARING REQUIRED ..... Yes

**PLAT INFORMATION SHEET  
FINAL PLAT APPLICATION  
LOTS 3R-1 & 3R-2, BLOCK A, SHAMROCK VENTURES ADDITION  
(BEING A REPLAT OF LOT 3R, BLOCK A, SHAMROCK VENTURES ADDITION)**

I. GENERAL:

- The applicant, George Hill with Sempco Surveying is platting this property into two (2) lots. The property is located at the southeast corner of West Wall Street and Pebble Brook Drive.

II. STREET SYSTEM:

- The development has access to West Wall Street
- ALL abutting roads:  are on the City Thoroughfare Plan: West Wall Street

are not on the City Thoroughfare Plan:

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input checked="" type="checkbox"/> Sidewalk	\$ 25.00 / LF	353.53'	\$8,838.25
<input checked="" type="checkbox"/> Curb & Gutter	\$ 10.00 / LF	353.53'	\$3,535.30

Periphery Street Fees are not due:

TOTAL \$12,373.55

III. STORM DRAINAGE SYSTEM:

- The site drains southeast into an existing drainage easement.
- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for:
- Water and Wastewater Impact Fees are due prior to the issuance of building permits: Lots 3R-1 & 3R-2, Block A, Shamrock Ventures Addition
  - Single Family Residential ( \$ 2,191/ Lot)
  - Multifamily ( \$ 1,026 / Unit)
  - Hotel ( \$ 38,107/ Acre)
  - Corporate Office ( \$ 18,847/ Acre)
  - Government ( \$ 4,037/ Acre)
  - Commercial / Industrial ( \$ 5,209 / Acre)
- Open Space Fees are not required for:
- Open Space Fees are required for:
  - R-5.0, Zero Lot District ( \$ 1,416.00 / Lot)
  - R-7.5, Single Family District ( \$ 1,146.00 / Lot)
  - R-12.5, Single Family District ( \$ 1,071.00 / Lot)
  - R-20.0, Single Family District ( \$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
  - Front building line
  - Rear building line
  - Lot width & depth
  - Max. Impervious Area
  - Special Exception to the required front yard landscape setback
- The following items associated with this plat are not in accordance with the current subdivision standards:
  - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
  - Length of cul-de-sac street exceeds the 600-foot limit:
  - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
- The right-of-way provides for future widening of public streets that will serve the development of this site.
  - The onsite utility easements provide for a utility network to serve the development of this site.
  - The onsite drainage easements provide for a drainage network to serve the development of this site.
  - The onsite access easements provide cross access capabilities to this site and surrounding property.
  - The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

- B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:
- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
  - The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
  - The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
  - The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
  - The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
  - All of the dedications benefit the development to at least the extent of the impact of such on the development.

VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Final Plat of Lots 3R-1 and 3R-2, Block A, Shamrock Ventures Addition."

APPLICATION FOR PLATTING  
CITY OF GRAPEVINE, TEXAS

TYPE OF PLAT: Preliminary Final Replat Amendment

PROPERTY DESCRIPTION:

Name of Addition: Shamrock Ventures Addition

Number of Lots: 2 Gross Acreage: 1.039 Proposed Zoning: ~~PO~~ R7.5

Location of Addition: Adjacent to and immediately west of 1207 West Wall St

PROPERTY OWNER:

Name: Mary Braun Contact: Same

Address: 308 Springbrook Ct City: Grapevine

State: TX Zip: 76051 Phone: (817) 343-8539

Signature: Mary A. Wickman 05/01/2015 01:58 PM CDT Fax: ( )  
Email: braungirl5@yahoo.com

*Mary A. Wickman*

APPLICANT:

Name: George Hill Contact: Sempro Surveying

Address: 3208 So Main St City: FT. WORTH

State: TX Zip: 76182 Phone: (817) 926-7876

Signature: George Hill Fax: (817) 926-7878

Email: george@semprosurveying.com

SURVEYOR:

Name: Sempro Surveying, Inc Contact: George Hill  
Wayne Barton, RPLS

Address: 3208 So. Main St. City: Fort Worth

State: TX Zip: 76110 Phone: (817) 926-7876

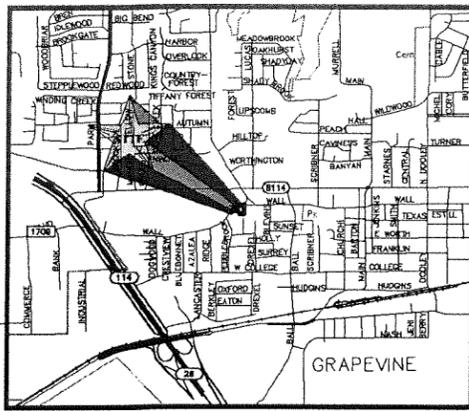
Fax: (817) 926-7878

Email: wayne@semprosurveying.com

\*\*\*\*\* FOR OFFICE USE ONLY \*\*\*\*\*

Application Received: 3 A 12015  
Fee Amount: \$ 310.00

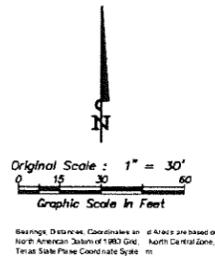
By: Sempro Surveying  
Check Number: 15432



VICINITY MAP  
(Not to scale)

**- LEGEND -**

IP.F.	IRON PIN FOUND
IP.S.	IRON PIN SET
Fnd.	FOUND
ESMT	EASEMENT
P.R.T.CO.,TX	PLAT RECORDS OF TARRANT COUNTY, TEXAS
P.R.T.CO.,TX	DEED RECORDS OF TARRANT COUNTY, TEXAS
PG.	PAGE
( )	RECORD CALLS
---	SUBJECT PROPERTY
---	ADJACENT PROPERTY
---	EASEMENT
---	BUILDING LINE
---	CENTERLINE R-O-W



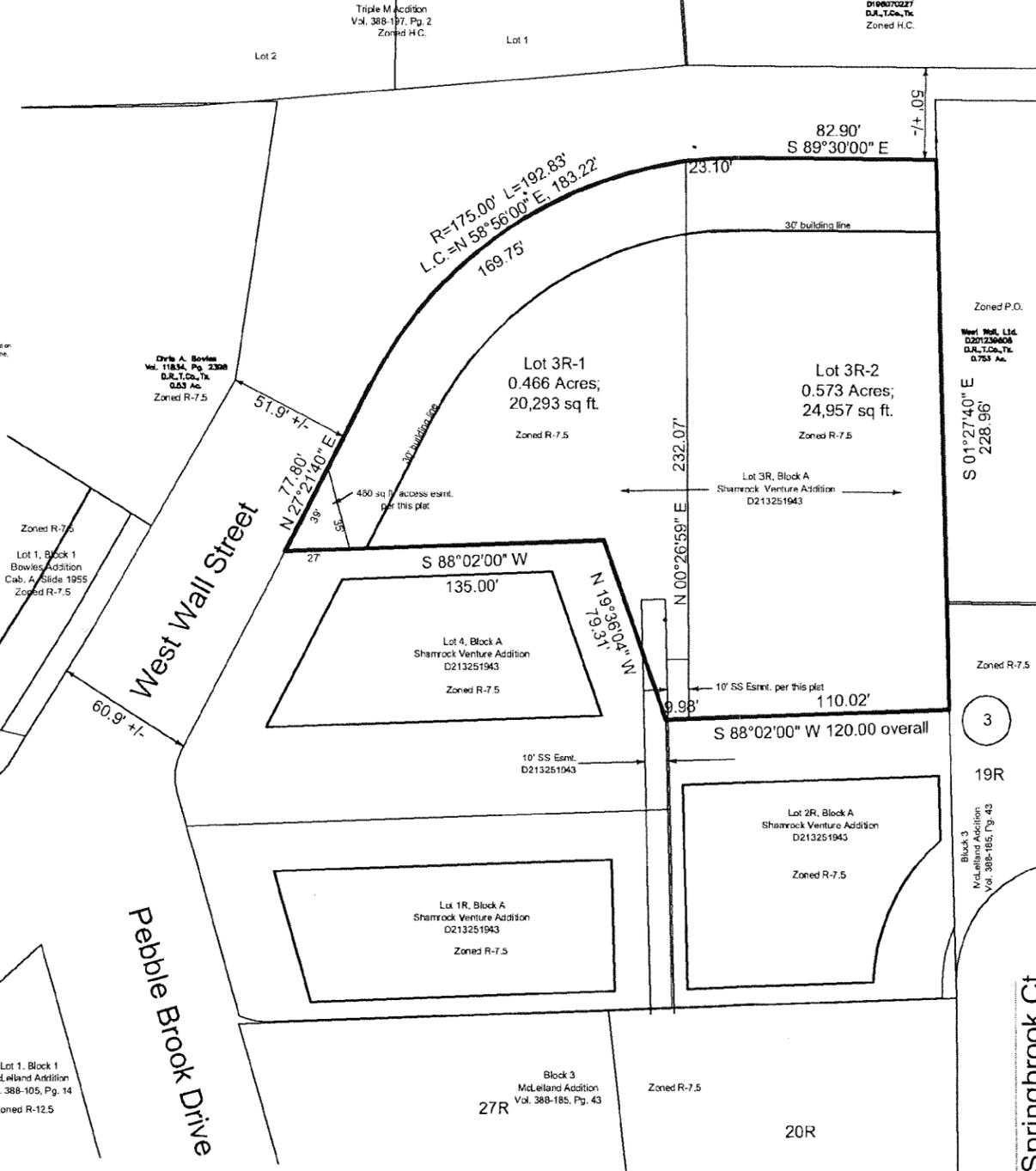
Bearings, Distances, Coordinates in North American Datum of 1983 (NAD 83) are based on the Texas State Plane Coordinate System, North Central Zone.

**GENERAL NOTES:**

- Bearings, Areas, and Coordinates are Grid, based on the Texas State Plane Coordinate System, NAD 83, Texas North Central Zone.
- According to the Flood Insurance Rate Maps for Tarrant County, Texas, Incorporated Areas, Panel 285 of 495, Map Number 48439C0105K, Map revised date: September 25, 2009, the subject property is located in Zone "X". Areas determined to be outside the 0.2% annual chance floodplain. This statement does not reflect any type of flood study by this firm.

**ZONING NOTE:**

THE CURRENT ZONING OF THE SUBJECT PROPERTY IS R-7.5



**OWNER'S ACKNOWLEDGEMENT AND DEDICATION**

STATE OF TEXAS §  
COUNTY OF TARRANT §

WHEREAS, MARY AGNES WICKMAN, is the sole owner of that certain lots, tracts, or parcel of land situated in the Hiers of A. Foster Survey, Abstract 18, of the Shamrock Ventures Addition, Tarrant County, Texas, as conveyed in County Clerk's File No. D213302032, Deed Records, Tarrant County, Texas, being more particularly described as follows:

Being all of Lot 3R, Block A, Shamrock Ventures Addition, as recorded in Document D213251943, Plat Records, Tarrant County, Texas (P.R., T.Co., Tx.).

STATE OF TEXAS §  
COUNTY OF TARRANT §

**NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:**

THAT MARY AGNES WICKMAN, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTIES AS LOTS 3R1 AND 3R2, BLOCK A, SHAMROCK VENTURES ADDITION, AN ADDITION TO THE CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS, AND DO HEREBY DEDICATE TO THE PUBLICS USE FOREVER THE STREETS AND EASEMENTS AS SHOWN HEREON. THE EASEMENTS SHOWN HEREON ARE HEREBY RESERVED FOR THE PURPOSES AS INDICATED. THE UTILITY EASEMENTS SHALL BE OPEN FOR ALL CITY OR FRANCHISED PUBLIC UTILITIES FOR EACH PARTICULAR USE. THE MAINTENANCE OF PAVING ON THE EASEMENTS ARE THE RESPONSIBILITY OF THE PROPERTY OWNER. NO BUILDINGS OR AUXILIARY STRUCTURES SHALL BE CONSTRUCTED, RECONSTRUCTED, OR PLACED UPON, OVER, OR ACROSS THE EASEMENTS AS SHOWN. SAID EASEMENTS BEING HEREBY RESERVED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES USING, OR DESIRING TO USE SAME. ANY CITY OR FRANCHISED UTILITY SHALL HAVE THE FULL RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF ITS RESPECTIVE SYSTEM ON THE EASEMENTS AND ALL CITY OR FRANCHISED UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO AND FROM AND UPON SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, AND ADDING TO OR REMOVING ALL OR PARTS OF ITS RESPECTIVE SYSTEM WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE.

I HAVE REVIEWED THE CITY'S FINDINGS CONCERNING DEDICATIONS AND I DO AGREE THAT THE STATEMENTS ARE TRUE AND CORRECT.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS, AND RESOLUTIONS TO THE CITY OF GRAPEVINE, TEXAS.

WITNESS MY HAND THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

THAT MARY AGNES WICKMAN, being the sole owner of the herein above described lots, tracts or parcels of land, does hereby dedicate to the public's use forever the rights-of-way and easements shown hereon and adopt this plat designating the herein above described properties as LOTS 3R1 and 3R2, BLOCK A, SHAMROCK VENTURES ADDITION, an Addition to the City of Grapevine, Tarrant County, Texas, AND DO HEREBY CERTIFY THAT MARY AGNES WICKMAN, IS the current owner, AND HAS NO OBJECTION TO THIS REPLAT.

MARY AGNES WICKMAN, OWNER

Before me, the undersigned Notary Public, on this day personally appeared MARY AGNES WICKMAN, known to me or proved to me to be the person in the capacity herein stated whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations expressed herein.

WITNESS MY HAND AND SEAL OF OFFICE on this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

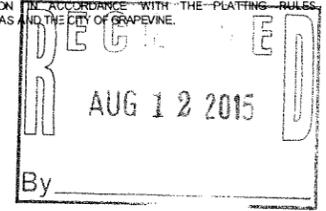
Notary Public, State of Texas Notary name (printed) My commission expires: \_\_\_\_\_

**PRELIMINARY**

THIS DOCUMENT SHALL NOT TO BE RECORDED FOR ANY PURPOSE AND SHOULD NOT VIEWED OR RELIED UPON AS A FINAL SURVEY

**SURVEYOR'S CERTIFICATION:**  
I, GEORGE R. HILL, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, DO HEREBY DECLARE THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY ON THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE PLATTING RULES, AND REGULATIONS OF THE STATE OF TEXAS AND THE CITY OF GRAPEVINE.

GEORGE R. HILL, RPLS 6022



**PLANNING & ZONING COMMISSION:**

Date Approved: \_\_\_\_\_

Chairman: \_\_\_\_\_

Secretary: \_\_\_\_\_

**GRAPEVINE CITY COUNCIL:**

Date Approved: \_\_\_\_\_

Mayor: \_\_\_\_\_

City Secretary: \_\_\_\_\_

**FINAL PLAT OF  
LOTS 3R1 and 3R2,  
BLOCK A  
SHAMROCK VENTURES ADDITION**

BEING a replat of Lot 3R, Block A, Shamrock Ventures Addition, an addition to the City of Grapevine, Tarrant County, Texas, according to the Plat recorded in D2132519432, P.R., T.Co., Tx., as conveyed to Mary Agnes Wickman in County Clerk's File No. D213302032, D.R., T.Co., Tx. (Zoning R-7.5) August 11, 2015 2 Lots

Project No. 10264 base  
**Sempco Surveying Inc.**  
3208 S. MAIN ST. FORT WORTH, TX 76110-4278  
TEL: (817) 926-7876 FAX: (817) 926-7878  
GPS-SURVEYING-MAPPING-PLANNING-CONSULTANTS

**OWNER:**  
MARY AGNES WICKMAN  
308 Springbrook Court  
Grapevine, TX 76051

**SURVEYOR:**  
Sempco Surveying, Inc.  
3208 S. Main Street  
Fort Worth, TX 76110  
Tel: 817-926-7876  
Fax: 817-326-7878

This Plat Filed on \_\_\_\_\_ Instrument # \_\_\_\_\_

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
 FROM: BRUNO RUMBELOW, CITY MANAGER *BZ*  
 MEETING DATE: SEPTEMBER 15, 2015  
 SUBJECT: FY 2016 OPERATING BUDGET ADOPTION

**RECOMMENDATION:**

Staff recommends Council consider an ordinance adopting the FY 2015-2016 City of Grapevine Annual Budget. The budget includes the programs discussed at the City Council workshop held on August 26, 2015; the public hearing on September 8, 2015; and contains fund expenditures in the following amounts:

General Fund	\$62,752,711
Convention and Visitors Bureau Fund	19,241,168
Convention and Visitors Bureau Incentives Fund	4,409,738
Stormwater Drainage Fund	1,380,233
Crime Control & Prevention District Fund	14,392,012
Lake Parks Special Revenue Fund	1,862,489
4B Transit Fund	20,721,398
Economic Development Fund	3,492,872
Debt Service Fund	14,750,609
Utility Enterprise Fund	24,262,360
Utility Permanent Capital Maintenance Fund	1,000,000
Golf Enterprise Fund	2,946,532
General Permanent Capital Maintenance Fund	1,595,000
Permanent Street Maintenance Fund	1,684,000
Community Quality of Life Capital Projects	685,000
General Facilities Capital Projects	1,625,000
Streets, Traffic and Drainage Capital Projects	200,000
Capital Equipment Acquisitions	2,498,862

**BACKGROUND INFORMATION:**

The FY 2015-2016 budget, as proposed, is presented for your consideration. The budget presented requires a tax rate of \$0.328437. The required public hearing to solicit input was held on September 8, 2015 as required by the City Charter.

ORDINANCE NO. \_\_\_\_\_

*Budget*

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS ADOPTING THE BUDGET FOR THE CITY OF GRAPEVINE, TEXAS FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2015 AND ENDING SEPTEMBER 30, 2016; PROVIDING FOR INTRA- AND INTERDEPARTMENTAL FUND TRANSFERS; PROVIDING FOR INVESTMENT OF CERTAIN FUNDS; DECLARING AN EMERGENCY; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, a notice of public hearing on the budget for the City of Grapevine, Texas for the Fiscal Year 2015-2016 (FY 2016) was heretofore published in accordance with law; and

WHEREAS, a public hearing was duly held and all interested persons were given an opportunity to be heard for or against any item therein.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS;

Section 1. That the appropriation amounts for the FY2015-2016 budget for the different funds of the City of Grapevine are hereby fixed as follows:

General Fund	\$62,752,711
Convention and Visitors Bureau Fund	19,241,168
Convention and Visitors Bureau Incentives Fund	4,409,738
Stormwater Drainage Fund	1,380,233
Crime Control & Prevention District Fund	14,392,012
Lake Parks Special Revenue Fund	1,862,489
4B Transit Fund	20,721,398
Economic Development Fund	3,492,872
Debt Service Fund	14,750,609
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Golf Enterprise Fund	2,946,532
General Permanent Capital Maintenance Fund	1,595,000
Permanent Street Maintenance Fund	1,684,000
Community Quality of Life Capital Projects	685,000
General Facilities Capital Projects	1,625,000
Streets, Traffic and Drainage Capital Projects	200,000
Capital Equipment Acquisitions	2,498,862

Section 2. That the City Council hereby adopts the revised budget for the fiscal year ending September 30, 2015 and the proposed Annual Operating Budget for the fiscal year ending September 30, 2016 and appropriates the funds contained therein.

Section 3. That a copy of the official adopted FY2015-2016 budget document shall be kept on file in the office of the City Secretary and the City of Grapevine website.

Section 4. That the City Manager be and is hereby authorized to make intra and inter-departmental fund transfers during the fiscal year as becomes necessary in order to avoid over-expenditure of a particular object code.

Section 5. That the City Manager is authorized to approve expenditures up to \$15,000. Any expenditure over the \$15,000 limit requires the approval of the City Council. Each expenditure authorized by the City Manager in Account 100-44701-120-1 in FY2015 and FY2016 is approved.

Section 6. That the City Manager is authorized to reclassify personnel positions within city service as warranted.

Section 7. That the City Manager, and/or Assistant City Manager and/or Chief Financial Officer and/or designated investment officer are authorized to invest any funds not needed for current use, whether operating funds or bond funds in Official City Depositories, in any investment instrument authorized by the City's Investment Policy and Investment Strategy and allowed by the Texas Public Funds Investment Act.

Section 8. That the reserve requirement for the Golf Enterprise Fund is suspended for FY2015 and FY2016.

Section 9. That the fact that the fiscal year begins on October 1, 2015 requires that this ordinance be effective upon its passage and adopted to preserve the public peace, property, health and safety and shall be in full force and effect from and after its passage and adoption, and an emergency is hereby declared.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of September, 2015.

APPROVED:

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ATTEST:

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APPROVED AS TO FORM:

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MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER *BR*  
MEETING DATE: SEPTEMBER 15, 2015  
SUBJECT: ADOPTION OF AD VALOREM TAX RATE

RECOMMENDATION:

City Council to consider an ordinance adopting an ad valorem tax rate \$0.328437 per \$100 valuation for fiscal year 2015-2016 (FY 2016) apportioned as follows:

For the General Fund, a tax rate of \$0.142070 per \$100 value;

For Debt Service, a tax rate of \$0.186367 per \$100 value.

BACKGROUND:

The FY 2016 budget was developed using the following values for tax rate calculation purposes:

Total market value	\$10,004,960,942
Net taxable value	\$ 6,303,722,379
Taxable value for rollback	\$ 6,283,023,175
Taxable value for effective rate	\$ 6,283,023,175
New construction	\$ 45,298,575

The FY 2015-2016 budget includes the General Fund and Debt Service apportions of the taxes as noted above.

The proposed tax rate of \$0.328437 is equivalent to the calculated effective tax rate.

A copy of the proposed ordinance is attached.

Staff recommends approval.

ORDINANCE NO. \_\_\_\_\_

*Jack Sevy*

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, SETTING THE ANNUAL TAX RATE FOR TAX YEAR 2015 LEVYING TAXES TO BE ASSESSED ON ALL TAXABLE PROPERTY WITHIN THE LIMITS OF THE CITY OF GRAPEVINE, TEXAS; PROVIDING PENALTIES AND INTEREST FOR THE DELINQUENT TAXES; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City Council of Grapevine, Texas has approved an operating budget for the fiscal year 2015-2016 (FY2016), in compliance with appropriate state laws and the Charter of the City of Grapevine; and

WHEREAS, public hearings were held on the FY2016 budget and all interested parties were given an opportunity to be heard for or against any item contained therein; and

WHEREAS, an ad valorem tax rate of \$0.328437 per \$100 valuation has been considered for tax year 2015.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That a tax rate is hereby levied upon all taxable property in the City of Grapevine, Texas for tax year 2015 at a rate of thirty-two eighty-four thirty-seven hundreds cents (\$0.328437) per one hundred dollars (\$100.00) valuation. THIS TAX RATE WILL RAISE MORE TAXES FOR MAINTENANCE AND OPERATIONS THAN LAST YEAR'S TAX RATE. THE TAX RATE WILL EFFECTIVELY BE RAISED BY 4.42 PERCENT AND WILL RAISE TAXES FOR MAINTENANCE AND OPERATIONS ON A \$100,000 HOME BY APPROXIMATELY \$14.66.

Section 2. That there shall be and there is hereby levied the following taxes on each one hundred dollars (\$100.00) valuation on all taxable property within the City of Grapevine, Texas, to be assessed and collected by the Tax Assessor/Collector and collected for tax year 2015, and said taxes are to be assessed and collected for the purposes and in the amounts hereinafter stipulated, to-wit:

- A. For the General Fund, a tax rate of \$0.142070 per \$100 is levied.
- B. For Debt Service, a tax rate of \$0.186367 per \$100 is levied.

Section 3. That taxes levied by this ordinance shall be due and payable on the first day of October, 2015 and shall become delinquent on the first day of February, 2016, if unpaid. Upon taxes becoming delinquent, interest and penalty will be added as required in Section 33.01 of the Texas Property Tax Code, and shall commence on the first day of

February, 2016. The City of Grapevine is hereby authorized to adopt any and all legal remedies provided by the Texas Property Tax Code for the purpose of collecting delinquent taxes.

Section 4. That the fact that the fiscal year begins on October 1, 2015 requires that this ordinance be effective upon its passage and adopted to preserve the public peace, property, health, and safety, and shall be in full force and effect from and after its passage and adoption, and an emergency is hereby declared.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, on this the 15th day of September, 2015.

APPROVED:

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ATTEST:

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APPROVED AS TO FORM:

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MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER BR  
MEETING DATE: SEPTEMBER 15, 2015  
SUBJECT: CONTRACT WITH GOODWIN AND MARSHALL FOR  
SUBMISSION TO FEMA

RECOMMENDATION:

City Council to consider a contract with Goodwin and Marshall for the submission of a Conditional Letter of Map Revision (CLOMR) to FEMA in an amount not to exceed \$24,800.

FUNDING SOURCE:

Funds are available in account 124-44540-124-1 (Economic Development Professional Services) in the amount of \$24,800.

BACKGROUND:

In anticipation of the sale of a portion of the City owned property that is north of the creek, a CLOMR is necessary. As a function of making the maximum amount of property that can be used, filling is required. Fill work in a floodway requires issuance of a CLOMR by FEMA. A CLOMR or Conditional Letter of Map Revision, is a FEMA required process that secures FEMA's comment on a proposed project that would, upon construction, affect the hydrologic or hydraulic characteristics of a flooding source and thus result in the modification of the existing regulatory floodway.

The CLOMR process takes approximately six months.

September 1, 2015

Mr. Bruno Rumbelow  
City Manager  
City of Grapevine  
200 S. Main Street  
Grapevine, TX 76051

Re: Proposal for Professional Services for the Submittal of a Conditional Letter of Map Revision (CLOMR) for a 50-Acre Property Located at the Northwest Corner of SH 121 and Grapevine Mills Boulevard in the City of Grapevine, Texas

Dear Mr. Rumbelow:

Goodwin and Marshall, Inc. (G&M) is pleased to present this proposal for professional services for the above referenced property. G&M has been asked to submit a Conditional Letter of Map Revision (CLOMR) for the site. The CLOMR will include maximum reclamation of the 50-acres, and it is currently anticipated that slight excavation of the City of Grapevine park property will be required. Please note that the CLOMR will include revisions to the effective floodway. G&M will submit the CLOMR request to the City of Grapevine and provide technical support to facilitate acceptance. Upon approval by the city, G&M will submit the request to FEMA and provide technical support of facilitate approval and issuance of a CLOMR for the project.

G&M will perform these services for a lump sum fee of \$24,800. A total of \$15,900 will be payable upon submittal to the City of Grapevine, with the remaining \$8,900 due upon final acceptance and issuance of a CLOMR by FEMA.

An application fee in the amount of \$8,250 made payable to the National Flood Insurance Program should be anticipated for submittal of the CLOMR request to FEMA.

Please review the terms of this proposal carefully. If you are in agreement, please sign and return a copy to this office for our records. Your signature will serve as our authorization to proceed. We at Goodwin and Marshall, Inc. sincerely appreciate the opportunity to provide you with these engineering services. If you have any questions regarding this proposal, please feel free to call.

Sincerely,  
*Goodwin and Marshall, Inc.*



D. Matthew Goodwin, P.E.  
Officer

APPROVED:

\_\_\_\_\_  
Name / Title

\_\_\_\_\_  
Date

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER *BR*  
MEETING DATE: SEPTEMBER 15, 2015  
SUBJECT: APPROVAL OF A RESOLUTION FOR THE EMERGENCY  
PURCHASE OF GOLF TURF

RECOMMENDATION:

City Council consider adopting a resolution authorizing and ratifying the emergency purchase of turf for the golf course that was made from Trinity Turf Nursery, Inc.

FUNDING SOURCE:

Funding for this purchase is currently available in account 210-43355-210-9 (Recreation Facilities Maintenance flood related) in the amount of \$25,863.75.

BACKGROUND:

This turf is to be used for sodding the areas where the silt from the flood was deposited onto the golf course as well as tee boxes that were lost from the flood waters and silt.

Because the September 1 meeting was cancelled, in an effort not to lose two additional weeks of peak growth time, an emergency purchase order was issued to Trinity Turf Nursery, Inc. for golf turf on August 28, 2015.

Staff recommends approval.

RP/BS

TURF  
GRASS

RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO RATIFY AND APPROVE THE EMERGENCY PURCHASE OF TURF GRASS THAT WAS MADE ON AUGUST 28, 2015 AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Section 252.022 (a) (1) to preserve property; and

WHEREAS, due to flood damage, the turf grass was needed as soon as possible to repair the golf course for play; and

WHEREAS, all legal prerequisites for the adoption of this resolution have been met, including but not limited to the Local Government Code and the Open Meetings Act; and

WHEREAS, the City Council hereby declares that the approval of this resolution is in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated in the above preamble are true and correct and are incorporated herein as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine ratifies and authorizes the emergency purchase of turf grass from Trinity Turf Nursery Inc. on August 28, 2015 in the amount of \$25,863.75.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to ratify and consummate the emergency purchase of said turf grass.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of September, 2015.

APPROVED:

---

ATTEST:

---

APPROVED AS TO FORM:

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MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
MEETING DATE: SEPTEMBER 15, 2015  
SUBJECT: APPROVAL OF A RESOLUTION FOR THE PURCHASE OF  
INCIDENT DASHBOARD SOFTWARE AND TRAINING

RECOMMENDATION:

City Council to consider approval of a resolution for the purchase of incident dashboard software and training from Advanced Public Safety, a sole source vendor.

FUNDING SOURCE:

Funding for this purchase is currently available in account 200-44500-530-1 (GIS Software License & Maintenance Fee), 200-44540-533-1 (GIS Professional Services) and 117-44540-209-4 (GIS Professional Services) for a total amount not to exceed \$43,155.00.

BACKGROUND:

This sole source purchase will be made in accordance with Local Government Code Chapter 252, Subchapter B, Section 252.022(a)(7)(A) per the specifications written by the Police, GIS and Fire Departments.

The Crimeview and Fireview software interfaces provide tools and dashboards to better enable Police, Fire and GIS personnel to access public safety related data in a form that provides a better understanding for analysis, reporting, of such things as recurrence of incidents, response times and efficiency. By getting a better understanding of historical public safety information, we will be able to improve operational efficiency and service to the citizens of Grapevine.

Both the Police and Fire department require reporting and analysis tools that can perform the following tasks:

- Police - investigations, deployment, emergency management and computer statistic reporting.
- Fire – integration of Fire and EMS data to easily map and analyze data. By identifying incident patterns and response effectiveness, resources can be more optimally deployed.

ITEM #15

This will be offered using software packages from Advanced Public Safety (APS) called Crimeview and Fireview, which will not only interface with our existing Public Safety database, but with our GIS software/data as well. APS is the sole provider of this software. Staff recommends approval.

JH/BS

RESOLUTION NO. \_\_\_\_\_

INCIDENT  
DASHBOARD

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE INCIDENT DASHBOARD SOFTWARE AND TRAINING FROM A SOLE SOURCE VENDOR, ADVANCED PUBLIC SAFETY, AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code Chapter 252, Subchapter B, Section 252.022 (a) (7) (A) to consider items available from only one source as an exception to the bidding requirements of the State of Texas; and

WHEREAS, Advanced Public Safety is the sole source vendor for this departmental specified incident dashboard software and training; and

WHEREAS, the City of Grapevine Police, GIS and Fire Departments have the need for incident dashboard software and training; and

WHEREAS, all legal prerequisites for the adoption of this resolution have been met, including but not limited to the Local Government Code and the Open Meetings Act; and

WHEREAS, the City Council hereby declares that the approval of this resolution is in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated in the above preamble are true and correct and are incorporated herein as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase of incident dashboard software and training from Advanced Public Safety for the total amount of \$43,155.00.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of said incident dashboard software and training.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of September, 2015.

APPROVED:

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ATTEST:

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APPROVED AS TO FORM:

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MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER *B12*  
MEETING DATE: SEPTEMBER 15, 2015  
SUBJECT: APPROVAL TO RENEW AN ANNUAL CONTRACT FOR  
MULTIMEDIA SERVICES

RECOMMENDATION:

City Council to consider approval to renew an annual contract for multimedia services from Swagit Productions, LLC for City Council and Planning and Zoning Commission meetings.

FUNDING SOURCE:

Funding for this purchase is currently available in account 100-44540-102-1 (Professional Services) for the amount not to exceed \$16,200.00.

BACKGROUND:

This procurement was made as a sole source in accordance with Local Government Code Chapter 252, Subchapter B, § 252.022. General Exemptions (a)(7)(A). The contract was for an initial one year period with annual renewal options. This would be the second annual renewal.

This service provides live, online streaming of City Council meetings and Planning & Zoning Commission meetings. The contract allows for Swagit Productions to manage the camera and audio remotely. Swagit Productions will also archive the meetings for future online viewing.

In the period of October 1, 2015 (last contract renewal) – August 26, 2015, there has been a total of 2,574 page views of the live streaming of City Council and Planning and Zoning Commission meetings. There have been a total of 11,146 page views of live and archived meetings.

Staff recommends approval.

TB/BS

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER *BR*  
MEETING DATE: SEPTEMBER 15, 2015  
SUBJECT: ECONOMIC IMPACT OF TOURISM TO GRAPEVINE STUDY

RECOMMENDATION:

City Council to consider awarding a professional services contract to Tourism Economics for a comprehensive economic impact of tourism study.

FUNDING SOURCE:

Funds are available in account number 115-44540-350-01 (Convention and Visitors Bureau/Professional Services) in the amount of \$35,000.

BACKGROUND:

In order to continue with the solicitation of hotel and attraction development, a study of the economic impact of tourism in Grapevine would be extremely helpful. It has been more than 10 years since an economic impact study of this type has been done.

The study will include: a five-year historic trend analysis; an analysis of direct visitor spending; an analysis of jobs, income and taxes generated by visitors; an estimate of visitor volume and a five-year forecast of visitor volume and spending. Staff researched six different companies and received formal proposals from Destination Analysts, Tourism Economics and VisaVue. Prices ranged from \$35,000 to \$85,000. After review by the CVB Executive Director and Directors of Marketing and Sales, it was determined that Tourism Economics can fulfill our needs at a reasonable cost. See attached proposal.

Staff recommends approval.

jd

ITEM #17

# TOURISM ECONOMICS

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## The Economic Impact of Visitors to Grapevine, TX

**Proposal prepared for:**

Grapevine Conventions & Visitors Bureau

**Presented by:**



## Contents

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# 1 Executive Summary

Visitors represent an integral part of the Grapevine economy. Visitor spending generates significant state and local tax receipts and the tourism sector's broad range of job creation provides a vital economic foundation.

By monitoring the visitor economy, the Grapevine Conventions & Visitors Bureau can inform decisions regarding the funding and prioritization of the sector's development. It can also carefully monitor its successes and future needs.

Economic impact analysis enables this sort of tracking because it measures tourism in the categories that allow it to be compared to other sectors and which matter to policy makers. These categories include tax generation, employment, wages, and business sales. The result of this analysis will be a compelling and detailed document which *quantifies* and *explains* the economic value of tourism to Grapevine in detail. The report will monitor changes in the significance in the travel economy and the importance of the travel sector relative to other economic sectors. In addition, the report will depict the value of tourism to both households and to the public sector. The analysis will provide substantial detail, comprehensiveness, and policy relevance.

Tourism Economics, an Oxford Economics company, is pleased to submit this proposal to serve these purposes. Our team brings together a strong complement of leadership, industry experience, and technical expertise for this project. We have conducted over one-hundred economic impact studies and/or visitor projection models for developers, tourism associations, CVBs, state tourism offices, and national tourism offices across every region of the world. Our commitment is to provide an economic impact assessment that is credible, comprehensive, and clear. In particular, our Philadelphia team who would be managing this project has hands-on past experience in analyzing the importance of the Texas visitor economy.

Our proposal is organized as follows:

- Section 2 describes our approach;
- Section 3 lays out the project deliverables;
- Section 4 suggests project terms;
- Section 5 describes Tourism Economics' experience;
- Section 6 provides references;
- Section 7 includes testimonials;
- Section 8 sets out the project team; and
- Section 9 presents an agreement.

Thank you for this opportunity.

## 2 Economic Impact and Visitor Volume Analysis

Our approach is built with three objectives in view:

- Clarity—results will be communicated to maximize relevance to stakeholders
- Credibility—analysis will be grounded in consistency with government-reported data and based on a variety of data sources
- Comprehensiveness—the incorporation of a broad range of data sources will ensure that the entire visitor economy is quantified

To meet these objectives, the Tourism Economics team will take the following steps in the development of the tourism economic impact analysis for Grapevine.

### 2.1 Compile diverse data sets to measure visitor expenditures

The analysis will begin with a compilation of all relevant data sets as inputs to the model. Tourism spans many different activities and sectors so a number of perspectives must be brought together to quantify each component of the tourism economy.

We will use these different measurements to complement and to cross-check one another:

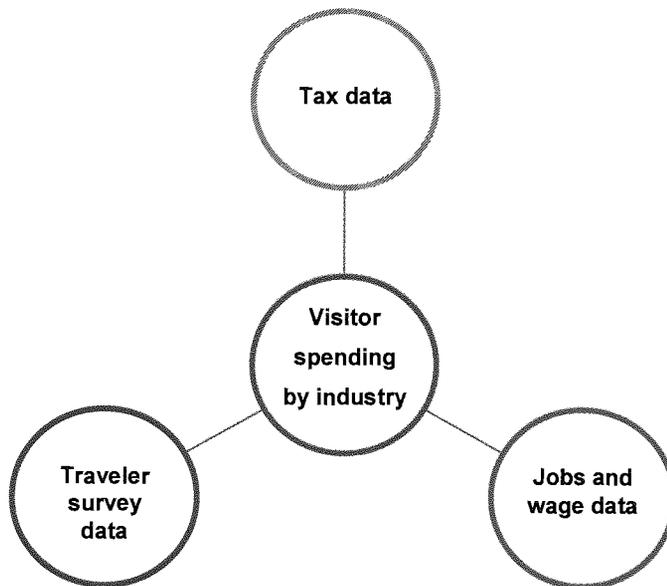
- Survey data on visits and spending by visitor type (day/overnight, business/convention/VFR/leisure) and by category of spending (local transport, lodging, retail, recreation, food & beverage). This will be sourced to DK Shifflet & Associates published data. Dallas-Grapevine MSA data will be shared down to the City of Grapevine based on hotel room demand and visitor-related industry concentration.
- Employment (NAICS 700+ industries, source: BEA and BLS) – by industry
- Wages (NAICS 700+ industries, source: BEA and BLS) – by industry
- Lodging performance data (STR)
- Tax receipts by industry (sales tax and bed tax)
- US Census data on seasonal second homes by county (to measure imputed rent and related spending)
- Aviation-related spending for visitors based on airport and passenger data
- Group event attendance and definite room demand (from the client)

This comprehensive set of data will provide a holistic view of visitor activity that is constrained by known measurements. For example:

1. Tax receipts data by industry will provide measurements of revenue for industries providing tourism goods and services.
2. This will be compared to spending estimates derived from visitor survey expenditure estimates.
3. This will further be compared to employment and wage data by industry to cross-check the total size of each related industry and the implicit share of tourism for each industry.

This “triangulation” approach provides a set of anchors so that the end results are consistent and credible.

#### Example of data cross-check method



This approach also allows the analysis to clearly follow specific Grapevine geographic boundaries.

Syndicated visitor spending data will break down visitor expenditures by type for determining the tourism share of sectors which are only partially tourism-related such as restaurants. BEA employment data will provide an overarching perspective on the total jobs (whether or not generated by tourism) within each tourism-related sector. This will be used as a reasonableness check of the economic model results.

Using these diverse and complementary datasets, we will quantify total visitor expenditures at the county level, by industry, for the most recent year with a review analysis reaching back five years.

Spending figures in the most recent year will be segmented by visitor type (day/overnight, business/leisure) and by industry. This will provide valuable insights into the relative value of visitor segments as well as the extent to which various industries benefit from visitor activity.

## 2.2 Visitor volumes

In addition, the client will receive total visitor volume counts for the most recent year, including a breakdown of day/overnight and business/leisure volumes.

These will be based on local statistics of STR hotel room demand, seasonal second homes, recreation and entertainment assets, employment by sector) for Grapevine. Regional estimates of visits from the Texas tourism office will be used as a control in calculating local Grapevine visitor volumes.

## 2.3 Develop impact analysis

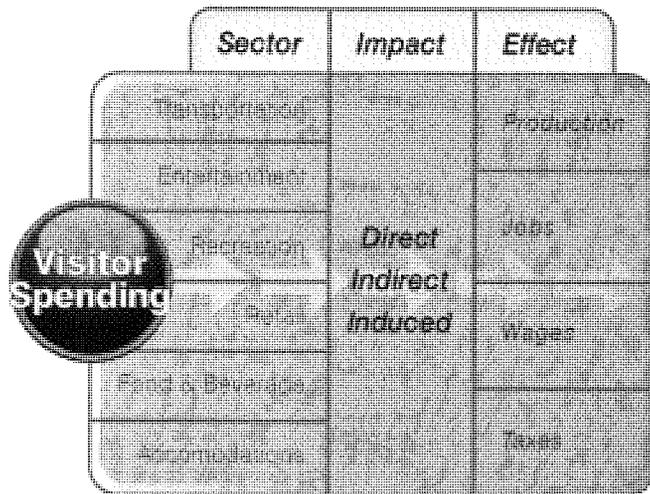
Our team will then employ an Input-Output (I-O) model for Grapevine based on an IMPLAN ([www.implan.com](http://www.implan.com)) model. IMPLAN is recognized as one of two industry standards in local-level I-O models. An I-O model represents a profile of an economy by measuring the relationships among industries and consumers. For example, an I-O model tracks the flow of a visitor's restaurant expenditures to wages, profits, capital, taxes and suppliers. The supplier chain is also traced to food wholesalers, to farmers, and so on. In this way, the I-O model allows for the measurement of the direct and indirect sales generated by a restaurant meal. The model also calculates the induced impacts of tourism. These induced impacts represent benefits to the economy as employees of tourism sectors spend their wages in the local economy, generating additional output, jobs, taxes, and wages.

IMPLAN is particularly effective because it calculates these three levels of impact – direct, indirect, and induced – for a broad set of indicators. These include the following:

- Business sales (also called gross output)
- Wages
- Employment
- Federal Taxes
- State and Local Taxes by type

The modeling process begins with aligning the tourism expenditure measurements with the related sectors in the model (e.g. restaurants, retail, transportation, lodging, and recreation). The model is then run to simulate the flow of these expenditures through the economy. In this process, the inter-relationships between consumers and industries generate each level of impact for each economic indicator (sales, wages, employment, etc.).

Illustration of impact model flow



Tourism Economics will then iteratively adjust the model to balance the results with known industry measurements. IMPLAN is flexible, allowing for adjustments in coefficients. This ensures that the results of the model are consistent and reasonable compared with other sources of specific tourism sector employment and taxes.

Figures will be segmented by industry—including those industries which benefit indirectly. This will provide valuable insights into how various industries benefit from visitor activity.

A detailed tax analysis will combine IMPLAN output with bottom-up calculations of sales taxes, bed taxes, and other tourism-specific taxes to complement the standard model results. Tax impacts will include the following detailed line items.

**Federal Taxes**

- Corporate
- Indirect Business
- Personal Income
- Social Security

**State Taxes**

- Corporate
- Personal Income
- Sales

State Unemployment  
Dividends  
Other taxes and fees

Local Taxes  
Sales  
Property  
Lodging  
Amusement  
Excise and Fees  
Personal Income

In addition to the absolute value of taxes, these will be expressed as “savings in state and local taxes per household” based on the assumption that were it not for visitors, resident households would need to fund these revenues.

Jobs, income, and total business sales figures will be presented in terms of their share of the Grapevine economy and direct impacts will be ranked against other industries.

## 3 Forecasts

Tourism Economics will develop a rigorous and dynamic forecasting model for Grapevine that supports its decision making processes.

This model will be based on historical correlations between travel, economic, and non-economic indicators and will provide forecasts five years into the future.

The model will have three sets of inputs:

- Industry performance data
- Visitor metrics
- Economic drivers

### 3.1 Industry performance data

Monthly or quarterly industry performance indicators will be compiled in coordination with the client. These will include hotel performance metrics, scheduled air seat capacity, airport enplanements, any available volume tracking at key attractions, and any other destination measurements tracked by the client. This will provide input on recent performance and will provide leading indicators to the model.

### 3.2 Visitor metrics

The indicators to be forecasted will be primarily visitor demand metrics by market segment. These indicators will include the following:

- Total Visits
- Visitor Spending

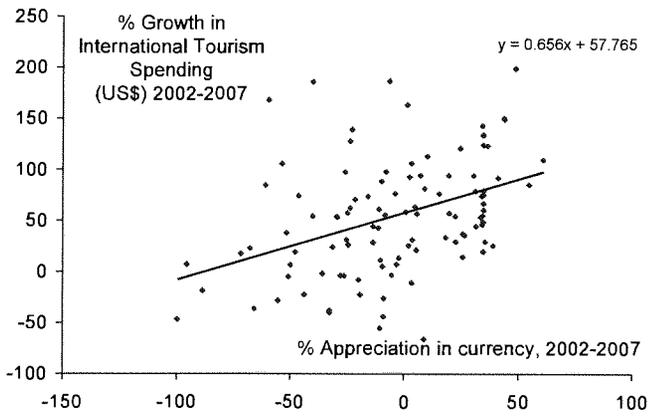
### 3.3 Economic drivers

Using this industry performance and visitor volume historical data, Tourism Economics will estimate the correlations between travel demand and economic activity for each of the segments mentioned above. This regression analysis will be multi-variate. That is, the equations will be sophisticated enough to isolate the respective effects of various drivers at the same time. For example, incomes may rise at the same time a market's currency is weakening. Each of these indicators has a different coefficient (elasticity) as well as a different sign (positive or negative). The model will identify the magnitude and direction of each indicator's influence on travel demand over time. The historical correlations and related statistics will be estimated in EViews (<http://www.eviews.com/>). Tourism Economics will evaluate the following economic indicators to determine their relative strength in predicting changes in travel demand:

- Real disposable income
- Unemployment rate
- Employment
- Exchange rates (inflation-adjusted and nominal)
- Corporate profits and investment (for business travel)
- Real GDP growth
- Consumer confidence

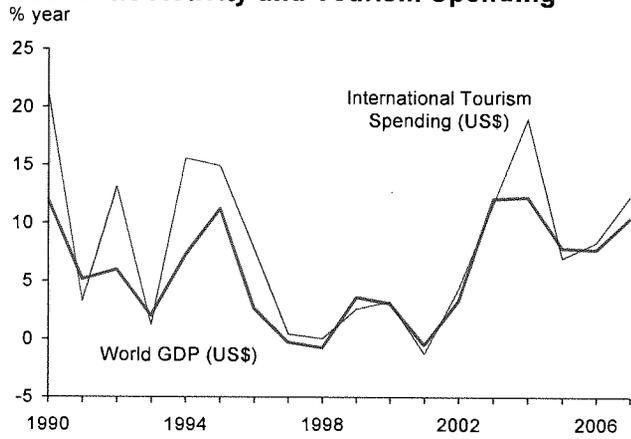
We have found these indicators to be strong determinants of travel demand, with the exact form of the equation varying across markets and particular travel segments. The following charts show relationships between the strength of origin markets exchange rates / GDP and their outbound travel expenditures.

**Exchange Rate and Tourism Spending**



Source : Tourism Economics, IMF

**Economic Activity and Tourism Spending**

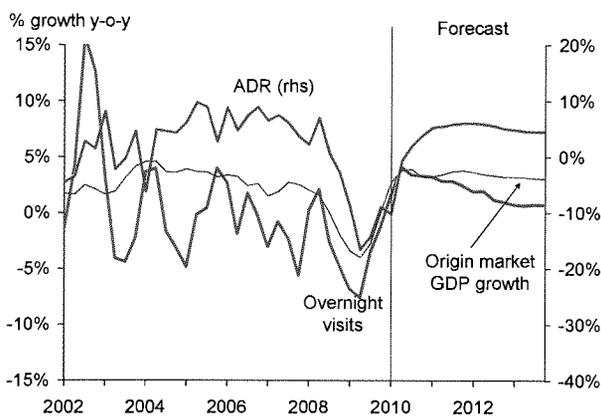


Source : Tourism Economics, Haver Analytics, IMF

Personal income and exchange rates can be effective predictors of travel demand. The first chart below shows GDP growth for San Diego's key origin markets along with forecasts for overnight visits.

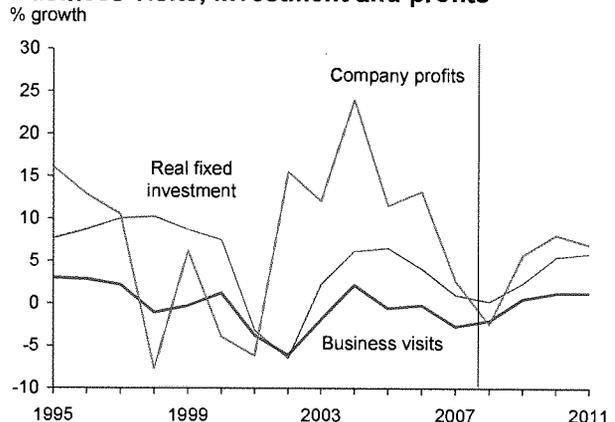
We can also observe strong correlations between business travel and corporate profits as well. The second chart below shows this for US domestic business travel (as developed for the US Travel Association).

**San Diego: Overnight Visits**



Source : Tourism Economics/CIC Research

**Business visits, investment and profits**

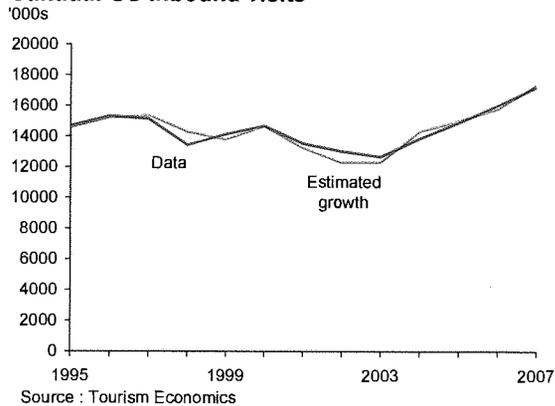


Source : Tourism Economics

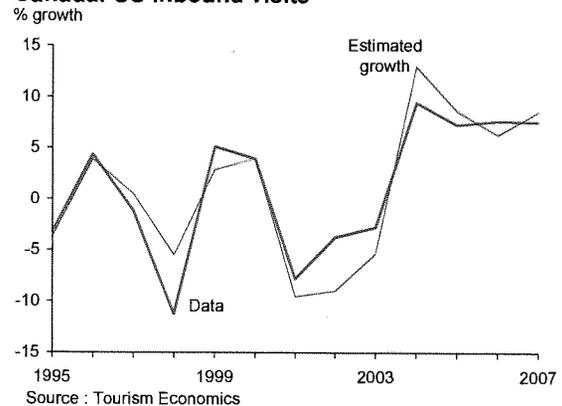
These same relationships will be established for Grapevine as a destination. Historical data will provide a statistical basis for determining the multi-variate correlations between these economic indicators and travel activity.

Two additional examples are shown below from our Tourism Decision Metrics model. The below charts show “fit” vs. “actual” performance in terms of inbound visits. For Canada to US travel, the equations yield an R-squared of .92, meaning that 92% of the year-to-year changes are explained by the economic drivers. It is clear from the below charts that the equations generate cyclical timing and volatility which is very close to the actual data.

**Canada: US Inbound visits**



**Canada: US Inbound visits**

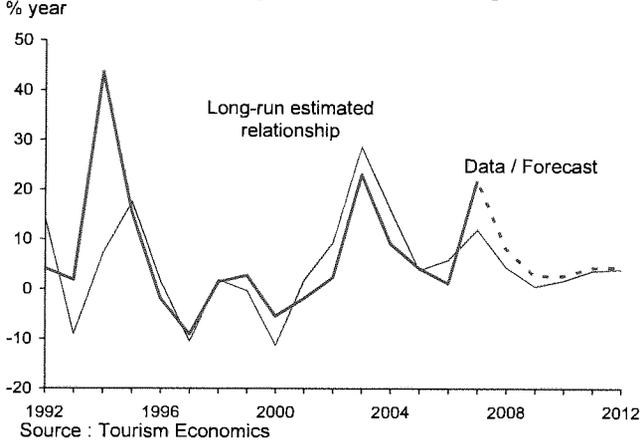


One noteworthy feature of a tourism demand forecasting model must be to deal with the sometimes volatile effect of business cycles on travel demand. Model equations will include long-run and short-run dynamics to allow both growth and levels of spending to be consistent with the fundamental economic relationships.

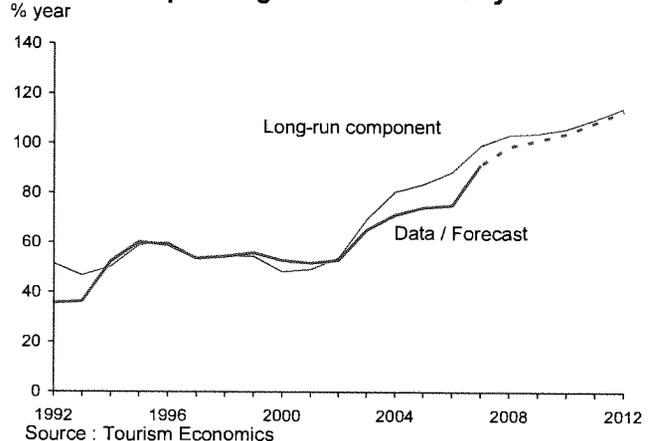
- Short-run. Spending growth in the first years of the forecast period is typically dominated by growth rates in key identified economic drivers.
- Long-run. Forecast growth rates in the medium to long-term are consistent with spending levels according to the fundamental economic relationships. For example, if growth has been particularly strong in recent data (due to external factors), then slower growth is expected further out to return spending to expected levels. This is included by using error-correction mechanisms within the equation.

For example, in the following charts, outbound spending from Germany in the period to 2006 was weaker than would be expected according to the observed long-run relationships. We would expect this pent-up demand to be realized over the forecast period with a return to expected levels of spending determined by the long-run relationships. Similarly, in the case of stronger than expected growth, any over-spending is expected to unwind with slower growth rates into the medium term. This technique will enable the model to deliver reasonable results despite any recent volatility.

**Outbound Spending Growth: Germany**



**Outbound Spending Growth: Germany**



The model will be populated with all of the economic drivers used in the regression analysis with 3-year quarterly forecasts based on the latest results of Oxford Economics global macroeconomic model. These forecasts are among the most accurate in the industry, as shown in the adjacent table:

<b>Oxford Economics</b>					
<b>Forecast performance compared</b>					
<b>2012-2014</b>					
<i>(average absolute forecast divergence for real GDP growth)</i>					
	US	Eurozone	Japan	China	India
<b>Oxford Economics</b>	0.4	0.3	1.1	0.3	1.1
<b>EIU</b>	-	0.6	1.2	0.5	-
<b>Global Insight</b>	0.5	0.1	1.5	0.4	1.3
<b>IMF</b>	0.4	0.8	1.0	0.6	1.6
<b>OECD</b>	0.4	0.4	1.2	0.8	1.5
<b>Consensus Economics</b>	0.5	0.3	1.1	0.4	1.5

Note: Forecasts made in December for year ahead.

### 3.4 Analysis of non-economic drivers

Travel demand is notoriously difficult to forecast because of external events which can trump the effects of economic factors in a given time period. On the negative side, natural disasters, security concerns, disease and fuel costs can temporarily constrain demand (although their resolution typically results in a recovery period of above-average growth). On the positive side, special events, major conventions, and focused marketing campaigns can influence travel demand beyond what would be indicated by economic analysis alone. Tourism Economics will incorporate any of these potential factors in the Grapevine travel outlook.

### 3.5 Develop dynamic forecasting tool

At this point, Tourism Economics will be able to develop a customized forecasting model for Grapevine which will allow for dynamic scenario analysis and ongoing updates using new historical data and economic drivers.

The model can be easily expanded to include additional markets and/or change the time horizon. We propose that the base model will be developed to produce 5-year forecasts. The forecast output will be on an annual data frequency.

## 4 Project Deliverables

The key outputs from this project will be:

- Comprehensive report of findings
- Five years of comparable data
- A description of data inputs and methodology
- Raw data files in MS Excel
- A presentation to stakeholders (WebEx)
- Assistance with the development of press releases

### 4.1 Presentation of Results

Even the best research is only as good as its presentation. The Tourism Economics team will develop a clear and graphical presentation of the results with narrative explaining the concepts and their importance. The report will be accessible to the layperson with a view towards a diverse set of audiences including market analysts, legislators, the media, planners, and other stakeholders.

The results of this analysis are grouped into four main areas:

- **Size**—the magnitude of impact will be quantified in terms of spend, business sales impact, employment, wages, and taxes. Our analysis ensures that all activities are measured, including spending in the vacation ownership, seasonal real estate, aviation and local transport, hospitality, recreation, retail, and restaurant sectors.
- **Segmentation**—the analysis will then segment the impacts by purpose of visit (business/leisure), source of visitor (domestic/international), industry (for seventeen sectors), and level of impact (direct, indirect, and induced).
- **Trend**—by factoring in aviation and tourism-related tax information alongside BLS/BEA data on employment and income, we are given a solid foundation for trend analysis. On this basis, we are able to show how the impact of the visitor economy has evolved over the past three years.
- **Context**—large numbers are more meaningful if given context. Tourism Economics reports provide this in two ways. The first is by calculating the share of the economy (wages, jobs, sales, and taxes) attributable to visitors. The second is through a series of creative comparisons of tax, wage, and job impacts with the size of government budgets, impact per minute, and sports venues. For example:

- Visitor-generated taxes would fund the entire (public school system, police department...) X times over
- The jobs created by visitor spending would fill \_\_\_\_\_ X times
- Visitors to Grapevine generate more jobs than the X, Y, and Z industries combined

Our proven competitive advantage is the ability to communicate complex information in a way that is understandable, relevant, and interesting.

## 5 Project Terms

### 5.1 Schedule

Tourism Economics will meet a six-week time table for the project.

- Weeks 1-2: Tourism Economics compile all data for the study
- Week 3-4: Analyze data and build spending model
- Week 5: Develop impact model and produce findings
- Week 6: Deliver reports and data. Host conference call to review findings. Finalize deliverables.

### 5.2 Costs

Economic impact with five years of history:	\$20,000
Visitor volume analysis:	\$8,000
5-year forecast of volume and spending:	\$7,500
<b>Total professional fees:</b>	<b>\$35,000</b>

Any required data inputs will be billed at cost.

Our typical payment schedule is 50% upon contracting, 25% upon draft report delivery, and 25% upon satisfactory completion of the project.

## 6 Expertise

### 6.1 Overview

Tourism Economics is an Oxford Economics company with a singular objective: combine an understanding of tourism dynamics with rigorous economics in order to answer the most important questions facing destinations, developers, and strategic planners. By combining quantitative methods with industry knowledge, Tourism Economics designs custom market strategies, destination recovery plans, tourism forecasting models, tourism policy analysis, and economic impact studies.

Tourism Economics has more experience than any other firm in the world in conducting tourism impact analysis. Our client list spans the globe and includes the majority of leading destinations and companies.

Oxford Economics is one of the world's leading providers of economic analysis, forecasts and consulting advice. Founded in 1981 as a joint venture with Oxford University's business college, Oxford Economics enjoys a reputation for high quality, quantitative analysis and evidence-based advice. For this, it draws on its own staff of 90 highly-experienced professional economists; a dedicated data analysis team; global modeling tools, and a range of partner institutions in Europe, the US and in the United Nations Project Link. Oxford Economics has offices in London, Oxford, Dubai, Philadelphia, and Belfast.

### 6.2 Key factors underpinning Tourism Economics' work

#### Travel industry expertise

Tourism Economics has vast experience in providing actionable and credible analysis of travel activity. Our combined team has substantial direct hands-on experience in destination visitor economic impact.

#### Modeling expertise

Tourism Economics and its partner, Oxford Economics, are founded on state-of-the-art modeling expertise. This is best evidenced by the Oxford global economic model which is used by blue chip companies and governments around the world, in addition to the US Treasury, World Bank and IMF. Our Tourism Decision Metrics forecasting model is the most rigorous of its kind, taking into account both economic and destination determinants.

#### Economic and tourism databases

Our global tourism database of origin-destination visitor flows and spending has the best country and indicator coverage of any private sector provider through our partnerships with the UNWTO, PATA, and the CTO along with our internal updates of the most recent trends. The Oxford Economics global model covers 190 countries and is updated constantly by our data team in Oxford.

## Senior staffing

Tourism Economics operates as a boutique tourism consulting company in one important sense: we assign senior staff at the center of each and every project. Our project directors are integrally involved in every stage of work and are directly involved in its development. The principals who represent our work are the same who conduct the work. We have found this to be an optimal way to sustain high quality and maintain close relationships with our clients. It is also the way we enjoy working.

## 6.3 Previous studies

Scope: Economic Impact of Tourism

Client: 15 states, 20 cities, 20 countries

Description: Tourism Economics regularly updates analysis for governments seeking to understand the economic contribution of tourism activity on their city, state, or country. Past US state experience of the TE team includes: North Carolina, Connecticut, Kansas, Missouri, New Mexico, Michigan, South Carolina, Delaware, New Jersey, New York, South Dakota, Pennsylvania, Minnesota, Ohio, Wisconsin, Maryland, and Georgia. (Underlined states are current clients.)

Public examples of our work include:

<http://industry.travelwisconsin.com/research/economic-impact>

<http://www.visitnj.org/new-jersey-tourism-research-and-information>

<http://www.visitpa.com/economic-impact-travel-report>

<http://corporate.visitorlando.com/research-and-statistics/orlando-visitor-statistics/visitor-forecast/>

<http://wttc.org/research/economic-impact-research/>

<http://visitmaryland.org/PressRoom/Pages/Tourismgeneratessubstantialreturnonstateinvestment2.aspx>

[http://www.nyc.gov/html/om/pdf/2012/nyc\\_economic\\_impact\\_charts\\_through\\_2015.pdf](http://www.nyc.gov/html/om/pdf/2012/nyc_economic_impact_charts_through_2015.pdf)

Scope: Economic Impact of Events

Clients: 150 CVBs across the US

The DMAI Event Impact Calculator is an online economic impact analysis tool designed by Tourism Economics for CVBs to calculate the economic value of trade shows, conferences, and other events on their destination. The platform is the established industry standard for economic impact analysis among CVBs.

Scope: Economic Impact of Business Travel

Client: U.S. Travel Association / World Travel & Tourism Council

Tourism Economics quantified the economic impact of business travel on overall corporate and national economic performance for the US and for each world region.

Scope: ROI of Brand USA marketing investments

Client: Brand USA

Description: Tourism Economics built a three-part model to estimate the returns on Brand USA's 2013/14 marketing expenditures. This included an analysis of US market share, a counterfactual regression model, and a model based on advertising effectiveness.

<http://www.thebrandusa.com/~media/Files/Key%20Dox/2014/ROI%20Results/Brand%20USA%20ROI%20FY2013%20Final.pdf>

Scope: Visitor Opportunity Market Assessment

Client: Visit Britain, Netherlands Tourism, NYC & Company, Visit Orlando

Description: A Market Analysis Platform (MAP) was developed for the client that ranked the relative strengths of weaknesses of a broad array of international markets. The MAP combined a wealth of economic forecasts and other relevant indicators for each market to determine a series of scores for each market according to factors such as market size, opportunity, alignment, risk and constraint. By combining the scores for each of these factors the relative attractiveness of each origin market can be determined to inform how a marketing budget can be allocated across the markets. This platform allows flexibility in which markets are analyzed and compared as well as in which factors are considered to be important in determining relative opportunity.

Scope: Impact of the Gulf Oil Spill / Economic impact of unused vacation time / Impact of Business Travel

Client: U.S. Travel Association

Description: Oxford Economics is a research partner of the U.S. Travel Association, providing policy analysis on a periodic basis. Relevant projects include the economic impact of business travel, the Gulf oil spill, funding of destination promotion, and an expanded visa waiver policy.

Scope: Overseas market strategy for United States

Client: Discover America Partnership

Description: Tourism Economics conducted analysis to identify key competitors for overseas visitors to the US. Our team then assessed potential market gains as a result of a proposed promotional campaign. The project also included a survey of US and international tourism offices to determine their budgets and strategies for destination marketing and promotion. The analysis formed the backbone of the policy recommendations within the Discover America Partnership Blueprint for Change.

Scope: Visa Waiver Program expansion analysis

Client: U.S. Travel Association

Description: Tourism Economics developed a model based on historical benefits of the Visa Waiver Program to evaluate the likely gains that would be realized through expanding the eligibility criteria to include 10 new countries.

Scope: Analysis of travel to America's cities

Client: Travel Business Roundtable and US Conference of Mayors

Description: Our team conducted a survey of CVBs and Mayors of the top 45 city destinations for overseas visitors to determine the perceived causes and effects of recent declines to the majority of cities. We supplemented this with our own data analysis and review of best practices among competing destinations.

Scope: The economic impact of visas impeding participation in US exhibitions

Client: The Center for Exhibition Industry Research

Description: Tourism Economics assessed the broad economic losses of non-participation in US-based exhibitions as a result of visitor visa issues. This analysis quantified two broad categories of US export losses from business-to-business (B2B) trade shows (exhibitions). 1) Foregone spending by would-be attendees—affecting international demand for hospitality services as well as a wide range of spending at the event itself. (These are measured as service exports in balance of trade measures). 2) Lost exports of US companies who are unable to meet with current or potential prospects.

Scope: Economic impact of tourism and the I Love New York campaign

Client: New York Association of Convention and Visitors Bureaus

Description: Tourism Economics developed a county-by-county tourism economic impact model to measure visitor spending, and related jobs, wages, and taxes. The model quantified tourism value added across each affected industry. We then quantified the impact of the I Love New York campaign across the same metrics using the output of a separate marketing conversion study.

Scope: US Domestic Tourism Forecasting

Client: US Travel Association

Description: US Travel has provided forecasts of domestic travel to the industry at large for over a decade. Tourism Economics was approached to construct a new model of US domestic tourism to generate these forecasts. This model separately tracks and forecasts travel flows according to market segment (business, leisure), mode of transportation and trip length (day, overnight). The model considers domestic travel relative to international travel and also considers substitution between these different types of domestic trips. Key

model drivers are forecasts taken from Oxford Economics' US macroeconomic model as well as the TIA travel price index.

Scope: Hotel market forecasts

Client: Smith Travel Research

Description: Tourism Economics is STR's forecast partner, developing market-level forecasts of hotel demand, supply, ADR, occupancy, and RevPAR for over 70 markets worldwide.

Scope: State of California Tourism Forecasting

Client: California Travel & Tourism Commission

Description: Tourism Economics conducts periodic forecasts of travel demand for the state of California. These forecasts and related analysis include domestic and international market detail.

Scope: New York City Tourism Forecasting

Client: NYC & Company

Description: Tourism Economics conducts periodic forecasts of travel demand for New York City. These forecasts and related analysis include domestic and international market detail.

Scope: Orlando Tourism Forecasting

Client: Visit Orlando

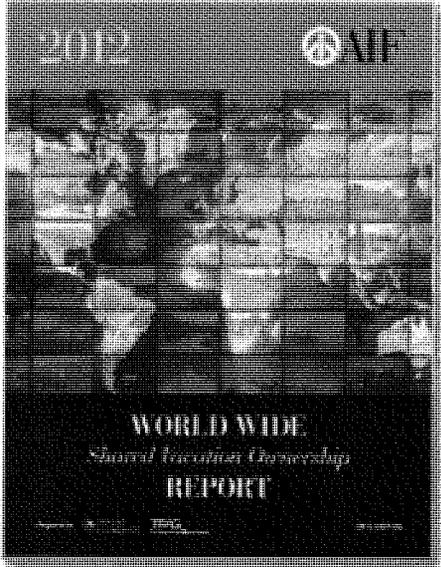
Description: Tourism Economics conducts periodic forecasts of travel demand for Orlando. These forecasts and related analysis include domestic and international market detail.

Scope: Lodging Demand and Performance Forecasts

Client: Intercontinental Hotels Group

Description: Tourism Economics developed a forecast model of hotel room demand, supply, occupancy, ADR and RevPAR for the US as a whole and for each of the 50 states, using data from Smith Travel Research. Hotel room demand was calculated relative to economic developments in key origin markets for each state. Supply forecasts were based upon Smith Travel room pipeline information, and occupancy was derived as the ratio of demand to supply. ADR was found to follow occupancy (and therefore the imbalance between supply and demand) closely, with a slight lag, as well as inflation in the wider economy.

Here are some recent examples of reports and communication platforms developed for our clients. (Ctrl+Click on image to view full report)



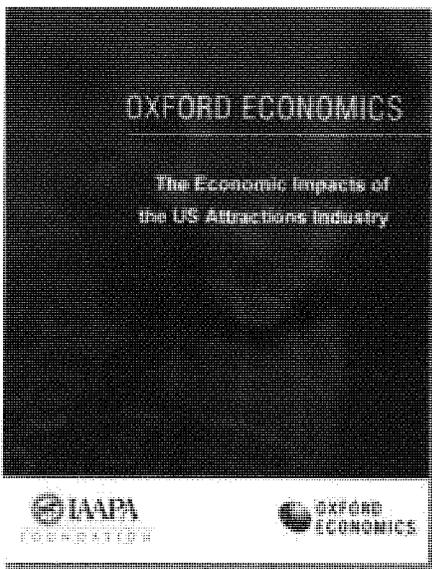
### ***Economic impact of the global timeshare industry***

To quantify the impacts of the worldwide vacation ownership industry for the ARDA International Foundation (AIF), Oxford Economics analysed industry information from a variety of sources and prepared a holistic, global view of industry significance.

As part of this analysis, Oxford Economics:

- worked with AIF, survey professionals, and representatives of the Global Alliance for Timeshare Excellence to design and implement a multi-lingual survey (25 languages) of 2,800 vacation developers/operators;
- analysed industry composition, operating performance, and outlook; and,
- calculated direct, indirect, and induced economic impacts for seven global regions.

The results show a sector with over 5,300 resorts that supports a worldwide economic impact of \$113.9 billion, with over 1.0 million jobs and \$13.4 million in taxes.



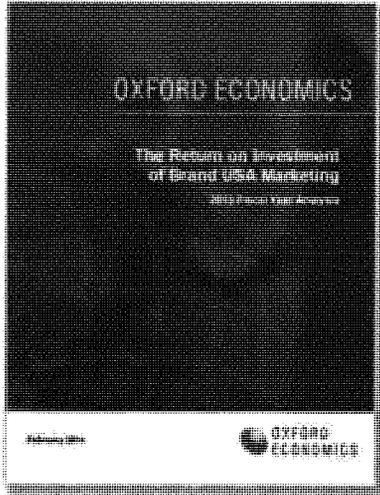
### ***The economic impact of amusement parks and attractions in the US***

To quantify the impacts of attractions with a wide set of characteristics (e.g. amusement and theme parks, historical sites, museums, and zoos) for the International Association of Amusement Parks and Attractions (IAAPA), Oxford Economics analysed a variety of data from sources including:

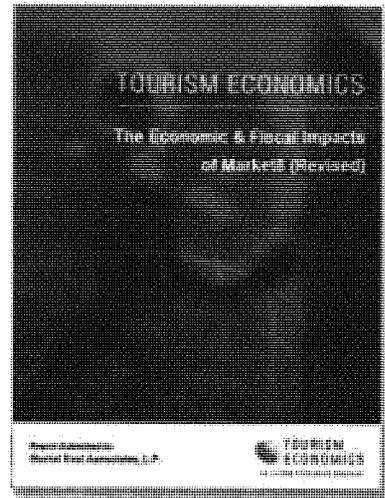
- U.S. Census Bureau,
- Bureau of Labor Statistics (BLS)
- Bureau of Economic Analysis (BEA)
- IAAPA Research Studies

The results show a sector with 30,000 attractions that supports a nationwide economic impact of nearly \$219 billion, with 2.3 million total jobs. Over the period from 2004 to 2011, the industry experienced an average annual growth rate of 6%, ahead of aggregate U.S. economic growth of 3.5%.

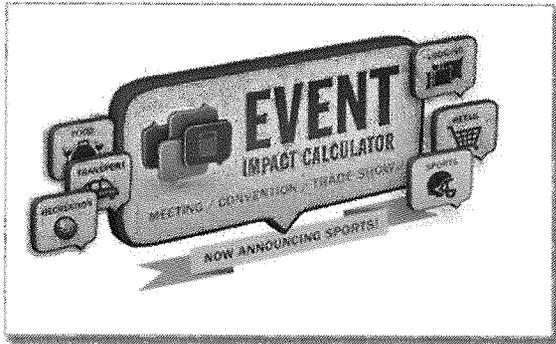
The economic impact of Brand USA marketing



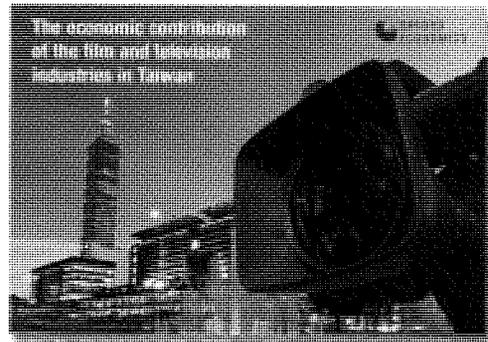
The Economic & Fiscal Impacts of Market8 Casino in Philadelphia, PA



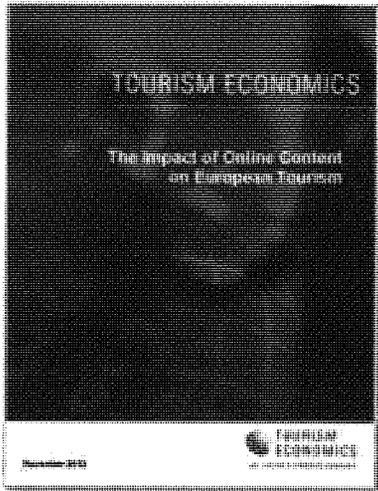
The economic impact of conventions and trade shows



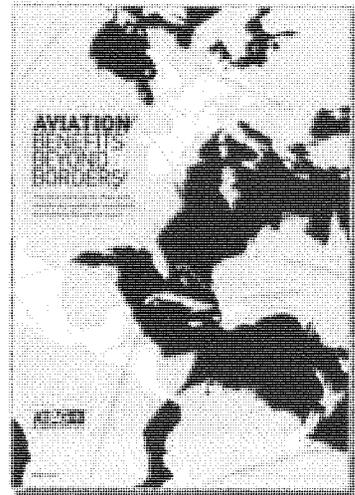
The economic contribution of the film and television industries in Taiwan



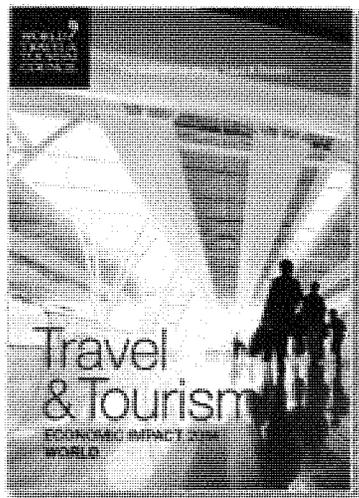
The economic impact of online content in Europe



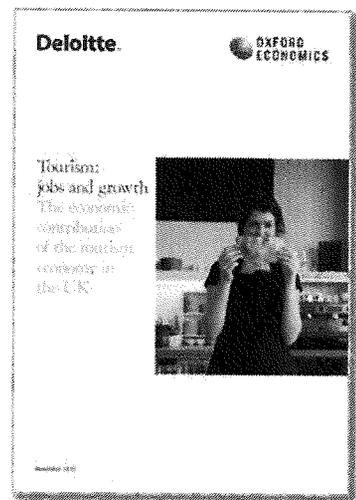
The economic and social benefits of air travel



Economic impact of travel and tourism in 190 countries



The economic contribution of tourism in the U.K.



## 7 References

We are pleased to provide the following references. We encourage you to contact these individuals with any questions you may have.

Client: Destination Marketing Association International  
Scope: Event Impact Analysis (100+ cities in the US)  
Christine "Shimo" Shimasaki, CDME, CMP  
858-935-9179 (San Diego)  
202-835-4094 (Washington DC)  
[shimo@destinationmarketing.org](mailto:shimo@destinationmarketing.org)

Client: NYC & Company  
Scope: Economic impact, tourism forecasting, and volume tracking  
Donna J. Keren, Ph.D., Senior Vice President, Research & Analysis  
+ 1 212 484 1221  
[dkeren@nycvisit.com](mailto:dkeren@nycvisit.com)

Client: Greater Philadelphia Tourism and Marketing Corporation  
Scope: Tourism economic impact and volume tracking  
Laura Canci  
215-599-2294  
[laura@gptmc.com](mailto:laura@gptmc.com)

Client: Ohio Tourism Division  
Scope: Tourism economic impact, state and counties  
Tamara K. Brown  
Public Relations Manager  
Tourism Ohio  
614.466.8591  
[Tamara.Brown@development.ohio.gov](mailto:Tamara.Brown@development.ohio.gov)

Client: Pennsylvania Tourism Office  
Scope: Tourism economic impact, state and counties  
Elizabeth Sechoka, Director Research & Statistics  
(717)720-1308  
[esechoka@STATE.PA.US](mailto:esechoka@STATE.PA.US)

## 8 Testimonials

"Tourism Economics' reputation for excellence is well-deserved. We are confident our forecast product will be an invaluable tool set for decision makers during this budgeting season and beyond."

**BRAD GARNER**  
Chief Operating Officer, STR

"As always, T.E. was a hit! They have a remarkable ability to make economic trends digestible, even to those who insist they don't understand economics."

**BERKELEY W. YOUNG**  
President, Young Strategies, Inc.

"Their reports are consistently informative, easy to interpret and apply, and defensible to various stakeholders. Their responsiveness to questions and professional demeanor ensure satisfaction among all our industry members."

**AMIR EYLON**  
Director, Ohio Tourism Division

"They are incredibly responsive to requests for support and have gone out of their way to help with last minute queries."

**PETER NASH**  
Head of Strategy Development & Insights, Tourism Ireland

"Our success in informing national travel policy has been linked to T.E. analysis."

**GEOFFREY FREEMAN**  
Executive Vice President, U.S. Travel Association

"Thank you for the excellent work you performed in terms of the degree of analysis, and especially the recommendations flowing from them. We went well beyond the initial agreed scope and your assessment was quite useful to us."

**DAVID JOHNSON**  
Director-General, Bahamas Ministry of Tourism

"The Tourism Economics team is a pleasure to work with on projects. They are always willing to talk through different approaches or perspectives to solving problems."

**CANDICE SNOOK**  
Manager, Performance Strategy & Planning, InterContinental Hotels Group

## 9 Project Team

Given the importance of this project—both to the client and to Tourism Economics—the project will be directed by Adam Sacks, President of Tourism Economics. Adam will be ultimately responsible for client satisfaction and will be the first point of contact with the client. His involvement will be integral at every stage of the project, from inception to final presentation to model support.

The project's day-to-day management will be handled by Christopher Pike, Director. Chris will be supported by Michael Mariano and Zachary Sears on data compilation and model development.

### **Adam Sacks – President, Tourism Economics**

Adam Sacks is the President of Tourism Economics; an Oxford Economics company dedicated to analytically-based consulting to the tourism sector. Over the past sixteen years, Adam has worked with hundreds of travel sector clients to address fundamental economic questions.

On the public sector side, Adam has worked with national, provincial/state and local tourism offices throughout the world. He is an authority on measuring the economic impact of tourism activity—both broadly and for specific initiatives and projects. He has advised destinations on tourism investment policy, the effects of proposed entry procedures, tourism taxation, and marketing strategies. He has provided numerous destinations with analysis on market positioning and emerging opportunities.

Adam has consulted with multi-national hotel chains, airlines, aircraft manufacturers, theme parks, resort developers, and retail operators to measure current and future market opportunities. He has presented to numerous corporate strategic planning teams on the threats and opportunities facing their businesses within the projected travel and economic climate.

He is an expert in developing custom systems for quantifying relevant tourism market segments and tracking the competitive landscape for clients. Adam has developed tourism forecasting models with unrivalled track records.

Adam has implemented the UN-sanctioned TSA methodology for measuring the economic impact of tourism for over a dozen countries and for seven states in the US.

Adam is a compelling and sought-after speaker on issues related to tourism market analysis, the economic impact of tourism and travel-demand forecasting. He also has presented tourism impact results to governments around the world. Adam will guide research methodology, review all work, and ensure client satisfaction.

### **Chris Pike – Director, Tourism Economics**

Christopher Pike is a senior economist within Oxford Economics' Tourism Economics division and is responsible for measuring the economic impact of tourism activity – both broadly and for specific initiatives and projects. With his expertise in economic impact analysis, Chris has worked with dozens of state and local tourism offices. Chris has also been managing a series of consultancy projects related to the tourist sector, including the impact of U.S. visa issues and a quarterly report on Asian Trends and Prospects. Mr. Pike has

presented at numerous client sites and at several association meeting along with being quoted in national and local press outlets. Chris received his Masters in International Trade and Public Economics from the University of Pennsylvania. He is an expert in tourism economic impact analysis with over two-dozen destinations analyzed. Chris will manage day-to-day project work and act as primary model developer.

#### **Zachary Sears – Senior Economist**

Zachary joined Tourism Economics and Oxford Economics from Moody's Analytics where he worked as a regional and industry analyst. At Moody's Analytics, Zachary performed regional analysis for U.S. state (including Rhode Island) and metropolitan areas and a broad range of industry analysis. His responsibilities included writing regular updates for subscription-based products, conducting econometric modeling, input-output impact modeling, report editing, and consulting services to public and private sector clients. Prior to his roles at Moody's Analytics, he worked as a Research Economist for a Vermont-based economics consulting firm, Economic & Policy Resources, Inc. At EPR he served as a consulting economist for the Governor's Administration and on numerous impact studies covering most industries of the economy. Zachary holds a BA in Justice from American University in Washington, DC, an MA in International Relations from Saint Mary's University in San Antonio, TX, and an MS in Community Development and Applied Economics from the University of Vermont.

Zachary will work on data compilation and provide modeling support.

#### **Michael Mariano – Senior Economist**

Michael Mariano is a Senior Economist with Tourism Economics and Oxford Economics. Michael has over 12 years of experience in economic and statistical consulting, and his research interests include economic and fiscal impact modeling, econometric forecasting, retail market studies, and GIS (Geographic Information Systems) modeling and geospatial analytics.

Mr. Mariano has consulted and provided expert testimony for various public, private, and non-profit clients and has managed projects examining public housing, economic development, tax policy, market analysis, and real estate impacts. He has worked on economic impact studies for hotels, casinos, and retail parks nationwide and has extensive experience providing job impact estimates for project funding through the U.S. government's EB-5 immigrant investor program.

Prior to joining Tourism Economics, Michael was Managing Director of Geospatial Analytics and GIS Solutions at Econsult Corporation, an economic consulting firm based in Philadelphia. Michael received a Bachelor of Science in economics and marketing from the Wharton School and a Master of Science in Urban Spatial Analytics from The University of Pennsylvania.

Michael will work on data compilation and provide modeling support.

## 10 Agreement

### 1. Deliverables

Analysis of the economic impact of tourism to Grapevine including the following:

- Comprehensive report of findings
- Five years of comparable data
- A description of data inputs and methodology
- Raw data files in MS Excel
- A presentation to stakeholders (WebEx)
- Assistance with the development of press releases

### 2. Project schedule

2.1 The reports will be delivered within 6 weeks of receiving visitor survey data inputs

### 3. Pricing and payment schedule

3.1 The project will be delivered at a fixed-fee of \$35,000

3.2 Required data inputs will be invoiced at cost

3.3 Invoicing will cover 50% upon contracting and 50% upon satisfactory completion of the project

### 4. Ownership and distribution rights

4.1 The client has full rights to use and distribute the deliverables.

### 5 Liabilities

5.1 Because of the uncertainty of future events and circumstances and because the contents are based on data and information provided by third parties upon which Tourism Economics has relied in good faith in producing the Deliverables, Tourism Economics does not warrant the accuracy of its measurements and forecasts and will not be liable for the contents of any of the foregoing or for the reliance by the Customer on any of the foregoing.

5.2 Liability is, in any case, limited to the current annual value of this contract.

Approved

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Authorized Signature for Client

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Printed Name and Title

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Date



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Authorized Signature for TE

Adam Sacks, President, Tourism Economics

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Printed Name and Title

August 18, 2015

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Date

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Wayne PA 19087, USA  
Tel: +1 610 995 9600

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Oxford, OX1 1HE, UK  
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London, SE1 9PL, UK  
Tel: +44 207 803 1400

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Lisburn, BT27 4AB, UK  
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New York, NY 10003, USA  
Tel: +1 646 786 1863

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Tel: +65 6338 1235

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75006 Paris, France  
Tel: + 33 6 79 900 846

email: [info@tourismeconomics.com](mailto:info@tourismeconomics.com)

[www.tourismeconomics.com](http://www.tourismeconomics.com)



MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
MEETING DATE: SEPTEMBER 15, 2015  
SUBJECT: APPROVAL FOR CONTRACT RENEWAL FOR MEDICAL AND  
PRESCRIPTION PLAN STOP LOSS INSURANCE

RECOMMENDATION:

City Council to consider award of an annual contract with Munich Re for Medical and Rx Stop Loss Insurance.

FUNDING SOURCE:

Funds are available in account 100-45674-109-1 (Health Insurance Premium) in the estimated annual amount of \$345,000.

BACKGROUND:

The City of Grapevine is self-funded for employee medical and prescription insurance. Therefore, the City assumes all or a portion of the risk for medical and prescription drug claims for all covered members on its health plan.

Stop Loss Insurance is designed to offer effective protection against excessive claims by limiting the amount of risk on any one individual insured. The City's consultants McGriff, Seibels, and Williams secured seven proposals for the renewal of this policy. City staff reviewed the proposals and determined that Munich Re would provide the best service and pricing for meeting the needs of the City.

The annual premium for FY 2015 stop loss insurance is \$310,991. The medical and prescription insurance plan have exceeded the stop loss limits therefore Munich Re has reimbursed the City \$130,938 as of September 4, 2015.

This contract is for one year and may be renewed for up to three successive, one-year terms.

Staff recommends approval.

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER BR  
MEETING DATE: SEPTEMBER 15, 2015  
SUBJECT: RENEW ANNUAL CONTRACT FOR APPLICATION SOFTWARE LICENSING AND EXTENDED SUPPORT SERVICES FOR THE FINANCIAL APPLICATION SOFTWARE SYSTEM

RECOMMENDATION:

City Council to consider approval for the renewal of an annual contract with STW, Inc. for extended support services, licensing fees, integration projects and training for the City's financial application software system.

FUNDING SOURCE:

Funding for this service is budgeted in account 100-44535-105-2 IT Software License and Maintenance Fees in an annual estimated amount of \$78,000.

BACKGROUND:

The initial contract with STW, Inc. was initiated in 1995 and has been renewed every year since. If approved, this will be for the 2015-2016 fiscal year annual renewal period.

The purpose of the licensing agreement and the extended support services contract is to provide on-going services for the finance system in addition to the standard "telephone support" and special projects provided with the annual STW application software lease and software products distributed by STW, Inc. The contract provides basic support services for issues related to the operation of the STW application software on local personal computers, related printing issues, application security, license fees and other special projects that will be billed at the agreed hourly rate. This contract provides periodic database tuning, analyzes server performance issues and security as it relates to the STW application software.

Staff recommends approval.

KW/DR

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: BRUNO RUMBELOW, CITY MANAGER BR

MEETING DATE: SEPTEMBER 15, 2015

SUBJECT: APPROVAL OF A RESOLUTION FOR AN ANNUAL SOLE SOURCE CONTRACT WITH RENEWALS FOR DEFIBRILLATOR TECHNICAL SUPPORT SERVICES

RECOMMENDATION:

City Council to consider approval of a resolution for an annual sole source contract with renewals for defibrillator technical support services from Physio-Control, Inc.

FUNDING SOURCE:

Funding for this purchase is currently available in account 100-43465-210-1 (Misc. Equipment Maint.) for an annual estimated budgeted amount of \$19,431.00.

BACKGROUND:

This procurement will be made as a sole source in accordance with Local Government Code Chapter 252, Subchapter B, Section 252.022(A)(7)(A). Physio-Control, Inc., is the sole source provider for LifePak devices, emergency response services and training. The contract is for an initial one-year period with two, one-year renewal options.

Physio-Control, Inc. is the sole source support services provider for the Fire Department's LifePak 15 Cardiac Monitor/Difibrillators and the Automatic External Difibrillators (AED) that are kept in City buildings. The maintenance agreement allows for on-site visual/physical technician inspection and covers any needed repairs throughout the year. It will also cover batteries and discounts on parts and accessories.

Staff recommends approval.

JS/LW

RESOLUTION NO. \_\_\_\_\_

DE FIBRILLATOR  
TECHNICAL  
SUPPORT SERVICES

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO CONTRACT FOR DEFIBRILLATOR TECHNICAL SUPPORT SERVICES FROM A SOLE SOURCE VENDOR, PHYSIO-CONTROL INC., AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code Chapter 252, Subchapter B, Section 252.022 (A) (7) (A) to consider items available from only one source as an exception to the bidding requirements of the State of Texas; and

WHEREAS, Physio-Control Inc. is the sole source provider in our marketplace for LifePak defibrillator devices, emergency response services and training; and

WHEREAS, the City of Grapevine Fire Department has the need to add technical support services for the current inventory of cardiac monitors/defibrillators of the same brand; and

WHEREAS, all legal prerequisites for the adoption of this resolution have been met, including but not limited to the Local Government Code and the Open Meetings Act; and

WHEREAS, the City Council hereby declares that the approval of this resolution is in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated in the above preamble are true and correct and are incorporated herein as if copied in their entirety.

Section 2. That the City Manager or his designee is authorized to take all steps necessary to contract for technical support services for LifePak monitor/defibrillators and maintenance from Physio-Control Inc. for an annual budgeted amount of \$19,431.00.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of said technical support services.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF  
GRAPEVINE, TEXAS on this the 15th day of September, 2015

APPROVED:

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ATTEST:

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APPROVED AS TO FORM:

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MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
MEETING DATE: SEPTEMBER 15, 2015  
SUBJECT: APPROVAL TO RENEW AN ANNUAL CONTRACT FOR  
TEMPORARY EMPLOYMENT SERVICES

RECOMMENDATION:

City Council to consider approval to renew an annual contract with Temporaries of Texas, Inc. for temporary employment services.

FUNDING SOURCE:

Funding for this purchase is budgeted by each user department for an annual estimated amount of \$200,000.00.

BACKGROUND:

Bids were taken in accordance with Local Government Code Chapter 252, Subchapter B, Section 252.021 (a) and Section 252.041 (a). The bid advertisement was posted in the Fort Worth Star Telegram on July 28 and August 4, 2011. The contract was for an initial one-year period with four, one-year renewal options. If approved, this will be for the fourth and final renewal option.

The purpose of this bid is to establish fixed annual pricing for temporary employment services to be used by various departments on an as-needed basis. Of the three bids received, only Temporaries of Texas, Inc. submitted pricing for all positions and was the lowest overall bid for the combined positions. Temporaries of Texas, Inc. has agreed to renew with no increase in pricing.

Staff recommends approval.

CVD/LW

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>  
MEETING DATE: SEPTEMBER 15, 2015  
SUBJECT: APPROVAL OF A RESOLUTION FOR THE PURCHASE OF  
SPORTS FIELD LIGHTING REPAIR SERVICES

RECOMMENDATION:

City Council to consider approval of a resolution for the purchase of sports field lighting repair services from Musco Sports Lighting, LLC through an Interlocal Participation Agreement with The Local Government Purchasing Cooperative (Buyboard).

FUNDING SOURCE:

Funding for this purchase is currently available in account 100-48860-120-9 (Machinery and Equipment) in the amount not to exceed \$67,990.00.

BACKGROUND:

This purchase will be made in accordance with an existing Interlocal Participation Agreement with The Local Government Purchasing Cooperative (Buyboard) as allowed by Texas Local Government Code, Section 271.102, Cooperative Purchasing Program.

Bids were taken by the Cooperative and a contract was awarded to Musco Sports Lighting, LLC. The Parks & Recreation Department staff and Purchasing reviewed the contract for specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

This purchase is to replace parts for the sports field lighting at Oak Grove soccer and Oak Grove softball fields due to flood damage. The lights were under warranty at the time of the flood; however, damage caused by "acts of God" is excluded from warranty coverage. This purchase is to ensure that the remainder of the City's 25 year warranty stays intact.

Staff recommends approval

TS/BS

ITEM #22  
SPORTS FIELD  
LIGHTING REPAIRS

RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE SPORTS FIELD LIGHTING REPAIR SERVICES THROUGH AN ESTABLISHED INTERLOCAL PARTICIPATION AGREEMENT AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Section 271.102 to enter into a cooperative purchasing program agreement with other qualified entities in the State of Texas; and

WHEREAS, The Local Government Purchasing Cooperative (Buyboard) is a qualified purchasing cooperative program as authorized by Section 271.102 of the Texas Local Government Code; and

WHEREAS, the City of Grapevine, Texas, has established an Interlocal Participation Agreement with The Local Government Purchasing Cooperative (Buyboard) and wishes to utilize established contracts meeting all State of Texas bidding requirements; and

WHEREAS, The Local Government Purchasing Cooperative (Buyboard) has an established contract #423-13, Parks and Recreation Equipment and Field Lighting Products and Installation with Musco Sports Lighting, LLC; and

WHEREAS, the City of Grapevine, Texas has a need to repair lighting at Oak Grove soccer and softball fields due to flood damage; and

WHEREAS, all legal prerequisites for the adoption of this resolution have been met, including but not limited to the Local Government Code and the Open Meetings Act; and

WHEREAS, the City Council hereby declares that the approval of this resolution is in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated in the above preamble are true and correct and are incorporated herein as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase of sports field lighting repair services from Musco Sports Lighting, LLC through an Interlocal Participation Agreement with The Local Government Purchasing Cooperative (Buyboard) for an amount not to exceed \$67,990.00.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of said sports field lighting repair services.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of September, 2015.

APPROVED:

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ATTEST:

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APPROVED AS TO FORM:

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MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
 FROM: BRUNO RUMBELOW, CITY MANAGER *BR*  
 MEETING DATE: SEPTEMBER 15, 2015  
 SUBJECT: SOLID WASTE DISPOSAL ORDINANCE AMENDMENT

RECOMMENDATION:

City Council consider adopting an ordinance amending Chapter 25, Utilities and Services, Article III, Solid Waste Disposal, Section 25-97, Service Rates – Schedules to reflect adjustments to the commercial and residential solid waste and recycling collection rates, and take any necessary action.

BACKGROUND:

City Council granted Republic Services (dba Allied Waste Services of Fort Worth, LLC.) and its predecessor companies a franchise agreement (Ordinance No. 95-35) to provide solid waste and recycling services for both residential and commercial customers in Grapevine on May 2, 1995.

Section 12 - Item 1 of the Franchise Agreement provides for the establishment of residential and commercial rates on an annual basis prior to October 1. Republic has requested a rate adjustment effective October 1, 2015.

The rate adjustment calculation is a fixed component of the agreement for both commercial and residential collection. The base rate is divided into operational and disposal components. The operational component represents 70%, and the disposal component represents 30% of the base rate. The operational component is adjusted based on the Consumer Price Index (CPI-U) for the most recent 12 month period (March 2014 – March 2015). The disposal component is adjusted by the average increase in disposal cost of five local landfill facilities.

The residential rate adjustment calculation is as follows:

CPI-U:	70% x (0.56)% =	(0.39)% increase
Disposal Average:	30% x 14.38% =	<u>4.31%</u> increase
Total Rate Increase		<u>3.92%</u> increase

The total rate increase request is 3.92% for the residential and commercial solid waste and recycling collection. The percentage increase represents a \$0.50 monthly increase for residential service from \$12.76 to \$13.26.

Staff recommends approval of the 3.92% rate increase.

JSL/ds

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS AMENDING THE GRAPEVINE CODE OF ORDINANCES, CHAPTER 25 UTILITIES AND SERVICES, ARTICLE III SOLID WASTE DISPOSAL, SECTION 25-97 SERVICE RATES--SCHEDULES; PROVIDING A SEVERABILITY CLAUSE; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

WHEREAS, on June 1, 1995, by passage of Ordinance No. 95-35 the City of Grapevine, Texas granted Laidlaw Waste Systems, Inc. a franchise agreement to provide for solid waste services for both residential and commercial customers for a ten (10) year period; and

WHEREAS, Laidlaw Waste Systems, Inc. was renamed Trinity Waste Services, Inc.; and

WHEREAS, Trinity Waste Services, Inc. was renamed, Allied Waste Services Inc.; and

WHEREAS, Allied Waste Services Inc. was renamed, Allied Waste Services of Fort Worth, LLC.; and

WHEREAS, Allied Waste Services of Fort Worth, LLC. is a subsidiary of Republic Services; and

WHEREAS, on September 18, 2001, by passage of Ordinance No. 2001-67 the City of Grapevine, Texas granted Laidlaw Waste Systems, Inc. an extension of the franchise agreement to provide for solid waste services for both residential and commercial customers for one (1) additional five (5) year period, commencing on June 1, 2005; and

WHEREAS, on July 20, 2010, by passage of Ordinance No. 2010-30 the City of Grapevine, Texas granted Republic Services an extension of the franchise agreement to provide for solid waste services for both residential and commercial customers for one (1) additional five (5) year period, commencing on August 1, 2010; and

WHEREAS, on September 18, 2012, by passage of Ordinance No. 2012-44 the City of Grapevine, Texas extended the term of the franchise five (5) years commencing on November 1, 2012; and granted Republic Services an automatic renewal of the franchise agreement for one (1) additional five (5) year period, commencing on November 1, 2017; and

WHEREAS, Section 12, Item 1 of the franchise agreement provides for the establishment of residential and commercial rates on an annual basis prior to October 1 of each year; and

WHEREAS, Republic Services has requested a rate adjustment to be effective on October 1, 2015; and

WHEREAS, the City Council desires to increase the rates for collecting and removing garbage, recycling, refuse and trash and other solid waste by amending Chapter 25 Utilities and Services, Article III, Solid Waste Disposal, Section 25-97 of the Code of Ordinances of the City of Grapevine, Texas.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That the above premises are found to be true and correct and are incorporated into the body of this ordinance as if copied in their entirety.

Section 2. That Chapter 25 Utilities and Services, Article III, Solid Waste Disposal, is hereby amended by amending Section 25-97 in its entirety to read as follows:

“Sec. 25-97. Service rates--Schedules.

- (a) Any houses, buildings or premises used for residential purposes, shall have their garbage and trash removed at a monthly charge where such collection and removal is not required in excess of twice each week, have their recyclable materials removed once per week, have their brush and yard waste removed once per week, and have their bulky wastes removed once every other week with such rates established annually by ordinance.

	<i>Monthly Charge</i>
Single-family residential .....	\$13.26
Single-family residence without city water service .....	13.26
Duplex .....	26.52
Multifamily, per unit (without dumpster) .....	13.26

- (b) Collecting and removing of garbage, refuse and trash from houses, buildings and premises used for commercial and business purposes (apartment complexes with three or more units and mobile home parks are defined as commercial units) shall be determined by the number of times each week that collection and removal of garbage, refuse and trash is required, plus the amount of garbage, refuse and trash collected and removed. The rates are established annually by ordinance.

(1) Container rates:

a. Two-yard containers:

1 Dump per week.....	\$ 67.14
2 Dumps per week.....	113.16
3 Dumps per week.....	151.56
4 Dumps per week.....	213.11
5 Dumps per week.....	276.69
6 Dumps per week.....	320.04
Extra pickup.....	22.95

b. Three-yard containers:

1 Dump per week.....	\$ 76.33
2 Dumps per week.....	126.01
3 Dumps per week.....	180.80
4 Dumps per week.....	240.51
5 Dumps per week.....	301.99
6 Dumps per week.....	342.66
Extra pickup.....	26.24

c. Four-yard containers:

1 Dump per week.....	\$ 96.86
2 Dumps per week.....	155.66
3 Dumps per week.....	217.97
4 Dumps per week.....	277.53
5 Dumps per week.....	338.69
6 Dumps per week.....	370.59
Extra pickup.....	29.53

d. Six-yard containers:

1 Dump per week.....	\$ 115.24
2 Dumps per week.....	194.35
3 Dumps per week.....	273.00
4 Dumps per week.....	351.07
5 Dumps per week.....	440.23
6 Dumps per week.....	509.70
7 Dumps per week.....	594.64
Extra pickup.....	32.80

e. Eight-yard containers:

1 Dump per week.....	\$ 143.60
2 Dumps per week.....	242.52

ITEM #23

3 Dumps per week.....	347.08
4 Dumps per week.....	443.68
5 Dumps per week.....	541.68
6 Dumps per week.....	617.25
7 Dumps per week.....	720.13
Extra pickup.....	36.07

f. Roll-Cart Containers (Main Street):

2 Dumps per week .....	\$ 26.98
Extra Roll-Carts .....	5.67

(2) Recycling Containers:

a. Cardboard only containers:

1 Dump per week (not to exceed).....	\$ 38.85
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b. Roll-Cart Recycle containers:

1 Dump per week (not to exceed).....	\$ 16.48
Extra Roll-Carts .....	\$ 5.51

c. Six-yard recycle containers:

1 Dump per week .....	\$ 70.55
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d. Eight-yard recycle containers:

1 Dump per week .....	\$ 81.41
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(3) Casters:

per month .....	\$ 7.10
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(4) Locks:

per lift .....	\$ 1.25
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Gates:

per lift .....	\$ 1.25
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(5) *Commercial hand-load, two (2) dumps per week: Twenty-eight dollars and twelve cents (\$28.12) per month for a maximum for four (4) thirty-gallon containers. If more than four (4) thirty-gallon containers are necessary for service, then customer will use commercial garbage container(s).*

(6) Open top construction and demolition containers:

- a. Delivery fee .....\$ 106.27
- b. Daily rental fee .....\$ 4.51
- c. Haul.....\$ 192.76
- d. Disposal:
  - Loose ..... \$ 6.39/cubic yard
  - Compacted ..... \$ 9.00/cubic yard
- e. Deposit.....\$ 310.26
- f. Billing for open-top construction containers will be performed by the contractor. The City will establish such rates annually by ordinance.

(c) Collecting and removing of recyclables from multifamily (apartment) complexes will be performed [by] contractor at least once each week. Every apartment complex will be assessed a per unit monthly fee with such rates established annually by ordinance.

Monthly apartment recycling fee .....\$1.03

(d) Rates for any service required other than the above described services will be determined by the City.

(e) The minimum service to be rendered shall be once each week. Should any place of business not be specifically designated by name, such error or omission will not relieve the owner, occupant, tenant or lessee of the binding effect of this article, but the same charge shall be made as that entered against a business of a like or similar nature.

(f) Mobile home parks may request curbside service for each individual housing unit for the collection of garbage, trash, yard waste and recyclables only. Such garbage, trash, yard waste and recyclables must be generated by tenant. The fee for such service will be the normal residential rate established annually by ordinance per the number of units in the park. The mobile home park must maintain commercial service for its office, management and other operations and for the collection of all brush and bulky waste as further defined by Article III, section 25-90, Grapevine Code of Ordinances.”

Section 5. If any section, article, paragraph, sentence, clause, phrase or word in this ordinance, or application thereto any person or circumstances is held invalid or unconstitutional by a Court of competent jurisdiction, such holding shall not affect the validity of the remaining portions of the ordinance; and the City Council hereby declares

it would have passed such remaining portions of the ordinance despite such invalidity, which remaining portions shall remain in full force and effect.

Section 6. The fact that the present ordinances and regulations of the City of Grapevine, Texas are inadequate to properly safeguard the health, safety, morals, peace and general welfare of the inhabitants of the City of Grapevine, Texas, creates an emergency for the immediate preservation of the public business, property, health, safety and general welfare of the public which requires that this ordinance shall become effective from and after the date of its passage, and it is accordingly so ordained.

Section 7. That the effective date of this rate adjustment will be October 1, 2015.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of September, 2015.

APPROVED:

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ATTEST:

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APPROVED AS TO FORM:

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MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER   
MEETING DATE: SEPTEMBER 15, 2015  
SUBJECT: APPROVAL OF A RESOLUTION FOR THE PURCHASE OF  
WATER PLANT FILTER VALVE ACTUATORS

RECOMMENDATION:

City Council to consider approval of a resolution for the purchase of water plant filter valve actuators from REXA, Inc. a sole source vendor.

FUNDING SOURCE:

Funding for this purchase is currently available in account 200-43360-534-0 (Water PCMF) for a total amount not to exceed \$69,979.00.

BACKGROUND:

This sole source purchase will be made in accordance with Local Government Code Chapter 252, Subchapter B, Section 252.022(a)(7)(A) per the specifications written by the Public Works Department.

To meet TCEQ Turbidity and Disinfection Regulations, we need effluent valves with a very high degree of modulation accuracy. These valves, with very small adjustment capabilities, allow us to adjust the effluent flow through the valves in very small increments. These small incremental adjustments allow us to adjust the flows without the filter media disturbance from higher rates of flow which leads to high turbidity readings, effectively violating TCEQ's potable water rules.

Staff recommends approval.

JD/BS

RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE WATER PLANT FILTER VALVE ACTUATORS FROM A SOLE SOURCE VENDOR, REXA INC., AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code Chapter 252, Subchapter B, Section 252.022 (a) (7) (A) to consider items available from only one source as an exception to the bidding requirements of the State of Texas; and

WHEREAS, REXA Inc. is the sole source vendor for this departmental specified water plant filter valve actuators; and

WHEREAS, the City of Grapevine Public Works Department has the need for water plant filter valve actuators; and

WHEREAS, all legal prerequisites for the adoption of this resolution have been met, including but not limited to the Local Government Code and the Open Meetings Act; and

WHEREAS, the City Council hereby declares that the approval of this resolution is in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated in the above preamble are true and correct and are incorporated herein as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase of water plant filter valve actuators from REXA Inc. for the total amount of \$69,979.00.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of said actuators.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of September, 2015.

APPROVED:

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ATTEST:

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APPROVED AS TO FORM:

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MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER   
MEETING DATE: SEPTEMBER 15, 2015  
SUBJECT: APPROVAL OF A RESOLUTION FOR THE EMERGENCY RENTAL OF WATER FILLED TRAFFIC BARRIERS

RECOMMENDATION:

City Council consider adopting a resolution authorizing and ratifying the emergency rental of water filled traffic barriers for Public Works that was made from Buyers Barricades.

FUNDING SOURCE:

Funding for this rental is currently available in account 100-44573-120-9 (Leases & Rentals) in the amount of \$24,299.00.

BACKGROUND:

Water filled barriers were placed on the segment of Fairway Drive crossing the dam spillway as soon as the Corps would allow us to open the spillway for vehicular traffic. These barriers were installed as an interim measure to open the roadway to traffic. These barriers were in use for 2 months before we were allowed to re-install the guardrail across the spillway. The cost of the barricades for the second month resulted in the total cost exceeding the Staff authorization limit of \$15,000.

An emergency purchase order was issued to Buyers Barricades for the water filled traffic barriers on July 22, 2015 for \$13,313.67 and revised on August 28, 2015 to \$24,299.00.

Staff recommends approval.

KH/BS

RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO RATIFY AND APPROVE THE EMERGENCY RENTAL OF WATER FILLED TRAFFIC BARRIERS THAT WAS MADE ON JULY 22, 2015 AND AUGUST 28, 2015 AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Section 252.022 (a) (1) to preserve property; and

WHEREAS, the emergency rental of water filled traffic barriers was needed for flood control as soon as possible; and

WHEREAS, all legal prerequisites for the adoption of this resolution have been met, including but not limited to the Local Government Code and the Open Meetings Act; and

WHEREAS, the City Council hereby declares that the approval of this resolution is in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated in the above preamble are true and correct and are incorporated herein as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine ratifies and authorizes the emergency rental of water filled traffic barriers from Buyers Barricades on July 22, 2015 and August 28, 2015 in the amount of \$24,299.00.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to ratify and consummate the emergency rental of said traffic barriers.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of September, 2015.

APPROVED:

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ATTEST:

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APPROVED AS TO FORM:

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MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER   
MEETING DATE: SEPTEMBER 15, 2015  
SUBJECT: APPROVAL OF A RESOLUTION FOR THE PURCHASE OF A POLICE TAHOE

RECOMMENDATION:

City Council to consider approval of a resolution for the purchase of a police Tahoe through an Interlocal Agreement for Cooperative Purchasing with the Houston-Galveston Area Council (H-GAC).

FUNDING SOURCE:

Funding for this purchase is currently available in 100-48910-109-1 (Motor Vehicles) for an amount not to exceed \$37,455.00.

BACKGROUND:

This purchase will be made in accordance with an existing Interlocal Agreement for Cooperative Purchasing with the Houston-Galveston Area Council (H-GAC) as allowed by Texas Local Government Code, Section 271.102, Cooperative Purchasing Program.

Bids were taken by the Cooperative and a contract was awarded to Caldwell Country Chevrolet. The Fleet Services, Police and Purchasing staff reviewed the contract for departmental specification compliance and pricing and determined that the contract would provide the best product and pricing for meeting the needs of the City.

This purchase is for one 2016 Chevrolet Police Pursuit Tahoe that is replacing unit 96113 that was totaled in an accident.

Staff recommends approval.

PH/BS

RESOLUTION NO. \_\_\_\_\_

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE A POLICE TAHOE THROUGH AN ESTABLISHED INTERLOCAL AGREEMENT FOR COOPERATIVE PURCHASING AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas is a local government in the State of Texas and as such is empowered by the Texas Local Government Code, Section 271.102 to enter into a cooperative purchasing program agreement with other qualified entities in the State of Texas; and

WHEREAS, the Houston-Galveston Area Council (H-GAC), a regional planning commission, is a qualified purchasing cooperative program as authorized by Section 271.102 of the Texas Local Government Code; and

WHEREAS, the City of Grapevine, Texas has established an Interlocal Agreement for Cooperative Purchasing with H-GAC and wishes to utilize established contracts meeting all State of Texas bidding requirements; and

WHEREAS, H-GAC has established a contract with Caldwell Country Chevrolet under contract number VE11-13, Current Model Cars and Light Trucks; and

WHEREAS, the City of Grapevine, Texas has a need to purchase a replacement 2016 police Tahoe; and

WHEREAS, all legal prerequisites for the adoption of this resolution have been met, including but not limited to the Local Government Code and the Open Meetings Act; and

WHEREAS, the City Council hereby declares that the approval of this resolution is in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated in the above preamble are true and correct and are incorporated herein as if copied in their entirety.

Section 2. That the City Council of the City of Grapevine authorizes the purchase of a 2016 police Tahoe from Caldwell Country Chevrolet through an Interlocal Agreement for Cooperative Purchasing with H-GAC for an amount not to exceed \$37,455.00.

Section 3. That the City Manager or his designee is authorized to take all steps necessary to consummate the purchase of said vehicle.

Section 4. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15<sup>th</sup> day of September, 2015.

APPROVED:

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ATTEST:

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APPROVED AS TO FORM:

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MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER BR  
MEETING DATE: SEPTEMBER 15, 2015  
SUBJECT: APPROVAL TO RENEW ANNUAL CONTRACTS FOR THE  
PURCHASE OF AGGREGATE MATERIALS

RECOMMENDATION:

City Council to consider approval to renew annual contracts for aggregate materials with Big Sandy Sand Company, DFW Materials, Hanson Aggregates LLC, Lowery Sand & Gravel Company, Inc., Texas Sports Sands, Inc. formerly Neese Materials, Inc. and Martin Marietta Materials.

FUNDING SOURCE:

Funding for this purchase is budgeted by each user department for an annual estimated amount of \$300,000.00.

BACKGROUND:

Bids were taken in accordance with Local Government Code Chapter 252, Subchapter B, Section 252.021 (a) and Section 252.041 (a). The bid was advertised in the Fort Worth Star Telegram on July 19 and 26, 2012. The contract was for an initial one-year period with four, one-year renewal options. If approved, this will be the third renewal available.

The purpose of this bid is to establish fixed annual pricing for aggregate materials used primarily by the Public Works Department, Parks and Recreation Department, Grapevine Golf Course and other various departments on an as-needed basis. Purchasing and the Public Works Department awarded products based on the lowest responsible and responsive bids submitted.

Big Sandy Sand Company, DFW Materials, Hanson Aggregates LLC, Lowery Sand & Gravel Company, Inc., Texas Sports Sands, Inc. and Martin Marietta Materials have agreed to renew the products they were awarded. Hanson Aggregates LLC will not renew 6" to 8" rock. The department is agreeable with these products not being renewed.

Staff recommends approval.

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER BR  
MEETING DATE: SEPTEMBER 15, 2015  
SUBJECT: APPROVAL FOR THE AWARD OF AN INFORMAL REQUEST  
FOR QUOTE FOR STREET SIGN MOUNTING ARMS

RECOMMENDATION:

City Council to consider approval for the award of an informal request for quote for backlit street name sign mounting arms for the Public Works Department from Structural & Steel Products, Inc.

FUNDING SOURCE:

Funding for this purchase is currently available in account 121-48860-415-15-0040 (Backlit Street Name Signs) in the amount not to exceed \$24,393.75.

BACKGROUND:

Informal quotes were taken in accordance with City Purchasing Policy. Formal bids and advertisements are not required for purchases under \$50,000. Three vendors submitted quotations as noted below. Structural & Steel Products, Inc. submitted the lowest responsive and responsible quote.

Structural & Steel Products, Inc.	\$24,393.75
Pelco	\$24,570.00
Union Metal	\$39,585.00

These are the mounting arms for Phase II of the backlit street name signs along Northwest Highway that extend out to Grapevine Mills Mall.

Staff recommends approval.

FB/BS

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER *BR*  
MEETING DATE: SEPTEMBER 15, 2015  
SUBJECT: COUNCIL MEETING TIME CHANGE

RECOMMENDATION:

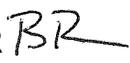
City Council to consider changing the time of the October 6, 2015 City Council meeting to 5:30 pm.

BACKGROUND INFORMATION:

Due to National Night Out being on October 6, it is recommended that the City Council change the time of their first meeting in October to 5:30 pm. This would allow time to conduct the brief City Council meeting and for Council to attend neighborhood National Night Out functions.

The City Council's second meeting of the month will be held at its regularly scheduled time of 7:30 pm on October 20.

TAB

MEMO TO: HONORABLE MAYOR AND MEMBERS OF THE CITY COUNCIL  
FROM: BRUNO RUMBELOW, CITY MANAGER   
MEETING DATE: SEPTEMBER 15, 2015  
SUBJECT: GRAPEVINE 185 CONCEPT MASTER PLAN AND DESIGN STANDARDS

RECOMMENDATION:

City Council to consider approval of a concept master plan and design standards for the 185 acres of City property. The document was initially prepared by Good, Fulton & Farrell Architects and reviewed with Council.

BACKGROUND:

The purpose of this document is to provide direction and guidance regarding the City of Grapevine's interest in promoting a high quality multi-use development, enhancing quality of life values, protecting and improving investments, and encouraging economic opportunities. It is intended to promote an integrated, coordinated, high quality approach to site access, building placement and massing, materials, architectural theming, signage, pedestrian amenities and more.

These guidelines indicate some of the possible ways in which certain portions of this development may be designed. Other design solutions may be more appropriate, depending on the individual circumstances for each design submission. The final design solution for all submissions will be subject to review by the City of Grapevine.

In case of conflict between this document and City regulations, the more restrictive requirement governs. Where questions of interpretation arise or in instances where a particular subject is not addressed by these standards and guidelines, the policies and regulations of the City of Grapevine shall apply. In particular, the City of Grapevine may choose to apply the standards written for the "Entertainment and Attractions Overlay" in the Destination Entertainment Retail Multi-Family District.

These standards may be modified on an as-needed basis by the City Council.

Staff recommends approval.

DOCUMENT TO BE INSERTED

RESOLUTION NO. \_\_\_\_\_

*Concept Master Plan  
185 acres*

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, APPROVING A CONCEPT MASTER PLAN FOR THE 185 ACRES AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the City of Grapevine, Texas has contracted to sell approximately 27.29 acres of land to Kubota USA Inc. ("Kubota") out of the 185 acre parcel owned by the City; and

WHEREAS, Kubota has asked the City to consider and approve a Concept Master Plan for the 185 acres as a condition to the sale; and

WHEREAS, the draft Master Plan, which was included as Exhibit E to the Land Purchase and Sale Agreement between Grapevine and Kubota, was timely submitted to the City Council; and

WHEREAS, the City Council wishes to approve the draft Concept Master Plan which is included herewith as Exhibit "A" (said exhibit being incorporated herein by reference as if copied in its entirety); and

WHEREAS, the City Council reserves the right to amend the Concept Master Plan at the sole discretion of the City Council; and

WHEREAS, all legal prerequisites for the adoption of this resolution have been met, including but not limited to the Local Government Code and the Open Meetings Act; and

WHEREAS, the City Council hereby declares that the approval of this resolution is in the best interests of the health, safety, and welfare of the public.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS:

Section 1. That all matters stated in the above preamble are true and correct and are incorporated herein as if copied in their entirety.

Section 2. That the Concept Master Plan for the 185 acres attached hereto as Exhibit A is approved.

Section 3. That this resolution shall take effect from and after the date of its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of September, 2015.

APPROVED:

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ATTEST:

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APPROVED AS TO FORM:

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STATE OF TEXAS  
COUNTY OF TARRANT  
CITY OF GRAPEVINE

The City Council and the Planning and Zoning Commission of the City of Grapevine, Texas met in Regular Joint Session on this the 18<sup>th</sup> day of August, 2015 in the City Council Chambers, Second Floor, 200 South Main Street, with the following members of the City Council present:

William D. Tate	Mayor
C. Shane Wilbanks	Mayor Pro Tem
Sharron Spencer	Council Member
Mike Lease	Council Member
Chris Coy	Council Member
Duff O'Dell	Council Member

constituting a quorum with Council Member Darlene Freed absent, with the following members of the Planning and Zoning Commission:

Larry Oliver	Chairman
BJ Wilson	Member
Gary Martin	Member
Beth Tiggelaar	Member
Dennis Luers	Member
Theresa Mason	Alternate

constituting a quorum with Commissioner Jim Fechter, Monica Hotelling and Bob Tipton absent, with the following members of the City Staff:

Bruno Rumbelow	City Manager
Jennifer Hibbs	Assistant City Manager
John F. Boyle, Jr.	City Attorney
Tara Brooks	City Secretary

CALL TO ORDER

Mayor Tate called the meeting to order at 7:00 p.m.

Item 1. Executive Session

Mayor Tate announced the City Council would recess to the City Council Conference Room to conduct a closed session regarding:

- A. Real property relative to deliberation or the exchange, lease, sale or value of City owned properties (Parks and Recreation Department) pursuant to Section 551.072, Texas Government Code.

- B. Conference with City Manager and Staff to discuss and deliberate commercial and financial information received from business prospects the City seeks to have locate, stay, or expand in the City; deliberate the offer of a financial or other incentive; with which businesses the City is conducting economic development negotiations pursuant to Section 551.087, Texas Government Code.

The City Council recessed to the City Council Conference Room and began the closed session at 7:03 p.m. The closed session ended at 7:33 p.m.

Upon reconvening in open session in the Council Chambers, Mayor Tate asked if there was any action necessary relative to the closed session. City Manager Bruno Rumbelow stated there was no action necessary under Section 551.072, and Section 551.087, Texas Government Code.

NOTE: City Council continued with the Regular Meeting in open session in the City Council Chambers.

#### CALL TO ORDER

Mayor Tate called the meeting to order at 7:39 p.m. in the City Council Chambers.

#### INVOCATION

Commissioner Theresa Mason delivered the Invocation and led the Pledge of Allegiance.

#### JOINT PUBLIC HEARINGS

##### Item 2. Conditional Use Permit **CU15-29** and Special Use Permit **SU15-03** (Round 1)

Mayor Tate declared the public hearing open.

Planning and Development Manager Ron Stombaugh reported the applicant was requesting a conditional use permit to amend the previously approved site plans of CU99-25 (Ord. 99-81) and SU99-09 (Ord. 99-82) for a planned commercial center, specifically to allow the possession, storage, retail sale and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages) and a special use permit to allow skill oriented games in excess of eight machines and eight billiard tables in conjunction with a bowling alley entertainment complex. The property is located at 3000 Grapevine Mills Parkway and is zoned "CC" Community Commercial District.

Applicant Sean Butler answered questions from the Planning and Zoning Commission and City Council.

No one spoke during the public hearing and there was not any correspondence to report.

Motion was made to close the public hearing.

Motion: Luers  
Second: Martin  
Ayes: Oliver, Wilson, Martin, Tiggelaar, Luers and Mason  
Nays: None  
Approved: 6-0

Motion was made to close the public hearing.

Motion: Lease  
Second: Coy  
Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
Nays: None  
Approved: 6-0

Item 3. Conditional Use Permit **CU15-30** (A J's On Main)

Mayor Tate declared the public hearing open.

Planning and Development Manager Stombaugh reported the applicant is requesting a conditional use permit to amend the previously approved site plan of CU95-12 (Ord. 95-31) to allow the possession, storage, retail sale and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages), specifically to allow additional outside dining in conjunction with a restaurant. The property is located at 651 South Main Street and is zoned "CBD" Central Business District.

Applicant AJ Gillinger and the architect Lynn Carpenter answered questions from the Planning and Zoning Commission and City Council.

Carl Young, 4113 Meadow Drive, Grapevine, Texas spoke about the number of restaurants and wineries on Main Street.

There was not any correspondence to report.

Motion was made to close the public hearing.

Motion: Wilson  
Second: Mason  
Ayes: Oliver, Wilson, Martin, Tiggelaar, Luers and Mason  
Nays: None  
Approved: 6-0

Motion was made to close the public hearing.

Motion: Coy  
Second: Spencer

Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
 Nays: None  
 Approved: 6-0

Item 4. Conditional Use Permit **CU15-31** (Mesa Grill)

Mayor Tate declared the public hearing open.

Planning and Development Manager Stombaugh reported the applicant was requesting a conditional use permit to amend the previously approved site plan of CU07-31 (Ord. 2007-58) to allow the possession, storage, retail sale and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages) in conjunction with a restaurant, specifically to revise the floor plan, allow outside dining and outdoor speakers. The property is located at 1000 Texan Trail #130 and is zoned "CC" Community Commercial District.

Applicant Raul Reyes answered questions from City Council.

No one spoke during the public hearing and there were two letters in support.

Motion was made to close the public hearing.

Motion: Luers  
 Second: Tiggelaar  
 Ayes: Oliver, Wilson, Martin, Tiggelaar, Luers and Mason  
 Nays: None  
 Approved: 6-0

Motion was made to close the public hearing.

Motion: Wilbanks  
 Second: Coy  
 Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
 Nays: None  
 Approved: 6-0

Item 5. Conditional Use Permit **CU15-33** (Bethel Center) and **Final Plat** of Lots 1A and 1B, Block 1, Bethel Center being a replat of Lot 1, Block 1, Bethel Center

Mayor Tate declared the public hearing open.

Planning and Development Manager Stombaugh reported the applicant is requesting a conditional use permit to amend the previously approved site plan of CU99-29 (Ord. 99-89) for a planned commercial center, specifically to subdivide the lot into two lots. The property is located at 1700 State Highway 121 and is zoned "CC" Community Commercial District.

Applicants Johnathan Vinson and Kyle Harris answered questions from the Planning and Zoning Commission and City Council.

No one spoke during the public hearing and there was one letter of support.

Motion was made to close the public hearing.

Motion: Tiggelaar  
Second: Martin  
Ayes: Oliver, Wilson, Martin, Tiggelaar, Luers and Mason  
Nays: None  
Approved: 6-0

Motion was made to close the public hearing.

Motion: O'Dell  
Second: Lease  
Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
Nays: None  
Approved: 6-0

Item 6. Conditional Use Permit **CU15-34** (Gaylord Paradise Springs Pool Complex)

Mayor Tate declared the public hearing open.

Planning and Development Manager Stombaugh reported the applicant is requesting a conditional use permit to amend the previously approved site plans of CU13-03 SPRC and CU11-13 (Ord. 2011-26) for a planned commercial center in conjunction with a hotel convention center and pool/waterpark complex, to allow the possession, storage, retail sale and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages), specifically to allow the addition of an additional pool, water slides, play structure, pool deck and cabanas. The property is located at 1000 Gaylord Trail and is zoned "PCD" Planned Commerce Development District.

Applicant James Chamblin answered questions from the Planning and Zoning Commission.

No one spoke during the public hearing and there was one letter of support.

Motion was made to close the public hearing.

Motion: Wilson  
Second: Mason  
Ayes: Oliver, Wilson, Martin, Tiggelaar, Luers and Mason  
Nays: None  
Approved: 6-0

Motion was made to close the public hearing.

Motion: Lease

Second: Wilbanks  
 Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
 Nays: None  
 Approved: 6-0

Item 7. Conditional Use Permit **CU15-35** (White Line Storage)

Mayor Tate declared the public hearing open.

Planning and Development Manager Stombaugh reported the applicant is requesting a conditional use permit to allow for the development of a 116,450 square foot mini-warehouse facility and a 32 foot pole sign. The property is located at 2850 State Highway 121 and is zoned "CC" Community Commercial District.

Applicant Curtis Young gave a presentation and answered questions from the Planning and Zoning Commission and City Council.

Bill Martinelli, 5646 Milton #203, Dallas, Texas spoke in opposition to this item.

There was one letter of opposition.

Motion was made to close the public hearing.

Motion: Luers  
 Second: Mason  
 Ayes: Oliver, Wilson, Martin, Tiggelaar, Luers and Mason  
 Nays: None  
 Approved: 6-0

Motion was made to close the public hearing.

Motion: Coy  
 Second: O'Dell  
 Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
 Nays: None  
 Approved: 6-0

Item 8. Conditional Use Permit **CU15-36** (History Maker Homes) and a **Final Plat** of Lots 2A1 and 2A2, Block 2A, Grapevine Station being a replat of Lot 2A, Block 2A, Grapevine Station

Mayor Tate declared the public hearing open.

Planning and Development Manager Stombaugh reported the applicant is requesting a conditional use permit to amend the previously approved site plan of CU14-28 (Ord. 2014-41) for a planned business park, specifically to allow for the development of a 28,050 square foot office/showroom. The property is located at 1038 Texan Trail and is zoned "BP" Business Park District.

Applicant Nelson Mitchell answered questions from the Planning and Zoning Commission and City Council.

No one spoke during the public hearing. There was one letter in support and one letter in opposition.

Motion was made to close the public hearing.

Motion: Wilson  
Second: Luers  
Ayes: Oliver, Wilson, Martin, Tiggelaar, Luers and Mason  
Nays: None  
Approved: 6-0

Motion was made to close the public hearing.

Motion: Coy  
Second: Wilbanks  
Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
Nays: None  
Approved: 6-0

Item 9. Conditional Use Permit **CU15-37** (Ferrari's)

Mayor Tate declared the public hearing open.

Planning and Development Manager Stombaugh reported the applicant requested to table the public hearing to the September 15, 2015 Joint City Council and Planning and Zoning Commission meeting.

Motion was made to table the public hearing to the September 15, 2015 Joint City Council and Planning and Zoning Commission meeting.

Motion: Wilson  
Second: Mason  
Ayes: Oliver, Wilson, Martin, Tiggelaar, Luers and Mason  
Nays: None  
Approved: 6-0

Motion was made to table the public hearing to the September 15, 2015 Joint City Council and Planning and Zoning Commission meeting.

Motion: Spencer  
Second: Coy  
Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
Nays: None  
Approved: 6-0

Item 10. **Final Plat** of Lots 3R1 and 3R2, Block A, Shamrock Ventures Addition being a replat of Lot 3R, Block A, Shamrock Ventures Addition

Mayor Tate declared the public hearing open.

Public Works Director Stan Laster reported the applicant requested to table the public hearing to the September 15, 2015 Joint City Council and Planning and Zoning Commission meeting.

Motion was made to table the public hearing to the September 15, 2015 Joint City Council and Planning and Zoning Commission meeting.

Motion: Mason  
Second: Tiggelaar  
Ayes: Oliver, Wilson, Martin, Tiggelaar, Luers and Mason  
Nays: None  
Approved: 6-0

Motion was made to table the public hearing to the September 15, 2015 Joint City Council and Planning and Zoning Commission meeting.

Motion: Wilbanks  
Second: Coy  
Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
Nays: None  
Approved: 6-0

#### RECESS AND RECONVENE

Mayor Tate announced the Planning and Zoning Commission would recess to the Planning and Zoning Conference Room to consider published business.

The City Council remained in session in the Council Chambers to consider published business.

#### Item 11. Citizen Comments

Laura Jenkins, 8101 Canyon Oaks Drive spoke about her son who is in prison for the death of Officer Darren Medlin.

#### Item 12. Doug and Laurie Evans to present information on the 29<sup>th</sup> Annual GrapeFest.

The 29<sup>th</sup> Annual GrapeFest will be held September 17-20, 2015 with four wine and food pairing dinners, the Grapevine Golf Classic, the Italian Car Fest, and the Texas Wine Tribute beforehand. This year's feature wines will be from Oregon and Argentina.

#### Item 13. Mayor Tate to present a proclamation for National Preparedness Month.

Mayor Tate declared September National Preparedness Month.

Item 14. Emergency Management Coordinator to present Grapevine Lake flooding update.

Emergency Management Coordinator Elizabeth Dimmick stated the target lake level is 537 feet which should happen around September 14-16, 2015 depending on any future rain. There will be a citywide lake cleanup event on September 12, 2015.

OLD BUSINESS

Item 15. Consider the Planning and Zoning Commission recommendation of a 5-2 vote to approve Conditional Use Permit **CU15-23** (Umbra Winery)

Planning and Development Manager Stombaugh stated the applicant was requesting a conditional use permit to allow for the possession, storage, retail sale, and on- and off-premise consumption of alcoholic beverages (wine only) in conjunction with a winery. The subject property is located at 201 East Franklin Street and is zoned "CBD" Central Business District. This item was tabled at the July 21, 2015 Meeting.

Council discussed this item.

Motion was made to deny Conditional Use Permit CU15-23.

Motion: Coy  
 Second: Lease  
 Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
 Nays: None  
 Approved: 6-0

Mayor Tate announced City Council would consider the recommendations from the Planning and Zoning Commission next.

PLANNING AND ZONING COMMISSION RECOMMENDATIONS

Item 25. Conditional Use Permit **CU15-29** (Round 1)

Planning and Development Manager Stombaugh announced the Planning and Zoning Commission approved Conditional Use Permit CU15-29, allowing beer and wine sales only, with a vote 6-0.

Motion was made to approve Conditional Use Permit CU15-29 allowing beer and wine sales only.

Motion: Coy  
 Second: Lease  
 Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
 Nays: None  
 Approved: 6-0

ORDINANCE NO. 2015-043

AN ORDINANCE ISSUING A CONDITIONAL USE PERMIT IN ACCORDANCE WITH SECTION 48 OF ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE, BY GRANTING CONDITIONAL USE PERMIT CU15-29 TO AMEND THE SITE PLAN APPROVED BY ORDINANCE NO. 99-81 FOR A PLANNED COMMERCIAL CENTER TO ALLOW THE POSSESSION, STORAGE, RETAIL SALE AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER AND WINE) IN CONJUNCTION WITH A BOWLING ALLEY ENTERTAINMENT COMPLEX IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT REGULATIONS ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 26. Special Use Permit **SU15-03** (Round 1)

Planning and Development Manager Stombaugh announced the Planning and Zoning Commission approved Special Use Permit SU15-03 with a vote of 6-0.

Motion was made to approve Special Use Permit SU15-03.

Motion: Lease  
 Second: Wilbanks  
 Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
 Nays: None  
 Approved: 6-0

ORDINANCE NO. 2015-044

AN ORDINANCE ISSUING A SPECIAL USE PERMIT IN ACCORDANCE WITH SECTION 49 OF ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE BY GRANTING SPECIAL USE PERMIT SU15-03 TO AMEND THE SITE PLAN APPROVED BY ORDINANCE NO. 99-82 FOR A SPECIAL USE PERMIT FOR SKILL ORIENTED GAMES IN EXCESS OF EIGHT MACHINES AND EIGHT BILLIARD TABLES IN CONJUNCTION WITH A BOWLING ALLEY ENTERTAINMENT COMPLEX IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT REGULATIONS UNDER CITY OF GRAPEVINE ORDINANCE NO. 82-73 ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS SPECIAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 27. Conditional Use Permit CU15-30 (A J's On Main)

Planning and Development Manager Stombaugh announced the Planning and Zoning Commission approved Conditional Use Permit CU15-30 with a vote of 5-1.

Motion was made to approve Conditional Use Permit CU15-30.

Motion: Wilbanks  
Second: Spencer  
Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
Nays: None  
Approved: 6-0

ORDINANCE NO. 2015-045

AN ORDINANCE ISSUING A CONDITIONAL USE PERMIT IN ACCORDANCE WITH SECTION 48 OF

ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE, BY GRANTING CONDITIONAL USE PERMIT CU15-30 TO AMEND THE SITE PLAN APPROVED BY ORDINANCE NO. 95-31 WITH THE POSSESSION, STORAGE, RETAIL SALE AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER, WINE AND MIXED BEVERAGES) TO ALLOW ADDITIONAL OUTSIDE DINING IN A DISTRICT ZONED "CBD" CENTRAL BUSINESS DISTRICT ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 28. Conditional Use Permit **CU15-31** (Mesa Grill)

Planning and Development Manager Stombaugh announced the Planning and Zoning Commission approved Conditional Use Permit CU15-31 with a vote of 6-0.

Motion was made to approve Conditional Use Permit CU15-31.

Motion: Spencer

Second: O'Dell

Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell

Nays: None

Approved: 6-0

ORDINANCE NO. 2015-046

AN ORDINANCE ISSUING A CONDITIONAL USE PERMIT IN ACCORDANCE WITH SECTION 48 OF ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE, BY GRANTING CONDITIONAL USE PERMIT CU15-31 TO AMEND THE SITE PLAN

APPROVED BY ORDINANCE NO. 2007-58 TO REVISE THE FLOOR PLAN OF A RESTAURANT TO ALLOW OUTSIDE DINING AND OUTSIDE SPEAKERS AND THE POSSESSION, STORAGE, RETAIL SALE AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER, WINE AND MIXED BEVERAGES) IN A DISTRICT ZONED "CC" COMMUNITY COMMERCIAL DISTRICT REGULATIONS ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 29. Conditional Use Permit **CU15-33** (Bethel Center)

Planning and Development Manager Stombaugh announced the Planning and Zoning Commission approved Conditional Use Permit CU15-33 with a vote of 6-0.

Motion was made to approve Conditional Use Permit CU15-33.

Motion: Coy  
Second: O'Dell  
Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
Nays: None  
Approved: 6-0

ORDINANCE NO. 2015-047

AN ORDINANCE ISSUING A CONDITIONAL USE PERMIT IN ACCORDANCE WITH SECTION 48 OF ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE, BY GRANTING CONDITIONAL USE PERMIT CU15-33 TO AMEND THE SITE PLAN APPROVED BY ORDINANCE NO. 99-89 FOR A PLANNED COMMERCIAL CENTER SPECIFICALLY TO SUBDIVIDE AN EXISTING LOT IN A DISTRICT ZONED "CC"

COMMUNITY COMMERCIAL DISTRICT REGULATIONS ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 30. Final Plat of Lots 1A and 1B, Block 1, Bethel Center

Planning and Development Manager Stombaugh announced the Planning and Zoning Commission approved the Final Plat with a vote of 6-0.

Motion was made to approve the Statement of Findings and the Final Plat of Lots 1A and 1B, Block 1, Bethel Center.

Motion: Coy  
Second: Wilbanks  
Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
Nays: None  
Approved: 6-0

Item 31. Conditional Use Permit CU15-34 (Gaylord Paradise Springs Pool Complex)

Planning and Development Manager Stombaugh announced the Planning and Zoning Commission approved Conditional Use Permit CU15-34 with a vote of 6-0.

Motion was made to approve Conditional Use Permit CU15-34.

Motion: Lease  
Second: Coy  
Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
Nays: None  
Approved: 6-0

ORDINANCE NO. 2015-048

AN ORDINANCE ISSUING A CONDITIONAL USE PERMIT IN ACCORDANCE WITH SECTION 48 OF ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE,

TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE, BY GRANTING CONDITIONAL USE PERMIT CU15-34 TO AMEND THE SITE PLAN APPROVED BY ORDINANCE NO. 2011-26 FOR A PLANNED COMMERCIAL CENTER IN CONJUNCTION WITH A HOTEL, CONVENTION CENTER AND A POOL/WATERPARK COMPLEX, TO ALLOW THE POSSESSION, STORAGE, RETAIL SALE AND ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES (BEER, WINE AND MIXED BEVERAGES), TO ALLOW AN ADDITIONAL POOL, WATER SLIDES, PLAY STRUCTURE, POOL DECK AND CABANAS IN A DISTRICT ZONED "PCD" PLANNED COMMERCE DEVELOPMENT DISTRICT ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 32. Conditional Use Permit **CU15-35** (White Line Storage)

Planning and Development Manager Stombaugh announced the Planning and Zoning Commission denied Conditional Use Permit CU15-35 with a vote of 6-0.

Motion was made to deny Conditional Use Permit CU15-35.

Motion: Coy  
Second: Wilbanks  
Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
Nays: None  
Approved: 6-0

Item 33. Conditional Use Permit **CU15-36** (History Maker Homes)

Planning and Development Manager Stombaugh announced the Planning and Zoning Commission approved Conditional Use Permit CU15-36 with a vote of 6-0.

Motion was made to approve Conditional Use Permit CU15-36.

Motion: Lease

Second: Spencer  
Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
Nays: None  
Approved: 6-0

ORDINANCE NO. 2015-049

AN ORDINANCE ISSUING A CONDITIONAL USE PERMIT IN ACCORDANCE WITH SECTION 48 OF ORDINANCE NO. 82-73, THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF GRAPEVINE, TEXAS, SAME BEING ALSO KNOWN AS APPENDIX "D" OF THE CITY CODE, BY GRANTING CONDITIONAL USE PERMIT CU15-36 TO AMEND THE SITE PLAN APPROVED BY ORDINANCE NO. 2014-41 TO ALLOW FOR THE DEVELOPMENT OF A 28,050 SQUARE FOOT OFFICE/SHOWROOM IN A DISTRICT ZONED "BP" BUSINESS PARK DISTRICT ALL IN ACCORDANCE WITH A SITE PLAN APPROVED PURSUANT TO SECTION 47 OF ORDINANCE NO. 82-73 AND ALL OTHER CONDITIONS, RESTRICTIONS AND SAFEGUARDS IMPOSED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PRESERVING ALL OTHER PORTIONS OF THE ZONING ORDINANCE; PROVIDING A CLAUSE RELATING TO SEVERABILITY; DETERMINING THAT THE PUBLIC INTERESTS, MORALS AND GENERAL WELFARE DEMAND THE ISSUANCE OF THIS CONDITIONAL USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00); DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

Item 34. Final Plat of Lots 2A1 and 2A2, Block 2A, Grapevine Station

Planning and Development Manager Stombaugh announced the Planning and Zoning Commission approved the Final Plat with a vote of 6-0.

Motion was made to approve the Statement of Findings and the Final Plat of Lots 2A1 and 2A2, Block 2A, Grapevine Station.

Motion: Coy  
Second: Lease  
Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
Nays: None  
Approved: 6-0

NEW BUSINESS

Item 16. Consider a **resolution** authorizing the purchase of shuttle shelters from InSite Amenities through an Interlocal Participation Agreement with The Local Government Purchasing Cooperative (Buyboard) and take any necessary action.

Director of Destination Services Marcy Roitman-Boothe presented this item to Council. This request is for purchase and installation of three shuttle shelters, for a total amount not to exceed \$38,167.00. The shelters will be located at Embassy Suites Outdoor World/Bass Pro Shops, Super 8/South Main Restaurants and Comfort Inn/Grapevine EpiCentre Restaurants.

Motion was made to approve the resolution authorizing the purchase of shuttle shelters.

Motion: Spencer  
Second: Coy  
Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
Nays: None  
Approved: 6-0

RESOLUTION NO. 2015-048

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE SHUTTLE SHELTERS THROUGH AN ESTABLISHED INTERLOCAL PARTICIPATION AGREEMENT AND PROVIDING AN EFFECTIVE DATE

Item 17. Consider award of RFB 429-2015 to AALC, Inc. for the State Highway 114 Landscape Enhancements Project, consider an **ordinance** authorizing the transfer of \$211,097 from the Quality of Life Fund to the Grants Fund increasing the estimated receipts and appropriations in the Grants Fund by \$1,119,099.

Parks and Recreation Director Kevin Mitchell presented this item to Council. The State of Texas awarded \$908,002 in grant funds toward this project. Total funds from the City will be \$211,097.

Motion was made to award RFB 429-2015 and approve the ordinance.

Motion: Wilbanks  
Second: Spencer  
Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
Nays: None  
Approved: 6-0

ORDINANCE NO. 2015-042

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, REVISING THE ADOPTED BUDGET FOR THE FISCAL YEAR ENDING IN 2015, PROVIDING FOR THE APPROPRIATION OF THE FUNDS; DECLARING AN EMERGENCY AND PROVIDING AN EFFECTIVE DATE

CONSENT AGENDA

Consent items are deemed to need little Council deliberation and will be acted upon as one business item. Any member of the City Council or member of the audience may request that an item be withdrawn from the consent agenda and placed before the City Council for full discussion. No items were removed from consent.

Approval of the consent agenda authorizes the City Manager, or his designee, to implement each item in accordance with Staff recommendations.

Item 18. Consider a **resolution** authorizing the purchase of Cisco software maintenance from Netsync Network Solutions through a contract established by the State of Texas Department of Information Resources (DIR) Cooperative Contracts Program.

Information Technology Manager John Jennery recommended approval of this resolution. The annual maintenance agreement will allow IT staff to receive updated software, hardware maintenance and technical support as needed in an amount not to exceed \$18,564.80.

Motion was made to approve the consent agenda as presented.

Motion: Lease  
Second: Coy  
Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
Nays: None  
Approved: 6-0

RESOLUTION NO. 2015-049

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE CISCO SOFTWARE MAINTENANCE THROUGH THE STATE OF TEXAS DEPARTMENT OF INFORMATION RESOURCES (DIR) COOPERATIVE CONTRACT PROGRAM AND PROVIDING AN EFFECTIVE DATE

Item 19. Consider a resolution authorizing the purchase of a directional drill and vacuum excavator from Vermeer Texas-Louisiana, Inc. through an Interlocal Participation Agreement with The Local Government Purchasing Cooperative (Buyboard).

Public Works Director Laster recommended approval of this resolution. This equipment will be used on the joint fiber project with Grapevine-Colleyville Independent School District for an amount not to exceed \$311,532.48.

RESOLUTION NO. 2015-050

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS, AUTHORIZING THE CITY MANAGER OR THE CITY MANAGER'S DESIGNEE TO PURCHASE A DIRECTIONAL DRILL AND VACUUM EXCAVATOR THROUGH AN ESTABLISHED INTERLOCAL PARTICIPATION AGREEMENT AND PROVIDING AN EFFECTIVE DATE

Motion was made to approve the consent agenda as presented.

Motion: Lease  
Second: Coy  
Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
Nays: None  
Approved: 6-0

Item 20. Consider award of an informal request for quote for a fiber splicing trailer for the Public Works Department from Mohawk Ltd.

Public Works Director Laster recommended approval of the award to Mohawk Ltd. in an amount not to exceed \$32,450.00. This trailer will be used for the joint fiber project with Grapevine-Colleyville Independent School District. It provides a clean environment for splicing fiber optic cables together.

Motion was made to approve the consent agenda as presented.

Motion: Lease  
Second: Coy  
Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
Nays: None  
Approved: 6-0

Item 21. Consider award of an informal request for quote for a cement silo for the Public Works Department from Belgrade Steel Tank Co., Inc.

Public Works Director Laster recommended approval of the award to Belgrade Steel Tank Co., Inc. in an amount not to exceed \$27,040.00. This silo purchase is for use between Public Works Streets, Public Works Traffic, Storm Drain and Water Utilities Department to store and dispense cement into the volumetric mixer truck that will be used for small yardage concrete repairs.

Motion was made to approve the consent agenda as presented.

Motion: Lease  
Second: Coy  
Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
Nays: None  
Approved: 6-0

Item 22. Consider renewal of annual contracts for water and wastewater chemicals with Brenntag Southwest, Inc., DPC Industries, Inc., Fort Bend Services, Inc. and Univar USA, Inc. and not renew the contract with Chemtrade Chemicals US LLC.

Public Works Director Laster recommended approval of the renewal of annual contracts for water and wastewater chemicals for an annual estimated amount of \$275,000.00. The purpose of this contract is to establish fixed indefinite quantity annual pricing for water and wastewater chemicals on an as-needed basis for the Public Works Department. Purchasing and the Public Works Department awarded nine products based on the lowest responsible and responsive bids submitted. Brenntag Southwest, Inc., Fort Bend Services, Inc., DPC Industries, Inc. and Univar USA, Inc. have agreed to renew the products they were awarded. Chemtrade Chemicals US LLC made a business decision not to renew.

Motion was made to approve the consent agenda as presented.

Motion: Lease  
Second: Coy  
Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
Nays: None  
Approved: 6-0

Item 23. Consider the Second Amendment to the Interlocal Agreement with the City of Fort Worth for continued participation in their Environmental Collection Center and Household Hazardous Waste Program.

Public Works Director Laster recommended approval of the Interlocal Agreement with the City of Fort Worth in an amount of \$51,500. The City of Fort Worth Environmental Collection Center (ECC) accepts household hazardous waste from citizens of participating cities directly, provides for local collection events, and provides logistical support for the sound disposal of hazardous waste. The cost charged by the ECC for each household that utilized the service was \$47/household for Fiscal Year 2015 and remains \$47/household for Fiscal Year 2016.

Motion was made to approve the consent agenda as presented.

Motion: Lease  
Second: Coy  
Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
Nays: None  
Approved: 6-0

Item 24. Consider the minutes of the August 4, 2015 City Council meeting as published.

City Secretary Tara Brooks recommended approval of the minutes.

Motion was made to approve the consent agenda as presented.

Motion: Lease  
Second: Coy  
Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
Nays: None  
Approved: 6-0

#### ADJOURNMENT

Motion was made to adjourn the meeting at 9:32 p.m.

Motion: Wilbanks  
Second: Lease  
Ayes: Tate, Wilbanks, Spencer, Lease, Coy and O'Dell  
Nays: None  
Approved: 6-0

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE,  
TEXAS on this the 15<sup>th</sup> day of September, 2015.

APPROVED:

---

William D. Tate  
Mayor

ATTEST:

---

Tara Brooks  
City Secretary

STATE OF TEXAS  
COUNTY OF TARRANT  
CITY OF GRAPEVINE

The City Council of the City of Grapevine, Texas met in Workshop on this the 26th day of August, 2015 in the City Council Chambers, Second Floor, 200 South Main Street, with the following members present to-wit:

William D. Tate	Mayor
Sharron Spencer	Council Member
Darlene Freed	Council Member
Mike Lease	Council Member
Chris Coy	Council Member

constituting a quorum with Council Member Duff O'Dell absent, with the following members of the City Staff:

Bruno Rumbelow	City Manager
Jennifer Hibbs	Assistant City Manager
Tara Brooks	City Secretary
Greg Jordan	Chief Financial Officer

CALL TO ORDER

Mayor Tate called the workshop to order at 6:08 p.m.

Item 1. City Council to conduct a workshop relative to the Fiscal Year 2015-2016 budget and take any necessary action

City Manager Bruno Rumbelow noted the ad valorem tax decreased from .332439 to .328437 per \$100 valuation, the total operating budget is \$168,881,086 which is an increase of less than 1% from the current year's budget. The largest line item increase was compensation.

Chief Financial Officer Greg Jordan presented the budget to Council, including a summary of all funds. All funds saw an increase of \$11.3 million. \$10.1 million was for the increase in CVB Incentives and the 4B transit fund. All other funds increased 0.9% from the current year budget. The proposed budget includes a 2% market adjustment for all employees, a 3% adjustment for all general employees with successful completion of their annual review, a 5% step increase for police and fire, a 1% lump sum payment for employees at the top of their pay grade and an increase in steps for police and fire.

Human Resources Director Carolyn Van Duzee answered Council's questions regarding the compensation plan.

Chief Financial Officer Jordan highlighted the revenue and expenditures of the General Fund.

Council discussed the use of the General Debt Service Fund for payments of debt for the Golf Fund and Lake Parks Fund.

Chief Financial Officer Jordan highlighted the Special Revenue Funds and Enterprise Funds.

Council discussed the disbursement of funds to local Community Organizations, specifically the Chamber of Commerce, the use of Certificates of Obligation to fund equipment and projects listed in the Quality of Life fund.

There was no formal action taken by the City Council.

### ADJOURNMENT

Motion was made to adjourn the meeting at 8:54 p.m.

Motion: Freed  
Second: Lease  
Ayes: Tate, Spencer, Freed, Lease, and Coy  
Nays: None  
Approved: 5-0

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAPEVINE, TEXAS on this the 15th day of September, 2015.

APPROVED:

---

William D. Tate  
Mayor

ATTEST:

---

Tara Brooks  
City Secretary

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,  
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER BR

MEETING DATE: SEPTEMBER 15, 2015

SUBJECT: PRELIMINARY PLAT APPLICATION  
GRAPEVINE 135

PLAT APPLICATION FILING DATE..... September 8, 2015

APPLICANT.....David Sutton, Kubota USA

REASON FOR APPLICATION ..... Subdivide unplatted property

PROPERTY LOCATION ..... North of Grapevine Mills Boulevard between  
Grapevine Mills Parkway (FM2499) and SH 121

ACREAGE.....134.909

ZONING.....CC: Community Commercial

NUMBER OF LOTS.....6

PREVIOUS PLATTING ..... No

CONCEPT PLAN..... No

SITE PLAN ..... CU15-38

OPEN SPACE REQUIREMENT..... No

AVIGATION RELEASE ..... Yes

PUBLIC HEARING REQUIRED ..... No

PLAT INFORMATION SHEET  
PRELIMINARY PLAT APPLICATION  
GRAPEVINE 135

I. GENERAL:

- The applicant, David Sutton with Kabota USA is preliminary platting this property into six (6) commercial lots. The property is located north of Grapevine Mills Boulevard North between Grapevine Mills Parkway and SH121.

II. STREET SYSTEM:

- The development has access to Grapevine Mills Blvd. N, Grapevine Mills Parkway and SH 121.
- ALL abutting roads:  are on the City Thoroughfare Plan: Grapevine Mills Blvd. N. and Grapevine Mills Parkway

are not on the City Thoroughfare Plan:

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 10.00 / LF		

Periphery Street Fees are not due:

TOTAL

III. STORM DRAINAGE SYSTEM:

- The site drains north into Denton Creek.
- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for:
- Water and Wastewater Impact Fees are due prior to the issuance of building permits: Grapevine 135
  - Single Family Residential ( \$ 2,191/ Lot)
  - Multifamily ( \$ 1,026 / Unit)
  - Hotel ( \$ 38,107/ Acre)
  - Corporate Office ( \$ 18,847/ Acre)
  - Government ( \$ 4,037/ Acre)
  - Commercial / Industrial ( \$ 5,209 / Acre)
- Open Space Fees are not required for: Grapevine 135
- Open Space Fees are required for:
  - R-5.0, Zero Lot District ( \$ 1,416.00 / Lot)
  - R-7.5, Single Family District ( \$ 1,146.00 / Lot)
  - R-12.5, Single Family District ( \$ 1,071.00 / Lot)
  - R-20.0, Single Family District ( \$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
  - Front building line
  - Rear building line
  - Lot width & depth
  - Max. Impervious Area
  - Special Exception to the required front yard landscape setback
- The following items associated with this plat are not in accordance with the current subdivision standards:
  - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
  - Length of cul-de-sac street exceeds the 600-foot limit.
  - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
- The right-of-way provides for future widening of public streets that will serve the development of this site.
  - The onsite utility easements provide for a utility network to serve the development of this site.
  - The onsite drainage easements provide for a drainage network to serve the development of this site.
  - The onsite access easements provide cross access capabilities to this site and surrounding property.
  - The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

- B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:
- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
  - The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
  - The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
  - The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
  - The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
  - All of the dedications benefit the development to at least the extent of the impact of such on the development.

VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Preliminary Plat of Grapevine 135."

APPLICATION FOR PLATTING  
CITY OF GRAPEVINE, TEXAS

ITEM #35  
PZ ITEM #12

TYPE OF PLAT:  Preliminary  Final  Replat  Amendment

PROPERTY DESCRIPTION:

Name of Addition: \_\_\_\_\_  
Number of Lots: 7 Gross Acreage: 134.9 Proposed Zoning: CC  
Location of Addition: SW CORNER OF GRAPEVINE MILLS PKWY & HWY 121

PROPERTY OWNER:

Name: CITY OF GRAPEVINE Contact: BRUNO RUMBELOW  
Address: 200 S. MAIN ST City: GRAPEVINE  
State: TX Zip: 76099 Phone: (817) 410-3136  
Fax: (817) 410-3003  
Signature:  Email: BRUMBLOW@GRAPEVINETEXAS.GOV

APPLICANT:

Name: KUBOTA U.S.A. INC. Contact: DAVID SUTTON  
Address: 4400 AMON CARPENTER BLVD City: FT. WORTH  
State: TX Zip: 76155 Phone: (810) 370-3370 EXT 1591  
Fax: ( )  
Signature:  Email: DAVID.SUTTON@KUBOTA.COM

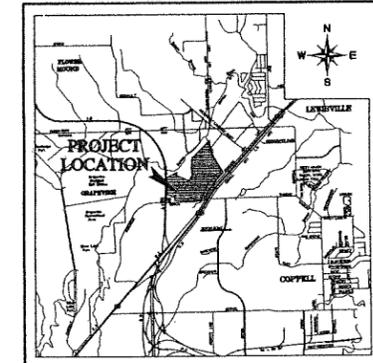
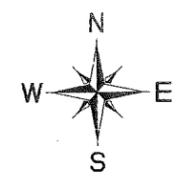
SURVEYOR:

Name: GOODWIN? MARSHALL Contact: MATT BRACKE  
Address: 2405 MUSTANG DRNE City: GRAPEVINE, TX 76051  
State: TX Zip: 76051 Phone: (817) 329-4373  
Fax: ( )  
Email: M.BRACKE@GMCIVIL.COM

\*\*\*\*\* FOR OFFICE USE ONLY \*\*\*\*\*

Application Received: 8/13/2015  
Fee Amount: \$ \_\_\_\_\_

By: \_\_\_\_\_  
Check Number: \_\_\_\_\_



VICINITY MAP  
ETX

PREPARED BY:  
**GOODWIN & MARSHALL**  
CIVIL ENGINEERS -- PLANNERS -- SURVEYORS  
2405 Mustang Drive, Grapevine, Texas 76051  
Metro (817) 329-4373  
CONTACT: MATT BAACKE

OWNER:



200 South Main Street, Grapevine, Texas 76051

PLANNING AND ZONING COMMISSION APPROVAL

DATE APPROVED \_\_\_\_\_

CHAIRMAN \_\_\_\_\_

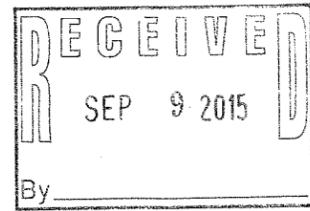
SECRETARY \_\_\_\_\_

GRAPEVINE CITY COUNCIL APPROVAL

DATE APPROVED \_\_\_\_\_

MAYOR \_\_\_\_\_

CITY SECRETARY \_\_\_\_\_



**PRELIMINARY PLAT OF  
GRAPEVINE 135**

6 COMMERCIAL LOTS  
134.909 ACRES  
SITUATED IN THE

J. GIBSON SURVEY, ABSTRACT NO. 587, J.M. BAKER SURVEY, ABSTRACT NO. 167,  
J.M. BAKER SURVEY, ABSTRACT NO. 1691, C.S. DUNNAGAN SURVEY, ABSTRACT NO. 1655,  
JAMES GIBSON SURVEY, ABSTRACT NO. 1715, JOHN E. HOLLAND SURVEY, ABSTRACT NO. 614,  
& THOMAS W. COUSY SURVEY, ABSTRACT NO. 317  
CITY OF GRAPEVINE, TARRANT AND DALLAS COUNTY, TEXAS

EXISTING ZONING: CC  
PROPOSED ZONING: CC  
SEPTEMBER, 2015

SHEET 1 OF 2

**GRAPEVINE 135 CENTERLINE CURVE DATA**

LINE	DELTA	RADIUS	ARC	CHORD	CHORD BEARING
Curve #1	30°12'37"	1000.00	527.27	521.16	N14°29'11"E
Curve #2	25°11'04"	750.00	329.66	327.02	N42°11'01"E
Curve #3	95°00'48"	500.00	829.15	737.36	N77°43'03"W
Curve #4	16°23'48"	750.00	240.81	239.70	S39°24'33"E

- NOTES:
- DRAINAGE AND UTILITY EASEMENTS ARE PRELIMINARY IN NATURE AND WILL BE COORDINATED WITH THE FINAL CONSTRUCTION DOCUMENTS.
  - ALL LOTS SHALL HAVE A 25' FRONT BUILDING LINE.

**LEGEND**

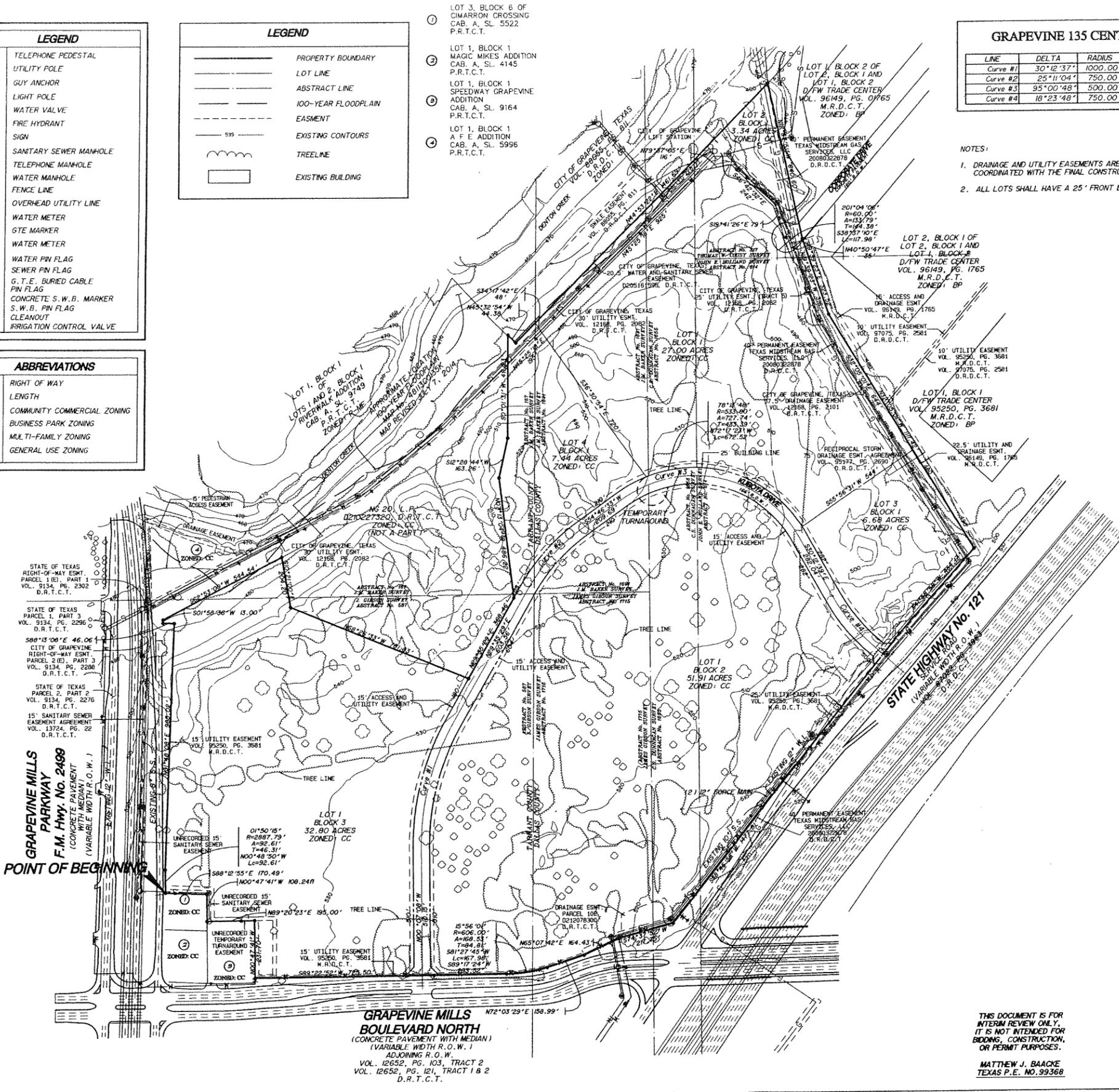
	PROPERTY BOUNDARY
	LOT LINE
	ABSTRACT LINE
	100-YEAR FLOODPLAIN
	EASEMENT
	EXISTING CONTOURS
	TREELINE
	EXISTING BUILDING

**LEGEND**

	TELEPHONE PEDESTAL
	UTILITY POLE
	GUY ANCHOR
	LIGHT POLE
	WATER VALVE
	FIRE HYDRANT
	SIGN
	SANITARY SEWER MANHOLE
	TELEPHONE MANHOLE
	WATER MANHOLE
	FENCE LINE
	OVERHEAD UTILITY LINE
	WATER METER
	GTE MARKER
	WATER METER
	WATER PIN FLAG
	SEWER PIN FLAG
	G.T.E. BURIED CABLE
	PIN FLAG
	CONCRETE S.W.B. MARKER
	S.W.B. PIN FLAG
	CLEANOUT
	IRRIGATION CONTROL VALVE

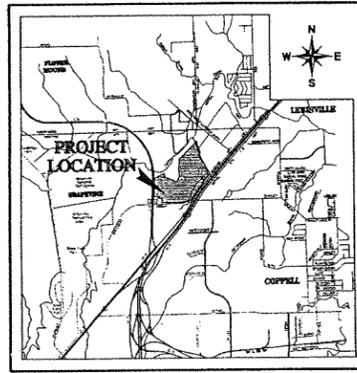
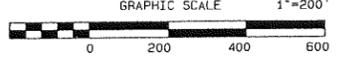
**ABBREVIATIONS**

ROW	RIGHT OF WAY
L	LENGTH
CC	COMMUNITY COMMERCIAL ZONING
BP	BUSINESS PARK ZONING
R-MF	MULTI-FAMILY ZONING
GU	GENERAL USE ZONING



**GRAPEVINE MILLS  
BOULEVARD NORTH**  
(CONCRETE PAVEMENT WITH MEDIAN)  
(VARIABLE WIDTH R.O.W.)  
ADJOINING R.O.W.  
VOL. 12652, PG. 103, TRACT 2  
VOL. 12652, PG. 121, TRACT 1 & 2  
D.R.T.C.T.

THIS DOCUMENT IS FOR  
INTERIM REVIEW ONLY,  
IT IS NOT INTENDED FOR  
BIDDING, CONSTRUCTION,  
OR PERMIT PURPOSES.  
MATTHEW J. BAACKE  
TEXAS P.E. NO. 99368



VICINITY MAP  
KTLA

PREPARED BY:  
**GOODWIN & MARSHALL**  
CIVIL ENGINEERS - PLANNERS - SURVEYORS  
2405 Mustang Drive, Grapevine, Texas 76051  
Metro (817) 329-4373  
CONTACT: MATT BAACKE

OWNER:



PLANNING AND ZONING COMMISSION APPROVAL

DATE APPROVED \_\_\_\_\_  
CHAIRMAN \_\_\_\_\_  
SECRETARY \_\_\_\_\_  
GRAPEVINE CITY COUNCIL APPROVAL  
DATE APPROVED \_\_\_\_\_  
MAYOR \_\_\_\_\_  
CITY SECRETARY \_\_\_\_\_

PRELIMINARY PLAT OF  
**GRAPEVINE 135**

7 COMMERCIAL LOTS  
134.91 ACRES  
SITUATED IN THE

J. GIBSON SURVEY, ABSTRACT NO. 587, J.M. BAKER SURVEY, ABSTRACT NO. 167,  
J.M. BAKER SURVEY, ABSTRACT NO. 1691, C.S. DUNNAGAN SURVEY, ABSTRACT NO. 1655,  
JAMES GIBSON SURVEY, ABSTRACT NO. 1715, JOHN E. HOLLAND SURVEY, ABSTRACT NO. 614,  
& THOMAS W. COUSY SURVEY, ABSTRACT NO. 317  
CITY OF GRAPEVINE, TARRANT AND DALLAS COUNTY, TEXAS  
EXISTING ZONING: CC  
PROPOSED ZONING: CC  
SEPTEMBER, 2015 SHEET 2 OF 2

PROPERTY DESCRIPTION

STATE OF TEXAS;  
COUNTIES OF TARRANT & DALLAS;

BEING a 134.909 acre tract of land situated in the J. Gibson Survey, Abstract No. 587, the J.M. Baker Survey, Abstract No. 167, the J.M. Baker Survey, Abstract No. 1691, the C.S. Dunnagan Survey, Abstract No. 1655, the Thomas W. Cousy Survey, Abstract No. 317, the John E. Holland Survey, Abstract No. 614, and the James Gibson Survey, Abstract No. 1715, Tarrant and Dallas Counties, Texas, being Tract I as described in deed to the City of Grapevine, Texas as recorded in D21324572, Deed Records, Tarrant County, Texas (DRCT) and 201300389542, Deed Records, Dallas County, Texas (DRCT), and being more particularly described as follows:

BEGINNING at a TXDOT aluminum disc found in the east line of said F.M. Highway No. 2499 - Grapevine Mills Parkway (R.O.W. varies, adjoining right-of-way per Parcel 80, recorded in D213183725, DRCT), said point lying in the north line of Lot 3, Block 6 of Cimarron Crossing, an addition to the City of Grapevine, Tarrant County, Texas as recorded in Cabinet A, Slide 5522, Plat Records, Tarrant County, Texas (PRCT), from which a 1/2" rebar capped Goodwin & Marshall found previously at the northwest corner of said Lot 3, Block 6 of Cimarron Crossing bore N 88°12'55" W, a distance of 128.19 feet (TXDOT 128.19 feet);

THENCE departing the north line of said Lot 3, Block 6 of Cimarron Crossing, along the east line of said F.M. Highway No. 2499 and the west line of said City of Grapevine Tract I, as follows:

Northwesterly, along a non-tangent curve to the left, having a radius point that bears N 69°53'42" W, 2887.79 feet, a central angle of 01°50'15", an arc distance of 92.61 feet (TXDOT 92.62 feet), and a chord that bears N 00°46'50" W, 92.61 feet to the end of said curve;

N 01°48'08" E, non-tangent to said curve, at a distance of 249.17 feet (TXDOT 249.23 feet) passing 1/2" rebar capped ADL found, continuing a total distance of 985.02 feet (TXDOT 985.02 feet) to a TXDOT aluminum disc found;

N 08°13'08" W, a distance of 46.06 feet (TXDOT 46.00 feet) to a TXDOT aluminum disc found;

N 01°58'36" E, a distance of 13.00 feet (TXDOT 12.94 feet) to a TXDOT aluminum disc found in a northwesterly line of said City of Grapevine tract and the southerly line of a called 1.242 acre tract of land as described in deed to NS 20, L.P., recorded in D210317303, DRCT, from which a 1/2" rebar found bears S 62°53'00" W, 88.51 feet (TXDOT 88.44 feet) and a TXDOT aluminum disc found bears N 01°39'35" E, 19.93 feet (TXDOT 19.88 feet);

THENCE N 62°53'00" E, departing the east line of said F.M. Highway No. 2499, along the northwesterly line of said City of Grapevine Tract I and the southerly line of said called 1.242 acre tract, a distance of 544.54 feet to a 1/2" rebar capped Goodwin & Marshall found (hereafter referred to as 1/2" rebar capped found) at the most westerly northwest corner of a called 20 acre tract of land as described in deed to NS 20, L.P., recorded in D210327301, DRCT, from which a 1/2" rebar found at the southeast corner of said called 1.242 acre tract bears N 62°35'00" E, 191.06 feet;

THENCE departing the southerly line of said called 1.242 acre tract, along the west, south and east lines of said called 20 acre tract and reentrant lines of said City of Grapevine Tract I, as follows:

S 10°21'00" E, a distance of 204.20 feet to a 1/2" rebar capped found;

S 68°26'33" E, a distance of 781.83 feet to a 1/2" rebar capped found;

N 29°35'29" E, a distance of 368.46 feet to a 1/2" rebar capped found;

N 07°13'04" W, a distance of 486.22 feet to a 1/2" rebar capped found;

N 12°28'44" E, a distance of 163.26 feet to a 1/2" rebar capped found;

N 00°01'31" E, a distance of 411.23 feet to a 1/2" rebar capped found at an angle point in the east line of said called 20 acre tract and an angle point in the northwest line of said City of Grapevine Tract I, said point lying in the southwesterly line of a called 65.60 acre Park Site (hereafter referred to as Park Site) as described in deed to the City of Grapevine, Texas, recorded in Volume 88055, Page 811, DRCT, from which a 1/2" rebar found bears N 45°32'54" W, 79.50 feet;

THENCE S 45°32'54" E, departing said called 20 acre tract, along a reentrant line of said City of Grapevine Tract I and the southwesterly line of said Park Site, a distance of 44.38 feet to a 3/8" rebar found;

THENCE N 44°53'22" E, along a northwesterly line of said City of Grapevine Tract I and a southeasterly line of said Park Site, a distance of 1461.69 feet to a point in a channel at the northerly corner of said City of Grapevine Tract I and the most westerly corner of the final plat of Lot 2, Block 1 and Lot 4, Block 2, D/FW Trade Center, an addition to the City of Grapevine, Dallas County, Texas as recorded in Volume 96149, Page 1765, DRCT, from which a 1/2" rebar found bears N 44°53'22" E, 68.42 feet;

THENCE departing said southeasterly line of said Park Site, along the northwesterly line of said City of Grapevine Tract I and the southwesterly line of said final plat of Lot 2, Block 1 and Lot 4, Block 2, D/FW Trade Center, an addition to the City of Grapevine, Dallas County, Texas as recorded in Volume 96250, Page 3681, DRCT, as follows:

S 12°57'51" E, at a distance of 674.91 feet passing the southwesterly corner of the existing platted terminus of Corporate Drive (60' R.O.W., Vol. 96149, Page 1765, DRCT), continuing a total distance of 640.60 feet to point;

S 19°39'23" E, at a distance of 8.02 feet passing the southeasterly corner of the existing platted terminus of said Corporate Drive, continuing a total distance of 323.52 feet to a point in a channel;

S 32°05'01" E, a distance of 1111.42 feet to a point in a channel in the northwesterly line of State Highway No. 121 (R.O.W. varies, adjoining right-of-way per Parcel 10 (Part 2), recorded in 201200092967, DRCT), from which a TXDOT aluminum disc found bears N 41°58'58" E, 569.19 feet (TXDOT 568.99 feet);

THENCE departing said Lot 1, Block 1, D/FW Trade Center, along the northwesterly line of said State Highway No. 121 and the easterly line of said City of Grapevine Tract I, as follows:

S 41°58'58" W, a distance of 454.17 feet (TXDOT 454.35 feet) to a TXDOT aluminum disc found;

S 38°46'56" W, a distance of 1477.81 feet (TXDOT 1477.64 feet) to a TXDOT aluminum disc found at the intersection of the northwesterly line of said State Highway No. 121 and the northerly line of Grapevine Mills Boulevard North (R.O.W. varies, adjoining right-of-way per Parcel 10 (Part 2) & Parcel 10 (Part 1), recorded in 201200092967, DRCT);

THENCE along the northerly line of said Grapevine Mills Boulevard North and the southerly line of said City of Grapevine tract, as follows:

S 74°37'52" W, a distance of 217.75 feet (TXDOT 217.95 feet) to a TXDOT aluminum disc found;

S 65°07'42" W, a distance of 164.43 feet (TXDOT 164.36 feet) to a TXDOT aluminum disc found;

S 72°03'29" W, a distance of 158.99 feet (TXDOT 159.07 feet) to a TXDOT aluminum disc found at the beginning of a non-tangent curve to the right, having a radius point that bears N 16°30'16" W, 606.00 feet;

Southwesterly, along said curve, having a central angle of 15°56'01", an arc distance of 162.53 feet (TXDOT 168.58 feet), and a chord that bears S 81°27'45" W, 167.98 feet to a TXDOT aluminum disc found at the end of said curve;

S 89°17'24" W, non-tangent to said curve, a distance of 293.52 feet (TXDOT 293.31 feet) to a TXDOT aluminum disc found;

S 89°22'52" W, a distance of 725.50 feet (TXDOT 725.30 feet) to a TXDOT aluminum disc found previously in the east line of Lot 1, Block 1, Speedway Grapevine Addition, an addition to the City of Grapevine, Tarrant County, Texas as recorded in Cabinet A, Slide 9164, PRCT, from which a bent 5/8" rebar found at the southeast corner of Lot 1, Block 1, Speedway Grapevine Addition bears S 00°47'41" E, 19.30 feet (TXDOT 19.44 feet);

THENCE N 00°47'41" W, departing the north line of said Grapevine Mills Boulevard North, along a west line of said City of Grapevine Tract I and the east line of said Lot 1, Block 1, Speedway Grapevine Addition, a distance of 231.70 feet (TXDOT 231.64 feet) to a 1/2" rebar capped found at a reentrant corner of said City of Grapevine Tract I and the northeast corner of said Lot 1, Block 1, Speedway Grapevine Addition;

THENCE S 89°20'23" W, along a south line of said City of Grapevine Tract I and the north line of said Lot 1, Block 1, Speedway Grapevine Addition, a distance of 195.00 feet to a 1/2" rebar capped found at the northwest corner of said Lot 1, Block 1, Speedway Grapevine Addition, said point lying in the east line of aforementioned Lot 3, Block 6 of Cimarron Crossing;

THENCE N 00°47'41" W, along a west line of said City of Grapevine Tract I and the east line of said Lot 3, Block 6 of Cimarron Crossing, a distance of 108.24 feet to a 1/2" rebar capped found at a reentrant corner of said City of Grapevine Tract I and the northeast corner of said Lot 3, Block 6 of Cimarron Crossing;

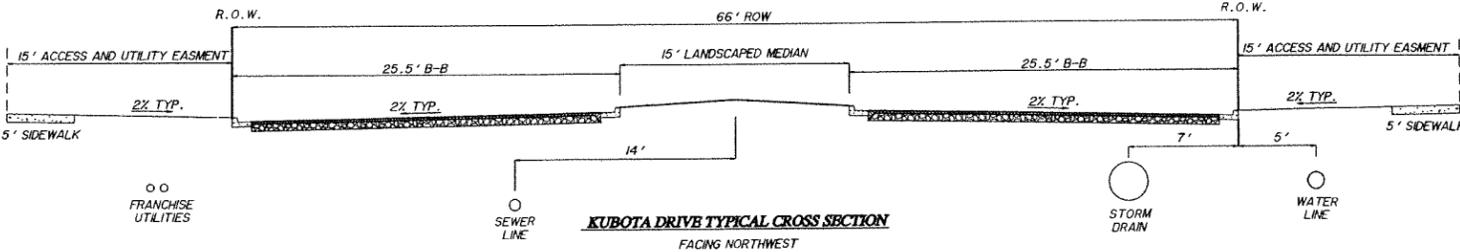
THENCE N 88°12'55" W, along a south line of said City of Grapevine Tract I and the north line of said Lot 3, Block 6 of Cimarron Crossing, a distance of 170.49 feet (TXDOT 170.49 feet) to the POINT OF BEGINNING, and containing 5876638 square feet or 134.909 acres of land.

NOTE: Bearings are referenced to Texas State Plane Coordinate System, North Central Zone, NAD83 as derived from Western Data Systems RTK Cooperative Network.

LEGEND	
	PROPERTY BOUNDARY
	LOT LINE
	ABSTRACT LINE
	100-YEAR FLOODPLAIN
	EASEMENT
	EXISTING CONTOURS
	TREELINE
	EXISTING BUILDING

LEGEND	
	TELEPHONE PEDESTAL
	UTILITY POLE
	GUY ANCHOR
	LIGHT POLE
	WATER VALVE
	FIRE HYDRANT
	SIGN
	SANITARY SEWER MANHOLE
	TELEPHONE MANHOLE
	WATER MANHOLE
	FENCE LINE
	OVERHEAD UTILITY LINE
	WATER METER
	GTE MARKER
	WATER METER
	WATER PIN FLAG
	SEWER PIN FLAG
	G. T. E. BURIED CABLE PIN FLAG
	CONCRETE S. W. B. MARKER
	S. W. B. PIN FLAG
	CLEANOUT
	IRRIGATION CONTROL VALVE

ABBREVIATIONS	
ROW	RIGHT OF WAY
L	LENGTH
CC	COMMUNITY COMMERCIAL ZONING
BP	BUSINESS PARK ZONING
R-MF	MULTI-FAMILY ZONING
GU	GENERAL USE ZONING



THIS DOCUMENT IS FOR INTERIM REVIEW ONLY. IT IS NOT INTENDED FOR BIDDING, CONSTRUCTION, OR PERMIT PURPOSES.  
MATTHEW J. BAACKE  
TEXAS P.E. NO. 99368

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,  
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER <sup>BR</sup>

MEETING DATE: SEPTEMBER 15, 2015

SUBJECT: FINAL PLAT APPLICATION  
LOTS 1 & 2, BLOCK 1, KUBOTA ADDITION

PLAT APPLICATION FILING DATE..... September 8, 2015

APPLICANT.....David Sutton, Kubota USA

REASON FOR APPLICATION ..... Headquarters for Kubota USA

PROPERTY LOCATION .....North of Grapevine Mills Boulevard between  
Grapevine Mills Parkway (FM2499) and SH 121

ACREAGE.....32.886

ZONING.....CC: Community Commercial

NUMBER OF LOTS.....2

PREVIOUS PLATTING ..... No

CONCEPT PLAN..... No

SITE PLAN ..... CU15-38

OPEN SPACE REQUIREMENT..... No

AVIGATION RELEASE ..... Yes

PUBLIC HEARING REQUIRED ..... No

PLAT INFORMATION SHEET  
FINAL PLAT APPLICATION  
LOTS 1 & 2, BLOCK 1, KUBOTA ADDITION

I. GENERAL:

- The applicant, David Sutton with Kabota USA is final platting two (2) commercial lots. The property is located north of Grapevine Mills Boulevard North between Grapevine Mills Parkway and SH121.

II. STREET SYSTEM:

- The development has access to Grapevine Mills Blvd. N, Grapevine Mills Parkway and SH 121.
- ALL abutting roads:  are on the City Thoroughfare Plan: Grapevine Mills Blvd. N. and Grapevine Mills Parkway

are not on the City Thoroughfare Plan:

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF		
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 10.00 / LF		

Periphery Street Fees are not due:

TOTAL

III. STORM DRAINAGE SYSTEM:

- The site drains north into Denton Creek.
- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for:
- Water and Wastewater Impact Fees are due prior to the issuance of building permits: Lots 1 & 2, Block 1, Kubota Addition
  - Single Family Residential ( \$ 2,191/ Lot)
  - Multifamily ( \$ 1,026 / Unit)
  - Hotel ( \$ 38,107/ Acre)
  - Corporate Office ( \$ 18,847/ Acre)
  - Government ( \$ 4,037/ Acre)
  - Commercial / Industrial ( \$ 5,209 / Acre)
- Open Space Fees are not required for: Lots 1 & 2, Block 1, Kubota Addition
- Open Space Fees are required for:
  - R-5.0, Zero Lot District ( \$ 1,416.00 / Lot)
  - R-7.5, Single Family District ( \$ 1,146.00 / Lot)
  - R-12.5, Single Family District ( \$ 1,071.00 / Lot)
  - R-20.0, Single Family District ( \$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
  - Front building line
  - Rear building line
  - Lot width & depth
  - Max. Impervious Area
  - Special Exception to the required front yard landscape setback
- The following items associated with this plat are not in accordance with the current subdivision standards:
  - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
  - Length of cul-de-sac street exceeds the 600-foot limit:
  - Driveway Spacing not met.

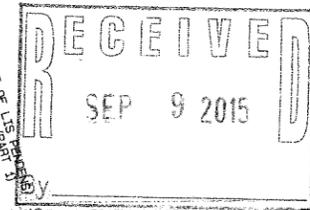
VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
- The right-of-way provides for future widening of public streets that will serve the development of this site.
  - The onsite utility easements provide for a utility network to serve the development of this site.
  - The onsite drainage easements provide for a drainage network to serve the development of this site.
  - The onsite access easements provide cross access capabilities to this site and surrounding property.
  - The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

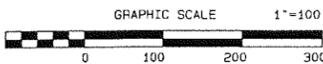
- B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:
- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
  - The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
  - The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
  - The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
  - The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
  - All of the dedications benefit the development to at least the extent of the impact of such on the development.

VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Final Plat of Lots 1 & 2, Block 1, Kubota USA."



STATE HIGHWAY No. 121  
VARIABLE WIDTH R.O.W.  
ADJOINING TO O.P.R.D.C.T.  
201200027671



VICINITY MAP  
(NOT TO SCALE)

**LEGEND**

R.O.W.	RIGHT OF WAY
SQ. FT.	SQUARE FEET
VOL.	VOLUME
PG.	PAGE
D.R.T.C.T.	DEED RECORDS, TARRANT COUNTY, TEXAS
D.D.C.T.	DEED RECORDS, DALLAS COUNTY, TEXAS
O.P.R.D.C.T.	OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS
O.P.R.T.C.T.	OFFICIAL PUBLIC RECORDS, TARRANT COUNTY, TEXAS
---	ACCESS DENIAL

**LINE DATA**

LINE	BEARING	DISTANCE
L1	N83°46'56"E	35.36'
L2	N06°13'04"W	35.36'
L3	N21°24'18"W	66.00'
L4	N34°17'42"W	47.86'
L5	N51°13'04"W	24.82'
L6	N40°50'47"E	34.72'
L7	S19°41'26"E	79.21'
L8	N79°37'05"E	116.14'
L9	S40°50'47"W	55.51'
L10	N49°09'13"W	30.00'

**CURVE DATA**

CURVE	RADIUS	DELTA	LENGTH	CHORD BEARING	CHORD
C1	533.00'	2°57'50"	27.57'	S31°41'34"E	27.57'
C2	717.00'	20°59'33"	262.70'	S40°42'25"E	261.23'
C3	783.00'	20°59'38"	286.90'	N40°42'28"W	285.30'
C4	467.00'	81°11'38"	661.79'	N70°48'28"W	607.79'
C5	750.00'	21°00'25"	274.98'	N40°42'52"W	273.44'
C6	500.00'	81°11'38"	708.55'	N70°48'28"W	650.73'
C7	60.00'	255°31'21"	267.58'	S11°23'32"E	94.87'
C8	20.00'	75°31'21"	26.36'	N78°36'28"E	24.48'

POINT OF BEGINNING

R.O.W. DEDICATION  
11,873 SQ. FT.  
0.273 ACRE

R.O.W. DEDICATION  
86,197 SQ. FT.  
1.979 ACRES

LOT 1, BLOCK 1  
1,176,518 SQ. FT.  
27,009 ACRES  
MINIMUM FINISHED FLOOR ELEVATION 473.00'

LOT 2, BLOCK 1  
145,673 SQ. FT.  
3.344 ACRES

Preliminary, this document shall not be recorded for any purpose.  
Issued for review Fri Sep 04 13:41:19 2015

**FINAL PLAT**  
OF  
**LOTS 1 & 2, BLOCK 1**  
**KUBOTA ADDITION**

BEING  
2 NON-RESIDENTIAL LOTS  
32.605 ACRES  
SITUATED IN THE

THOMAS W COUSY SURVEY, ABSTRACT No. 317  
JOHN E. HOLLAND SURVEY, ABSTRACT No. 614  
C.S. DUNNAGAN SURVEY, ABSTRACT No. 1655  
J.M. BAKER SURVEY, ABSTRACT No. 1691  
CITY OF GRAPEVINE, DALLAS COUNTY, TEXAS

EXISTING AND PROPOSED ZONING: CC  
SEPTEMBER 2015

OWNED BY:  
**City of Grapevine, Texas**  
200 SOUTH MAIN STREET  
GRAPEVINE, TEXAS 76061

PREPARED BY:  
**GOODWIN & MARSHALL**  
CIVIL ENGINEERS - PLANNERS - SURVEYORS  
2405 Mustang Drive, Grapevine, Texas 76061  
Metro (817) 329-4373  
TBPE REGISTRATION # F-2944  
TBPLS # 10021700

OWNER'S CERTIFICATE

STATE OF TEXAS  
COUNTY OF DALLAS:

WHEREAS THE CITY OF GRAPEVINE, TEXAS is the owner of a tract of land situated in the Thomas W. Cousy Survey, Abstract No. 317, the John E. Holland Survey, Abstract No. 614, the C.S. Dunnagan Survey, Abstract No. 1655, and the J.M. Baker Survey, Abstract No. 1654, City of Grapevine, Dallas County, Texas, being a portion of Tract I as described in deed to the City of Grapevine, Texas, recorded in 201300389542, Official Public Records, Dallas County, Texas (DRDOCT), and being more particularly described as follows:

BEGINNING at a point in a channel at the most westerly corner of the final plat of Lot 2, Block 1 and Lot 1, Block 2, O/FW Trade Center, an addition to the City of Grapevine, Dallas County, Texas, as recorded in Volume 96149, Page 1765, Deed Records, Dallas County, Texas (DRDOCT) and the most northerly corner of said City of Grapevine Tract I, said point lying in a southeasterly line of a called 65.60 acre Park Site (hereinafter referred to as Park Site) as described in deed to the City of Grapevine, Texas, recorded in Volume 88055, Page 811, DRDOCT;

THENCE departing said southeasterly line of said Park Site, along the northeasterly line of said City of Grapevine Tract I and the southeasterly line of said final plat Lot 2, Block 1 and Lot 1, Block 2, O/FW Trade Center, and Lot 1, Block 1, O/FW Trade Center, an addition to the City of Grapevine, Dallas County, Texas, as recorded in Volume 95250, Page 3681, DRDOCT, as follows:

S 42°57'51" E, at a distance of 574.91 feet passing the southeasterly corner of the platted terminus of Corporate Drive (60' R.O.W., Vol. 96149, Page 1765, DRDOCT), continuing a total distance of 640.60 feet to point;

S 19°39'23" E, at a distance of 8.02 feet passing a 1/2" rebar in concrete found at the southeasterly corner of the platted terminus of said Corporate Drive, continuing a total distance of 323.52 feet to a point in a channel;

S 32°05'01" E, at a distance of 643.86 feet to a point in a channel;

THENCE departing the southwesterly line of said Lot 1, Block 1, O/FW Trade Center, traversing across said City of Grapevine Tract I, as follows:

S 55°56'31" W, a distance of 544.01 feet to a 1/2" rebar capped set at the beginning of a non-tangent curve to the right, having a radius point that bears S 56°49'31" W, 533.00 feet;

Southeasterly, along said curve, having a central angle of 02°57'50", an arc distance of 27.57 feet, and a chord that bears S 31°41'34" E, 27.57 feet to a 1/2" rebar capped set at the end of said curve;

S 30°12'39" E, tangent to said curve, a distance of 288.19 feet to a 1/2" rebar capped set at the beginning of a tangent curve to the left, having a radius of 717.00 feet;

Southeasterly, along said curve, having a central angle of 20°59'33", an arc distance of 262.70 feet, and a chord that bears S 40°42'26" E, 261.23 feet to a 1/2" rebar capped set at the end of said curve;

N 83°46'56" E, non-tangent to said curve, a distance of 35.36 feet to a 1/2" rebar capped set in the northwesterly line of State Highway No. 121 (R.O.W., varies, adjoining right-of-way per Parcel 10 (Part 2), recorded in 201200292657, DRDOCT) and the southeasterly line of said City of Grapevine Tract I, from which a TXDOT aluminum disc found bears N 38°46'56" E, 48.26 feet;

THENCE S 38°46'56" W, along the northwesterly line of said State Highway No. 121 and the southeasterly line of said City of Grapevine Tract I, a distance of 116.00 feet;

THENCE departing the northwesterly line of said State Highway No. 121, traversing across said City of Grapevine Tract I, as follows:

N 06°13'04" W, a distance of 35.36 feet to a 1/2" rebar capped set at the beginning of a non-tangent curve to the right, having a radius point that bears N 38°47'43" E, 783.00 feet;

Northwesterly, along said curve, having a central angle of 20°59'38", an arc distance of 266.90 feet, and a chord that bears N 40°42'28" W, 265.30 feet to a 1/2" rebar capped set at the end of said curve;

N 30°12'39" W, tangent to said curve, a distance of 288.19 feet to a 1/2" rebar capped set at the beginning of a tangent curve to the left, having a radius of 467.00 feet;

Northwesterly, along said curve, having a central angle of 81°11'38", an arc distance of 661.79 feet, and a chord that bears N 70°48'28" W, 607.79 feet to a 1/2" rebar capped set at the end of said curve;

N 21°24'18" W, radial to said curve, a distance of 66.00 feet to a 1/2" rebar capped set;

N 36°30'54" W, a distance of 720.33 feet to a 1/2" rebar capped set;

N 34°17'42" W, a distance of 47.86 feet to a 1/2" rebar capped set in a northwesterly line of said City of Grapevine Tract I and a southeasterly line of the aforementioned Park Site;

THENCE N 44°53'22" E, along a northwesterly line of said City of Grapevine Tract I and a southeasterly line of said Park Site, a distance of 1349.50 feet to the POINT OF BEGINNING and containing 1,420,262 square feet or 32.605 acres of land.

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS, THAT THE CITY OF GRAPEVINE, TEXAS, does hereby adopt this plat of LOTS 1 & 2, BLOCK 1, KUBOTA ADDITION, an addition to the City of Grapevine, Tarrant County, Texas and does hereby dedicate to the public use forever the right-of-way and easements shown hereon. The easements shown hereon are hereby reserved for the purposes indicated. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of paving on the easements is the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. Any City or franchised utility shall have the full right to remove and keep removed all or parts of any fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all City or franchised utilities shall at all times have the full right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone. I have reviewed the City's findings concerning dedications and I do agree that the statements are true and correct.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

Witness our hands this the \_\_\_\_\_ day of \_\_\_\_\_, 2015.

City of Grapevine, Texas

By: \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF TARRANT:

BEFORE ME, the undersigned Notary Public in and for said county and state, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein and expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_\_\_ day of \_\_\_\_\_, 2015.

Notary Public in and for the State of Texas  
My Commission Expires: \_\_\_\_\_

AVIATION RELEASE

STATE OF TEXAS  
COUNTY OF TARRANT:

WHEREAS, THE CITY OF GRAPEVINE, TEXAS, is the owner of that certain parcel of land situated in the City of Grapevine, Tarrant County, Texas, being said property as described and shown on this plat.

NOW, THEREFORE, in consideration of the sum of ONE AND 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confessed, Owner does hereby waive, release, remise and quitclaim to the City of Grapevine, Tarrant County, Texas, the Dallas-Fort Worth International Airport Board, the City of Dallas, Texas and Fort Worth, Texas, their successors and assigns, hereinafter called "Cities," for the use and benefit of the public and its agencies, any and all claims for damages of any kind to persons or property that Owner may suffer by reason of the passage and flight of all aircraft in the air space above Owner's property above the height restriction as presently established by Ordinance No. 75-50 for the City of Grapevine, known as the Airport Zoning Ordinance of the Dallas-Fort Worth International Airport, to an infinite height above same, whether such damage shall originate from noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft, landing at, or taking off from, or operating at or on the Dallas-Fort Worth International Airport.

This instrument does not release the owners or operators of aircraft from liability for damage to person or property caused by falling aircraft or falling physical objects from aircraft, except as stated herein with respect to noise, fumes, dust, fuel and lubricant particles.

It is agreed that this Release shall be binding upon said Owner and his heirs and assigns, and successors in interest to said property, and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of the county or counties in which the property is situated.

EXECUTED at \_\_\_\_\_, this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

OWNER:

CITY OF GRAPEVINE, TEXAS

STATE OF TEXAS  
COUNTY OF TARRANT:

BEFORE ME, the undersigned Notary Public in and for said county and state, on this day personally appeared \_\_\_\_\_ of the CITY OF GRAPEVINE, TEXAS, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein and expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_\_\_ day of \_\_\_\_\_, 2015.

Notary Public in and for the State of Texas  
My Commission Expires: \_\_\_\_\_

SURVEYOR'S CERTIFICATION

I, Joel S. Barton, of Goodwin and Marshall, Inc., a Registered Professional Land Surveyor of the State of Texas, do hereby declare that I prepared this plat from an actual and accurate survey on the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the State of Texas and the City of Grapevine.

Preliminary, this document shall not be recorded for any purpose. Issued for review Fri Sep 04 13:41:15 2015

Joel S. Barton  
Registered Professional Land Surveyor No. 4914  
Goodwin and Marshall, Inc.  
2405 Mustang Drive  
Grapevine, Texas 76051  
(817) 329-4373

NOTES

- 1. Bearings are referenced to Texas State Plane Coordinate System, North Central Zone, NAD83 as derived from Western Data Systems RTK Cooperative Network.
- 2. Property corners are 1/2" rebars capped Goodwin & Marshall set, unless otherwise noted.
- 3. The property platted hereon is subject to Airport Zoning Ordinance No. 75-100 of the Dallas-Fort Worth Regional Airport, recorded in Volume 82173, Page 178, DRDOCT and is a portion of the property referenced in Letter Agreement, recorded in Volume 12071, Page 960, DRDOCT and Deed Restrictions, recorded in Volume 95168, Page 2455, DRDOCT & Volume 12071, Page 974, DRDOCT, as affected by Release of obligations under Deed Restrictions, recorded in Volume 13225, Page 513, DRDOCT.

AREA SUMMARY:

Total Platted Area: 1,420,262 square feet  
Net Platted Area: 1,322,151 square feet  
Right of Way Dedication: 98,070 square feet  
Easement Dedication: 11,098 square feet

PLANNING AND ZONING COMMISSION  
Date Approved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Secretary: \_\_\_\_\_  
GRAPEVINE CITY COUNCIL  
Date Approved: \_\_\_\_\_  
Mayor: \_\_\_\_\_  
City Secretary: \_\_\_\_\_

Preliminary, this document shall not be recorded for any purpose.  
Issued for review Fri Sep 04 13:41:15 2015

FINAL PLAT  
OF  
LOTS 1 & 2, BLOCK 1  
KUBOTA ADDITION  
BEING  
2 NON-RESIDENTIAL LOTS  
32.605 ACRES  
SITUATED IN THE

THOMAS W COUSY SURVEY, ABSTRACT No. 317  
JOHN E. HOLLAND SURVEY, ABSTRACT No. 614  
C.S. DUNNAGAN SURVEY, ABSTRACT No. 1655  
J.M. BAKER SURVEY, ABSTRACT No. 1691  
CITY OF GRAPEVINE, DALLAS COUNTY, TEXAS  
EXISTING AND PROPOSED ZONING: CC  
SEPTEMBER 2015

PREPARED BY:  
GOODWIN & MARSHALL  
CIVIL ENGINEERS - PLANNERS - SURVEYORS  
2405 Mustang Drive, Grapevine, Texas 76051  
Metro (817) 329-4373  
TBPE REGISTRATION # F-2944  
TBPLS # 10021700

OWNED BY:  
City of Grapevine, Texas  
200 SOUTH MAIN STREET  
GRAPEVINE, TEXAS 76051

E:\00653 - Kubota COOP PLAT\PLAT.P2

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,  
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER *BR*

MEETING DATE: SEPTEMBER 15, 2015

SUBJECT: PRELIMINARY PLAT APPLICATION  
LOTS 1 AND 2, BLOCK A, GLADE 360 ADDITION

PLAT APPLICATION FILING DATE..... September 8, 2015

APPLICANT..... Paul Gardner, Silvertree Partners

REASON FOR APPLICATION ..... To build apartments

PROPERTY LOCATION ..... Northeast corner of Glade Road  
and SH360

ACREAGE..... 67.757

ZONING..... Existing: LI & PCD  
Proposed: R-MF-2

NUMBER OF LOTS..... 2

PREVIOUS PLATTING ..... No

CONCEPT PLAN..... No

SITE PLAN ..... CU15-22 & Z15-04

OPEN SPACE REQUIREMENT..... Yes

AVIGATION RELEASE ..... Yes

PUBLIC HEARING REQUIRED ..... No

PLAT INFORMATION SHEET  
PRELIMINARY PLAT APPLICATION  
LOTS 1 & 2, BLOCK A, GLADE 360 ADDITION

I. GENERAL:

- The applicant, Paul Gardner with Silvertree Partners is platting this property into two (2) lots for an apartment complex. The property is located at the northeast corner of Glade Road and SH 360.

II. STREET SYSTEM:

- The development has access to Glade Road and SH360
- ALL abutting roads:  are on the City Thoroughfare Plan: Glade Road  
 are not on the City Thoroughfare Plan:

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input checked="" type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF	367.02'	\$65,458.02
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 10.00 / LF		

Periphery Street Fees are not due:

TOTAL

III. STORM DRAINAGE SYSTEM:

- The site drains east into Big Bear Creek.
- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for:
- Water and Wastewater Impact Fees are due prior to the issuance of building permits: Lots 1 & 2, Block A, Glade 360 Addition
  - Single Family Residential ( \$ 2,191/ Lot)
  - Multifamily ( \$ 1,026 / Unit)
  - Hotel ( \$ 38,107/ Acre)
  - Corporate Office ( \$ 18,847/ Acre)
  - Government ( \$ 4,037/ Acre)
  - Commercial / Industrial ( \$ 5,209 / Acre)
- Open Space Fees are not required for: Glade 360
- Open Space Fees are required for:
  - R-5.0, Zero Lot District ( \$ 1,416.00 / Lot)
  - R-7.5, Single Family District ( \$ 1,146.00 / Lot)
  - R-12.5, Single Family District ( \$ 1,071.00 / Lot)
  - R-20.0, Single Family District ( \$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
  - Front building line
  - Rear building line
  - Lot width & depth
  - Max. Impervious Area
  - Special Exception to the required front yard landscape setback
- The following items associated with this plat are not in accordance with the current subdivision standards:
  - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
  - Length of cul-de-sac street exceeds the 600-foot limit:
  - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
- The right-of-way provides for future widening of public streets that will serve the development of this site.
  - The onsite utility easements provide for a utility network to serve the development of this site.
  - The onsite drainage easements provide for a drainage network to serve the development of this site.
  - The onsite access easements provide cross access capabilities to this site and surrounding property.
  - The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

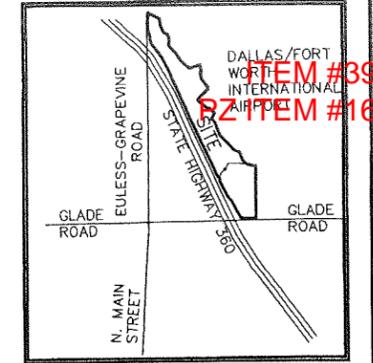
B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:

- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
- The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
- The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
- The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
- The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
- All of the dedications benefit the development to at least the extent of the impact of such on the development.

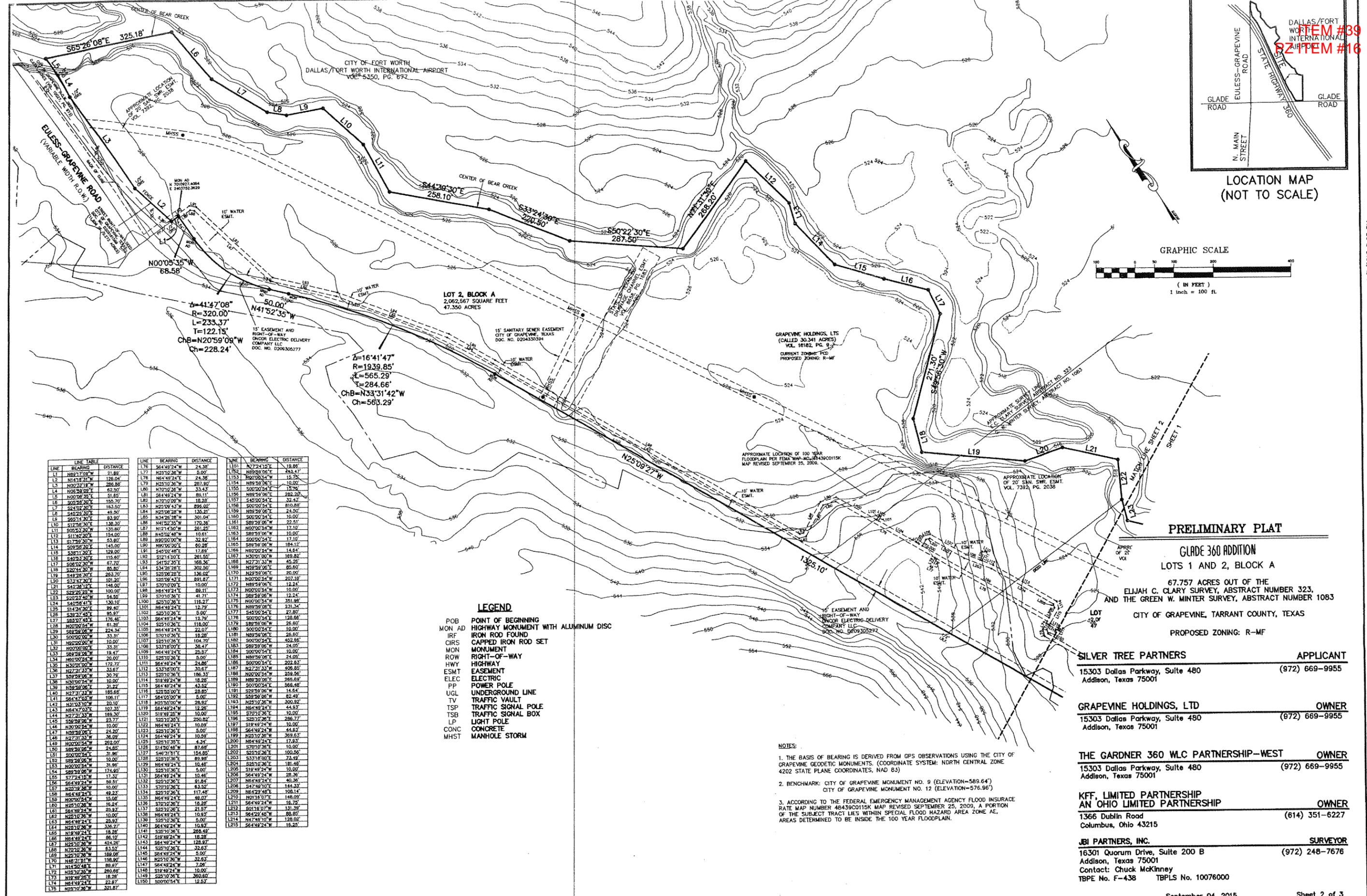
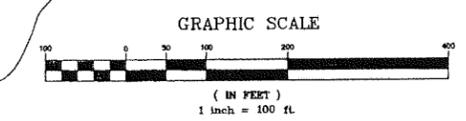
VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Preliminary Plat of Lots 1 and 2, Block A, Glade 360 Addition."





LOCATION MAP (NOT TO SCALE)



LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	N82°17'03"W	21.87	L17	N27°24'12"E	18.98
L2	N14°13'31"W	126.04	L18	N80°00'54"E	16.70
L3	N00°32'18"W	226.88	L19	N89°58'26"E	10.00
L4	N08°38'02"E	62.50	L20	N70°10'36"W	33.43
L5	N00°08'35"E	151.65	L21	N89°58'26"E	289.20
L6	S24°02'30"E	163.50	L22	S45°00'54"E	32.43
L7	S41°02'30"E	43.30	L23	S00°00'54"E	810.88
L8	S42°28'30"E	43.30	L24	N89°58'26"E	24.50
L9	S45°14'30"E	83.90	L25	S00°00'54"E	10.00
L10	S47°25'30"E	138.30	L26	S89°58'26"W	22.51
L11	S05°53'30"W	126.80	L27	N00°00'54"W	17.10
L12	S11°40'30"W	116.60	L28	N89°58'26"E	14.84
L13	S17°29'30"W	53.80	L29	N00°00'54"E	10.00
L14	S09°58'30"E	145.00	L30	N89°58'26"E	184.12
L15	S38°11'30"E	128.00	L31	S45°00'54"E	14.84
L16	S40°23'30"E	101.20	L32	N00°00'54"E	169.82
L17	S08°10'30"W	67.70	L33	S41°52'35"E	168.36
L18	S20°44'30"W	85.80	L34	S34°28'28"E	302.50
L19	S49°28'30"E	283.70	L35	S45°08'23"E	136.62
L20	S12°42'30"W	101.20	L36	S26°08'43"E	891.87
L21	S42°34'12"E	148.00	L37	S70°10'09"E	10.00
L22	S22°28'25"E	100.00	L38	N84°48'24"E	88.11
L23	S20°24'30"W	130.60	L39	S20°10'36"E	116.27
L24	S40°59'41"E	154.60	L40	S25°10'36"E	116.27
L25	S14°34'30"E	89.40	L41	N64°48'24"E	12.79
L26	S38°17'42"E	95.97	L42	S45°00'54"E	5.00
L27	S83°37'45"E	12.79	L43	S00°00'54"E	12.79
L28	N00°00'54"W	11.39	L44	S25°10'36"E	118.00
L29	N89°58'26"E	22.51	L45	N64°48'24"E	22.07
L30	S00°00'54"W	33.31	L46	S70°10'36"E	18.98
L31	N00°00'54"W	10.00	L47	S70°10'36"E	104.70
L32	N89°58'26"E	33.31	L48	S83°18'00"E	28.47
L33	S89°58'26"E	19.47	L49	N64°48'24"E	25.57
L34	N00°00'54"W	20.00	L50	S25°10'36"E	5.00
L35	N89°58'26"E	172.72	L51	N64°48'24"E	24.88
L36	N27°31'33"W	33.67	L52	S33°18'00"E	30.67
L37	S59°59'08"W	30.78	L53	S25°10'36"E	186.33
L38	N30°00'54"W	10.00	L54	S18°48'24"E	18.98
L39	N59°28'02"E	31.22	L55	N64°48'24"E	43.82
L40	N27°31'33"W	183.68	L56	S25°10'36"E	28.85
L41	S64°47'03"E	106.11	L57	S45°00'54"E	5.00
L42	N13°10'10"W	20.10	L58	N89°58'26"W	28.82
L43	N64°47'03"E	107.35	L59	S84°48'24"E	12.26
L44	N27°31'33"W	168.30	L60	S18°48'24"E	10.00
L45	S36°58'36"E	23.77	L61	S25°10'36"E	259.02
L46	N20°00'54"W	10.00	L62	N64°48'24"E	10.00
L47	N59°28'02"E	24.20	L63	S25°10'36"E	5.00
L48	N27°31'33"W	36.02	L64	S14°00'48"E	87.68
L49	N00°00'54"W	20.00	L65	S46°31'51"E	154.85
L50	S89°58'26"E	24.85	L66	S33°18'00"E	83.88
L51	S00°00'54"E	31.86	L67	N64°48'24"E	10.48
L52	S89°58'26"E	10.00	L68	S25°10'36"E	5.00
L53	N00°00'54"W	31.86	L69	S64°48'24"E	10.48
L54	S89°58'26"E	174.65	L70	S25°10'36"E	5.00
L55	S77°24'15"W	17.32	L71	S64°48'24"E	10.48
L56	S64°48'24"E	82.51	L72	S25°10'36"E	5.00
L57	N20°00'54"W	10.00	L73	S70°10'36"E	63.52
L58	N64°48'24"E	49.23	L74	S25°10'36"E	117.48
L59	N00°00'54"W	15.08	L75	N64°48'24"E	48.07
L60	N89°58'26"E	16.24	L76	S70°10'36"E	16.28
L61	S64°48'24"E	25.93	L77	S40°10'36"E	21.87
L62	N25°10'36"W	10.00	L78	N64°48'24"E	10.93
L63	N64°48'24"E	20.83	L79	S25°10'36"E	5.00
L64	N25°10'36"W	358.77	L80	S64°48'24"E	10.63
L65	N18°48'24"E	18.28	L81	S25°10'36"E	208.48
L66	N64°48'24"E	86.10	L82	S18°48'24"E	18.28
L67	N25°10'36"W	424.26	L83	S64°48'24"E	128.87
L68	N70°10'36"W	63.52	L84	S25°10'36"E	32.63
L69	N25°10'36"W	189.08	L85	S64°48'24"E	5.00
L70	N46°31'31"W	136.90	L86	N64°48'24"E	32.63
L71	N14°50'48"E	89.97	L87	S64°48'24"E	7.08
L72	N25°10'36"W	280.68	L88	S18°48'24"E	10.00
L73	N18°48'24"E	18.28	L89	S25°10'36"E	380.60
L74	N64°48'24"E	23.87	L90	S00°00'54"E	12.83
L75	N25°10'36"W	321.87			

**LEGEND**

POB	POINT OF BEGINNING
IRF	IRON ROD FOUND
MON AD	MONUMENT WITH ALUMINUM DISC
GRS	CAPPED IRON ROD SET
MON	MONUMENT
ROW	RIGHT-OF-WAY
HWY	HIGHWAY
EMST	EASEMENT
ELEC	ELECTRIC
PP	POWER POLE
UGL	UNDERGROUND LINE
TV	TRAFFIC VAULT
TSP	TRAFFIC SIGNAL POLE
TSB	TRAFFIC SIGNAL BOX
LP	LIGHT POLE
CONC	CONCRETE
MHST	MANHOLE STORM

- NOTES:**
1. THE BASIS OF BEARING IS DERIVED FROM GPS OBSERVATIONS USING THE CITY OF GRAPEVINE GEODETIC MONUMENTS. (COORDINATE SYSTEM: NORTH CENTRAL ZONE 4202 STATE PLANE COORDINATES, NAD 83)
  2. BENCHMARK: CITY OF GRAPEVINE MONUMENT NO. 9 (ELEVATION=589.64') CITY OF GRAPEVINE MONUMENT NO. 12 (ELEVATION=576.96')
  3. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 48439C0115K, MAP REVISED SEPTEMBER 25, 2009, A PORTION OF THE SUBJECT TRACT LIES WITHIN SPECIAL FLOOD HAZARD AREA ZONE AE. AREAS DETERMINED TO BE INSIDE THE 100 YEAR FLOODPLAIN.

**PRELIMINARY PLAT**

**GLADE 360 ADDITION**  
**LOTS 1 AND 2, BLOCK A**  
 67.757 ACRES OUT OF THE  
 ELIJAH C. CLARY SURVEY, ABSTRACT NUMBER 323,  
 AND THE GREEN W. WINTER SURVEY, ABSTRACT NUMBER 1083  
 CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS

PROPOSED ZONING: R-MF

**SILVER TREE PARTNERS** APPLICANT  
 15303 Dallas Parkway, Suite 480  
 Addison, Texas 75001 (972) 669-9955

**GRAPEVINE HOLDINGS, LTD** OWNER  
 15303 Dallas Parkway, Suite 480  
 Addison, Texas 75001 (972) 669-9955

**THE GARDNER 360 WLC PARTNERSHIP--WEST** OWNER  
 15303 Dallas Parkway, Suite 480  
 Addison, Texas 75001 (972) 669-9955

**KFF, LIMITED PARTNERSHIP  
 AN OHIO LIMITED PARTNERSHIP** OWNER  
 1366 Dublin Road  
 Columbus, Ohio 43215 (614) 351-6227

**JBI PARTNERS, INC.** SURVEYOR  
 16301 Quorum Drive, Suite 200 B  
 Addison, Texas 75001 (972) 248-7676  
 Contact: Chuck McKinney  
 TBPE No. F-438 TBPLS No. 10076000

Plotted by: mharp Plot Date: 9/2/2015 3:03 PM  
 Drawing: H:\Projects\jensoon\dwg\Xersoon\PIP.rdw Saved By: mharp Save Time: 9/3/2015 2:26 PM

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS, KFF Limited Partnership, an Ohio limited partnership, The Gardner 360 WLC Partnership-West, and Grapevine Holdings, LTD are the owners of a parcel of land located in the City of Grapevine, Tarrant County, Texas, being a part of the Eljah C. Clary Survey, Abstract Number 323, and being a part of the Green W. Minter Survey, Abstract 1083, and being all of that called 14.324 acre tract of land described in deed to KFF Limited Partnership, on Ohio limited partnership as recorded in Volume 14006, Page 43, Tarrant County Deed Records, and being all of that called 23.918 tract of land described in deed to The Gardner 360 WLC Partnership-West as recorded in Volume 15348, Page 75, Tarrant County Deed Records, and also being a part of that called 30.341 acre tract of land described in deed to Grapevine Holdings Ltd as recorded in Volume 16182, Page 9, Tarrant County Deed Records, and being further described as follows:

BEGINNING at a highway monument with an aluminum disc found at southwest corner of said 14.324 acre tract, said point also being at the intersection of the north right-of-way of Glade Road (a variable width right-of-way) with the east right-of-way of State Highway 360 (a variable width right-of-way);

THENCE along the east right-of-way line of State Highway 360 as follows:
North 29 degrees 23 minutes 17 seconds West, 193.24 feet to a highway monument with an aluminum disc found for corner;
North 27 degrees 58 minutes 48 seconds West, 195.10 feet to a highway monument with an aluminum disc found for corner;
North 31 degrees 03 minutes 10 seconds West, 99.30 feet to a highway monument with an aluminum disc found for corner;
North 41 degrees 19 minutes 29 seconds West, 104.66 feet to a highway monument with an aluminum disc found for corner;
Northwesterly, 399.12 feet along a curve to the right having a central angle of 06 degrees 02 minutes 03 seconds, a radius of 3789.72 feet, a tangent of 199.74 feet, and whose chord bears North 28 degrees 10 minutes 40 seconds West, 398.93 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;
North 25 degrees 24 minutes 31 seconds West, 26.27 feet to a highway monument with an aluminum disc found for corner;
North 02 degrees 57 minutes 29 seconds East, 52.70 feet to a highway monument with an aluminum disc found for corner;
North 24 degrees 54 minutes 48 seconds West, 21.60 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner, said point being the northwest corner of said 14.324 acre tract, said point also being the southwest corner of that said 23.918 acre tract;
North 25 degrees 05 minutes 05 seconds West, 40.30 feet to a highway monument with an aluminum disc found for corner;
North 31 degrees 25 minutes 40 seconds West, 30.15 feet to a highway monument with an aluminum disc found for corner;
North 25 degrees 10 minutes 36 seconds West, 1585.93 feet to a one-half inch iron rod found for corner, said point being the northwest corner of said 23.918 acre tract, said point also being the southwest corner of said 30.341 acre tract;
North 25 degrees 09 minutes 27 seconds West, 1325.10 feet to a highway monument with an aluminum disc found for corner;
Northwesterly, 565.29 feet along a curve to the left having a central angle of 16 degrees 41 minutes 47 seconds, a radius of 1939.85 feet, a tangent of 284.66 feet, and whose chord bears North 33 degrees 31 minutes 42 seconds West, 563.29 feet to a highway monument with an aluminum disc found for corner;
North 41 degrees 52 minutes 35 seconds West, 50.00 feet to a highway monument with an aluminum disc found for corner;
Northwesterly, 233.37 feet along a curve to the right having a central angle of 41 degrees 47 minutes 08 seconds, a radius of 320.00 feet, a tangent of 122.15 feet, and whose chord bears North 20 degrees 59 minutes 09 seconds West, 228.24 feet to a highway monument with an aluminum disc found for corner;
North 00 degrees 05 minutes 35 seconds West, 68.58 feet to a highway monument with an aluminum disc found for corner;
North 89 degrees 17 minutes 09 seconds West, 21.89 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner in the east right-of-way line of Eules-Grapevine Road per a street right-of-way deed to the City of Grapevine as recorded in Document Number D205161589, Tarrant County Deed Records;

THENCE along the east right-of-way line of Eules-Grapevine Road as follows:
North 14 degrees 16 minutes 31 seconds West, 126.04 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;
North 00 degrees 32 minutes 19 seconds West, 286.88 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;
North 06 degrees 59 minutes 09 seconds East, 62.50 feet to a five-eighths inch iron rod with yellow cap stamped "SURVCON INC." found for corner;
North 00 degrees 08 minutes 35 seconds East, 51.65 feet to a point for corner in the centerline of Bear Creek, said point also being in the west line of the Dallas/Fort Worth International Airport;

THENCE along the centerline of Bear Creek and the east line of said 30.341 acre tract and the west line of the Dallas/Fort Worth International Airport as follows:
South 65 degrees 25 minutes 08 seconds East, 325.18 feet to a point for corner;
South 05 degrees 58 minutes 30 seconds East, 155.70 feet to a point for corner;
South 24 degrees 02 minutes 30 seconds East, 163.50 feet to a point for corner;
South 45 degrees 26 minutes 30 seconds East, 49.50 feet to a point for corner;
South 65 degrees 14 minutes 30 seconds East, 93.90 feet to a point for corner;
South 12 degrees 58 minutes 30 seconds East, 138.30 feet to a point for corner;
South 05 degrees 53 minutes 30 seconds East, 135.80 feet to a point for corner;
South 44 degrees 34 minutes 30 seconds East, 258.10 feet to a point for corner;
South 33 degrees 24 minutes 30 seconds East, 220.50 feet to a point for corner;
South 50 degrees 22 minutes 30 seconds East, 287.50 feet to a point for corner;
North 71 degrees 31 minutes 30 seconds East, 288.20 feet to a point for corner;
South 11 degrees 40 minutes 30 seconds East, 154.00 feet to a point for corner;
South 17 degrees 59 minutes 30 seconds West, 53.80 feet to a point for corner;
South 09 degrees 58 minutes 30 seconds East, 145.00 feet to a point for corner;
South 38 degrees 11 minutes 30 seconds East, 129.00 feet to a point for corner;
South 40 degrees 53 minutes 30 seconds East, 115.60 feet to a point for corner;
South 08 degrees 02 minutes 30 seconds West, 67.70 feet to a point for corner;
South 49 degrees 56 minutes 30 seconds West, 271.30 feet to a point for corner;
South 20 degrees 44 minutes 30 seconds West, 85.80 feet to a point for corner;
South 49 degrees 26 minutes 30 seconds East, 263.70 feet to a point for corner;
South 73 degrees 47 minutes 30 seconds East, 101.20 feet to a point for corner;
South 42 degrees 36 minutes 12 seconds East, 146.00 feet to a point for corner;
South 29 degrees 26 minutes 25 seconds West, 100.00 feet to the northeast corner of said 23.918 acre tract of land;

THENCE continuing along the centerline of Bear Creek and the east line of said 23.918 acre tract and the west line of the Dallas/Fort Worth International Airport as follows:
South 20 degrees 23 minutes 40 seconds West, 54.55 feet to a point for corner;
South 40 degrees 58 minutes 41 seconds East, 130.10 feet to a point for corner;
South 14 degrees 34 minutes 30 seconds East, 99.40 feet to a point for corner;
South 21 degrees 54 minutes 48 seconds East, 222.15 feet to a point for corner;
South 44 degrees 08 minutes 29 seconds East, 375.19 feet to a point for corner;
South 39 degrees 37 minutes 45 seconds East, 95.97 feet to a point for corner;
South 65 degrees 07 minutes 45 seconds East, 176.46 feet to a point for corner;
South 20 degrees 43 minutes 45 seconds East, 212.81 feet to a point for corner;
South 48 degrees 50 minutes 35 seconds East, 144.20 feet to a point for corner;
South 79 degrees 25 minutes 45 seconds East, 205.58 feet to a point for corner;

THENCE continuing along the east line of said 23.918 acre tract and the west line of the Dallas/Fort Worth International Airport as follows:
South 01 degrees 20 minutes 13 second West, 30.64 feet to a point for corner;
South 01 degrees 06 minutes 45 seconds East, 239.36 feet to a five-eighths inch iron rod found at the southeast corner of said 23.918 acre tract, said point also being the northeast corner of said 14.324 acre tract;

THENCE South 00 degrees 00 minutes 54 seconds East, 993.83 feet along the west line of the Dallas/Fort Worth International Airport to a monument with brass disc found for corner, said point being the southeast corner of said 14.324 acre tract, said point also being in the north right-of-way line of Glade Road;

THENCE along the north right-of-way line of Glade Road as follows:
West, 234.43 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;
North 79 degrees 23 minutes 48 seconds West, 132.59 feet to the POINT OF BEGINNING and containing 2,951,513 square feet or 67.757 acres of land.

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS, THAT KFF Limited Partnership, an Ohio limited partnership, The Gardner 360 WLC Partnership-West, and Grapevine Holdings, LTD does hereby adopt this plat of THE PRESERVE, an addition to the City of Grapevine, Tarrant County, Texas, and does hereby dedicate to the public use forever the right-of-way and easements shown hereon. The easements shown hereon are hereby reserved for the purposes as indicated. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of paving on the easements is the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed, or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using, or desiring to use same. Any City or franchised utility shall have the full right to remove and keep removed all or parts of any fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all City or franchised utilities shall at all times have the full right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity of any time of procuring the permission of anyone. We have reviewed the City's findings concerning dedications and I do agree that the statements are true and correct. This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

Witness my hand this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

(Signature of KFF Limited Partnership Representative)
(printed Title of KFF Signee)

STATE OF \_\_\_\_\_ §
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared \_\_\_\_\_ known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Notary Public, State of Texas

Witness my hand this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

(Signature of The Gardner 360 WLC Partnership-West)
(printed Title)

STATE OF \_\_\_\_\_ §
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared \_\_\_\_\_ known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Notary Public, State of Texas

Witness my hand this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

(Signature of Grapevine Holdings, LTD)
(printed Title)

STATE OF \_\_\_\_\_ §
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared \_\_\_\_\_ known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Notary Public, State of Texas

AVIGATION RELEASE

THE STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS, KFF Limited Partnership, an Ohio limited partnership, The Gardner 360 WLC Partnership-West, and Grapevine Holdings, LTD, hereinafter called "Owner", are the owners of that certain parcel of land situated in the City of Grapevine, Tarrant County, Texas, being said property as described as shown on this plat. NOW THEREFORE, in consideration of the sum of ONE AND 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confessed, Owner does hereby waive, release, remise and quitclaim to the City of Grapevine, Tarrant County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas, Texas and Fort Worth, Texas, their successors and assigns, hereinafter called "Cities", for the use and benefit of the public and its agencies, any and all claims for damages of any kind to persons or property that Owner may suffer by reason of the passage and flight of all aircraft in the air space above Owner's property above the height restriction as presently established by Ordinance No. 73-50 for the City of Grapevine, known as the Airport Zoning Ordinance of the Dallas-Fort Worth International Airport, to an infinite height above some, whether such damage shall originate from noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft, landing at, or taking off from, or operating at or on the Dallas-Fort Worth International Airport. This instrument does not release the owners or operators of aircraft from liability for damage to person or property caused by falling aircraft or falling physical objects from aircraft, except as stated herein with respect to noise, fumes, dust, fuel, and lubricant particles. It is agreed that this Release shall be binding upon said owner and his heirs and assigns, and successors in interest to said property, and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of the county or counties in which the property is situated.

EXECUTED at \_\_\_\_\_ Texas, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

(Signature of KFF Limited Partnership Representative)
(printed Title of KFF Signee)

STATE OF \_\_\_\_\_ §
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared \_\_\_\_\_ known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Notary Public, State of Texas

EXECUTED at \_\_\_\_\_ Texas, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

(Signature of The Gardner 360 WLC Partnership-West)
(printed Title)

STATE OF \_\_\_\_\_ §
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared \_\_\_\_\_ known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Notary Public, State of Texas

EXECUTED at \_\_\_\_\_ Texas, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

(Signature of Grapevine Holdings, LTD)
(printed Title)

STATE OF \_\_\_\_\_ §
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared \_\_\_\_\_ known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Notary Public, State of Texas

Surveyor's Certificate

Know All Men By These Presents:

That I, Mark W. Harp, of JBI Partners Inc., a Registered Professional Land Surveyor of the State of Texas, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments thereon were properly placed under my personal supervision, in accordance with the platting rules and regulations of the State of Texas and the City of Grapevine, Texas.

Dated this, the \_\_\_\_\_ day of \_\_\_\_\_, 2015.

FOR REVIEW AND PRELIMINARY PURPOSE ONLY

Mark W. Harp, R.P.L.S. # 6425
JBI Partners, Inc.

STATE OF TEXAS §

COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Mark W. Harp, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 2015.

Notary Public, State of Texas

PRELIMINARY PLAT

GLADE 360 ADDITION

LOTS 1 AND 2, BLOCK A

67.757 ACRES OUT OF THE
ELJAH C. CLARY SURVEY, ABSTRACT NUMBER 323,
AND THE GREEN W. MINTER SURVEY, ABSTRACT NUMBER 1083

CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS

PROPOSED ZONING: R-MF

SILVER TREE PARTNERS APPLICANT
15303 Dallas Parkway, Suite 480 Addison, Texas 75001 (972) 669-9955

GRAPEVINE HOLDINGS, LTD OWNER
15303 Dallas Parkway, Suite 480 Addison, Texas 75001 (972) 669-9955

THE GARDNER 360 WLC PARTNERSHIP-WEST OWNER
15303 Dallas Parkway, Suite 480 Addison, Texas 75001 (972) 669-9955

KFF, LIMITED PARTNERSHIP AN OHIO LIMITED PARTNERSHIP OWNER
1366 Dublin Road Columbus, Ohio 43215 (614) 351-6227

JBI PARTNERS, INC. SURVEYOR
16301 Quorum Drive, Suite 200 B Addison, Texas 75001 (972) 248-7676
Contact: Chuck McKinney
TBPE No. F-438 TBPLS No. 10076000

THIS PLAT WAS FILED IN CABINET \_\_\_\_\_ SLIDE \_\_\_\_\_ DATE \_\_\_\_\_

September 04, 2015

Sheet 3 of 3

Plotted by: mharp Plot Date: 9/3/2015 3:03 PM Drawing: H:\Projects\GR5001\dwg\YARS001PPT.dwg Saved By: mharp Save Time: 9/3/2015 2:28 PM

MEMO TO: THE HONORABLE MAYOR, MEMBERS OF THE CITY COUNCIL,  
AND THE PLANNING & ZONING COMMISSION

FROM: BRUNO RUMBELOW, CITY MANAGER **BR**

MEETING DATE: SEPTEMBER 15, 2015

SUBJECT: FINAL PLAT APPLICATION  
LOTS 1 AND 2, BLOCK A, GLADE 360 ADDITION

PLAT APPLICATION FILING DATE..... September 8, 2015

APPLICANT..... Paul Gardner, Silvertree Partners

REASON FOR APPLICATION ..... To build apartments

PROPERTY LOCATION ..... Northeast corner of Glade Road  
and SH360

ACREAGE..... 67.757

ZONING..... Existing: LI & PCD  
Proposed: R-MF-2

NUMBER OF LOTS..... 2

PREVIOUS PLATTING ..... No

CONCEPT PLAN..... No

SITE PLAN ..... CU15-22 & Z15-04

OPEN SPACE REQUIREMENT..... Yes

AVIGATION RELEASE ..... Yes

PUBLIC HEARING REQUIRED ..... No

**PLAT INFORMATION SHEET  
FINAL PLAT APPLICATION  
LOTS 1 & 2, BLOCK A, GLADE 360 ADDITION**

ITEM #40  
PZ ITEM #17

I. GENERAL:

- The applicant, Paul Gardner with Silvertree Partners is platting this property into two (2) lots for an apartment complex. The property is located at the northeast corner of Glade Road and SH 360.

II. STREET SYSTEM:

- The development has access to Glade Road and SH360
- ALL abutting roads:  are on the City Thoroughfare Plan: Glade Road

are not on the City Thoroughfare Plan:

Periphery Street Fees are due as follows:

Type of Roadway	Cost / LF	Length	Cost
<input type="checkbox"/> Major Arterial (A)	\$ 234.57 / LF		
<input checked="" type="checkbox"/> Major Arterial (B)	\$ 178.35 / LF	367.02	\$ 65,458.02
<input type="checkbox"/> Minor Arterial (C)	\$ 203.06 / LF		
<input type="checkbox"/> Minor Arterial (D)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (E)	\$ 170.33 / LF		
<input type="checkbox"/> Collector (F)	\$ 150.98 / LF		
<input type="checkbox"/> Sidewalk	\$ 25.00 / LF		
<input type="checkbox"/> Curb & Gutter	\$ 10.00 / LF		

Periphery Street Fees are not due:

TOTAL

III. STORM DRAINAGE SYSTEM:

- The site drains east into Big Bear Creek.
- The developer will be required to design for onsite as well as offsite drainage in accordance with the requirements of the City of Grapevine's Code of Ordinances.

IV. WATER SYSTEM:

- The existing water supply system bordering the subject site is adequate to serve the development.
- The existing water supply system bordering the subject site is not adequate to serve the development. Additional off site water system improvements will be necessary to serve the site.

V. SANITARY SEWER SYSTEM:

- The existing sanitary sewer collection system bordering the subject site is adequate to serve the development.
- The existing sanitary sewer collection system bordering the subject site is not adequate to serve the development.

VI. MISCELLANEOUS:

- Water and Wastewater Impact Fees are not required for:
- Water and Wastewater Impact Fees are due prior to the issuance of building permits: Lots 1 & 2, Block A, Glade 360 Addition
  - Single Family Residential ( \$ 2,191/ Lot)
  - Multifamily ( \$ 1,026 / Unit)
  - Hotel ( \$ 38,107/ Acre)
  - Corporate Office ( \$ 18,847/ Acre)
  - Government ( \$ 4,037/ Acre)
  - Commercial / Industrial ( \$ 5,209 / Acre)
- Open Space Fees are not required for: Glade 360
- Open Space Fees are required for:
  - R-5.0, Zero Lot District ( \$ 1,416.00 / Lot)
  - R-7.5, Single Family District ( \$ 1,146.00 / Lot)
  - R-12.5, Single Family District ( \$ 1,071.00 / Lot)
  - R-20.0, Single Family District ( \$ 807.00 / Lot)

- Public Hearing Only
- Variances were required on the following items:
  - Front building line
  - Rear building line
  - Lot width & depth
  - Max. Impervious Area
  - Special Exception to the required front yard landscape setback
- The following items associated with this plat are not in accordance with the current subdivision standards:
  - 50' ROW dedication not met: Developer is proposing to dedicate variable width private access easements throughout the development. The access easements will be owned and maintained by a Home Owners Association (HOA).
  - Length of cul-de-sac street exceeds the 600-foot limit:
  - Driveway Spacing not met.

VII. STATEMENT OF FINDINGS:

- A. The City has determined that the right-of-way and easements required to be dedicated for streets, utilities, drainage, access, sidewalks and other municipal needs and services are consistent with the City's ordinances and master plan, are reasonable and are connected to the proposed project in the following manner:
- The right-of-way provides for future widening of public streets that will serve the development of this site.
  - The onsite utility easements provide for a utility network to serve the development of this site.
  - The onsite drainage easements provide for a drainage network to serve the development of this site.
  - The onsite access easements provide cross access capabilities to this site and surrounding property.
  - The onsite sidewalk easements provide for a sidewalk network to serve the development of this site.

- B. The City further finds that the required dedication is related both in nature and extent to the impact of the proposed development as follows:
- The right-of-way is necessary to provide for future widening of public streets that will serve the development of this site.
  - The onsite utility easements are necessary to provide for a utility system to serve this development and connect to existing utilities on surrounding property.
  - The onsite drainage easements are necessary to provide for storm drainage improvements to serve the development of the site.
  - The onsite access easements are necessary to provide cross access capabilities to this site and surrounding property.
  - The onsite sidewalk easements are necessary to provide for a sidewalk network to serve the development of this site.
  - All of the dedications benefit the development to at least the extent of the impact of such on the development.

VIII. RECOMMENDATION:

The members of the City Council and The Planning & Zoning Commission consider the following motion: "Move that the City Council (Planning and Zoning Commission) approve the Statement of Findings and the Final Plat of Lots 1 and 2, Block A, Glade 360 Addition."

APPLICATION FOR PLATTING  
CITY OF GRAPEVINE, TEXAS

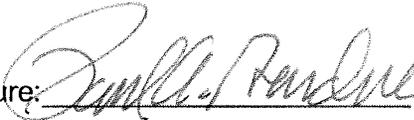
TYPE OF PLAT: Preliminary  Final Replat  Amendment

PROPERTY DESCRIPTION:

Name of Addition: GLISDE 360 ADDITION  
Number of Lots: 2 Gross Acreage: 67.757 Proposed Zoning: R-MF-2  
Location of Addition: N.E. C. GLISDE ROAD and S.H. 360

PROPERTY OWNER:

THE GARDNER 360 LLC PARTNERSHIP - WEST  
Name: \_\_\_\_\_ Contact: PAUL D. GARDNER  
Address: 15303 Dallas Pkwy City: ADDISON  
State: TX Zip: 75001 #480 Phone: (972) 669-9955  
Fax: ( ) 972-669-9977

X Signature:  Email: pgardner@silvertreepartners.com

APPLICANT:

SILVERTREE PARTNERS  
Name: \_\_\_\_\_ Contact: PAUL D. GARDNER  
Address: 15303 Dallas Pkwy City: ADDISON  
State: TX Zip: 75001 #480 Phone: (972) 669-9955  
Fax: ( ) 972-669-9977

X Signature:  Email: pgardner@silvertreepartners.com

SURVEYOR:

Name: JBT Partners, LLC Contact: Charles McKinney  
Address: 1630 Quorum Dr #2005 City: ADDISON  
State: TX Zip: 75001 Phone: (972) 738-0216  
Fax: ( ) 972-248-1414  
Email: cmckinney@jbtpartners.com

\*\*\*\*\* FOR OFFICE USE ONLY \*\*\*\*\*

Application Received: 9/31/2015  
Fee Amount: \$1,900.00

By: JBT Partners, Inc.  
Check Number: 54683

APPLICATION FOR PLATTING  
CITY OF GRAPEVINE, TEXAS

TYPE OF PLAT: Preliminary  Final Replat Amendment

PROPERTY DESCRIPTION:

Name of Addition: GRADE 360 ADDITION  
Number of Lots: 2 Gross Acreage 67.757 Proposed Zoning: R-MF-2  
Location of Addition: N.E. C. GLADEWOOD AND S.H. 360

PROPERTY OWNER:  
GRAPEVINE HOLDINGS, LTD.

Name: \_\_\_\_\_ Contact: PAUL A. GARDNER  
Address: 15303 Dallas Pkwy #480 City: MADISON  
State: TX Zip: 75001 Phone: ( ) 972-669-9955  
Fax: ( ) 972-669-9977

X Signature: Paul A. Gardner Email: pgardner@silvertreepartners.com

APPLICANT:

SILVERTREE PARTNERS  
Name: \_\_\_\_\_

Address: 15303 Dallas Pkwy #480 City: MADISON  
State: TX Zip: 75001 Phone: ( ) 972-669-9955  
Fax: ( ) 972-669-9977

X Signature: Paul A. Gardner Email: pgardner@silvertreepartners.com

SURVEYOR:

Name: JBI Partners Inc. Contact: Charles McKinney  
Address: 16301 Quorum Dr #2000 City: MADISON

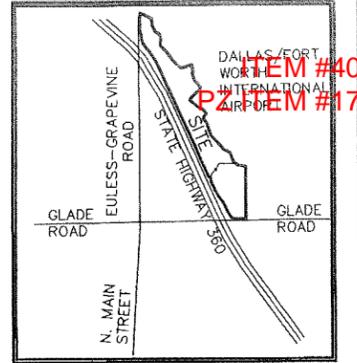
State: TX Zip: 75001 Phone: ( ) 972-738-0216  
Fax: ( ) 972-248-7676

Email: cmckinney@jbipartners.com

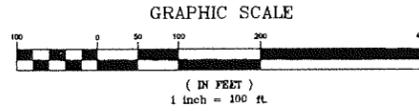
\*\*\*\*\* FOR OFFICE USE ONLY \*\*\*\*\*

Application Received: 7/13/2015  
Fee Amount: \$ 1900.00

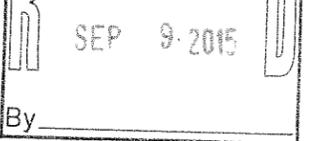
By: JBI PARTNERS, Inc.  
Check Number: 54683



LOCATION MAP (NOT TO SCALE)



- NOTES:
1. THE BASIS OF BEARING IS DERIVED FROM GPS OBSERVATIONS USING THE CITY OF GRAPEVINE GEODETIC MONUMENTS. (COORDINATE SYSTEM: NORTH CENTRAL ZONE 4202 STATE PLANE COORDINATES, NAD 83)
  2. BENCHMARK: CITY OF GRAPEVINE MONUMENT NO. 9 (ELEVATION=589.64') CITY OF GRAPEVINE MONUMENT NO. 12 (ELEVATION=576.96')
  3. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 48439C0115K MAP REVISED SEPTEMBER 25, 2008, A PORTION OF THE SUBJECT TRACT LIES WITHIN SPECIAL FLOOD HAZARD AREA ZONE AC AREAS DETERMINED TO BE IN THE 100 YEAR FLOODPLAIN AS SHOWN ON THE MAP.



**FINAL PLAT**

**GLADE 360 ADDITION  
LOTS 1 AND 2, BLOCK A**

67.757 ACRES OUT OF THE  
ELIJAH C. CLARY SURVEY, ABSTRACT NUMBER 323,  
AND THE GREEN W. MINTER SURVEY, ABSTRACT NUMBER 1083  
CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS

PROPOSED ZONING: R-MF

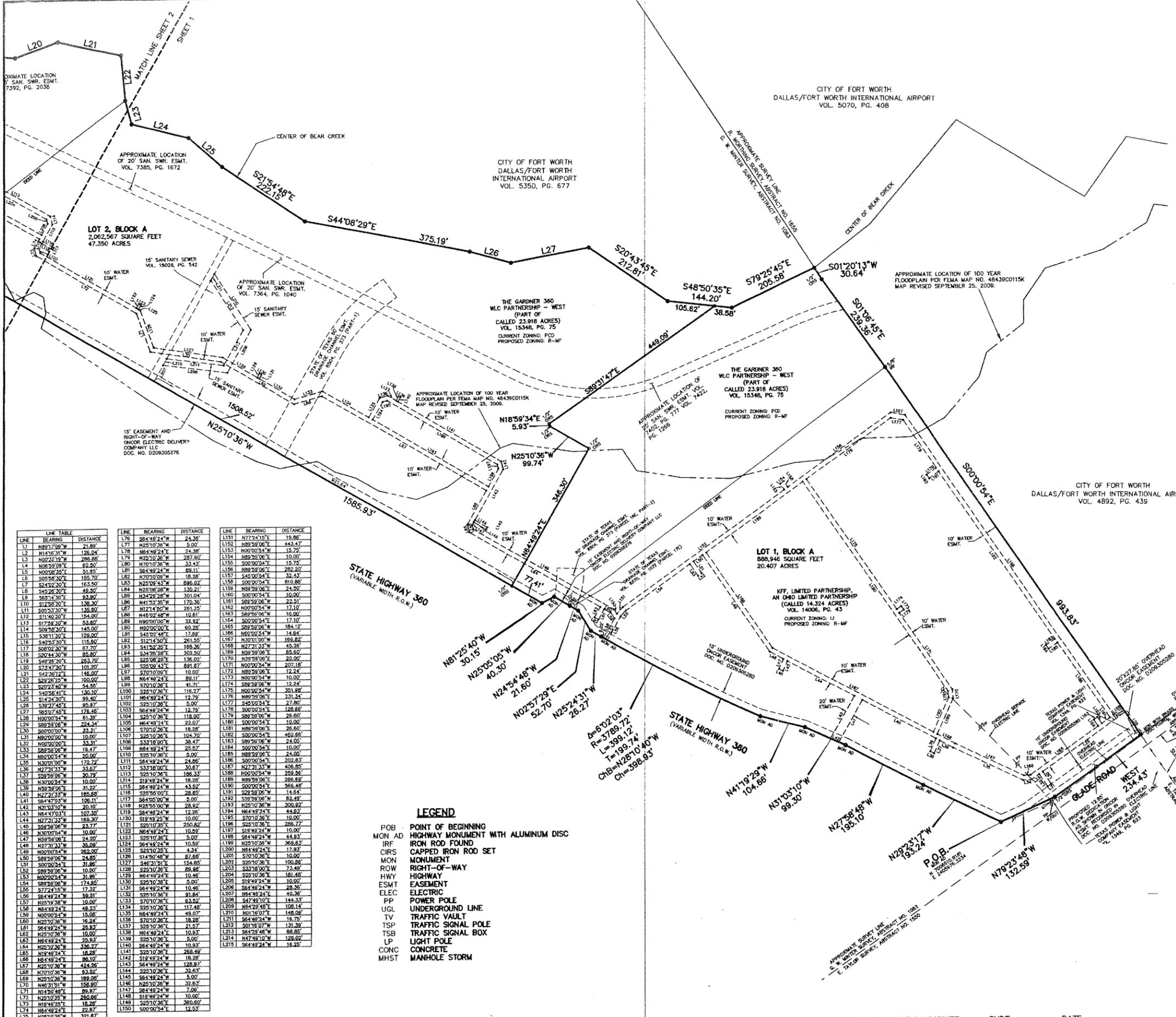
**SILVER TREE PARTNERS** APPLICANT  
15303 Dallas Parkway, Suite 480  
Addison, Texas 75001 (972) 669-9955

**GRAPEVINE HOLDINGS, LTD** OWNER  
15303 Dallas Parkway, Suite 480  
Addison, Texas 75001 (972) 669-9955

**THE GARDNER 360 WLC PARTNERSHIP--WEST** OWNER  
15303 Dallas Parkway, Suite 480  
Addison, Texas 75001 (972) 669-9955

**KFF, LIMITED PARTNERSHIP  
AN OHIO LIMITED PARTNERSHIP** OWNER  
1366 Dublin Road  
Columbus, Ohio 43215 (614) 351-6227

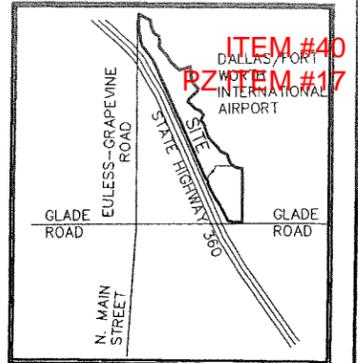
**JBI PARTNERS, INC.** SURVEYOR  
16301 Quorum Drive, Suite 200 B  
Addison, Texas 75001 (972) 248-7676  
Contact: Chuck McKinley  
TBP# No. F-438 TBP# No. 10076000



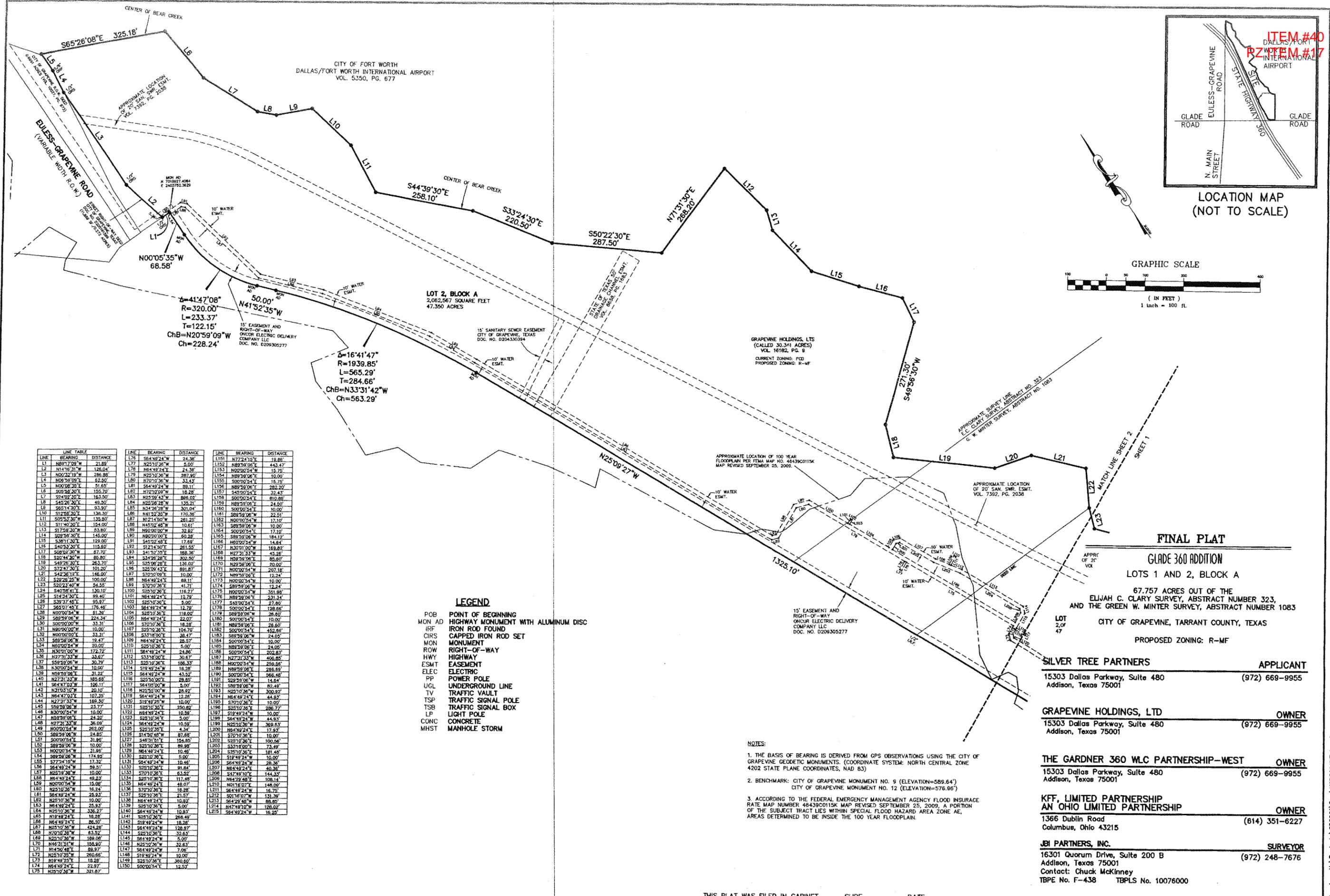
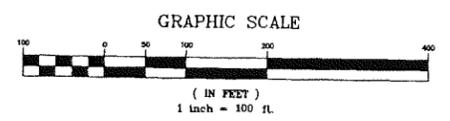
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	N89°17'09"W	21.89'	L76	S64°48'24"W	24.36'
L2	N41°46'31"W	126.04'	L77	N25°10'36"W	9.00'
L3	N09°24'19"W	286.88'	L78	N64°48'24"W	24.36'
L4	N08°22'09"E	62.90'	L79	N25°10'36"W	287.90'
L5	N00°02'35"E	51.85'	L80	N07°01'09"W	33.43'
L6	S05°58'30"E	155.70'	L81	S64°48'24"W	89.11'
L7	S24°02'30"E	163.90'	L82	N7°01'09"W	18.28'
L8	S45°28'30"E	49.90'	L83	N25°10'36"W	68.20'
L9	S50°14'30"E	83.80'	L84	N25°10'36"W	135.21'
L10	S12°38'30"W	138.30'	L85	N34°28'28"W	301.04'
L11	S05°23'30"W	136.80'	L86	N41°25'25"W	170.36'
L12	S11°40'30"W	194.00'	L87	N25°10'36"W	281.25'
L13	S17°28'30"W	53.80'	L88	N00°00'00"W	39.92'
L14	S08°58'30"E	145.00'	L89	N02°00'00"E	60.26'
L15	S38°11'30"E	129.00'	L90	N45°02'48"W	10.81'
L16	S40°25'30"E	115.60'	L91	N45°02'48"W	11.69'
L17	S06°02'30"W	67.70'	L92	S121°45'00"E	261.55'
L18	S00°44'30"W	83.60'	L93	S41°24'36"E	188.36'
L19	S40°25'30"E	63.00'	L94	S42°28'28"E	322.50'
L20	S73°47'30"E	101.90'	L95	S24°08'28"E	136.02'
L21	S42°36'12"E	146.00'	L96	S28°19'43"E	691.87'
L22	S08°28'25"W	109.00'	L97	S7°01'09"E	10.00'
L23	S00°43'40"W	54.55'	L98	N64°48'24"W	89.11'
L24	S40°25'30"E	130.10'	L99	S7°01'09"E	41.71'
L25	S14°24'30"E	89.40'	L100	S25°10'36"E	116.27'
L26	S30°22'45"E	119.47'	L101	N64°48'24"W	124.20'
L27	S85°07'45"E	178.46'	L102	S25°10'36"E	5.00'
L28	N00°00'00"W	61.30'	L103	S64°48'24"W	17.79'
L29	S88°28'08"W	224.31'	L104	S25°10'36"E	118.00'
L30	S00°00'00"W	10.00'	L105	N64°48'24"W	124.20'
L31	S08°28'08"W	33.91'	L106	S7°01'09"E	18.28'
L32	S28°28'08"W	19.47'	L107	S25°10'36"E	104.20'
L33	N00°00'00"W	10.00'	L108	S33°18'00"E	38.47'
L34	N00°00'00"W	10.00'	L109	N64°48'24"W	25.57'
L35	N30°01'00"W	172.72'	L110	S25°10'36"E	0.00'
L36	N27°31'33"W	23.67'	L111	S64°48'24"W	24.86'
L37	S59°39'06"W	30.72'	L112	S33°18'00"E	30.67'
L38	N30°00'34"W	10.00'	L113	S25°10'36"E	106.33'
L39	N59°39'06"E	31.22'	L114	S18°48'24"W	18.28'
L40	N42°31'33"W	185.68'	L115	S64°48'24"W	43.52'
L41	S64°47'03"W	196.11'	L116	S25°10'36"E	89.85'
L42	N31°03'10"W	20.10'	L117	S64°48'24"W	8.00'
L43	N64°47'03"E	107.36'	L118	N25°10'36"E	28.92'
L44	N27°31'33"W	159.30'	L119	S64°48'24"W	12.20'
L45	S66°39'06"W	23.77'	L120	S18°48'24"W	10.00'
L46	N30°00'34"W	10.00'	L121	S25°10'36"E	250.82'
L47	N59°39'06"E	24.20'	L122	N64°48'24"W	10.20'
L48	N27°31'33"W	36.09'	L123	S18°48'24"W	10.00'
L49	N00°00'00"W	262.00'	L124	S64°48'24"W	10.59'
L50	S88°28'08"W	24.85'	L125	S25°10'36"E	4.34'
L51	S00°00'00"W	10.00'	L126	S14°50'24"W	32.68'
L52	S89°39'06"W	10.00'	L127	S18°48'24"W	54.64'
L53	N00°00'00"W	31.36'	L128	S25°10'36"E	89.88'
L54	S89°39'06"W	174.95'	L129	N64°48'24"W	10.46'
L55	S77°24'15"E	17.22'	L130	S25°10'36"E	6.00'
L56	S64°48'24"W	91.61'	L131	S64°48'24"W	10.46'
L57	N25°19'38"W	10.00'	L132	S25°10'36"E	91.84'
L58	N64°48'24"W	49.83'	L133	S7°01'09"E	63.92'
L59	N00°00'00"W	16.06'	L134	S25°10'36"E	17.46'
L60	N25°10'36"W	16.24'	L135	N64°48'24"W	49.07'
L61	S64°48'24"W	26.83'	L136	S7°01'09"E	16.24'
L62	N25°10'36"W	10.00'	L137	S25°10'36"E	21.87'
L63	N64°48'24"W	25.93'	L138	N64°48'24"W	10.83'
L64	N25°10'36"W	336.27'	L139	S25°10'36"E	5.00'
L65	N18°48'24"W	18.48'	L140	S64°48'24"W	10.93'
L66	N64°48'24"W	86.10'	L141	S25°10'36"E	268.42'
L67	N25°10'36"W	424.26'	L142	S18°48'24"W	18.28'
L68	N7°01'09"W	63.92'	L143	S64°48'24"W	128.97'
L69	N25°10'36"W	189.28'	L144	S25°10'36"E	32.63'
L70	N46°31'51"W	136.80'	L145	S64°48'24"W	5.00'
L71	N14°50'48"E	89.87'	L146	N25°10'36"W	39.63'
L72	N25°10'36"W	260.86'	L147	S64°48'24"W	7.06'
L73	N18°48'24"W	18.28'	L148	S18°48'24"W	10.80'
L74	N64°48'24"W	22.87'	L149	S25°10'36"E	399.00'
L75	N25°10'36"W	321.87'	L150	S00°00'00"W	12.53'

- LEGEND**
- POB POINT OF BEGINNING
  - MON AD HIGHWAY MONUMENT WITH ALUMINUM DISC
  - IRF IRON ROD FOUND
  - CIRS CAPPED IRON ROD SET
  - MON MONUMENT
  - ROW RIGHT-OF-WAY
  - HWY HIGHWAY
  - ESMT EASEMENT
  - ELEC ELECTRIC
  - PP POWER POLE
  - UGL UNDERGROUND LINE
  - TV TRAFFIC VAULT
  - TSP TRAFFIC SIGNAL POLE
  - TSB TRAFFIC SIGNAL BOX
  - LP LIGHT POLE
  - CONC CONCRETE
  - MHST MANHOLE STORM

Drawing: H:\Projects\GRS001\DWG\GRS001PT.dwg Saved By: mharp Save Time: 9/3/2015 2:59 PM Plotted By: mharp Plot Date: 9/3/2015 2:59 PM



LOCATION MAP (NOT TO SCALE)



$\Delta=41'47.08''$   
 $R=320.00'$   
 $L=233.37'$   
 $T=122.15'$   
 $ChB=N20'59'09''W$   
 $Ch=228.24'$

$\Delta=16'41'47''$   
 $R=1939.85'$   
 $L=565.29'$   
 $T=284.66'$   
 $ChB=N33'31'42''W$   
 $Ch=563.29'$

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	N89°17'09"E	21.82	L17	S64°49'24"W	24.36	L151	N77°24'15"E	19.86
L2	N14°16'31"W	126.04	L18	N25°10'36"W	4.00	L152	N89°59'06"E	443.47
L3	N50°32'15"W	286.86	L19	N25°10'36"W	287.60	L153	N00°00'54"W	16.75
L4	N06°59'09"E	62.50	L20	N70°10'36"W	33.43	L154	N89°59'06"E	10.00
L5	N00°06'35"E	51.65	L21	S64°49'24"W	89.11	L155	S00°00'54"E	15.75
L6	S90°28'30"E	155.70	L22	N07°01'09"W	18.28	L156	N89°59'06"E	282.20
L7	S24°32'30"E	163.50	L23	N25°10'36"W	170.36	L157	S45°00'54"E	32.43
L8	S45°26'30"E	49.00	L24	N25°10'36"W	866.02	L158	S00°00'54"E	810.86
L9	S62°14'30"E	83.30	L25	N25°10'36"W	135.21	L159	N89°59'06"E	24.50
L10	S12°26'30"E	136.30	L26	N34°26'28"W	30.04	L160	S00°00'54"E	10.00
L11	S05°53'30"W	135.80	L27	N41°52'35"W	50.00	L161	S89°59'06"E	22.51
L12	S11°40'30"E	154.00	L28	N12°14'50"W	261.25	L162	N00°00'54"W	17.10
L13	S12°56'30"E	83.80	L29	N45°02'48"W	10.61	L163	S89°59'06"E	10.00
L14	S02°58'30"E	145.00	L30	N00°00'00"W	35.82	L164	S00°00'54"E	17.10
L15	S36°11'30"E	129.00	L31	N90°00'00"E	69.28	L165	S89°59'06"E	184.12
L16	S45°53'30"E	115.60	L32	S45°02'48"E	17.69	L166	N00°00'54"W	14.84
L17	S00°00'00"W	17.10	L33	S12°14'30"E	261.50	L167	N30°01'00"W	169.82
L18	S20°44'30"W	85.80	L34	S41°52'35"E	166.36	L168	N22°31'33"W	45.86
L19	S49°26'30"E	263.70	L35	S34°26'28"E	302.50	L169	N59°59'06"E	65.66
L20	S22°42'30"E	101.30	L36	S25°06'28"E	135.02	L170	N22°36'06"E	20.00
L21	S42°36'12"E	146.00	L37	S25°06'28"E	891.87	L171	N00°00'54"W	207.18
L22	S22°26'25"W	100.00	L38	S70°10'36"E	10.00	L172	N89°59'06"E	12.24
L23	S20°43'40"W	24.85	L39	S70°10'36"E	41.71	L173	N00°00'54"W	10.00
L24	S14°08'41"E	126.10	L40	S20°10'36"E	116.22	L174	S89°59'06"E	12.24
L25	S14°24'30"E	99.40	L41	N54°49'24"E	12.79	L175	N00°00'54"W	331.89
L26	S39°37'45"E	95.67	L42	S25°10'36"E	5.00	L176	N89°59'06"E	231.34
L27	S63°07'45"E	178.46	L43	S84°49'24"W	12.79	L177	S45°00'54"E	27.80
L28	N00°00'54"W	41.39	L44	N18°00'00"E	118.00	L178	S00°00'54"E	128.66
L29	S89°59'06"W	224.34	L45	N64°49'24"E	22.07	L179	S89°59'06"W	26.80
L30	S00°00'00"W	33.31	L46	S70°10'36"E	16.28	L180	S00°00'54"E	10.00
L31	N89°59'06"W	10.00	L47	S19°49'24"W	16.28	L181	N89°59'06"E	268.69
L32	N00°00'00"E	33.31	L48	S20°10'36"E	104.70	L182	S00°00'54"E	452.66
L33	S89°59'06"W	19.47	L49	S41°52'35"E	36.47	L183	S89°59'06"W	24.05
L34	N60°00'54"W	20.00	L50	N64°49'24"E	22.07	L184	S00°00'54"E	10.00
L35	N00°00'00"W	172.72	L51	S70°10'36"E	5.00	L185	N89°59'06"E	24.05
L36	N27°31'53"W	33.67	L52	S84°49'24"W	24.86	L186	S00°00'54"E	206.83
L37	S59°59'06"W	30.79	L53	S19°49'24"W	16.28	L187	S00°00'54"E	10.00
L38	N30°00'54"W	10.00	L54	S84°49'24"W	43.92	L188	N00°00'54"W	259.66
L39	N59°59'06"E	31.22	L55	S20°10'36"E	16.28	L189	N89°59'06"E	268.69
L40	N27°31'53"W	185.68	L56	S20°10'36"E	28.92	L190	S00°00'54"E	266.40
L41	S64°47'03"W	106.11	L57	S84°49'24"W	10.99	L191	S25°06'28"E	14.64
L42	N33°51'10"W	26.10	L58	S64°49'24"W	10.99	L192	S89°59'06"W	82.49
L43	N64°47'03"E	107.30	L59	S20°10'36"E	290.82	L193	N25°10'36"E	300.82
L44	N27°31'53"W	169.30	L60	N64°49'24"W	10.99	L194	N64°49'24"W	44.82
L45	S59°59'06"W	23.77	L61	S20°10'36"E	10.00	L195	S70°10'36"E	10.00
L46	S30°00'54"W	10.00	L62	S20°10'36"E	290.82	L196	S25°10'36"E	286.77
L47	N89°59'06"E	24.20	L63	S20°10'36"E	10.00	L197	S12°14'30"E	10.00
L48	N27°31'53"W	36.99	L64	S20°10'36"E	5.00	L198	S64°49'24"W	44.82
L49	N00°00'54"W	26.00	L65	S20°10'36"E	5.00	L199	N25°10'36"W	369.63
L50	S89°59'06"W	24.85	L66	S20°10'36"E	87.88	L200	N64°49'24"E	17.93
L51	S00°00'54"E	31.86	L67	S46°31'01"E	154.85	L201	S20°10'36"E	10.00
L52	S89°59'06"W	10.00	L68	S25°10'36"E	89.89	L202	S25°10'36"E	100.56
L53	N00°00'54"W	10.00	L69	S25°10'36"E	10.00	L203	S41°52'35"E	73.49
L54	S89°59'06"W	174.89	L70	N64°49'24"E	10.99	L204	S20°10'36"E	161.48
L55	S72°24'15"W	17.32	L71	S20°10'36"E	91.84	L205	S19°49'24"W	10.00
L56	S84°49'24"W	86.51	L72	S20°10'36"E	63.82	L206	S64°49'24"W	28.36
L57	N20°10'36"W	10.00	L73	S20°10'36"E	21.57	L207	N64°49'24"E	40.36
L58	N64°49'24"E	49.23	L74	S20°10'36"E	10.00	L208	S12°14'30"E	143.33
L59	N00°00'54"W	15.06	L75	N64°49'24"E	48.07	L209	N64°29'48"E	108.14
L60	S64°49'24"W	25.83	L76	S20°10'36"E	18.28	L210	N01°18'07"E	148.09
L61	S64°49'24"W	25.83	L77	S20°10'36"E	21.57	L211	S64°49'24"W	16.75
L62	N25°10'36"W	10.00	L78	S20°10'36"E	10.00	L212	S00°00'54"E	10.00
L63	N64°49'24"E	26.93	L79	S20°10'36"E	5.00	L213	S64°49'24"W	88.85
L64	N25°10'36"W	10.00	L80	S20°10'36"E	10.00	L214	N47°49'10"W	128.02
L65	N19°49'24"E	18.28	L81	S20°10'36"E	268.49	L215	S64°49'24"W	16.28
L66	N64°49'24"E	26.10	L82	S19°49'24"W	16.28			
L67	N25°10'36"W	54.26	L83	S64°49'24"W	128.87			
L68	N70°10'36"W	63.59	L84	S20°10'36"E	32.63			
L69	N25°10'36"W	189.06	L85	S64°49'24"W	5.00			
L70	N46°31'51"W	158.80	L86	N25°10'36"W	32.63			
L71	N4°50'48"E	99.87	L87	S20°10'36"E	7.98			
L72	N25°10'35"W	260.66	L88	S19°49'24"W	10.00			
L73	N19°49'24"E	18.28	L89	S20°10'36"E	380.80			
L74	N64°49'24"E	22.97	L90	S00°00'54"E	12.53			
L75	N25°10'36"W	381.87						

**LEGEND**

POB	POINT OF BEGINNING
MON AD	MONUMENT WITH ALUMINUM DISC
IRF	IRON ROD FOUND
CRS	CAPPED IRON ROD SET
MON	MONUMENT
ROW	RIGHT-OF-WAY
HWY	HIGHWAY
ESMT	EASEMENT
ELEC	ELECTRIC
PP	POWER POLE
UGL	UNDERGROUND LINE
TV	TRAFFIC VAULT
TSP	TRAFFIC SIGNAL POLE
TSB	TRAFFIC SIGNAL BOX
LP	LIGHT POLE
CONC	CONCRETE
MHST	MANHOLE STORM

**NOTES:**

- THE BASIS OF BEARING IS DERIVED FROM GPS OBSERVATIONS USING THE CITY OF GRAPEVINE GEODETIC MONUMENTS. (COORDINATE SYSTEM: NORTH CENTRAL ZONE 4202 STATE PLANE COORDINATES, NAD 83)
- BENCHMARK: CITY OF GRAPEVINE MONUMENT NO. 9 (ELEVATION=589.64') CITY OF GRAPEVINE MONUMENT NO. 12 (ELEVATION=576.96')
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 48439C015K MAP REVISED SEPTEMBER 25, 2009, A PORTION OF THE SUBJECT TRACT LIES WITHIN SPECIAL FLOOD HAZARD AREA ZONE AE, AREAS DETERMINED TO BE INSIDE THE 100 YEAR FLOODPLAIN.

**FINAL PLAT**  
**GLADE 360 ADDITION**  
**LOTS 1 AND 2, BLOCK A**  
 67.757 ACRES OUT OF THE ELIJAH C. CLARY SURVEY, ABSTRACT NUMBER 323, AND THE GREEN W. MINTER SURVEY, ABSTRACT NUMBER 1083  
 CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS  
 PROPOSED ZONING: R-MF

**SILVER TREE PARTNERS** APPLICANT  
 15303 Dallas Parkway, Suite 480 Addison, Texas 75001 (972) 669-9955

**GRAPEVINE HOLDINGS, LTD** OWNER  
 15303 Dallas Parkway, Suite 480 Addison, Texas 75001 (972) 669-9955

**THE GARDNER 360 WLC PARTNERSHIP-WEST** OWNER  
 15303 Dallas Parkway, Suite 480 Addison, Texas 75001 (972) 669-9955

**KFF, LIMITED PARTNERSHIP AN OHIO LIMITED PARTNERSHIP** OWNER  
 1366 Dublin Road Columbus, Ohio 43215 (614) 351-6227

**JB PARTNERS, INC.** SURVEYOR  
 16301 Quorum Drive, Suite 200 B Addison, Texas 75001 (972) 248-7676  
 Contact: Chuck McKinney  
 TBPE No. F-438 TBPLS No. 10076000

Plotted by: mharp Plot Date: 9/3/2015 2:59 PM Drawing: H:\Projects\GRS001\Draw\XRS001P1.dwg Saved By: mharp Save Time: 9/3/2015 2:59 PM

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS, KFF Limited Partnership, an Ohio limited partnership, The Gardner 360 WLC Partnership--West, and Grapevine Holdings, LTD are the owners of a parcel of land located in the City of Grapevine, Tarrant County, Texas, being a part of the Elijah C. Clary Survey, Abstract Number 323, and being a part of the Green W. Minter Survey, Abstract 1083, and being all of that called 14.324 acre tract of land described in deed to KFF Limited Partnership, an Ohio limited partnership as recorded in Volume 14006, Page 43, Tarrant County Deed Records, and being all of that called 23,918 acre tract of land described in deed to The Gardner 360 WLC Partnership--West as recorded in Volume 15348, Page 75, Tarrant County Deed Records, and also being a part of that called 30.341 acre tract of land described in deed to Grapevine Holdings Ltd as recorded in Volume 16182, Page 9, Tarrant County Deed Records, and being further described as follows:

BEGINNING at a highway monument with an aluminum disc found at southwest corner of said 14.324 acre tract, said point also being at the intersection of the north right-of-way of Glade Road (a variable width right-of-way) with the east right-of-way of State Highway 360 (a variable width right-of-way);

THENCE along the east right-of-way line of State Highway 360 as follows:
North 29 degrees 23 minutes 17 seconds West, 193.24 feet to a highway monument with an aluminum disc found for corner;
North 27 degrees 58 minutes 48 seconds West, 195.10 feet to a highway monument with an aluminum disc found for corner;
North 31 degrees 03 minutes 10 seconds West, 99.30 feet to a highway monument with an aluminum disc found for corner;
North 41 degrees 19 minutes 29 seconds West, 104.66 feet to a highway monument with an aluminum disc found for corner;
Northwesterly, 399.12 feet along a curve to the right having a central angle of 06 degrees 02 minutes 03 seconds, a radius of 3789.72 feet, a tangent of 198.74 feet, and whose chord bears North 28 degrees 10 minutes 40 seconds West, 398.93 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;
North 25 degrees 24 minutes 31 seconds West, 26.27 feet to a highway monument with an aluminum disc found for corner;
North 02 degrees 57 minutes 29 seconds East, 52.70 feet to a highway monument with an aluminum disc found for corner;
North 24 degrees 54 minutes 48 seconds West, 21.60 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner, said point being the northwest corner of said 14.324 acre tract, said point also being the southwest corner of that said 23,918 acre tract;
North 25 degrees 05 minutes 05 seconds West, 40.30 feet to a highway monument with an aluminum disc found for corner;
North 81 degrees 25 minutes 40 seconds West, 30.15 feet to a highway monument with an aluminum disc found for corner;
North 25 degrees 10 minutes 36 seconds West, 1585.93 feet to a one-half inch iron rod found for corner, said point being the northwest corner of said 23,918 acre tract, said point also being the southwest corner of said 30.341 acre tract;
North 25 degrees 09 minutes 27 seconds West, 1325.10 feet to a highway monument with an aluminum disc found for corner;
Northwesterly, 565.29 feet along a curve to the left having a central angle of 16 degrees 41 minutes 47 seconds, a radius of 1939.85 feet, a tangent of 284.66 feet, and whose chord bears North 33 degrees 31 minutes 42 seconds West, 563.29 feet to a highway monument with an aluminum disc found for corner;
North 41 degrees 52 minutes 35 seconds West, 50.00 feet to a highway monument with an aluminum disc found for corner;
Northwesterly, 233.37 feet along a curve to the right having a central angle of 41 degrees 47 minutes 08 seconds, a radius of 320.00 feet, a tangent of 122.15 feet, and whose chord bears North 20 degrees 59 minutes 09 seconds West, 228.24 feet to a highway monument with an aluminum disc found for corner;
North 00 degrees 05 minutes 35 seconds West, 68.58 feet to a highway monument with an aluminum disc found for corner;
North 89 degrees 17 minutes 09 seconds West, 21.89 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner in the east right-of-way line of Eules--Grapevine Road per a street right-of-way deed to the City of Grapevine as recorded in Document Number D205161589, Tarrant County Deed Records;

THENCE along the east right-of-way line of Eules--Grapevine Road as follows:
North 14 degrees 16 minutes 31 seconds West, 126.04 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;
North 00 degrees 32 minutes 19 seconds West, 286.88 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;
North 06 degrees 59 minutes 09 seconds East, 62.50 feet to a five-eighths inch iron rod with yellow cap stamped "SURVCON INC." found for corner;
North 00 degrees 08 minutes 35 seconds East, 51.65 feet to a point for corner in the centerline of Bear Creek, said point also being in the west line of the Dallas/Fort Worth International Airport;

THENCE along the centerline of Bear Creek and the east line of said 30.341 acre tract and the west line of the Dallas/Fort Worth International Airport as follows:
South 65 degrees 26 minutes 08 seconds East, 325.18 feet to a point for corner;
South 05 degrees 58 minutes 30 seconds East, 155.70 feet to a point for corner;
South 24 degrees 02 minutes 30 seconds East, 163.50 feet to a point for corner;
South 45 degrees 28 minutes 30 seconds East, 49.50 feet to a point for corner;
South 65 degrees 14 minutes 30 seconds East, 93.90 feet to a point for corner;
South 12 degrees 58 minutes 30 seconds East, 138.30 feet to a point for corner;
South 05 degrees 53 minutes 30 seconds West, 135.80 feet to a point for corner;
South 44 degrees 39 minutes 30 seconds East, 258.10 feet to a point for corner;
South 33 degrees 24 minutes 30 seconds East, 220.50 feet to a point for corner;
South 50 degrees 22 minutes 30 seconds East, 287.50 feet to a point for corner;
North 71 degrees 31 minutes 30 seconds East, 268.20 feet to a point for corner;
North 11 degrees 44 minutes 30 seconds East, 154.00 feet to a point for corner;
South 17 degrees 59 minutes 30 seconds West, 53.80 feet to a point for corner;
South 09 degrees 58 minutes 30 seconds East, 145.00 feet to a point for corner;
South 38 degrees 11 minutes 30 seconds East, 129.00 feet to a point for corner;
South 40 degrees 53 minutes 30 seconds East, 115.60 feet to a point for corner;
South 08 degrees 02 minutes 30 seconds West, 67.70 feet to a point for corner;
South 49 degrees 56 minutes 30 seconds West, 271.30 feet to a point for corner;
South 20 degrees 44 minutes 30 seconds West, 85.60 feet to a point for corner;
South 49 degrees 26 minutes 30 seconds East, 263.70 feet to a point for corner;
South 73 degrees 47 minutes 30 seconds East, 101.20 feet to a point for corner;
South 42 degrees 36 minutes 12 seconds East, 146.00 feet to a point for corner;
South 29 degrees 26 minutes 25 seconds West, 100.00 feet to the northeast corner of said 23,918 acre tract of land;

THENCE continuing along the centerline of Bear Creek and the east line of said 23,918 acre tract and the west line of the Dallas/Fort Worth International Airport as follows:
South 20 degrees 23 minutes 40 seconds West, 54.55 feet to a point for corner;
South 40 degrees 58 minutes 41 seconds East, 130.10 feet to a point for corner;
South 14 degrees 34 minutes 30 seconds East, 99.40 feet to a point for corner;
South 21 degrees 54 minutes 48 seconds East, 222.15 feet to a point for corner;
South 44 degrees 08 minutes 29 seconds East, 375.19 feet to a point for corner;
South 39 degrees 37 minutes 40 seconds East, 95.97 feet to a point for corner;
South 65 degrees 07 minutes 45 seconds East, 176.46 feet to a point for corner;
South 29 degrees 43 minutes 45 seconds East, 212.81 feet to a point for corner;
South 48 degrees 50 minutes 35 seconds East, 144.20 feet to a point for corner;
South 79 degrees 25 minutes 45 seconds East, 205.58 feet to a point for corner;

THENCE continuing along the east line of said 23,918 acre tract and the west line of the Dallas/Fort Worth International Airport as follows:
South 01 degrees 20 minutes 13 second West, 30.64 feet to a point for corner;
South 01 degrees 06 minutes 45 seconds East, 239.36 feet to a five-eighths inch iron rod found at the southeast corner of said 23,918 acre tract, said point also being the northeast corner of said 14.324 acre tract;

THENCE South 00 degrees 00 minutes 54 seconds East, 993.83 feet along the west line of the Dallas/Fort Worth International Airport to a monument with brass disc found for corner, said point being the southeast corner of said 14.324 acre tract, said point also being in the north right-of-way line of Glade Road;

THENCE along the north right-of-way line of Glade Road as follows:
West, 234.43 feet to a one-half inch iron rod with yellow cap stamped "JBI" set for corner;
North 79 degrees 23 minutes 49 seconds West, 132.59 feet to the POINT OF BEGINNING and containing 2,951,513 square feet or 67.757 acres of land.

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS, THAT KFF Limited Partnership, an Ohio limited partnership, The Gardner 360 WLC Partnership--West, and Grapevine Holdings, LTD does hereby adopt this plat of THE PRESERVE, an addition to the City of Grapevine, Tarrant County, Texas, and does hereby dedicate to the public use forever the right-of-way and easements shown hereon. The easements shown hereon are hereby reserved for the purposes as indicated. The utility easements shall be open for all City or franchised public utilities for each particular use. The maintenance of paving on the easements is the responsibility of the property owner. No buildings or auxiliary structures shall be constructed, reconstructed, or placed upon, over, or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of the full right to remove and keep removed all or parts of any fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective system on the easements and all City or franchised utilities shall at all times have the full right of ingress and egress to and from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone. We have reviewed the City's findings concerning dedications and I do agree that the statements are true and correct. This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Grapevine, Texas.

Witness my hand this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

(Signature of KFF Limited Partnership Representative)

(printed Title of KFF Signee)

STATE OF \_\_\_\_\_ §

COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Notary Public, State of Texas

Witness my hand this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

(Signature of The Gardner 360 WLC Partnership--West)

(printed Title)

STATE OF \_\_\_\_\_ §

COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Notary Public, State of Texas

Witness my hand this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

(Signature of Grapevine Holdings, LTD)

(printed Title)

STATE OF \_\_\_\_\_ §

COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Notary Public, State of Texas

AVIGATION RELEASE

THE STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS, KFF Limited Partnership, an Ohio limited partnership, The Gardner 360 WLC Partnership--West, and Grapevine Holdings, LTD, hereinafter called "Owner", are the owners of that certain parcel of land situated in the City of Grapevine, Tarrant County, Texas, being said property as described as shown on this plat. NOW THEREFORE, in consideration of the sum of ONE AND 00/100 (\$1.00) DOLLAR and other good and valuable consideration, the receipt and sufficiency of which is hereby fully acknowledged and confessed, Owner does hereby waive, release, remise and quitclaim to the City of Grapevine, Tarrant County, Texas, the Dallas-Fort Worth International Airport Board, the Cities of Dallas, Texas and Fort Worth, Texas, their successors and assigns, hereinafter called "Cities", for the use and benefit of the public and its agencies, any and all claims for damages of any kind to persons or property that Owner may suffer by reason of the passage and flight of aircraft in the air space above Owner's property above the height restriction as presently established by Ordinance No. 73-50 for the City of Grapevine, known as the Airport Zoning Ordinance of the Dallas-Fort Worth International Airport, to an infinite height above same, whether such damage shall originate from noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft, landing at, or taking off from, or operating at or on the Dallas-Fort Worth International Airport. This instrument does not release the owners or operators of aircraft from liability for damage to person or property caused by falling aircraft or falling physical objects from aircraft, except as stated herein with respect to noise, fumes, dust, fuel, and lubricant particles. It is agreed that this Release shall be binding upon said owner and his heirs and assigns, and successors in interest to said property, and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of the county or counties in which the property is situated.

EXECUTED at \_\_\_\_\_ Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

(Signature of KFF Limited Partnership Representative)

(printed Title of KFF Signee)

STATE OF \_\_\_\_\_ §

COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Notary Public, State of Texas

EXECUTED at \_\_\_\_\_ Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

(Signature of The Gardner 360 WLC Partnership--West)

(printed Title)

STATE OF \_\_\_\_\_ §

COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Notary Public, State of Texas

EXECUTED at \_\_\_\_\_ Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

(Signature of Grapevine Holdings, LTD)

(printed Title)

STATE OF \_\_\_\_\_ §

COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared \_\_\_\_\_, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Notary Public, State of Texas

Surveyor's Certificate

Know All Men By These Presents:

That I, Mark W. Harp, of JBI Partners Inc., a Registered Professional Land Surveyor of the State of Texas, do hereby certify that I prepared this plat and the field notes thereon, and that the same were properly placed under my personal supervision, in accordance with the platting rules and regulations of the State of Texas and the City of Grapevine, Texas.

Dated this, the \_\_\_\_\_ day of \_\_\_\_\_, 2015.

Mark W. Harp, R.P.L.S. # 6425
JBI Partners, Inc.



STATE OF TEXAS §

COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Mark W. Harp, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, 2015.

Notary Public, State of Texas

FINAL PLAT
GLADE 360 ADDITION
LOTS 1 AND 2, BLOCK A
67.757 ACRES OUT OF THE
ELIJAH C. CLARY SURVEY, ABSTRACT NUMBER 323,
AND THE GREEN W. MINTER SURVEY, ABSTRACT NUMBER 1083
CITY OF GRAPEVINE, TARRANT COUNTY, TEXAS
PROPOSED ZONING: R-MF

SILVER TREE PARTNERS APPLICANT
15303 Dallas Parkway, Suite 480 Addison, Texas 75001 (972) 669-9955

GRAPEVINE HOLDINGS, LTD OWNER
15303 Dallas Parkway, Suite 480 Addison, Texas 75001 (972) 669-9955

THE GARDNER 360 WLC PARTNERSHIP--WEST OWNER
15303 Dallas Parkway, Suite 480 Addison, Texas 75001 (972) 669-9955

KFF, LIMITED PARTNERSHIP AN OHIO LIMITED PARTNERSHIP OWNER
1366 Dublin Road Columbus, Ohio 43215 (614) 351-6227

JBI PARTNERS, INC. SURVEYOR
16301 Quorum Drive, Suite 200 B Addison, Texas 75001 (972) 248-7676
Contact: Chuck McKinney
TBPE No. F-438 TBPLS No. 10076000

Plotted by: mharp Plot Date: 9/3/2015 2:59 PM Drawing: H:\Projects\GRS001\Draw\GRS001P.dwg Saved By: mharp Save Time: 9/3/2015 2:59 PM

STATE OF TEXAS  
COUNTY OF TARRANT  
CITY OF GRAPEVINE

The Planning and Zoning Commission of the City of Grapevine, Texas met in Regular Session on this the 18<sup>th</sup> day of August 2015 in the Planning and Zoning Conference Room, 200 South Main Street, 2nd Floor, Grapevine, Texas with the following members present-to-wit:

Larry Oliver	Chairman
B J Wilson	Vice-Chairman
Gary Martin	Member
Beth Tiggelaar	Member
Dennis Luers	Member
Theresa Mason	Alternate

constituting a quorum with Monica Hotelling, Jimmy Fechter and Bob Tipton absent and the following City Staff:

Ron Stombaugh	Development Services Assistant Director
John Robertson	Manager of Engineering
Albert Triplett, Jr.	Planner II
Susan Batte	Planning Technician

### CALL TO ORDER

Chairman Oliver called the meeting to order at 7:01 p.m.

### **BRIEFING SESSION**

#### ITEM 1.

Oath of office was given to returning Planning and Zoning Commissioner B J Wilson.

#### ITEM 2.

Chairman Oliver announced the Planning and Zoning Commission would conduct a work session relative to the following cases:

CU15-29/SU15-03	ROUND 1
CU15-30	A J'S ON MAIN
CU15-31	MESA GRILL
CU15-33	BETHEL CENTER
CU15-34	PARADISE SPRINGS POOL COMPLEX
CU15-35	WHITE LINE STORAGE

CU15-36  
CU15-37

HISTORYMAKER HOMES  
FERRARI'S

Chairman Oliver closed the Briefing Session at 7:30 p.m.

### **JOINT PUBLIC HEARINGS**

Mayor Tate called the meeting to order at 7:39 p.m. in the City Council Chambers. Items 2-11 of the Joint Public Hearings were held in the City Council Chambers. The Planning and Zoning Commission recessed to the Planning and Zoning Conference Room, Second Floor to consider published agenda items.

### **PLANNING AND ZONING COMMISSION REGULAR SESSION**

#### CALL TO ORDER

Chairman Oliver called the Planning and Zoning Commission regular session to order at 8:45 p.m.

#### ITEM 12 & 13. CONDITIONAL USE APPLICATION CU15-29 AND SPECIAL USE APPLICATION SU15-03 ROUND 1

First for the Commission to consider and make recommendation to City Council was conditional use application CU15-29 and special use application SU15-03 submitted by Round 1 for property located at 3000 Grapevine Mills Parkway #613 and platted as Lot 1R3, Block 1, Grapevine Mills. The applicant was requesting to amend the previously approved site plan of CU99-25 (Ord. 1999-81), for a planned commercial center in excess of 1,000,000 square feet of gross leasable area, specifically to allow the possession, storage, retail sales and on-premise consumption of alcoholic beverages (mixed beverages, beer and wine) in conjunction with a bowling alley entertainment complex. The applicant is also seeking a special use permit to allow skill oriented games in excess of eight machines and eight billiard tables.

The applicant proposed to occupy the 78,200 square foot space formerly occupied by the Polar Ice skating facility. The applicant intended to covert the space into a game room with approximately 400 skill oriented games plus bowling, billiards, ping pong and karaoke rooms.

In the Commission's regular session, Dennis Luers moved to approve conditional use application CU15-29 with the condition that it be beer and wine only. Theresa Mason seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Martin, Tiggelaar, Luers and Mason  
Nays: None

In the Commission's regular session, Theresa Mason moved to approve special use application SU15-03. Beth Tiggelaar seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Martin, Tiggelaar, Luers and Mason  
Nays: None

ITEM 14. CONDITIONAL USE APPLICATION CU15-30 A J'S ON MAIN

Next for the Commission to consider and make recommendation to City Council was conditional use application CU15-30 submitted by A J Gillinger for property located at 651 South Main Street and platted as Lot 15R, Block 15, City of Grapevine. The applicant was requesting a conditional use permit to amend the previously approved site plan of CU95-12 (Ord. 1995-31) with the possession, storage, retail sales and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages), specifically to allow additional outside dining in conjunction with a restaurant.

The applicant proposed to expand the existing covered patio and increase the total number of restaurant seats. The total number of seats was proposed to increase from 48-seats to 58-seats. Total required parking is 21 parking spaces—12 spaces are provided on site. The additional required parking was proposed to be met by utilizing available public parking within the immediate vicinity. A new wrought iron fence three and one half foot high is proposed around the perimeter of the expanded patio. No outdoor speakers are proposed.

In The Commission's regular session, after a brief discussion regarding the parking, Theresa Mason moved to approve conditional use application CU15-30. Dennis Luers seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Tiggelaar, Luers and Mason  
Nays: Martin

ITEM 15. CONDITIONAL USE APPLICATION CU15-31 MESA GRILL

Next for the Commission to consider and make recommendation to City Council was conditional use application CU15-31 submitted by Raul Reyes for property located at 1000 Texan Trail #130 and platted as Lot 1, Block 1, Grapevine Corner. The applicant was requesting a conditional use permit to amend the previously approved site plan of CU07-31 (Ord. 07-58) to allow the possession, storage, retail sales and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages) in conjunction with a restaurant, specifically to revise the floor plan, allow outside dining and outdoor speakers.

The applicant proposed establishing a 4,506 square foot restaurant (Mesa Grill) on the first floor of the multi-tenant structure. The proposed restaurant will seat 142 patrons; 94 seats inside and 48 seats outside. A three and one half foot decorative metal fence

will provide separation between the seating and vehicle use areas. Two outdoor speakers were proposed to provide background music for the patrons. The required parking for the proposed use is 50-spaces; 258-spaces are provided on site. The total parking required and the total parking provided for the subject site is 258-spaces.

In the Commission's regular session, Theresa Mason moved to approve conditional use application CU15-31. Gary Martin seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Martin, Tiggelaar, Luers and Mason  
Nays: None

ITEM 16. CONDITIONAL USE APPLICATION CU15-33 BETHEL CENTER

Next for the Commission to consider and make recommendation to City Council was conditional use application CU15-33 submitted by William Dahlstrom for property located at 1700 State Highway 121 and proposed to be platted as Lots 1A & 1B, Block 1, Bethel Center. The applicant was requesting a conditional use permit to amend the previously approved site plan of CU99-29 (Ord. 99-89) for a planned commercial center specifically to subdivide an existing lot.

The applicant proposed to subdivide the original lot into two lots—one 53,979 square foot lot (Lot 1A) which will contain the convenience store, and a second lot, 35,200 square feet in size (Lot 1B) which will remain vacant, pending a future development request.

In the Commission's regular session, Dennis Luers moved to approve conditional use application CU15-33. Beth Tiggelaar seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Martin, Tiggelaar, Luers and Mason  
Nays: None

ITEM 17. FINAL PLAT LOTS 1A & 1B, BLOCK 1, BETHEL CENTER

Next for the Commission to consider and make recommendation to the City Council was the statement of findings and final plat application of Lots 1A & 1B, Block 1, Bethel Center on property located at the northeast corner of Bass Pro Drive and State Highway 121. The applicant was final platting 2.047 acres to subdivide the property into two lots.

In the Commission's regular session Dennis Luers moved to approve the statement of findings and final plat application of Lots 1A & 1B, Block 1, Bethel Center. B J Wilson seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Martin, Tiggelaar, Luers and Mason  
Nays: None

ITEM 18. CONDITIONAL USE APPLICATION CU15-34 GAYLORD PARADISE SPRINGS POOL COMPLEX

Next for the Commission to consider and make recommendation to City Council was conditional use application CU15-34 submitted by RHP Property GT LP for property located at 1000 Gaylord Trail and platted as Lot 1, Block 1, Opryland Fourth. The applicant was requesting a conditional use permit to amend the previously approved site plan of CU11-13 (Ord. 2011-26) for a planned commercial center in conjunction with a hotel, convention center and a pool/waterpark complex, along with the possession, storage, retail sale and on-premise consumption of alcoholic beverages (beer, wine and mixed beverages), specifically to allow the addition of an additional pool, water slides, play structure, pool deck and cabanas.

The applicant proposed converting the northern portion of the site from an existing outdoor games area into an area for an additional pool, water slides, play structure, pool deck and additional cabanas.

In the Commission's regular session, Theresa Mason moved to approve conditional use application CU15-34. Gary Martin seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Martin, Tiggelaar, Luers and Mason  
Nays: None

ITEM 19. CONDITIONAL USE APPLICATION CU15-35 WHITE LINE STORAGE

Next for the Commission to consider and make recommendation to City Council was conditional use application CU15-35 submitted by Clayton Redinger for property located at 2850 State Highway 121 and platted as Lot 2, Block 1, Northpoint. The applicant was requesting a conditional use permit to allow for a two phase 116,450 square feet mini-warehouse facility and a 32-foot pole sign.

The applicant intended to develop a mini-warehouse facility on the subject 3.69 acre site with the first phase consisting of an 89,900 square foot, two story mini-warehouse facility. A second phase calls for two single story mini-warehouse structures. Access to the subject site is from the frontage road of State Highway 121. A 32-foot, 80 square foot pole sign is proposed adjacent to the northbound State Highway 121 service road.

In the Commission's regular session, B J Wilson moved to deny conditional use application CU15-34. Dennis Luers seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Martin, Tiggelaar, Luers and Mason  
Nays: None

ITEM 20. CONDITIONAL USE APPLICATION CU15-36 HISTORYMAKER HOMES

Next for the Commission to consider and make recommendation to City Council was conditional use application CU15-36 submitted by Bennett Benner Partners for property located at 1038 Texan Trail and proposed to be platted as Lot 2A2, Block 2A, Grapevine Station. The applicant was requesting a conditional use permit to amend the previously approved site plan of CU14-28 (Ord. 2014-41) for a planned business park specifically to allow for the development of a 28,050 square foot office showroom.

The applicant intended to develop one 28,050 square foot, two story office showroom on the subject site.

In the Commission's regular session, Theresa Mason moved to approve conditional use application CU15-25. Monica Hotelling seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Martin, Tiggelaar, Luers and Mason  
Nays: None

ITEM 21. FINAL PLAT LOTS 2A1 & 2A2, BLOCK 2A, GRAPEVINE STATION

Next for the Commission to consider and make recommendation to the City Council was the Statement of Findings and Final Plat Application of Lots 2A1 & 2A2, Block 2A, Grapevine Station on property located at 1038 Texan Trail. The applicant was final platting 3.348 acres to subdivide the lot into two lots.

In the Commission's regular session B J Wilson moved to approve the Statement of Findings and Final Plat Application of Lots 2A1 & 2A2, Block 2A, Grapevine Station. Theresa Mason seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Wilson, Martin, Tiggelaar, Luers and Mason  
Nays: None

ITEM 22. CONSIDERATION OF MINUTES

Next for the Commission to consider were the minutes of the July 21, 2015, Planning and Zoning Meeting.

Theresa Mason moved to approve the July 21, 2015 Planning and Zoning Commission Meeting minutes. Gary Martin seconded the motion, which prevailed by the following vote:

Ayes: Oliver, Martin, Tiggelaar, Luers and Mason  
Nays: None  
Abstain: Wilson

ADJOURNMENT

With no further business to discuss, Theresa Mason moved to adjourn the meeting at 8:52 p.m. Gary Martin seconded the motion which prevailed by the following vote:

Ayes: Oliver, Wilson, Martin, Tiggelaar, Luers and Mason  
Nays: None

PASSED AND APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF GRAPEVINE, TEXAS ON THIS THE 15<sup>TH</sup> DAY OF SEPTEMBER 2015.

APPROVED:

\_\_\_\_\_  
CHAIRMAN

ATTEST:

\_\_\_\_\_  
PLANNING TECHNICIAN